

RECOMMENDATION MEETING

301 N. 107TH ST

A Proposed Apartment Development
for GRE Greenwood L.L.C.
September 26, 2011

studio **MENG**
STRAZZARA

ARCHITECTURE
PLANNING
CONSULTING

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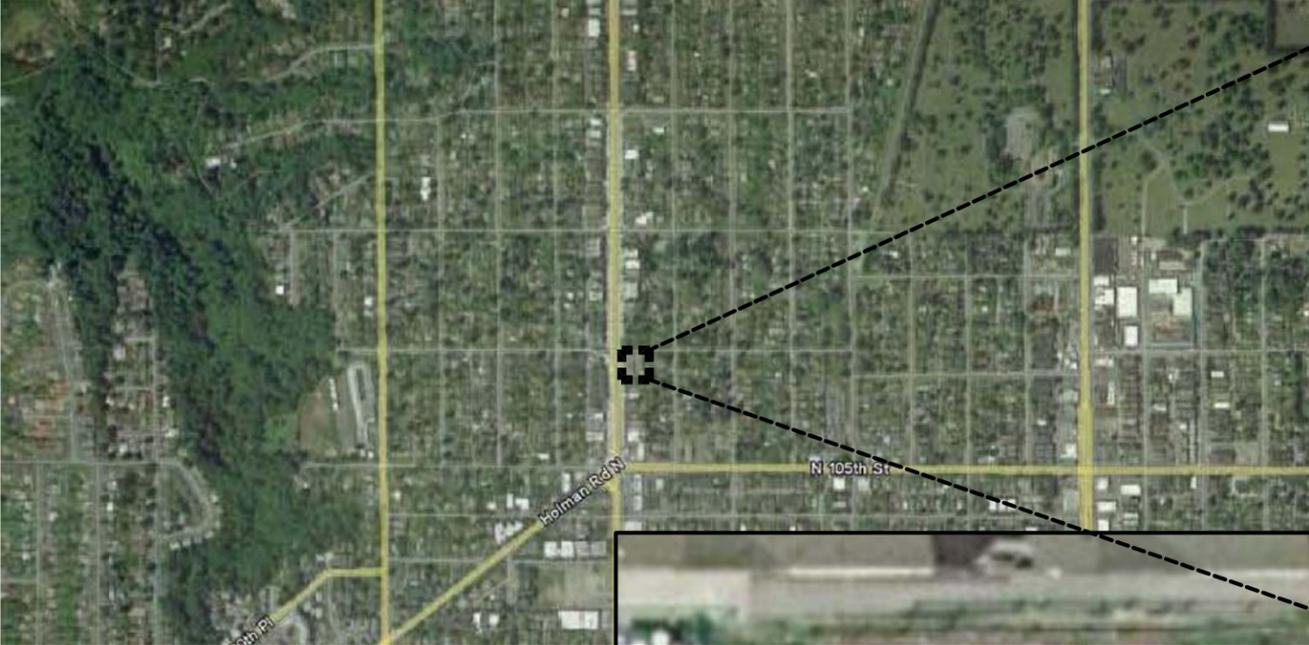
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Vicinity Map



Site Map



301 N 107TH ST. : RECOMMENDATION MEETING
TITLE SHEET/ CONTACT INFO/ SHEET INDEX/ VICINITY MAP/ SITE MAP

A1

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DEPARTURES

DEVELOPMENT STANDARD REQUIREMENT	REQUEST/ PROPOSAL	JUSTIFICATION	ACTION
<p>SMC 23.47A.005.C.3 Residential Uses at Street Level “Residential uses may not exceed, in the aggregate, 20 percent of the street-level street-facing facade if facing an arterial...”</p>	<p>The applicant is requesting an increase in residential uses along Greenwood Ave from 20 percent to 50 percent.</p>	<p>1)The applicant has added a leasing office to the street frontage along 107th. Although this leasing office is considered residential by the Land Use Code, it operates as a non-residential use, staffed on a daily 9-5 basis. The use will provide eyes on the street just as any other commercial use would, which will increase safety and security in the area. 2) The addition of the leasing office which will be staffed on a daily basis puts eyes on the street. Additional live-work would not guarantee the same level of human activity and street level security as the leasing office will. (A-4 Human Activity)</p>	
<p>SMC 23.47A.008.B.3.a Non-residential Use Depth “Nonresidential uses shall extend an average of at least 30 feet and a minimum of 15 feet in depth from the street-level street-facing facade...”</p>	<p>The applicant is requesting relief from the 30 feet depth requirement for the live-work units facing Greenwood Ave and 107th.</p>	<p>1)The applicant is requesting relief from the 30 feet depth requirement for non-residential uses due to the corner lot condition and wrapping design of the live-work units. 2) The live-work unit located at the corner of Greenwood and 107th meets the depth when measured perpendicular to the street frontage but not parallel to the street frontage. 3) The wrapped design of the live work units allows for increased building frontage along Greenwood Avenue and 107th as well as creating larger more functional units. 4) By wrapping the live-work unit at the corner the street frontage is activated and an emphasis is placed on the most important corner of the project site. (A-10 Corner Lots)</p>	

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<p>SMC 23.47A.008.B.2.a Transparency “Sixty percent of the street-facing facade between 2 feet and 8 feet above the sidewalk shall be transparent.”</p>	<p>The applicant is requesting relief from the transparency requirement along the facade facing 107th Street.</p>	<p>1)The grade along 107th increases in the west-east direction approximately 10’ which precludes adding viewing penetrations into garage at the NE corner of the project. 2) The applicant is providing 79.7% transparency along the Greenwood facade, which is the more commercial facade.</p>	
		<p>3)Due to the 10’ of grade change along 107th meeting the transparency requirement is not possible. The east portion of the north facade has an average of 5’ of exposed wall at the base, which does not leave enough vertical area to put openings into the wall enclosing the parking garage. To soften the effect the applicant proposes to plant vines that will grow up the wall to hide this unique site condition. (E-3 Landscape Design to Address Special Site Conditions.)</p>	

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ZONING CODE SUMMARY

PROPERTY ADDRESS: 301 N. 107th St., SEATTLE, WA 98133
 PARCEL NUMBER: 891100-0330
 ZONE: C1-40
 OVERLAYS: NONE
 MAPPED ECA: YES, SALMON WATERSHED
 LOT AREA: 14,647 SF
 FAR: 3.25
 LEGAL DESCRIPTION: LOTS 1 AND 2, BLOCK 4, VIEW LANDS ADDITION DIVISION NO. 2, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 22 OF PLATS, PAGE 14, RECORDS OF KING COUNTY, WASHINGTON

Proposed Amenity Area Location:

1.) Rooftop areas excluded pursuant to section 23.57.012C1d do not qualify as residential amenity areas. (SMC 23.47A.024B6)

Additional Amenity Area Requirement:

1.) All residents must have access to at least one residential amenity area. (SMC 23.47A.024B1)
 2.) Common recreational areas must have a minimum horizontal dimension of at least ten (10) feet, and no common recreational areas can be less than two hundred and fifty (250) square feet. (SMC 23.47A.024B4)

PERMITTED AND PROHIBITED USES

SMC 23.47A.004 CHART A: Residential uses are permitted in C-1 Zones

STREET-LEVEL USES

SMC23.47A.005 C. Residential uses at street level
 1. Residential uses are generally permitted anywhere in a structure in NC1, NC2, and C1 zones.

SETBACK REQUIREMENTS

SMC 23.47A.014 No setbacks required.

COMMUNICATION REGULATIONS ON COMMERCIAL ZONES ROOFTOP AREA

SMC 23.57.012C1d

Restricted Areas:

1.) The area eight (8) feet from and in front of a directional antenna and the area two (2) feet from and in back of a directional antenna.
 2.) The area within eight (8) feet in any direction from an omnidirectional antenna.
 3.) Such other areas in the vicinity of paging facilities as determined by the Seattle King County Health Department after review of the Non-Ionizing Electromagnetic Radiation (NIER) report.

LANDSCAPING AND SCREENING STANDARDS

SMC 23.47A.016

Landscaping Requirements:

Landscaping achieves a Green Factor score of .30 or greater, pursuant to the procedures set forth in Section 23.86.019. (SMC 23.47A.016A2)

Street Tree Requirements:

Street trees are required when any development is proposed, except as provided in subsection 23.47A.016.B2 and section 23.53.015.

Existing street trees shall be retained unless DOT approved its removal. (SMC 23.47A.016B1)

Screening Requirements for Specific Use:

1.) Surface parking Areas Landscaping Requirements: Chart C for 23.47A.016: 18SF/ parking space (for 20-50 parking spaces):
 18SF x 44 (proposed parking spaces)= 792SF
 2.) Trees in surface parking areas:
 One tree is required for every ten parking spaces (SMC 23.47A.016D1b1)
 44 proposed parking spaces / 10 = 4 trees
 3.) Screening of surface parking requirements:
 Three-foot-high screening is required along street lot lines. (SMC 23.47A.016D1c1)

Proposed Landscaping and Screening

1.) 11'-6" high metal cyclone fence along North wall for climbing plants (i.e. ivies) to serve as screening and part of the landscaping requirements.
 2.) 256 SF Landscaping area within parking lot.
 3.) Street trees will be provided.
 4.) Existing ROW landscaping along Greenwood Ave. and 107th St.

Landscaping and Screening Waiver and Reduction:

1.) When it would not otherwise be feasible to provide the required number of spaces. (SMC 23.47A.016D1d3)

ACCESS TO LOTS

SMC 23.53.005

A.1. For residential uses, at least 10' of a lot line shall abut on a street or private vehicle access easement.

SOLID WASTE & RECYCLABLE MATERIALS STORAGE SPACE

SMC 23.47A.029

For Multifamily Structure Size 26-50 units:

Minimum Area for Storage Space = 150 Square Feet; Container Type = Front-loading containers
 a. The storage space shall have no minimum dimensions less than 6 feet
 b. The floor of the storage space shall be level and hard-surfaced (garbage or recycling compactors require a concrete surface)
 c. Screened from public view if outdoors

STRUCTURE HEIGHT LIMIT

SMC 23.47A.012

(23.32 Official Land Use Map) = 40'-0" Height Limit

Structure Height Exception:

A.1.a.1) i. A floor-to-floor height of 13 feet or more is provided for nonresidential uses at street level. Proposed Building: Live-work units and parking on Ground level with 14 feet floor-to-floor height.
 C. The ridge of a pitched roof, other than a shed roof or butterfly roof, may extend up to 5 feet above the otherwise applicable height limit in zones with height limits of 30 or 40 feet, if all parts of the roof above the otherwise applicable height limit are pitched at a rate of not less than 4:12.

D.2. Open Railings, planters, skylights, clerestories, greenhouses, parapets and firewalls may extend as high as the highest ridge of a pitched roof permitted by subsection 23.47A.012.C or up to 4 feet above the otherwise applicable height limit, whichever is higher.

STREET-LEVEL DEVELOPMENT STANDARDS

SMC 23.47A.008

A. Basic street-level requirements;

2.b. Blank facades that face towards the street cannot exceed 20' wide at heights between 2'-8' above the sidewalk.
 2.c. Total of all blank facade segments cannot exceed 40% of the width of the facade along the street.
 3. Street-level street-facing facades must be located within 10' of street lot line unless wider sidewalks, plazas, or other approved landscaped or open spaces are provided.

D.3. When a live-work unit is located along the street-facing facade it shall be at least 4' above or 4' below sidewalk grade or be set back at least 10' from the sidewalk.

E. When a live-work unit is located on a street-level, street-facing facade, the portion of each live-work unit in which business is conducted must be located between the principal street and the residential portion of the live-work unit.

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PROJECT DESCRIPTION

Construct a four-story apartment building with parking located below on ground level.

REQUIREMENT FOR C1-40 ZONE

PARKING REQUIREMENTS:

SMC 23.54.015 I. Uses in multiple parking chart categories:

If an entire use or structure, or the same portion of a use or structure, falls under more than one category in Table A, Table B or Table C then, unless otherwise specified, the category requiring the smallest number of parking spaces applies except as expressly set forth on such charts.

Table A - Parking for Non-Residential Uses Other Than Institutions

Use D - Live Work Units = (0) spaces for units with 1,500 square feet or less;

Table B - Parking For Residential Uses

Use H - Multi-Family Residential Uses (1) = One (1) space for each dwelling unit

Parking Quantity Exceptions:

SMC 23.54.020F2a Transit Reductions

In NC zones and C zones, except pedestrian-designated zones, and in the Seattle Mixed (SM) zone, except on Class 1 Pedestrian Streets, the minimum parking requirement for a nonresidential use, except institutions, may be reduced by 20 percent when the use is located within 800 feet of a street with midday transit service headways of 15 minutes or less in each direction. This distance will be the walking distance measured from the nearest bus stop to the property line of the lot containing the use.

Parking Quantity Exceptions Transit Reductions Supporting Document:

A3 Bus Stop Map & Time Table Calculation

A4 Metro Official Bus Time Table

A5 Metro official Bus Route

Required parking:

43 Parking Stalls

(54 stalls - (20% of 54 stalls) = 54 stalls - 10.8 stalls = 43.2 stalls)

Proposed Unit & Parking Stalls:

54 Units

43 parking Stalls

FLOOR AREA RATIO (FAR)

SMC 23.47A.013

Chart A: Maximum Floor Area Ratio (FAR) Outside of the Station Area Overlay District

Total permitted for all uses within a mixed-use structure containing residential and non-residential uses for 40'-0" height limit = 3.25

Calculation:

Allowed Gross Floor Area of Buildings = FAR x Total Area of Lot.

Allowed Gross Floor Area of Buildings = 47,602.75 SF (3.25 x 14,647 SF)

Proposed Gross Floor Area of Buildings:

Parking Level= 11,427 (3,045 SF Uncovered Parking Area)

Level 1= 11,427 SF

Level 2= 11,427 SF

Level 3= 11,427 SF

Gross Floor Area= 45,708 SF

RESIDENTIAL AMENITY AREA

SMC 23.47A.024

Proposed Gross Floor Area= 34,281 SF (Level 1 + Level 2 + level 3)

Parking Level = N/A (Accessory parking + live work units + lobby + storage)

Level 1 = 11,427 SF

Level 2 = 11,427 SF

Level 3 = 11,427 SF

Residential Amenity Area:

Required Amenity Area:

5% of Total Gross Floor Area in Residential Use

5% (34,281 SF)= 1,714 SF

Proposed Amenity Area = 11,000 SF



VICINITY MAP



301 N. 107TH ST. : RECOMMENDATION MEETING

ZONING CODE SUMMARY

A2

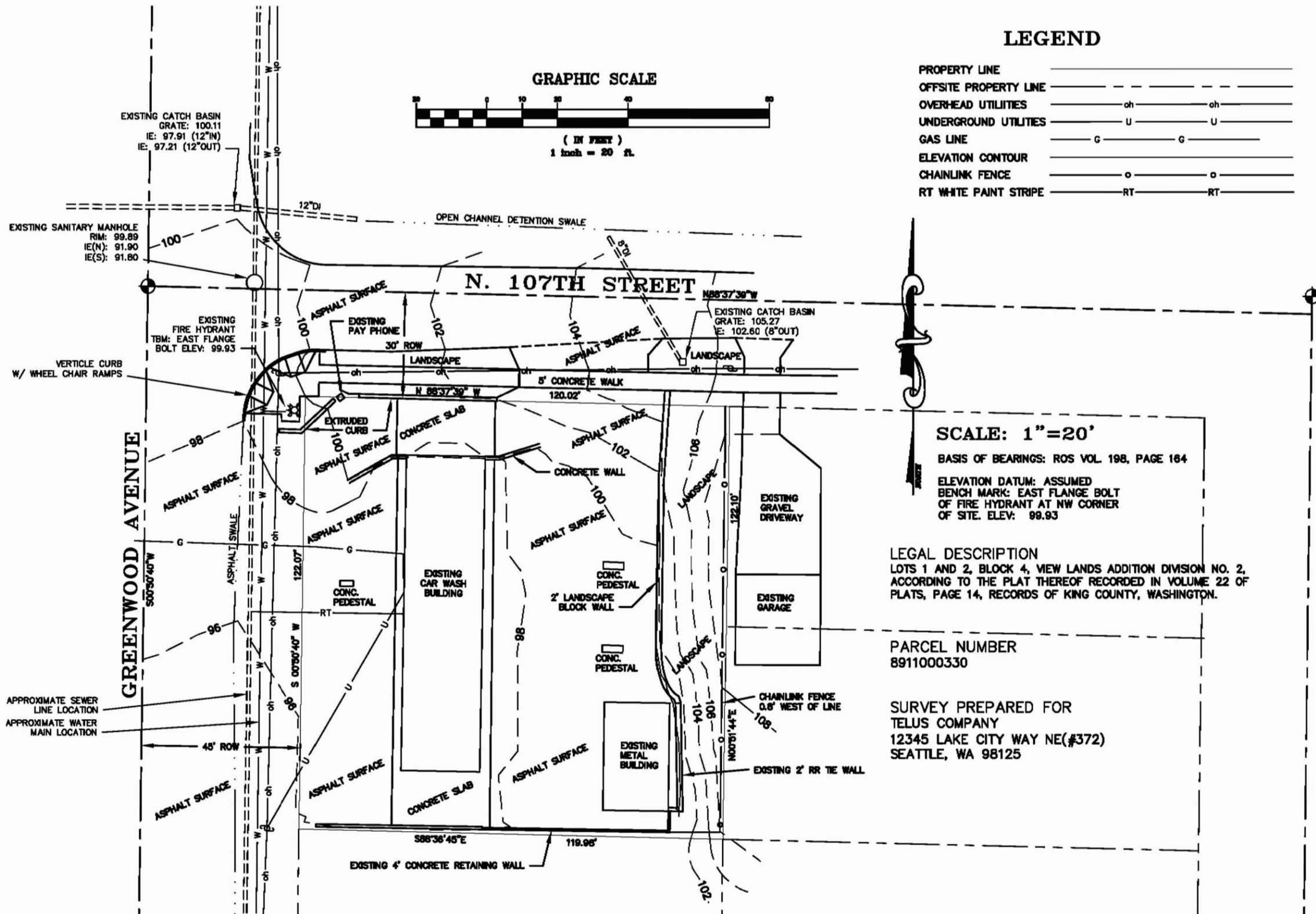
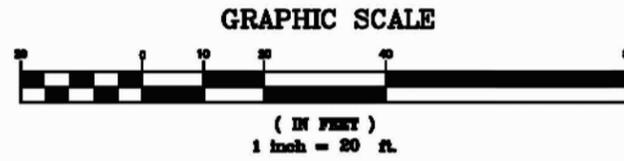
SW1/4 of SW1/4, SEC 30, T26N, R5E, W.M.

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LEGEND

PROPERTY LINE	_____
OFFSITE PROPERTY LINE	-----
OVERHEAD UTILITIES	oh _____ oh
UNDERGROUND UTILITIES	U _____ U
GAS LINE	G _____ G
ELEVATION CONTOUR	_____
CHAINLINK FENCE	o _____ o
RT WHITE PAINT STRIPE	RT _____ RT



SCALE: 1"=20'

BASIS OF BEARINGS: ROS VOL. 198, PAGE 164

ELEVATION DATUM: ASSUMED
BENCH MARK: EAST FLANGE BOLT
OF FIRE HYDRANT AT NW CORNER
OF SITE. ELEV: 99.93

LEGAL DESCRIPTION

LOTS 1 AND 2, BLOCK 4, VIEW LANDS ADDITION DIVISION NO. 2,
ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 22 OF
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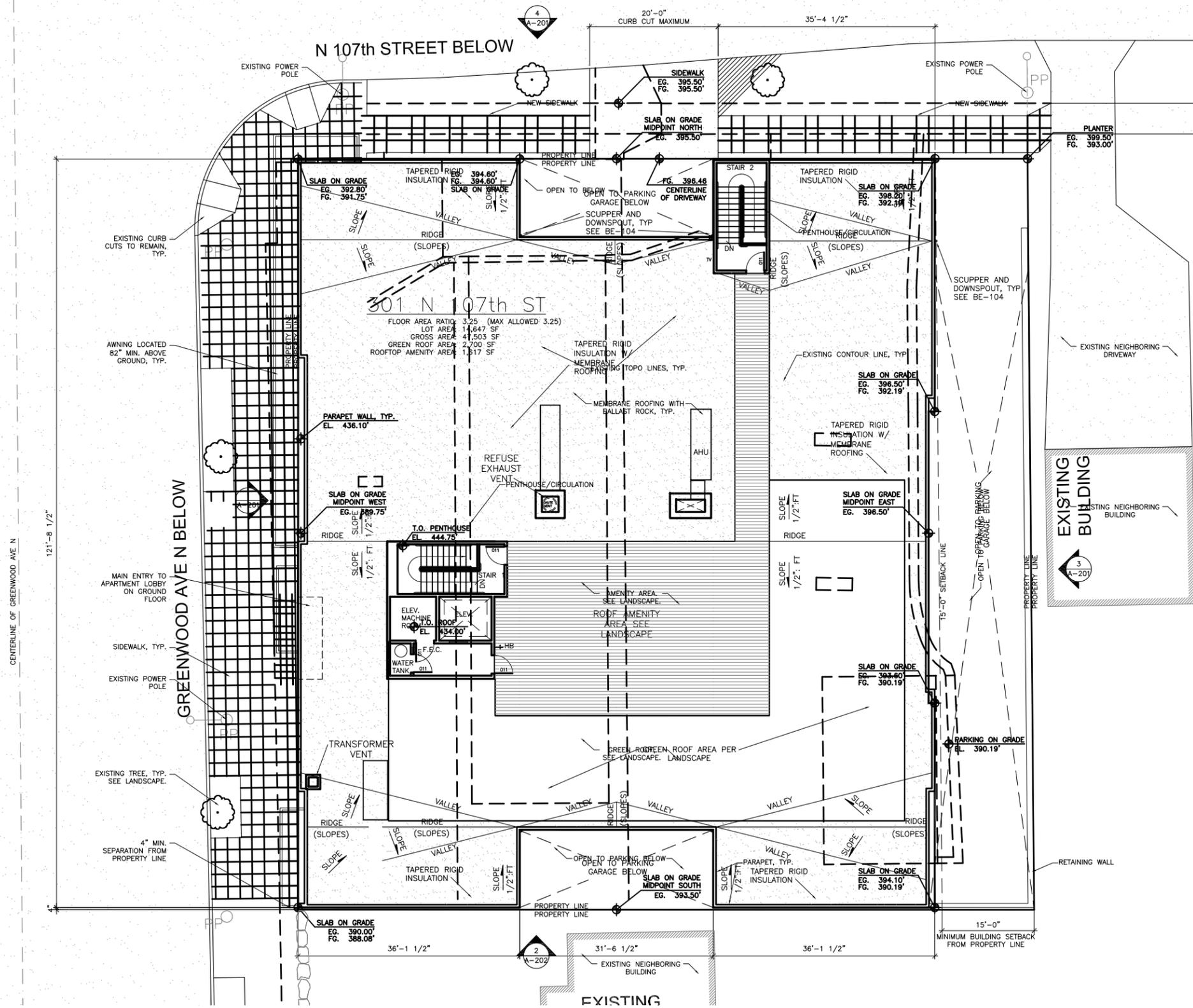
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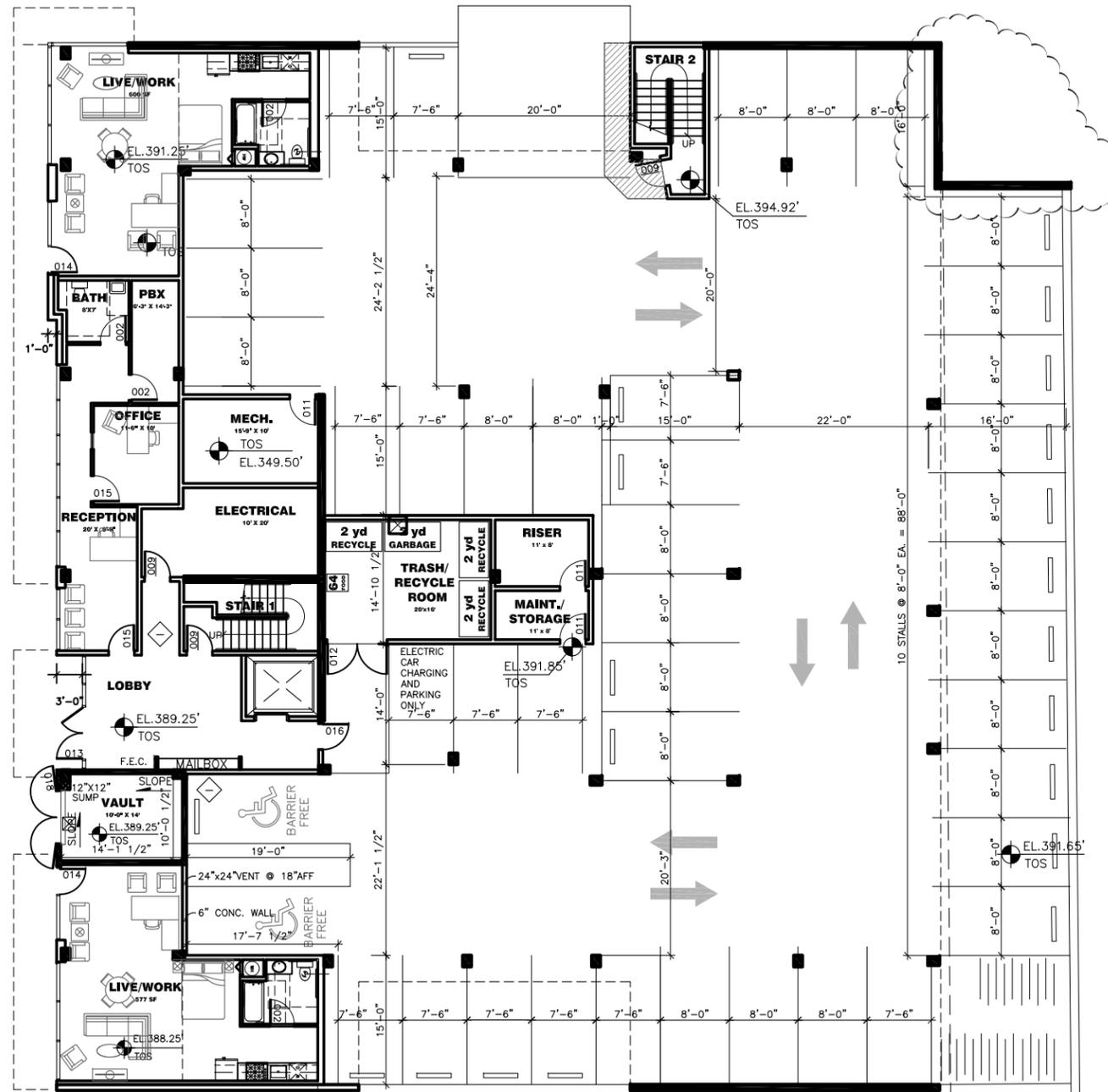
SURVEY PREPARED FOR
TELUS COMPANY
12345 LAKE CITY WAY NE(#372)
SEATTLE, WA 98125

- NOTES:**
1. INSTRUMENTATION FOR THIS SURVEY WAS A NIKON TOTAL STATION DTM A-10, SERIAL NO. 540312.
 2. PROCEDURES USED WERE CONVENTIONAL FIELD TRAVERSE.
 3. PRECISION FOR THIS SURVEY EXCEEDS THE STANDARDS SET BY WAC 332-130-090.
 4. THE LAND SHOWN ON THIS SURVEY MAY BE SUBJECT TO EASEMENTS, COVENANTS OR RESTRICTION OF RECORD NOT SHOWN HEREON.

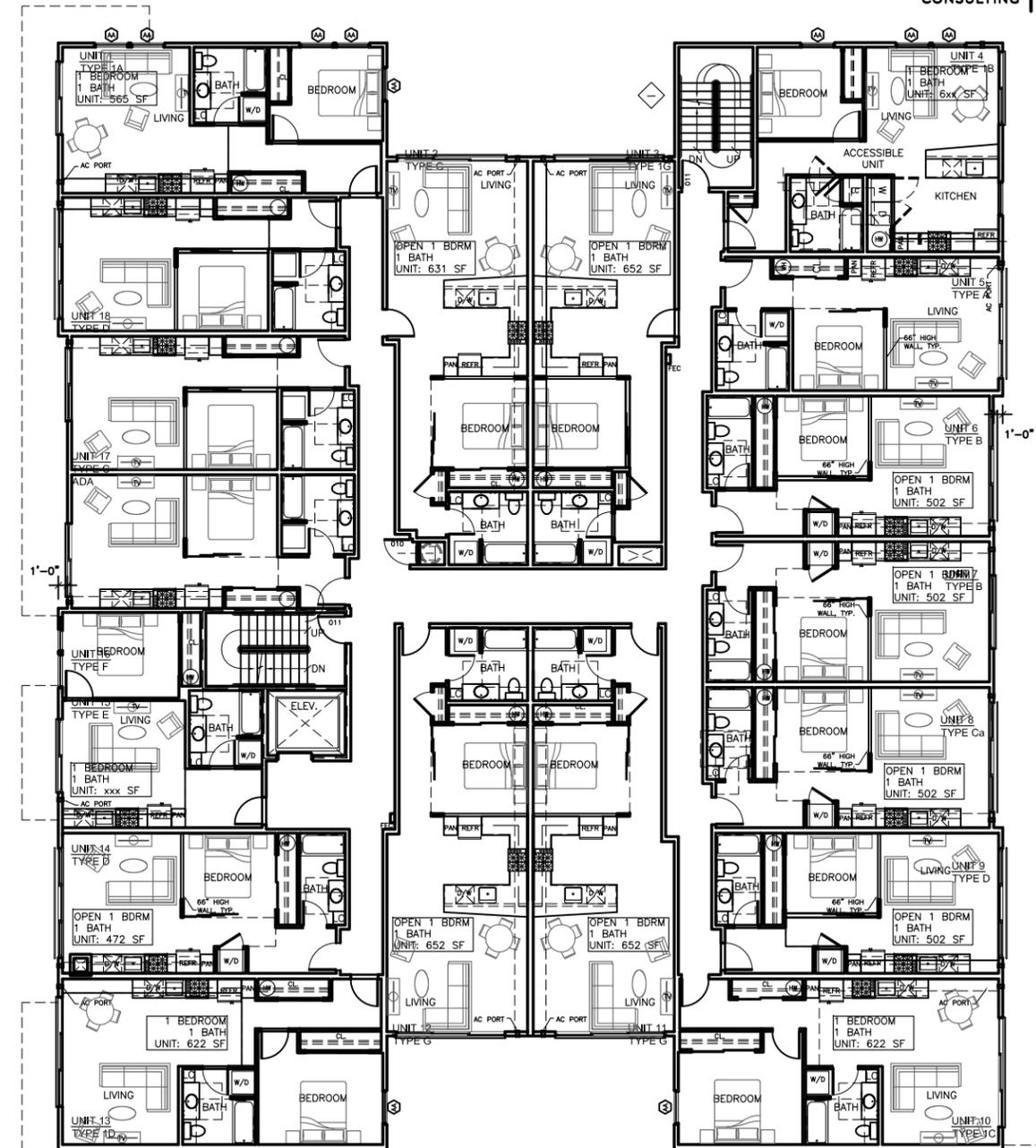
301 N. 107TH ST. : RECOMMENDATION MEETING
SITE SURVEY PLAN

A3





CONCEPTUAL PARKING PLAN

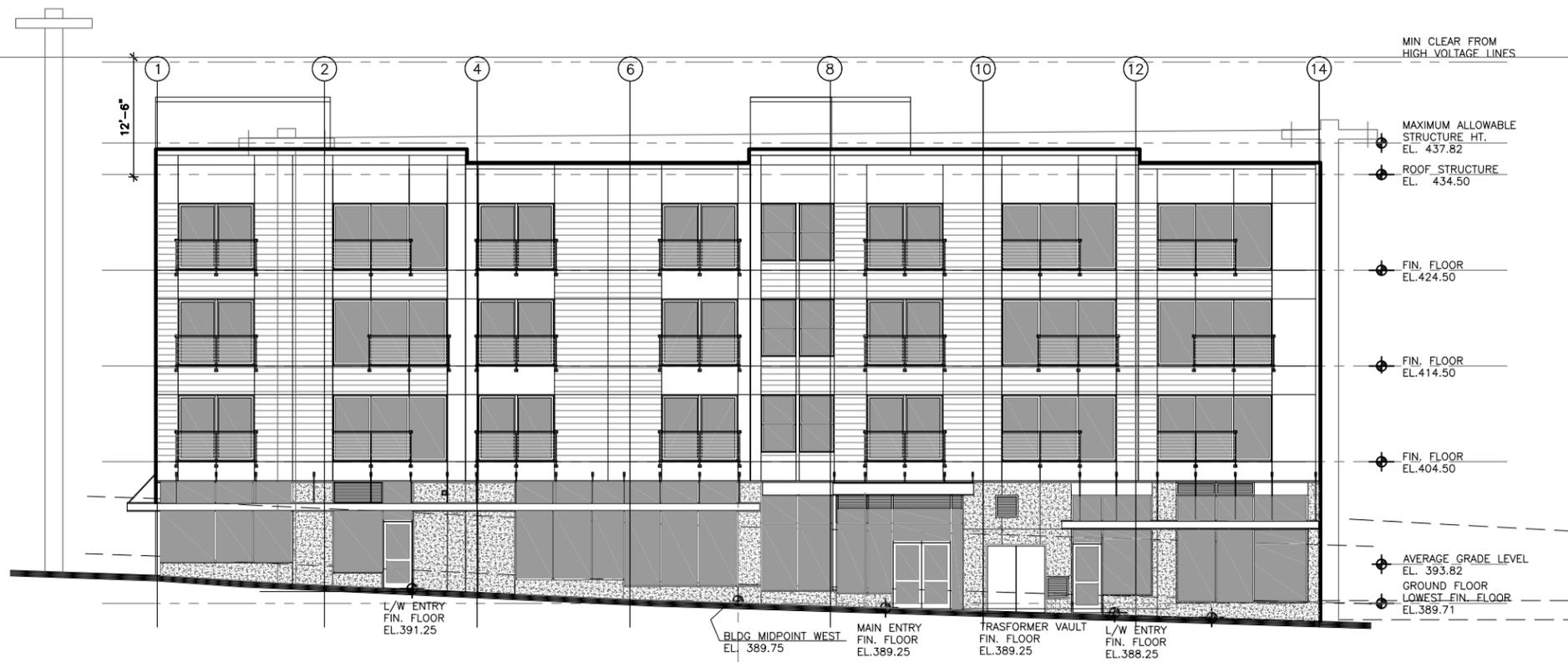


CONCEPTUAL TYPICAL RESIDENTIAL PLAN

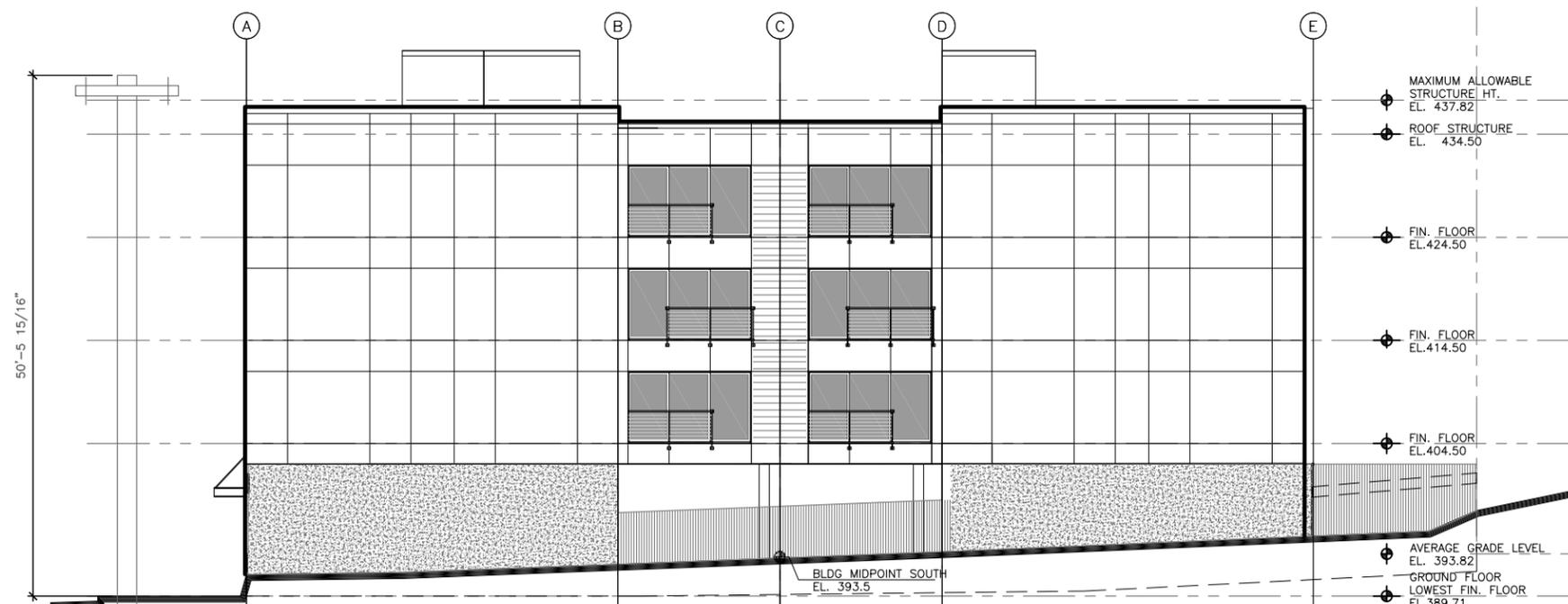


301 N. 107TH ST. : RECOMMENDATION MEETING
FLOOR PLANS

A5



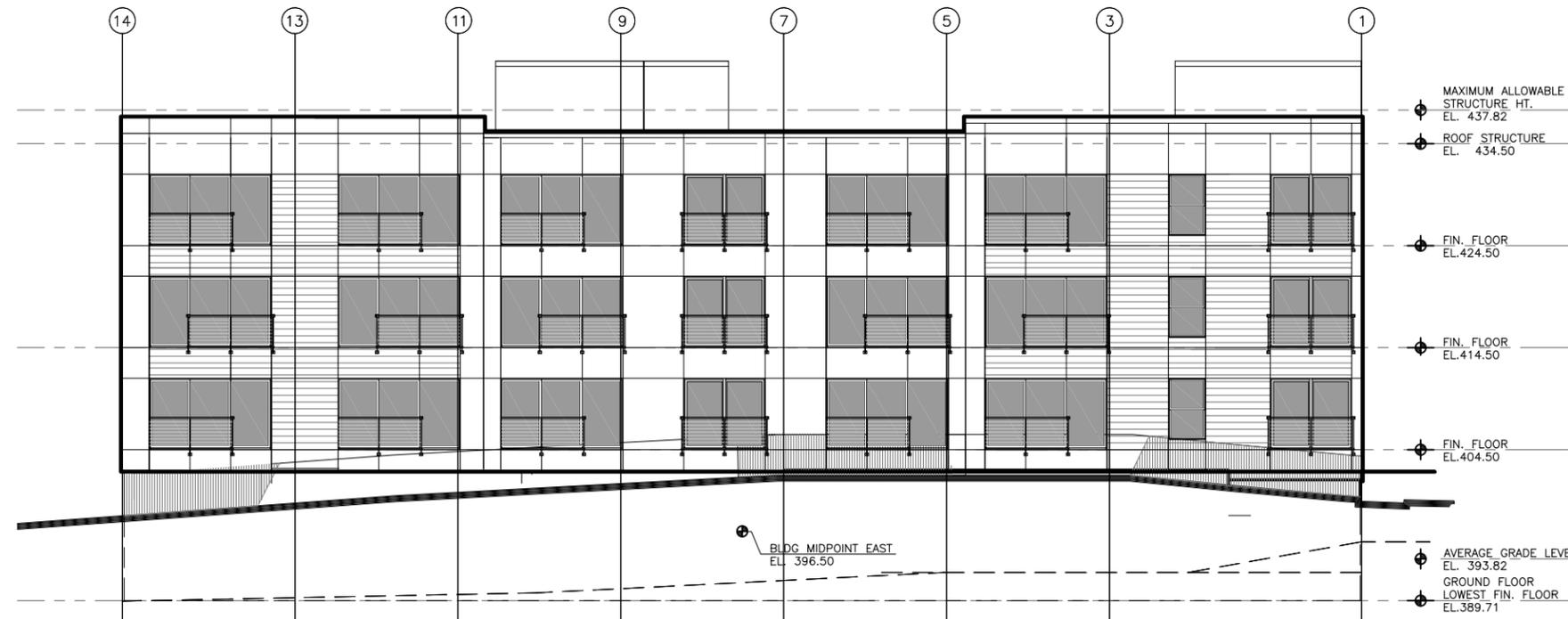
WEST ELEVATION



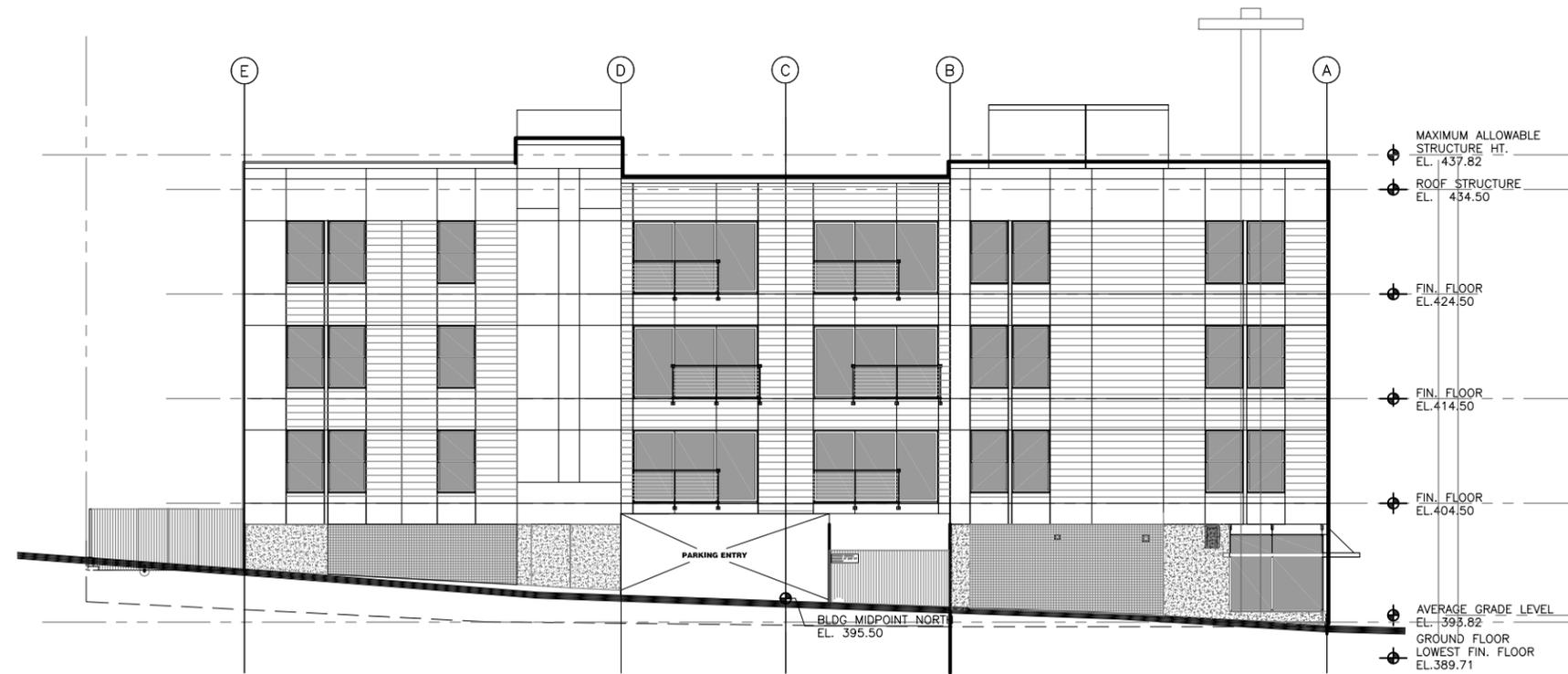
SOUTH ELEVATION

301 N. 107TH ST. : RECOMMENDATION MEETING
ELEVATIONS

A6



EAST ELEVATION



NORTH ELEVATION

301 N. 107TH ST. : RECOMMENDATION MEETING
ELEVATIONS

A7



WEST ELEVATION



NORTH ELEVATION



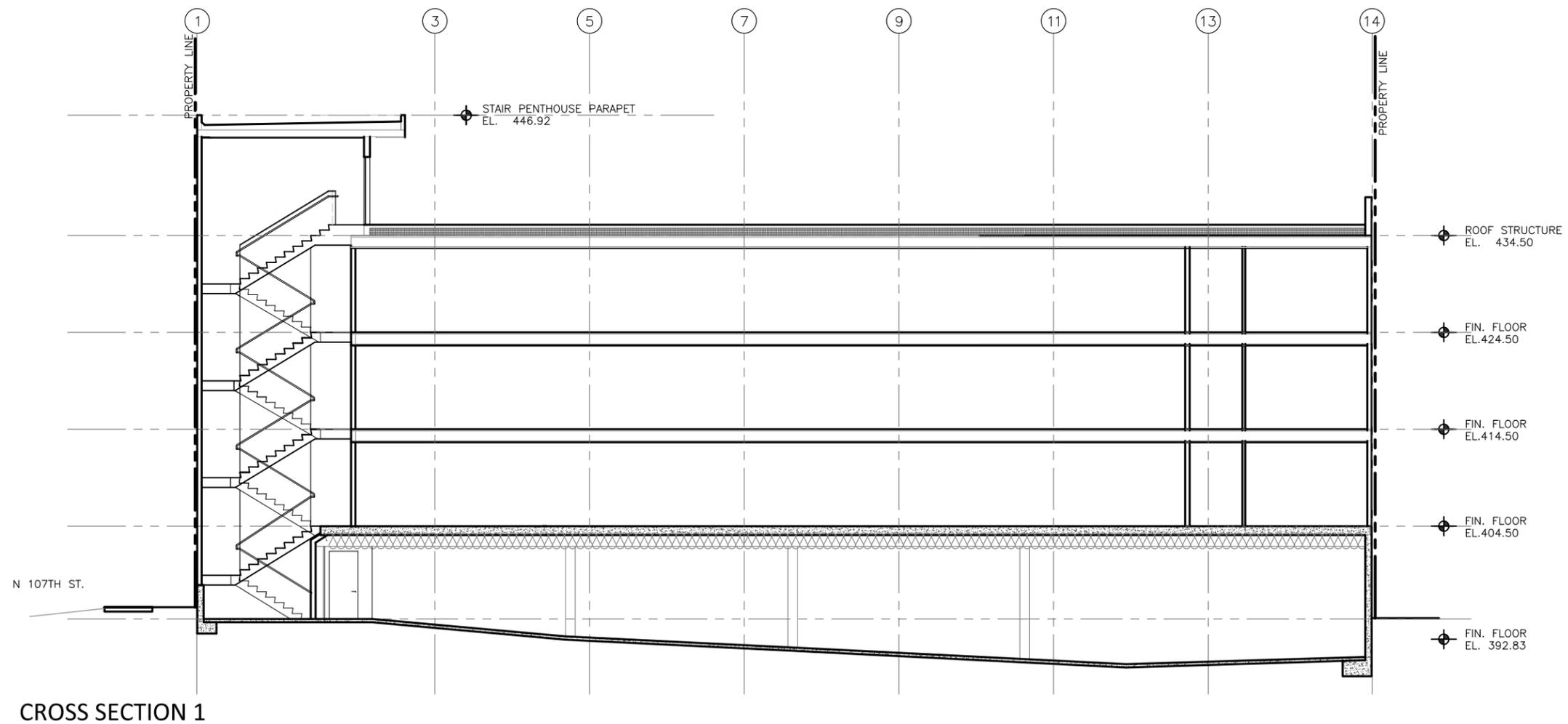
EAST ELEVATION



SOUTH ELEVATION

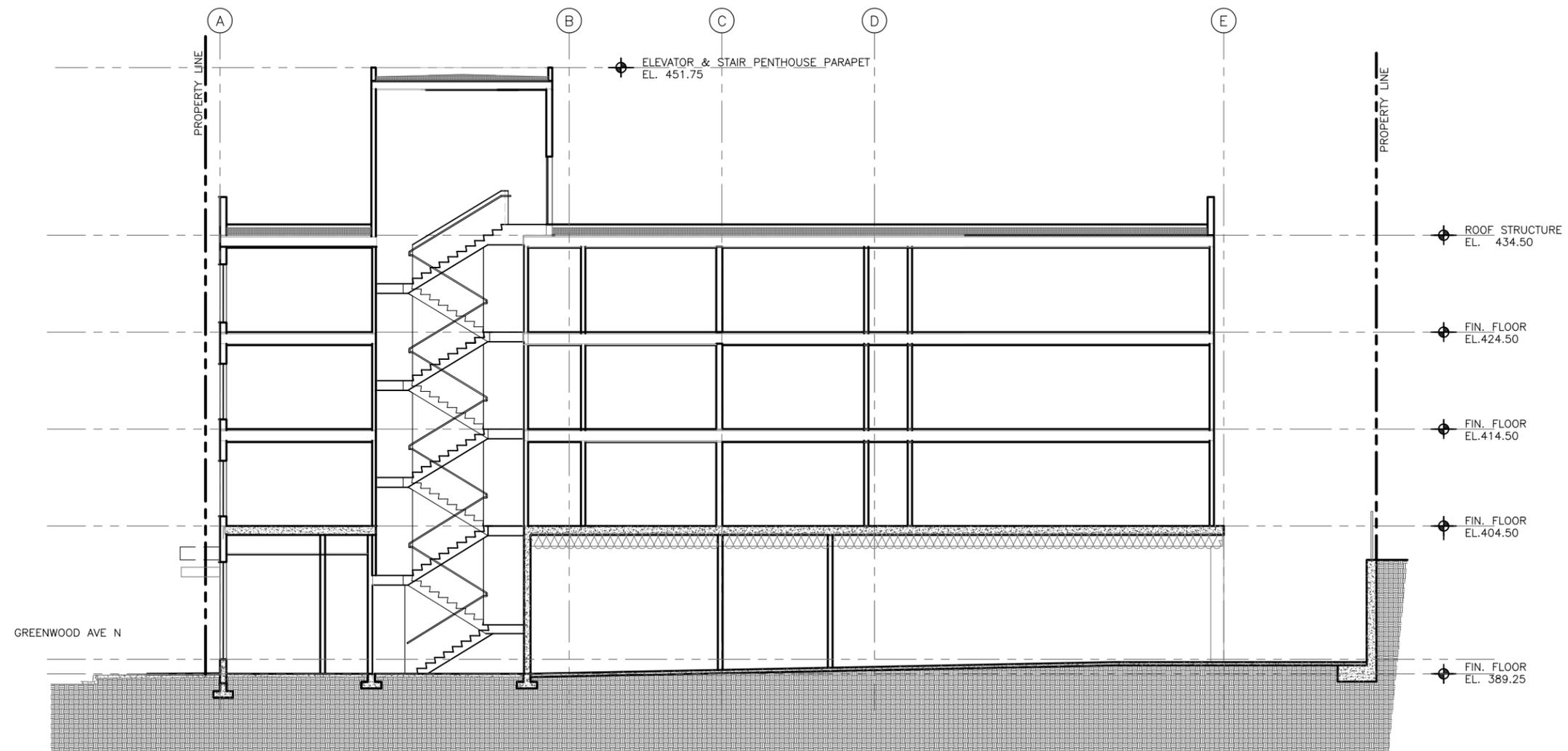
301 N. 107TH ST. : RECOMMENDATION MEETING
RENDERED ELEVATIONS

A8



301 N. 107TH ST. : RECOMMENDATION MEETING
SECTIONS

A9



CROSS SECTION 2



NW CORNER



SE CORNER



NE CORNER



SW CORNER

301 N. 107TH ST. : RECOMMENDATION MEETING
CORNER RENDERINGS

A11



GREENWOOD STREETScape



MAIN ENTRY



CORNER AT GREENWOOD AND N. 107TH

301 N. 107TH ST. : RECOMMENDATION MEETING
DESIGN IMAGES

A12



PHOTO KEY



SW CORNER AERIAL VIEW



PHOTO #1
View looking east across Greenwood Ave. N.



PHOTO #2
View south along Greenwood Ave N.

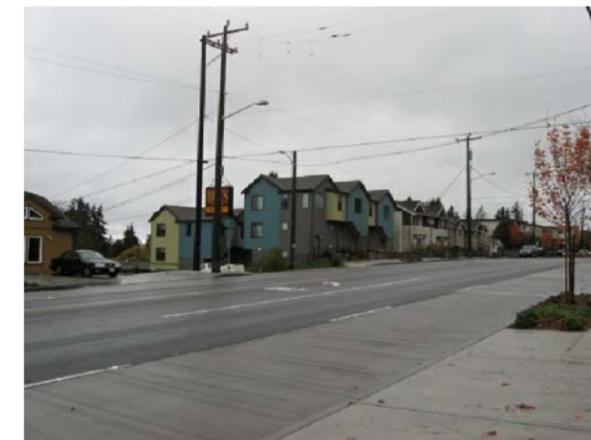


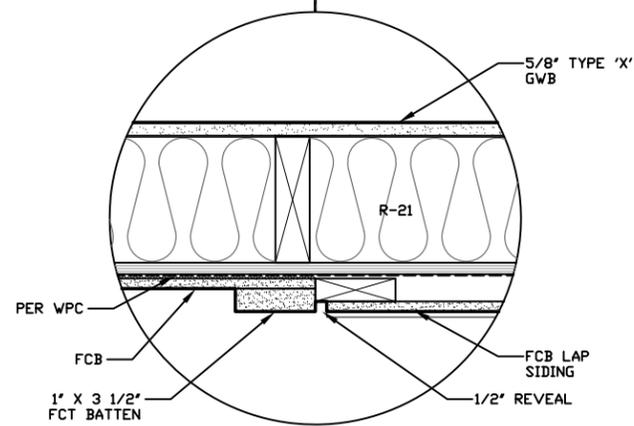
PHOTO #3
View northwest across Greenwood Ave N.



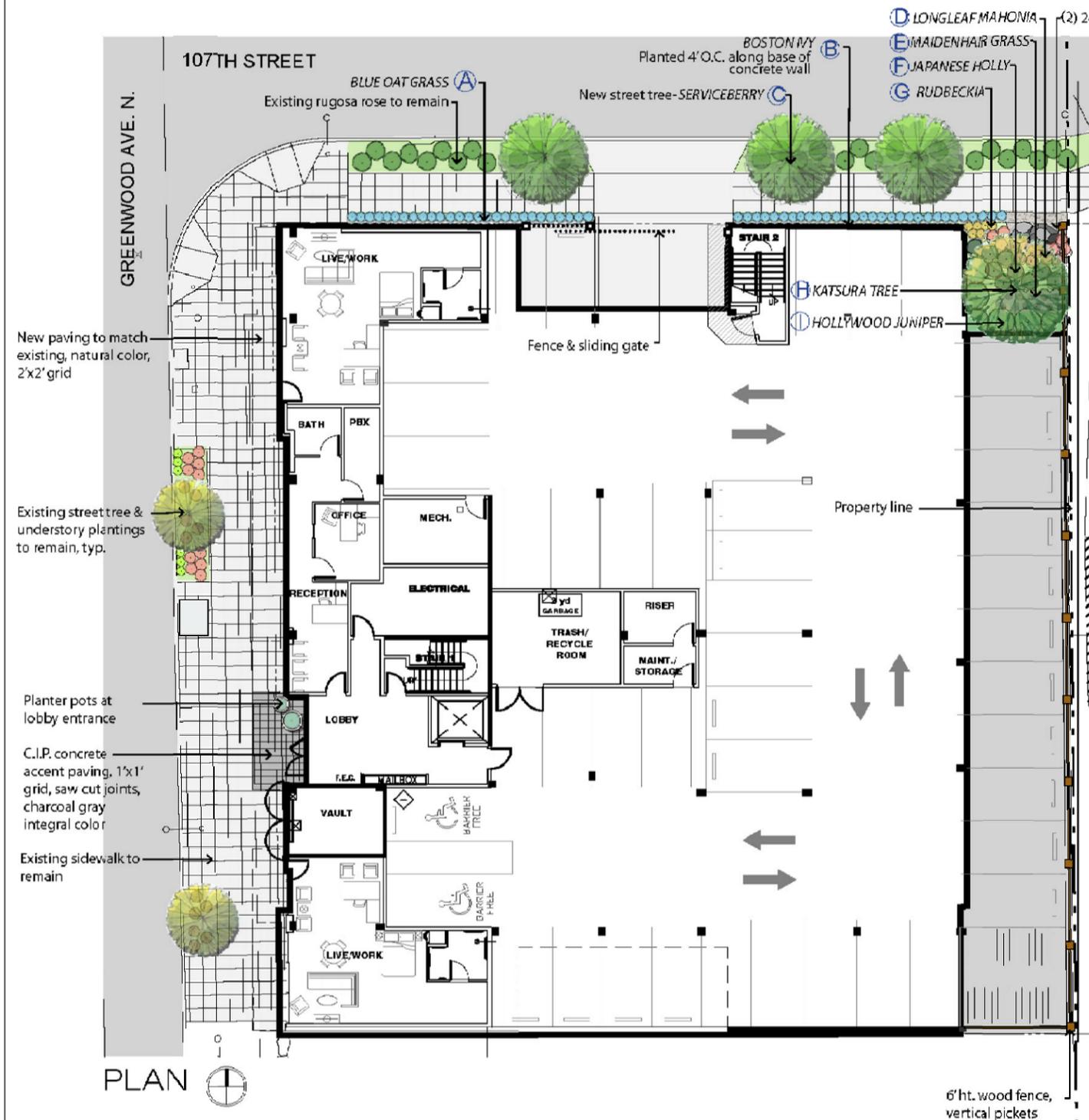
PHOTO #4
View southwest across Greenwood Ave. N.



SIDING BLOW-UP



Fiber-cement RBB to BB Transition
SCALE: 3" = 1' - 0"



(A) Provides textural and color contrast to existing rugosa rose



(B) Provides screening of concrete walls



(C) Variety per SDOT arborist. Provides shade for pedestrians.



(D) Native, drought tolerant evergreen as understory planting



(E) Provides textural contrast to medium and low evergreens



(F) Provides evergreen base to ornamental grasses



(G) Provides bright, seasonal color



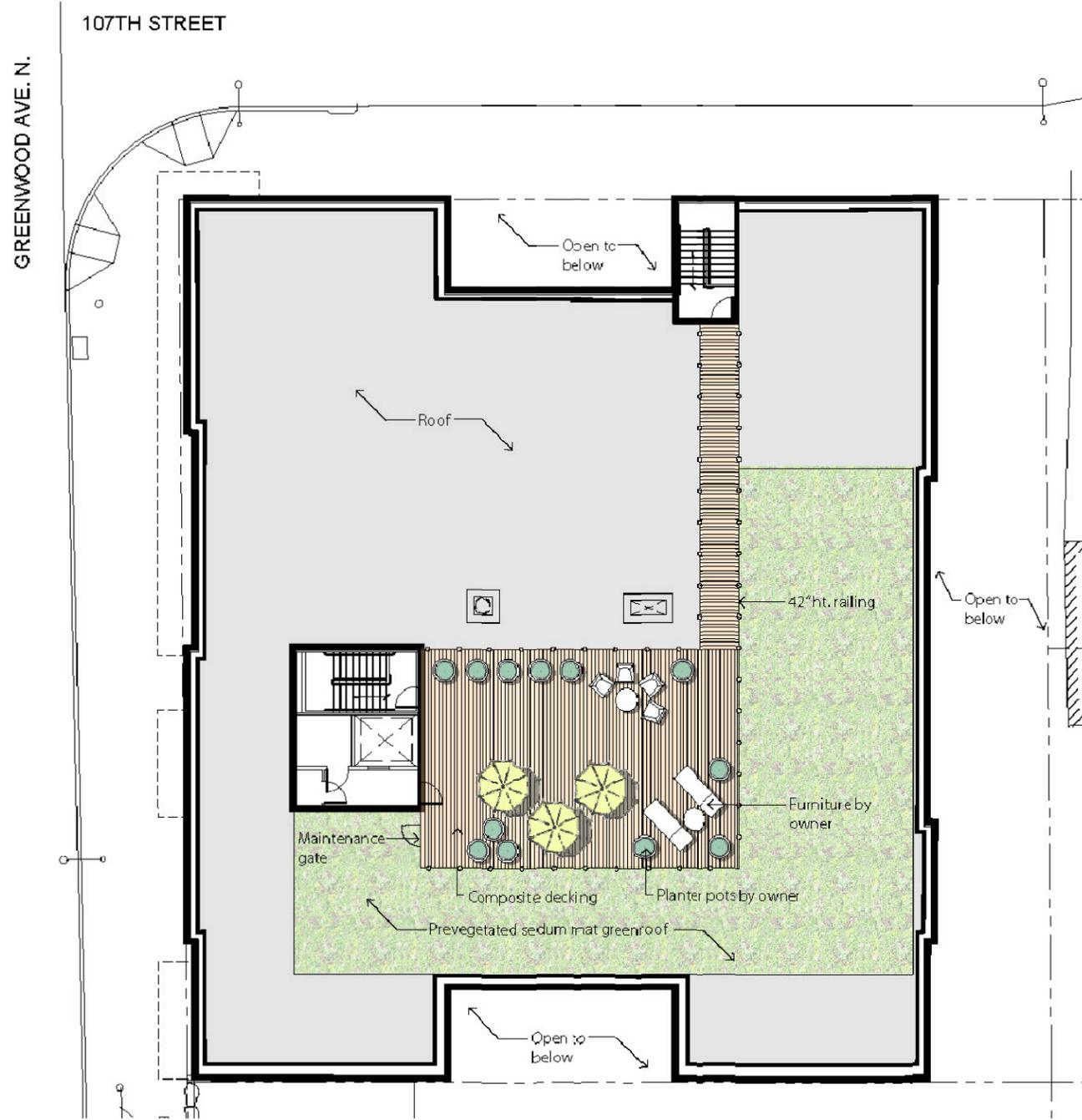
(H) Provides scale to the building massing and seasonal interest



(I) Provides screening of architectural wood fence panel

PLANT PALETTE

Landscape Plan - Street Level

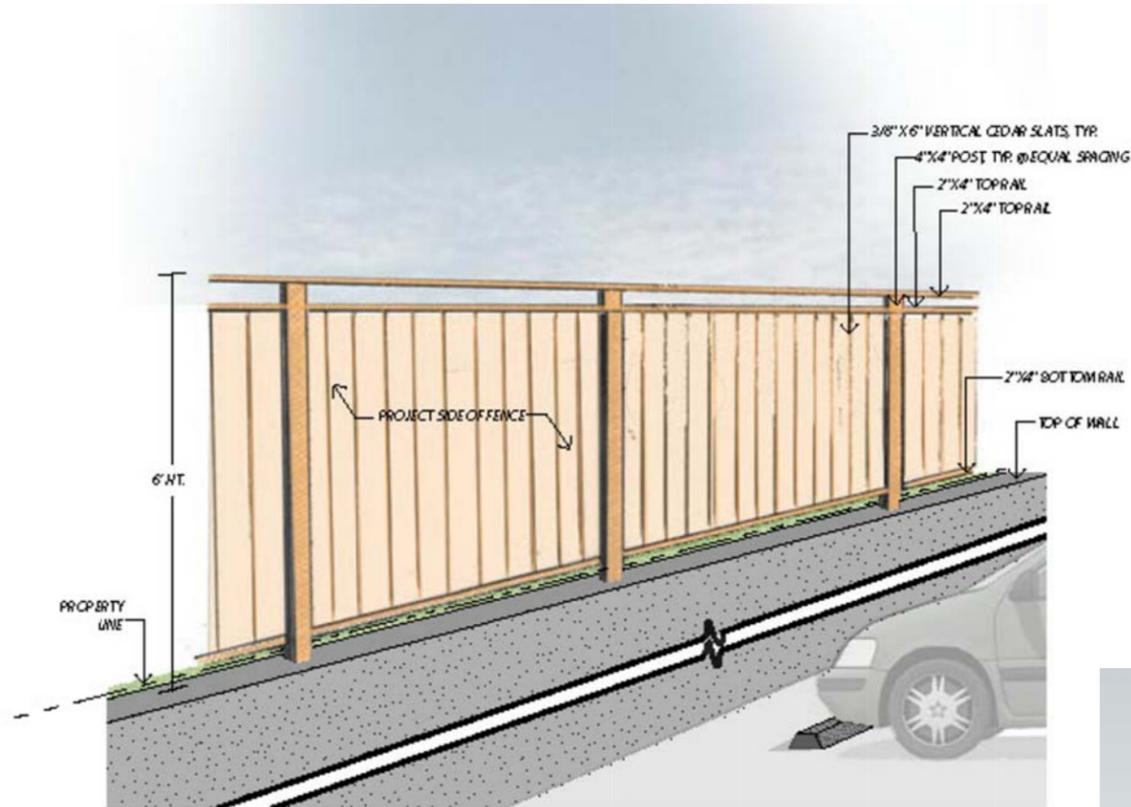


PLAN ⊕

Landscape Plan - Roof Level



CHARACTER



FENCE VIGNETTE



ROOF GARDEN VIEW