

RECOMMENDATION MEETING

3606 WOODLAND PARK AVE N

A Proposed Apartment Development
for GRE Fremont L.L.C.
July 25, 2011

studioMENG
STRAZZARA

ARCHITECTURE
PLANNING
CONSULTING

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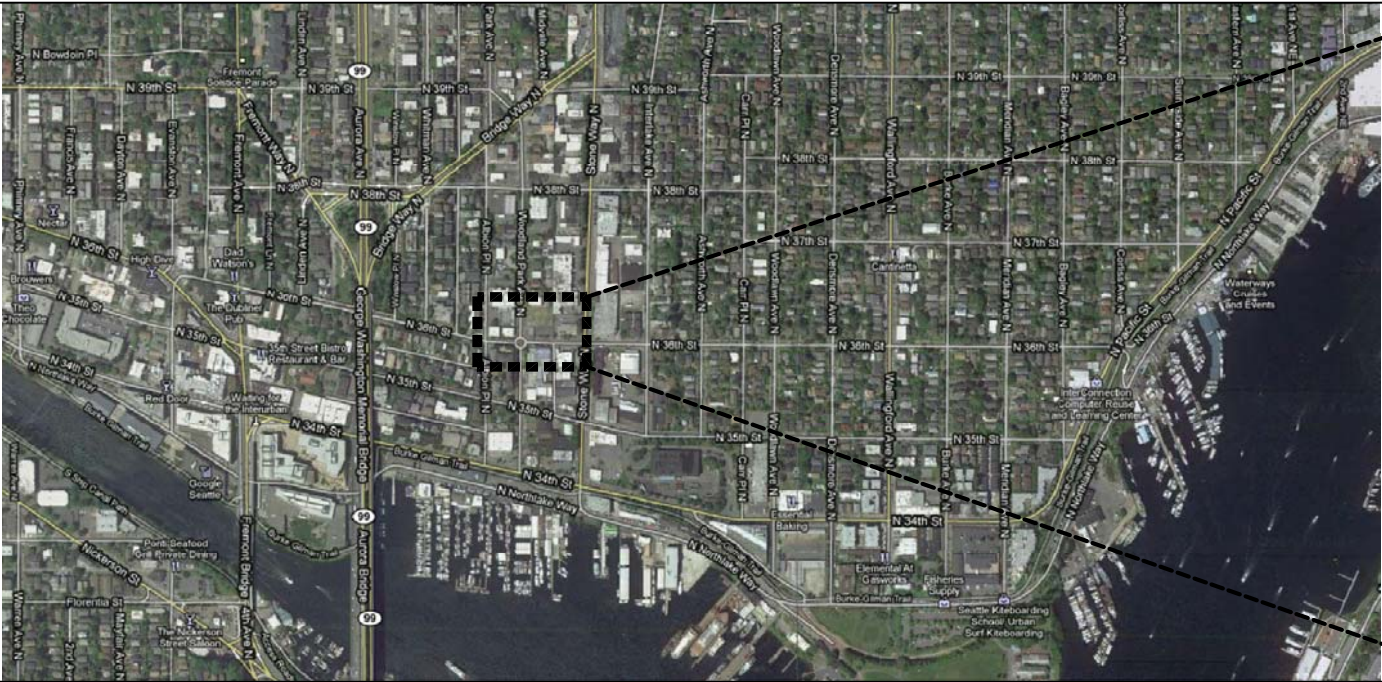
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Vicinity Map



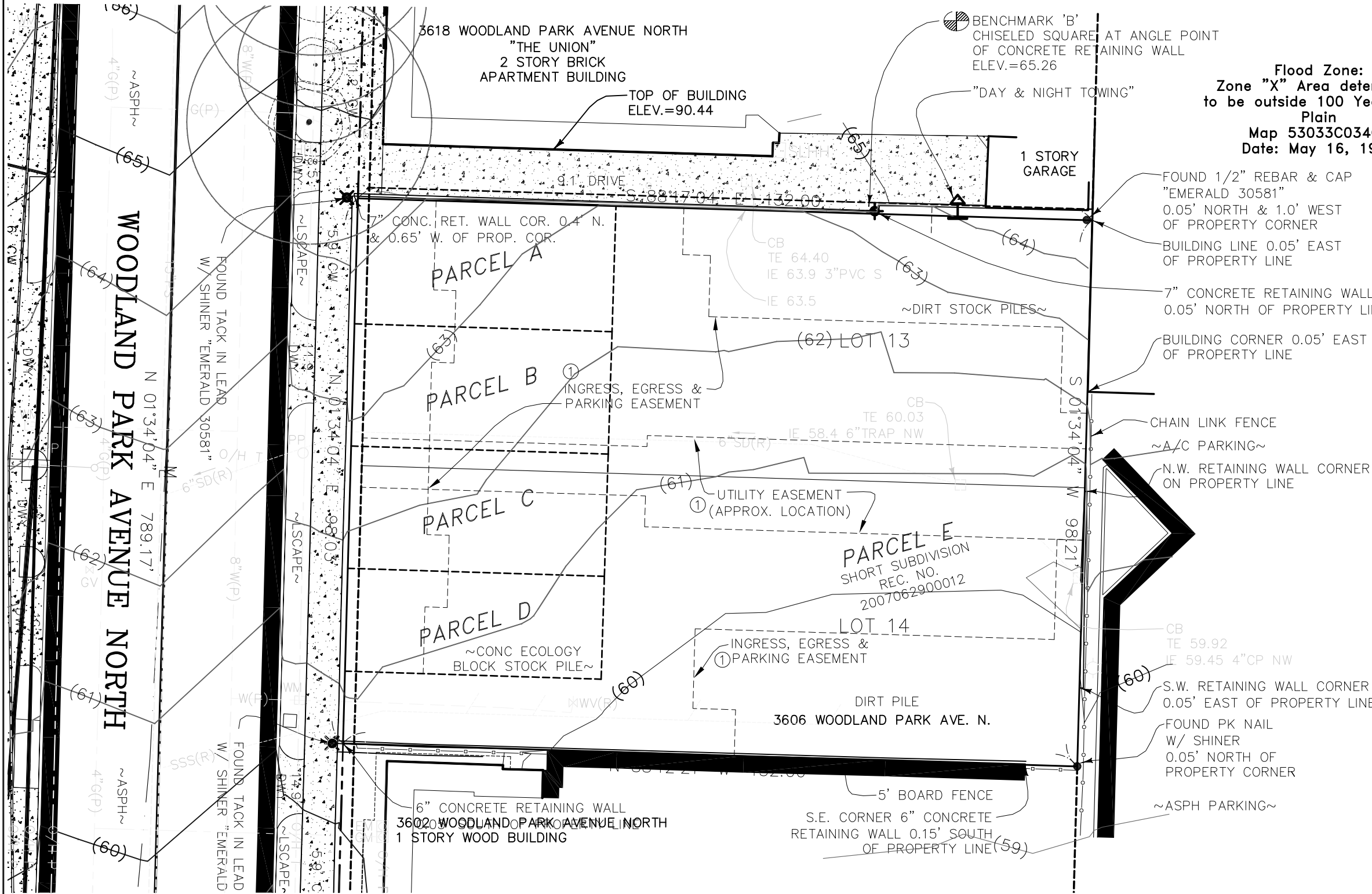
Site Map



3606 WOODLAND PARK AVE N: RECOMMENDATION MEETING

TITLE SHEET/ CONTACT INFO/ SHEET INDEX/ VICINITY MAP/ SITE MAP

A1



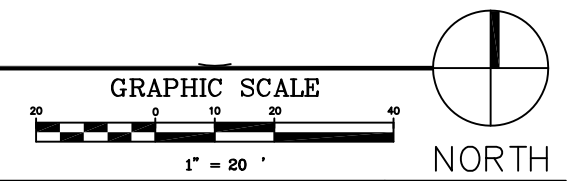
Flood Zone:
Zone "X" Area determined
to be outside 100 Year Flood
Plain
Map 53033C0340F
Date: May 16, 1995

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STRAZZARA

ARCHITECTURE
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SITE NOTES
SITE ADDRESS:
3606 WOODLAND PARK AVENUE NORTH
SEATTLE, WASHINGTON
TAX ACCOUNT NO.:
226150-0150-07
ZONING:
C1-40: COMMERCIAL 1 WITH 40 FOOT HEIGHT LIMIT.
ZONING AGENCY:
CITY OF SEATTLE
DEPARTMENT OF PLANNING AND DEVELOPMENT
700 5TH AVENUE, SUITE 2000
SEATTLE, WA 98104
(206) 684-8600
SETBACKS:
CURRENT SETBACK REQUIREMENTS SUBJECT TO SITE PLAN REVIEW. CURRENT
MAY DIFFER FROM THOSE IN EFFECT DURING DESIGN/CONSTRUCTION OF EXISTING
IMPROVEMENTS.
FLOOD ZONE:
THIS SITE APPEARS ON NATIONAL FLOOD INSURANCE RATE MAP, DATED MAY 1
COMMUNITY PANEL NO. 53033C0340, AND IS SITUATED IN ZONE "X", AREA DE
TO BE OUTSIDE THE 500 YEAR FLOODPLAIN.
HORIZONTAL DATUM:
NAD 83/91
VERTICAL DATUM:
NAVD 88.
ORIGINATING BENCHMARK:
POINT NAME "2609CC_54A" BRASS CAP STAMPED "C OF S 7573" LOCATED 9.
OF INTERSECTION OF BACK CONCRETE WALK AT N.W. CORNER NORTH 38TH ST
STONE AVENUE NORTH. ELEVATION = 84.627'
AREA:
SITE AS SHOWN CONTAINS 12,952 SQUARE FEET OR 0.2973 ACRES, MORE OR
PARKING SPACE COUNT:
PARKING SPACES TOTAL 0 INCLUDING 0 HANDICAP ACCESSIBLE SPACES. (NO S
PARKING STALLS)
SUBSTRUCTURES:
BURIED UTILITIES ARE SHOWN AS INDICATED ON RECORDS MAPS FURNISHED BY
AND VERIFIED WHERE POSSIBLE BY FEATURES LOCATED IN THE FIELD. WE ASS
LIABILITY FOR THE ACCURACY OF THOSE RECORDS. FOR THE FINAL LOCATION
EXISTING UTILITIES IN AREAS CRITICAL TO DESIGN CONTACT THE UTILITY OWNER
TELECOMMUNICATIONS/FIBER OPTIC DISCLAIMER:
RECORDS OF UNDERGROUND TELECOMMUNICATIONS AND/OR FIBER OPTIC LINES
ALWAYS AVAILABLE TO THE PUBLIC. BRH HAS NOT CONTACTED EACH OF THE
COMPANIES, IN THE COURSE OF THIS SURVEY, WHICH COULD HAVE UNDERGROU
WITHIN ADJACENT RIGHTS-OF-WAY. THEREFORE, BRH DOES NOT ACCEPT
RESPONSIBILITY FOR THE EXISTENCE OF UNDERGROUND TELECOMMUNICATIONS/F
OPTIC LINES WHICH ARE NOT MADE PUBLIC RECORD WITH THE LOCAL JURISDIC
ALWAYS, CALL 1-800-424-5555 BEFORE CONSTRUCTION.
UTILITY PROVIDERS:
SANITARY SEWER AND STORM DRAINAGE:
SEATTLE PUBLIC UTILITIES
PROJECT MANAGEMENT AND ENGINEERING
700 5TH AVENUE

1 SURVEY PLAN
SCALE: 1"=20'-0"

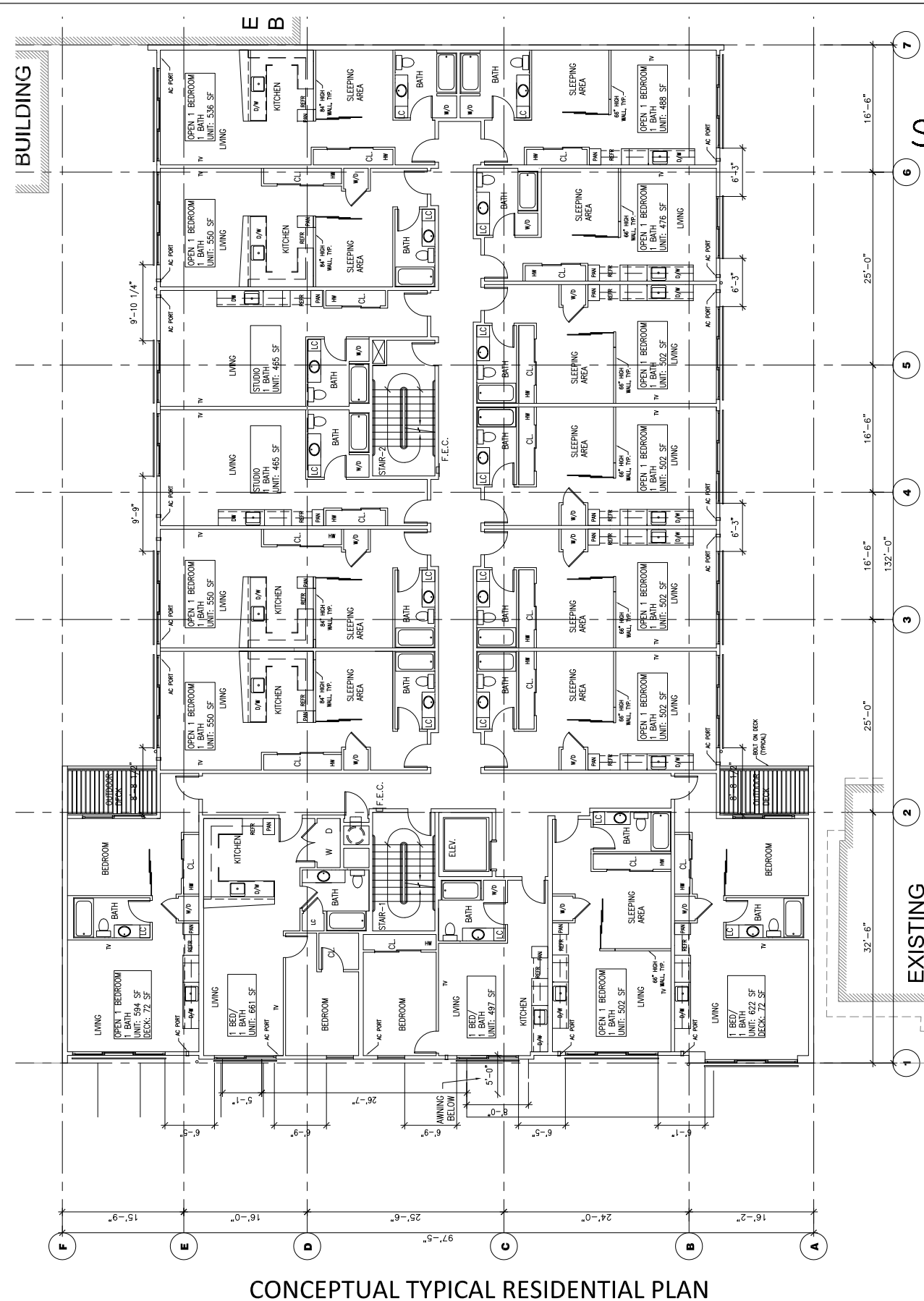
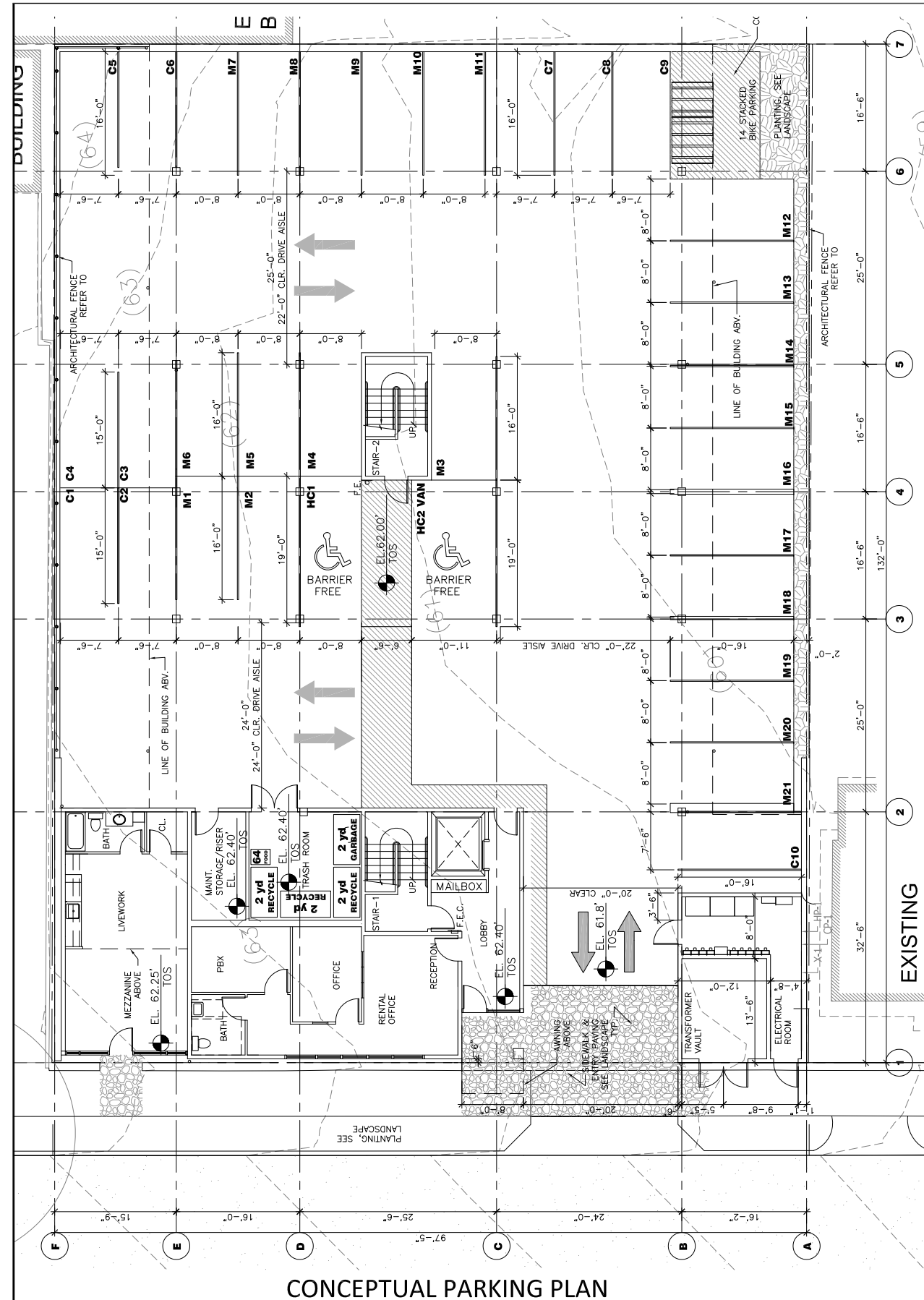


3606 WOODLAND PARK AVE N: RECOMMENDATION MEETING
SITE SURVEY PLAN

A3



A4



studio **MENG**
STRAZZARA

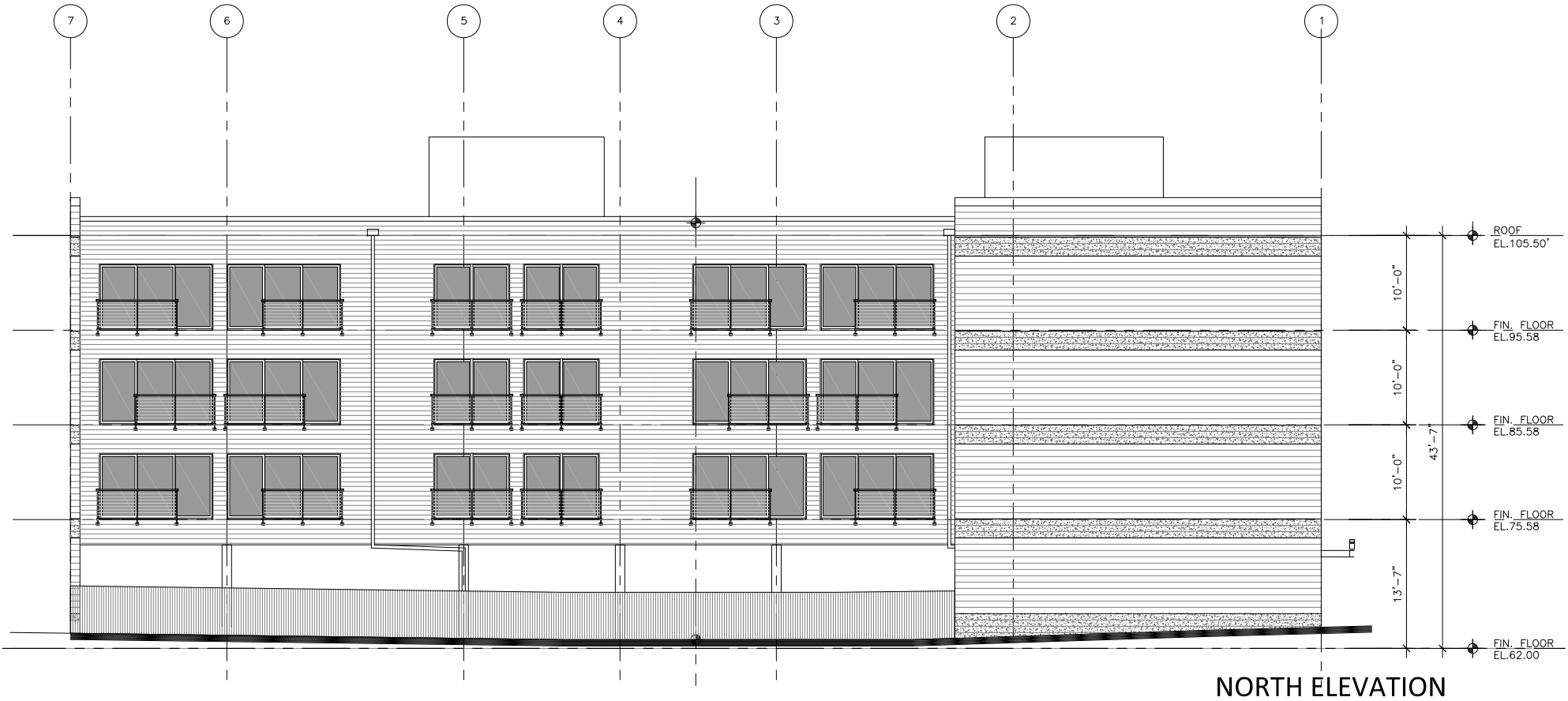
ARCHITECTURE
PLANNING
CONSULTING



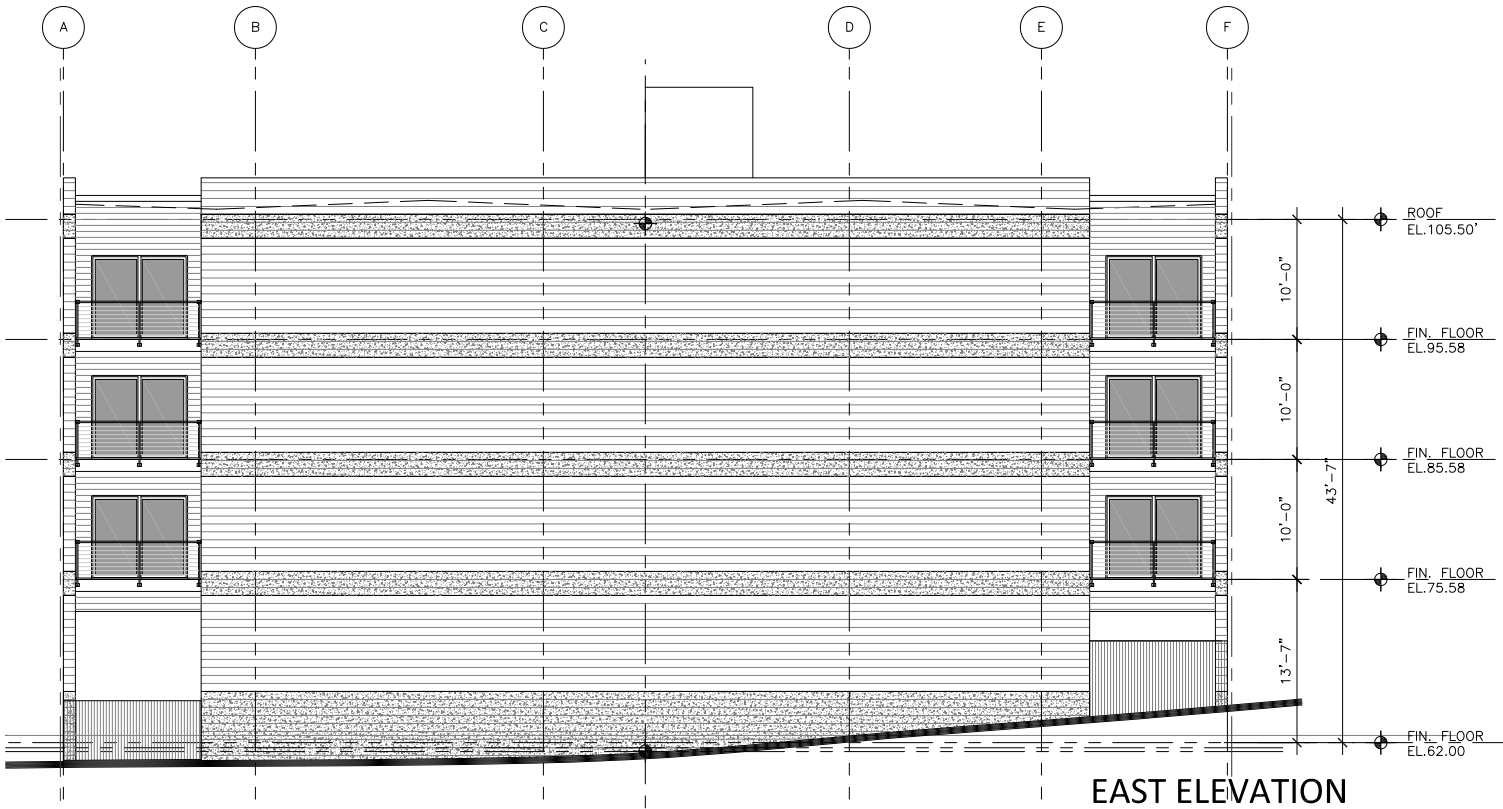
3606 WOODLAND PARK AVE N: RECOMMENDATION MEETING

FLOOR PLANS

A5



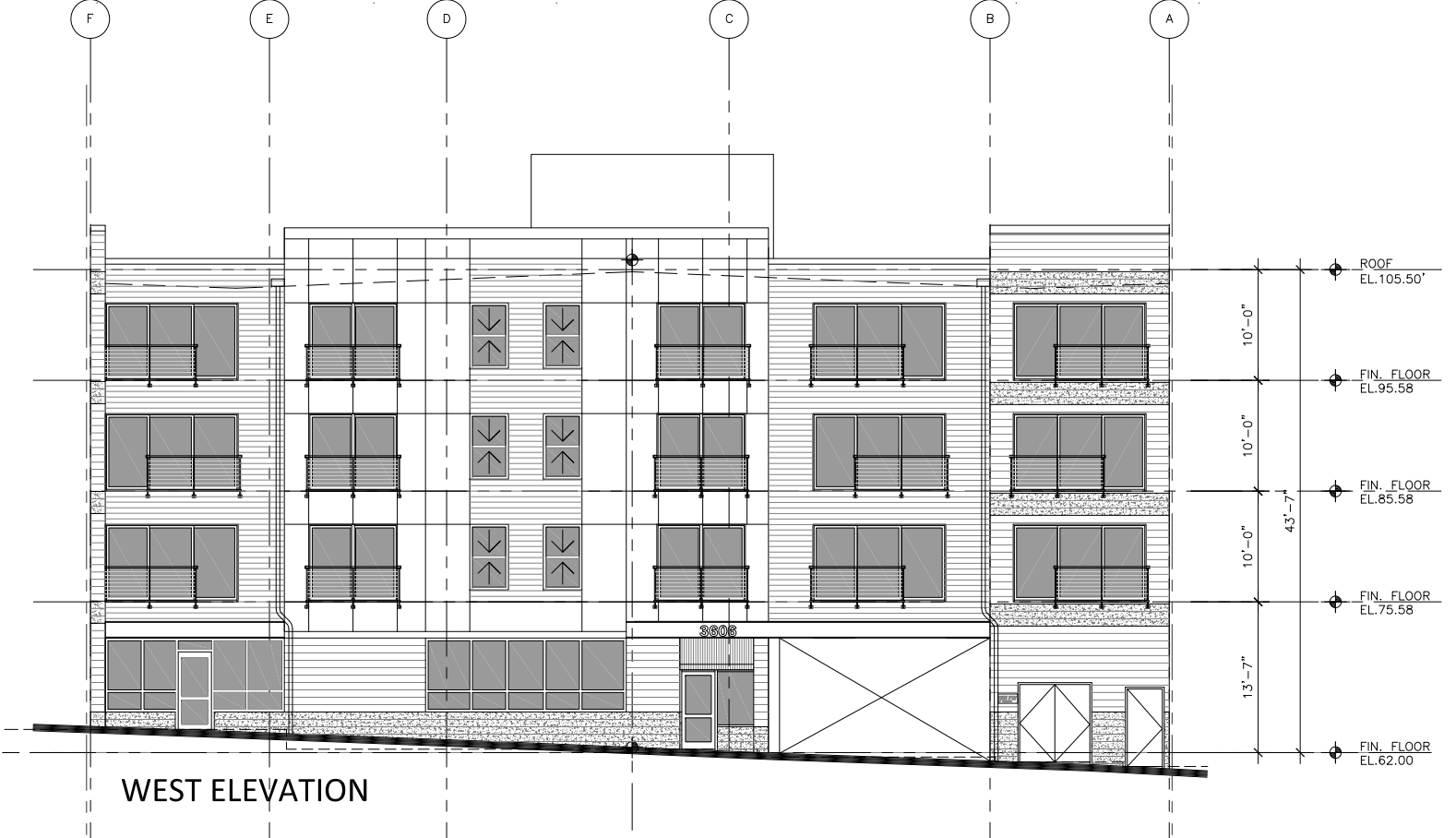
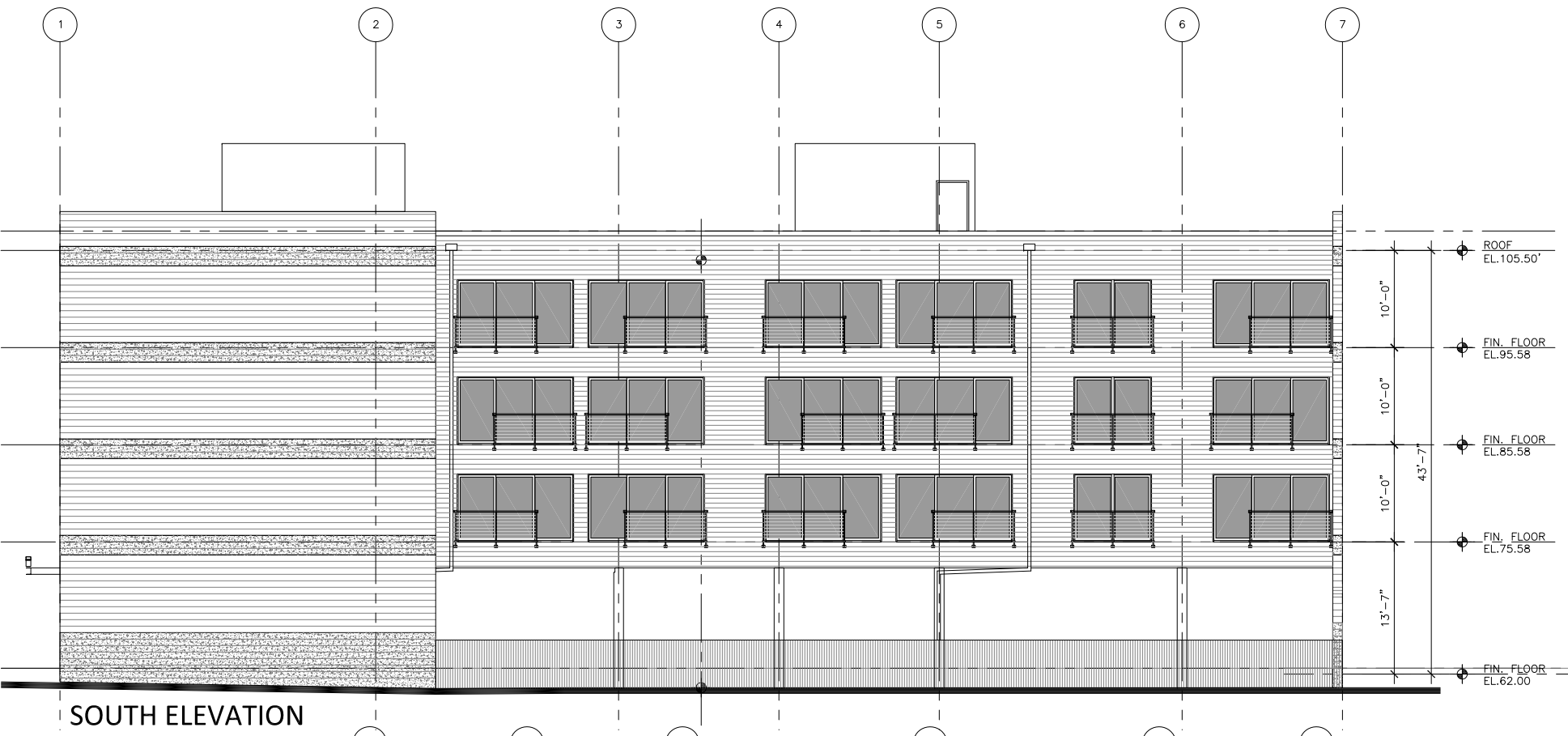
NORTH ELEVATION



EAST ELEVATION

3606 WOODLAND PARK AVE N: RECOMMENDATION MEETING ELEVATIONS

A6



3606 WOODLAND PARK AVE N: RECOMMENDATION MEETING
ELEVATIONS

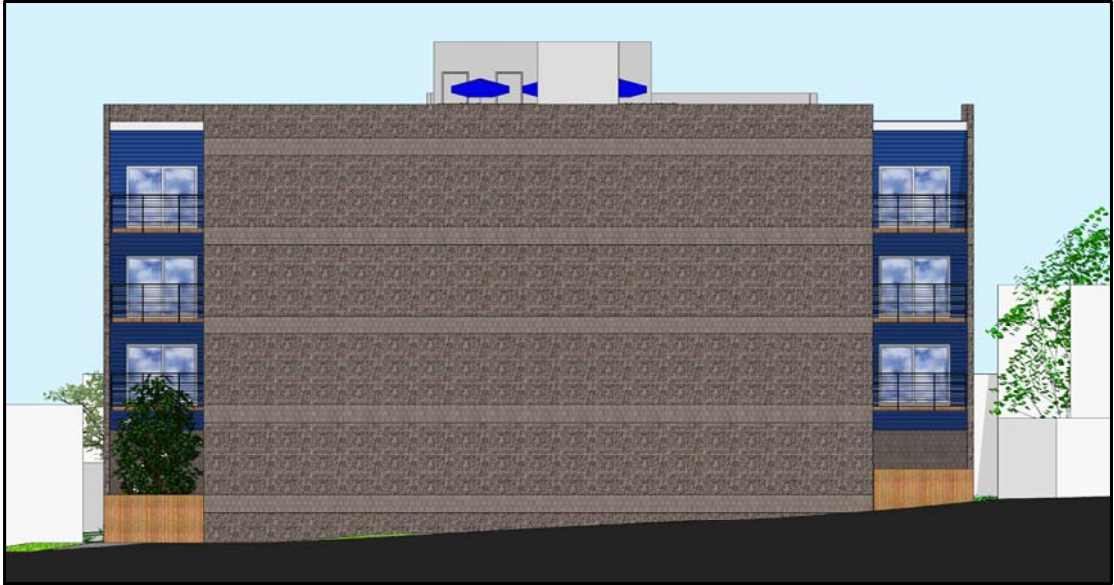
A7



WEST ELEVATION



NORTH ELEVATION



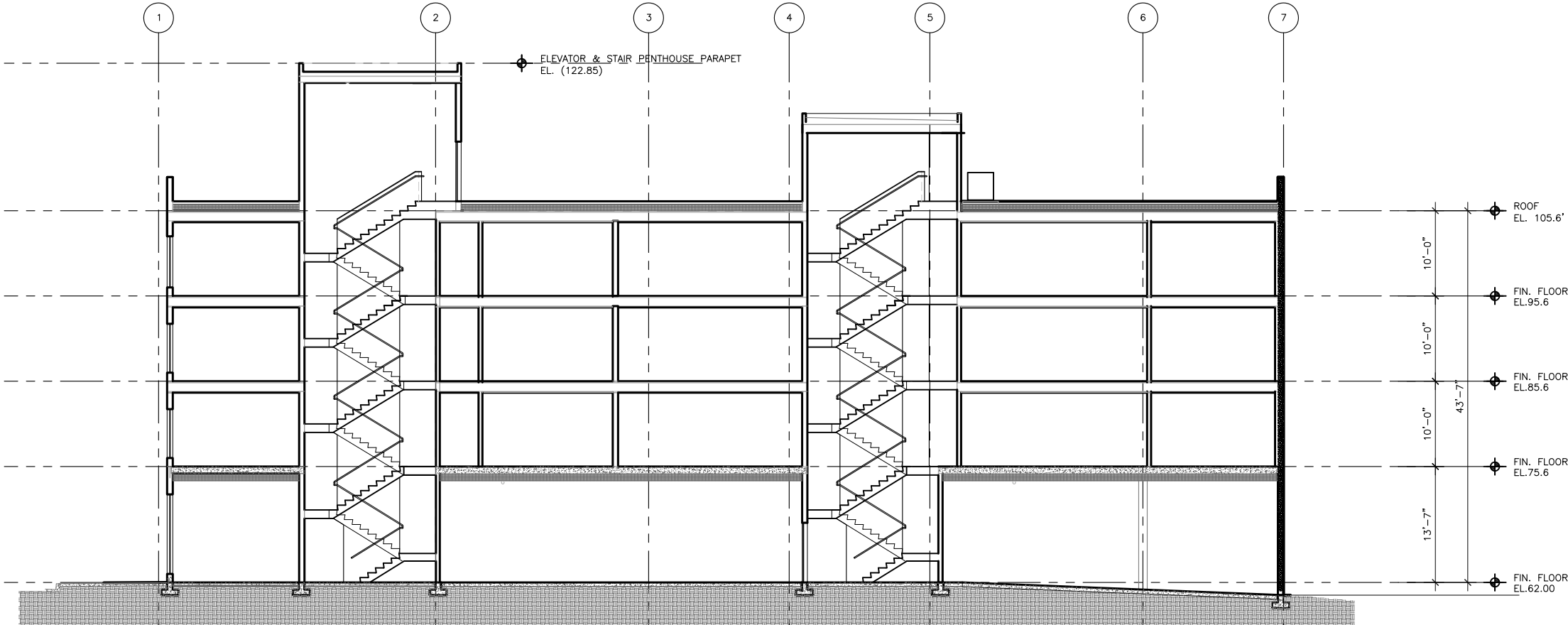
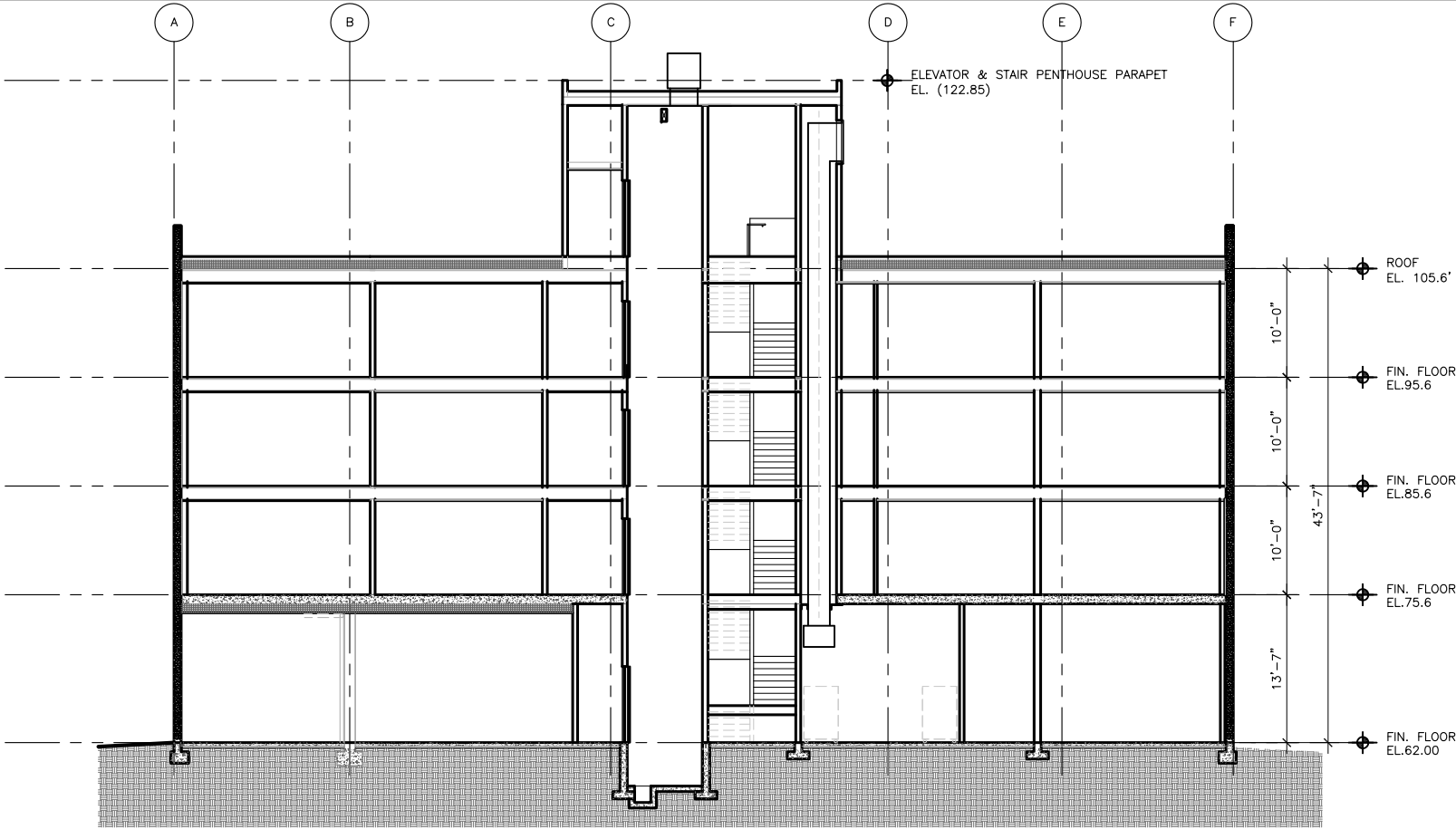
EAST ELEVATION



SOUTH ELEVATION

3606 WOODLAND PARK AVE N: RECOMMENDATION MEETING
RENDERED ELEVATIONS

A8



3606 WOODLAND PARK AVE N: RECOMMENDATION MEETING
SECTIONS

A9



SW CORNER



NW CORNER



NE CORNER



SE CORNER

3606 WOODLAND PARK AVE N: RECOMMENDATION MEETING

CORNER RENDERINGS

A10



LIVE/WORK STOREFRONT



MAIN ENTRY STREETSCAPE



VIEW FROM BALCONY

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STRAZZARA

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3606 WOODLAND PARK AVE N: RECOMMENDATION MEETING

DESIGN IMAGES

A11

PRIORITIES & BOARD RECOMMENDATIONS FROM INITIAL RECOMMENDATION MEETING

A. SITE PLANNING

1. Responding to Site Characteristics

At the Initial Recommendation Meeting, the Board didn’t express concern with the proposed massing of the design, but did express concern with the blank walls that appear to come with placing the development at the property lines. More direction about this issue is found in response to Guideline D-2.
2. Streetscape Compatibility

At the Initial Recommendation Meeting, the Board didn’t comment on the design of the single live-work unit, but noted that additional information is needed to demonstrate how the streetscape landscaping will relate to the overall design. More direction about this issue is found in response to Guideline E-3.
3. Entrances Visible from the Street

At the Initial Recommendation Meeting, the Board didn’t comment on the residential entry design, but asked for additional information to demonstrate how the streetscape landscaping will relate to the overall design. More direction about this issue is found in response to Guideline E-3.
4. Human Activity

At the Initial Recommendation Meeting, the Board was concerned about the proposed parking lot design and the lack of information about landscaping and screening and security for that design. More direction about this issue is found in response to Guidelines D-2, D-5 and D-7.

B. HEIGHT, BULK & SCALE

1. Height, Bulk, and Scale Compatibility

At the Initial Recommendation Meeting, the Board noted that at EDG, they had directed the applicant to develop the proposed design concept with additional modulation in response to nearby context. The current design’s CMU and modulation are proposed as solutions to that direction. The resulting design, however, is substantially different from the design concept presented to and supported by the Board at EDG.
- The presentation and packet were lacking sufficient information for the Board to make a determination about whether the proposed design responds to guidance from EDG. The Board recommended that the applicant return for a second Recommendation meeting with more detail about the proposed design, including modulation dimensions and how the modulation relates to nearby context.

C. ARCHITECTURAL ELEMENTS & MATERIALS

1. Architectural Context

At the Initial Recommendation Meeting, the Board noted that this was previously described as a “pod of projects” in the area. The applicant intends to use this design concept in at least two other sites. The Board noted that it will be a challenge to fit the concept with the context of the site and area for each location.

The Board noted that at EDG, they had requested that the applicant incorporate the context of the brick building next door to respond to the context of this site. The CMU and modulation is proposed as a solution to that context.

The presentation and packet were lacking sufficient information for the Board to make a determination about whether the proposed design responds to guidance from EDG. The Board recommended that the applicant return for a second Recommendation meeting with more detail about the proposed design, including modulation dimensions and how the modulation relates to nearby context.

The applicant should demonstrate how the proposed design concept relates to nearby context, and also how the proposal is based on a unified design concept. One way to achieve this would be to further develop the original “apple” design concept that was supported by the Board at EDG.

D. PEDESTRIAN ENVIRONMENT

2. Blank Walls

At the Initial Recommendation Meeting, the Board was concerned with the lack of information in response to this high priority item from EDG. The applicant should return with additional information at the next Recommendation meeting, demonstrating proposed details to create visual interest and detailed information about the proposed fence and landscape screening.

The Board noted that the four story blank wall at the east façade is a particular concern, and banded CMU materials may not be sufficient to meet this guideline. Mitigation of this four story blank wall is important because it is highly visible to pedestrians at Stone Way North, across the open bank parking lot. Detailed information about the proposed materials (coursing, finishes, etc.) is needed to determine whether the proposal meets this guideline. The applicant should consider the use of additional treatments, such as a planted area with vines.

The Board was unable to comment on the potential blank wall issues at the north and south facades because of the lack of information. The applicant should provide detailed and overall information to demonstrate the proposed design of these facades, including fences, landscaping, materials, and modulation.
7. Personal Safety and Security

At the Initial Recommendation Meeting, the Board noted that the proposed parking lot design seems to raise safety and security concerns, given the partially open design that could allow access over 5’ fences, but without the safety of “eyes on the street” in the parking area.

The Board didn’t have enough information about the proposed screening and accessibility of the parking to make a recommendation about this item. The applicant should return with information that demonstrates how the proposed design meets this guideline.
9. Commercial Signage:

At the Initial Recommendation Meeting, the Board didn’t comment about this item, but requested that the applicant return with more information about the proposed façade design, especially materials and modulation as described in response to Guideline C-1.
12. Residential Entries and Transitions:

At the Initial Recommendation Meeting, the Board didn’t comment on this item, but noted that more information about the façade design is needed.

E. LANDSCAPING

3. Landscape Design to Address Special Site Conditions

At the Initial Recommendation Meeting, the Board reiterated the guidance from EDG, and noted that the proposed landscape plan should demonstrate the details of the proposed planters at the west building façade, and any proposed landscape screening at the north/south facades. The Board recommended additional landscape screening at the north and east facades, and above the parking area.



blue accent

horizontal lap siding

parking below structure

4-story apartments

strong masonry facade

NEIGHBORHOOD CONTEXT



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abundance of blue in neighborhood



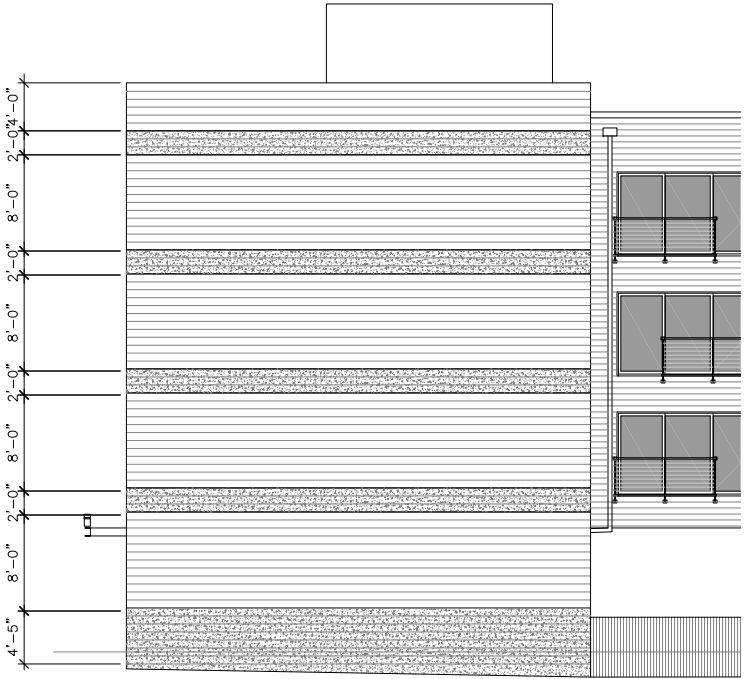
red accent awnings



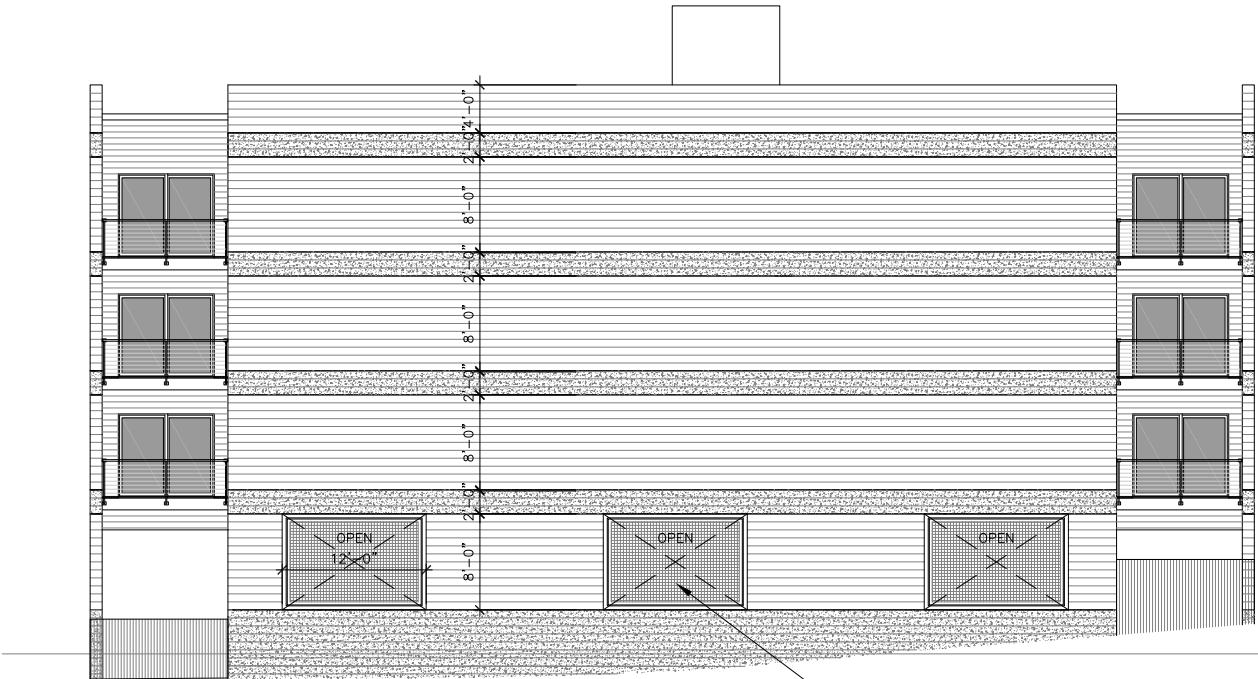
red accents

3606 WOODLAND PARK AVE N: RECOMMENDATION MEETING
CONTEXT/ DESIGN CONCEPT "C1"

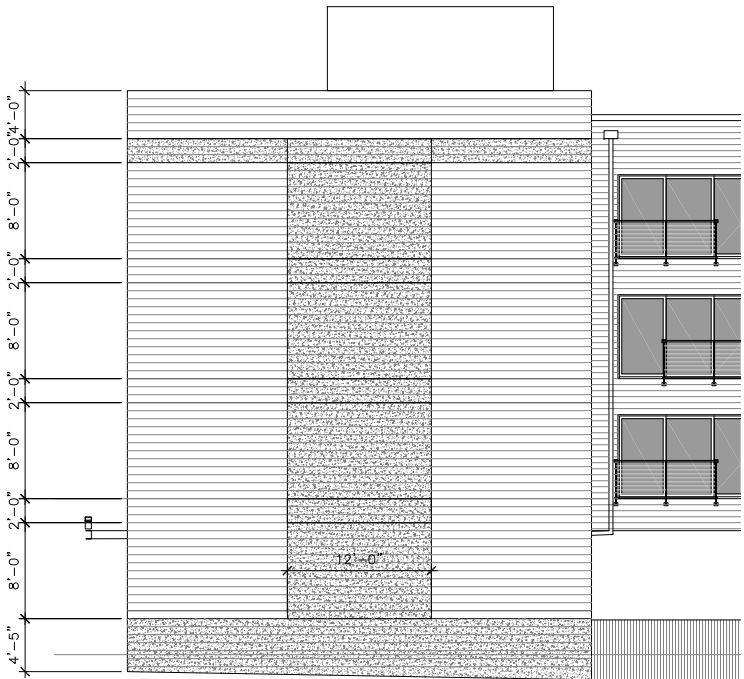
A13



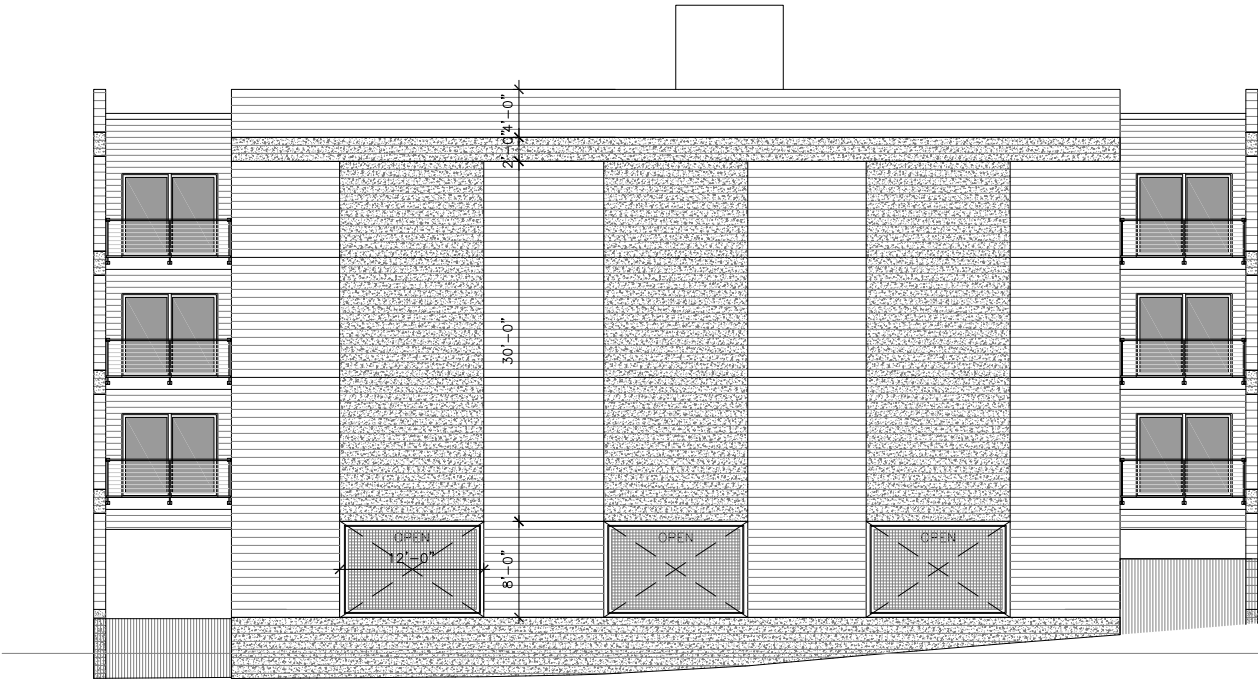
OPTION A - TYPICAL SIDE WALL



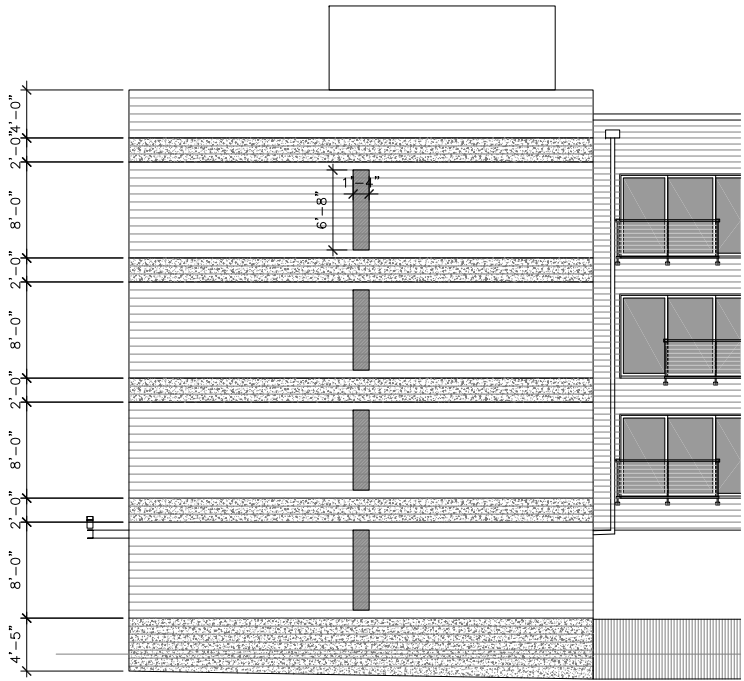
OPTION A - EAST WALL



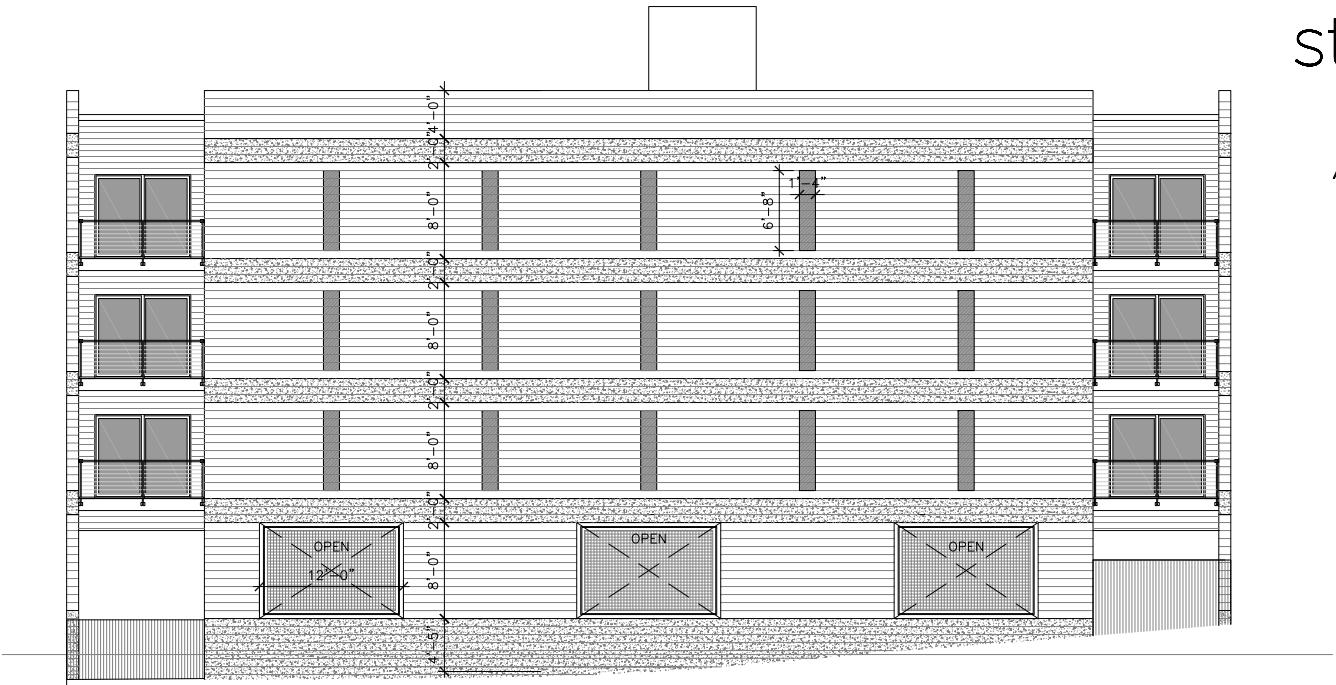
OPTION B - TYPICAL SIDE WALL



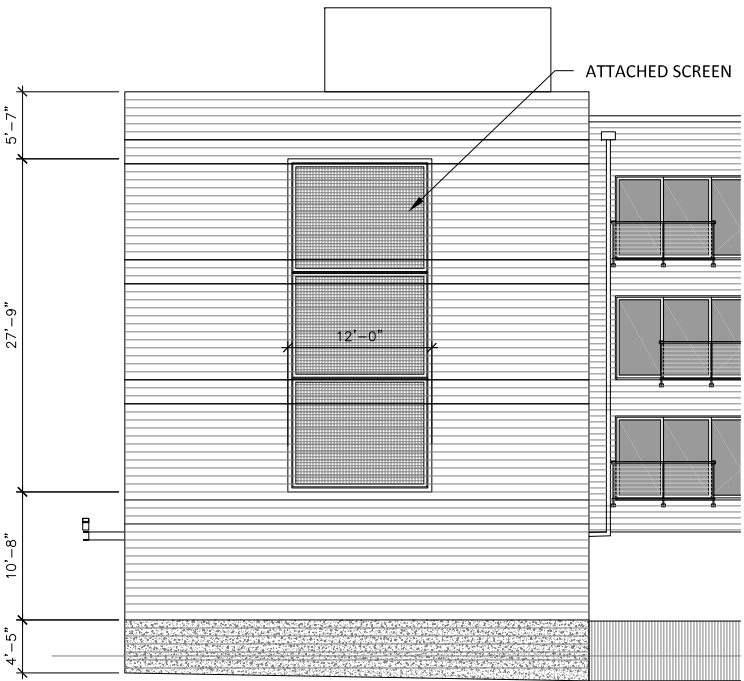
OPTION B - EAST WALL



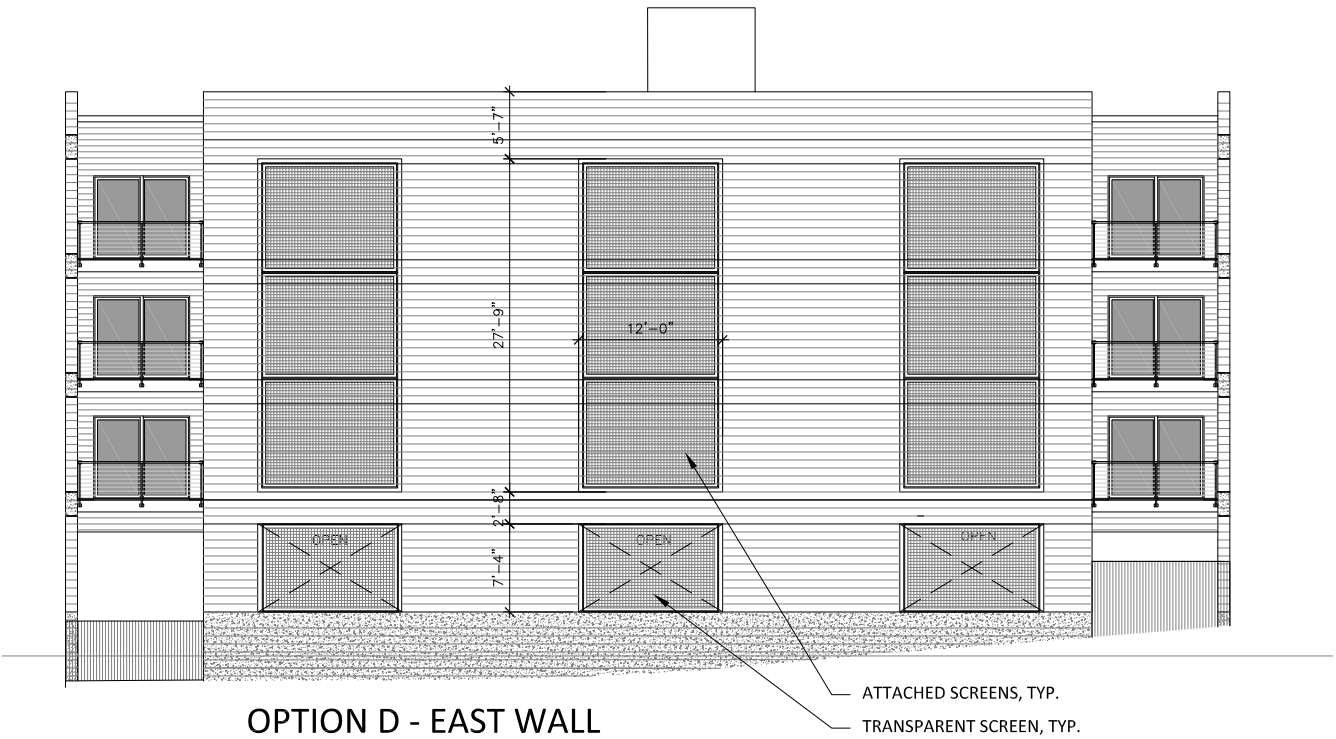
OPTION C - TYPICAL SIDE WALL



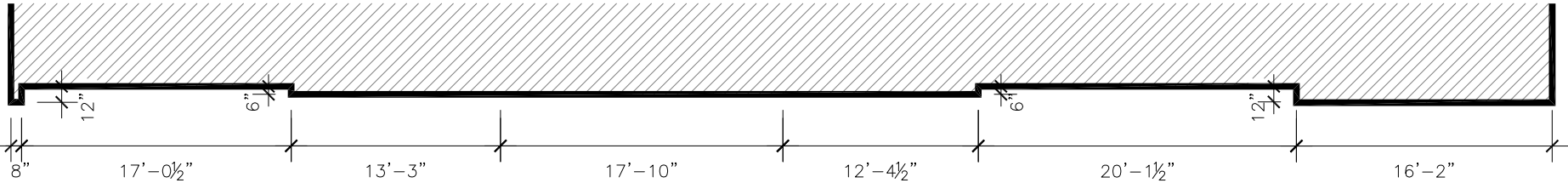
OPTION C - EAST WALL



OPTION D - TYPICAL SIDE WALL



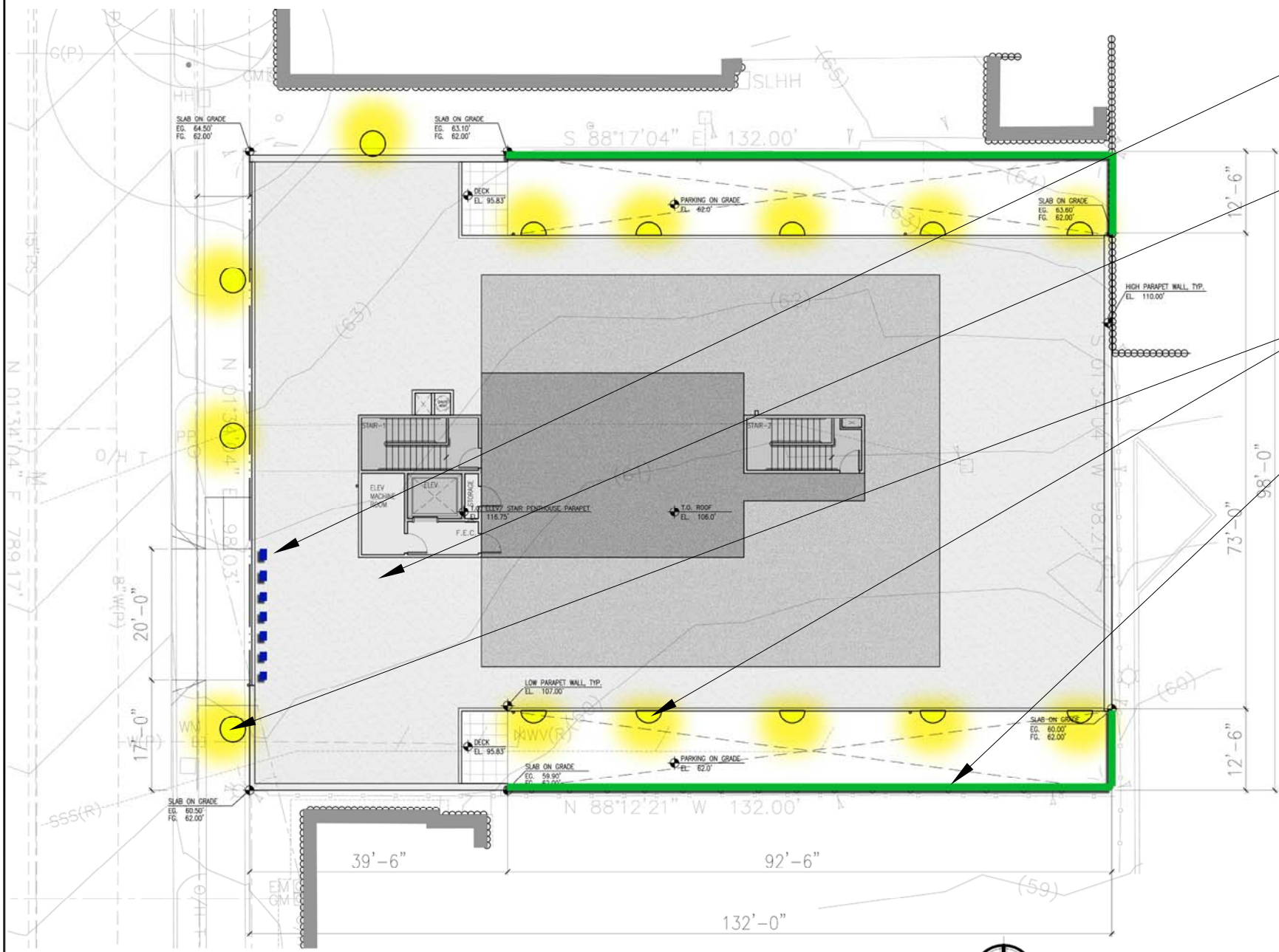
OPTION D - EAST WALL



MODULATION
DIAGRAM

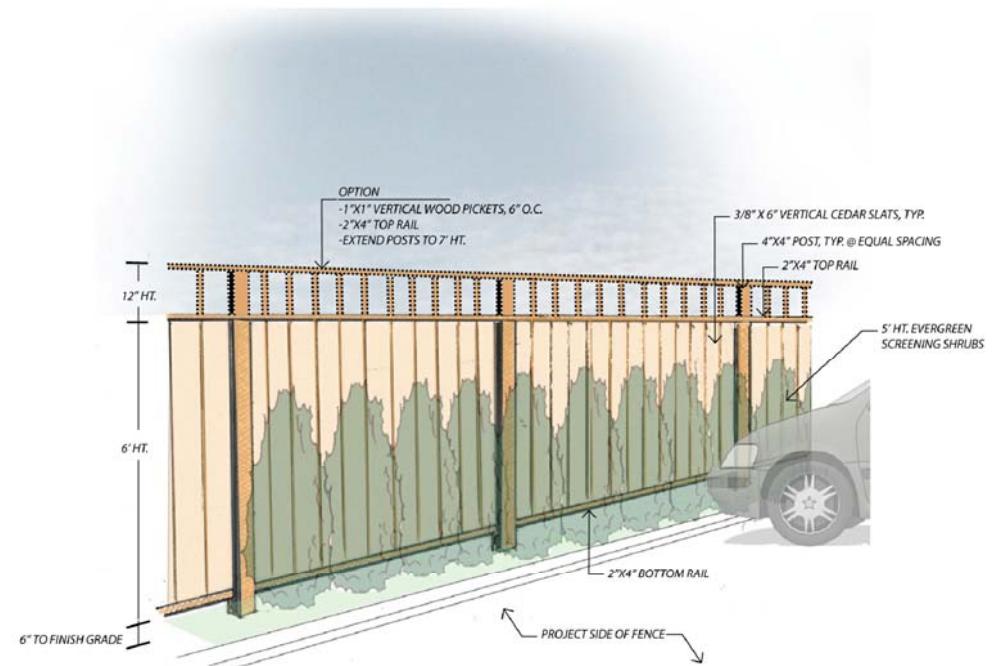
3606 WOODLAND PARK AVE N: RECOMMENDATION MEETING
DESIGN GUIDELINES AND DESIGN STATEMENT

A16



CONCEPTUAL LIGHTING PLAN

- BLUE DOTTED LINE INDICATES:
LOCKING, METAL OVERHEAD COILING
DOOR AT PARKING ENTRY / EXIT
- ENTRY TO BUILDING REQUIRES
KEY CARD FOR TENANTS AND
TELECOM CALL-BOX FOR GUESTS
- ABUNDANCE OF EXTERIOR LIGHTING
AROUND ALL SIDES OF BUILDING
- GREEN LINES INDICATE:
TALL ARCHITECTURAL FENCE AT
GROUND LEVEL PROPERTY LINE
(SIMILAR TO THAT SHOWN BELOW)



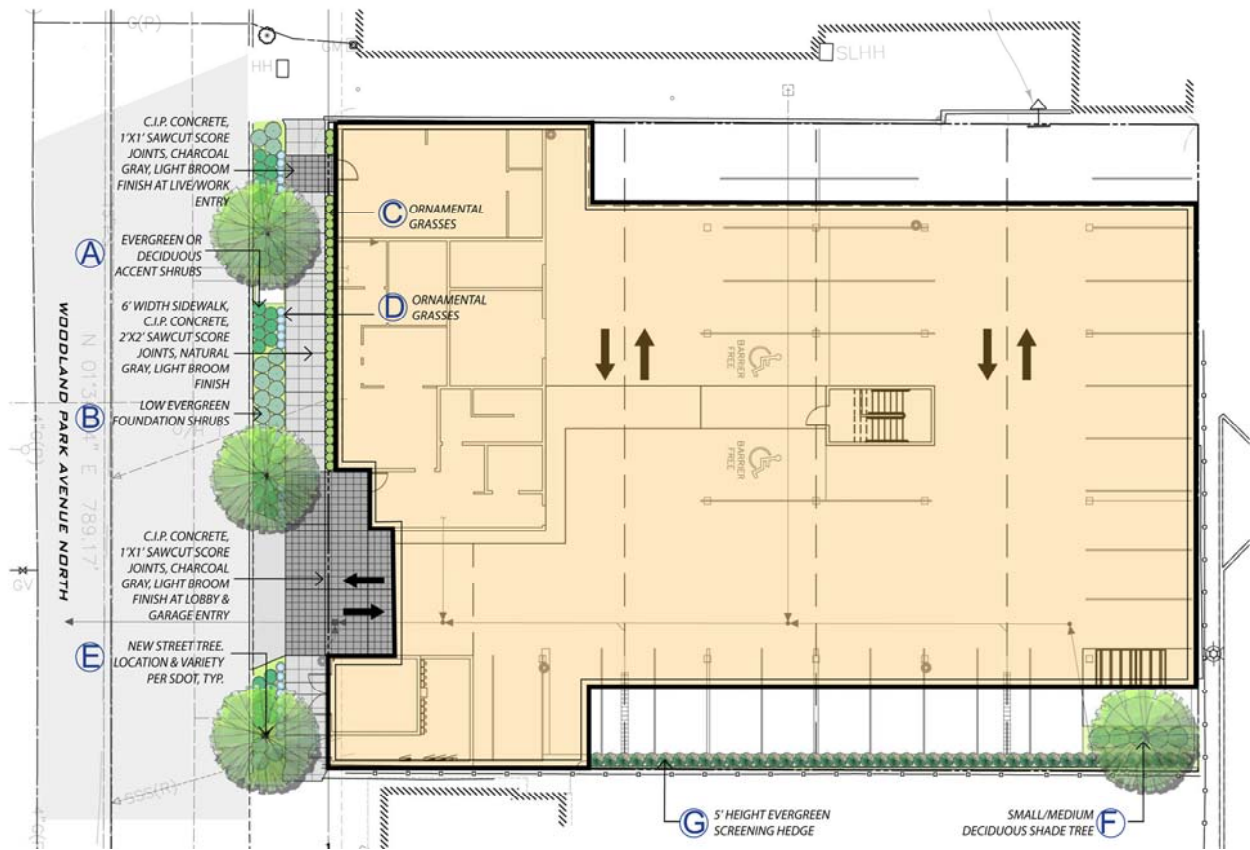
FENCE SCREENING DIAGRAM



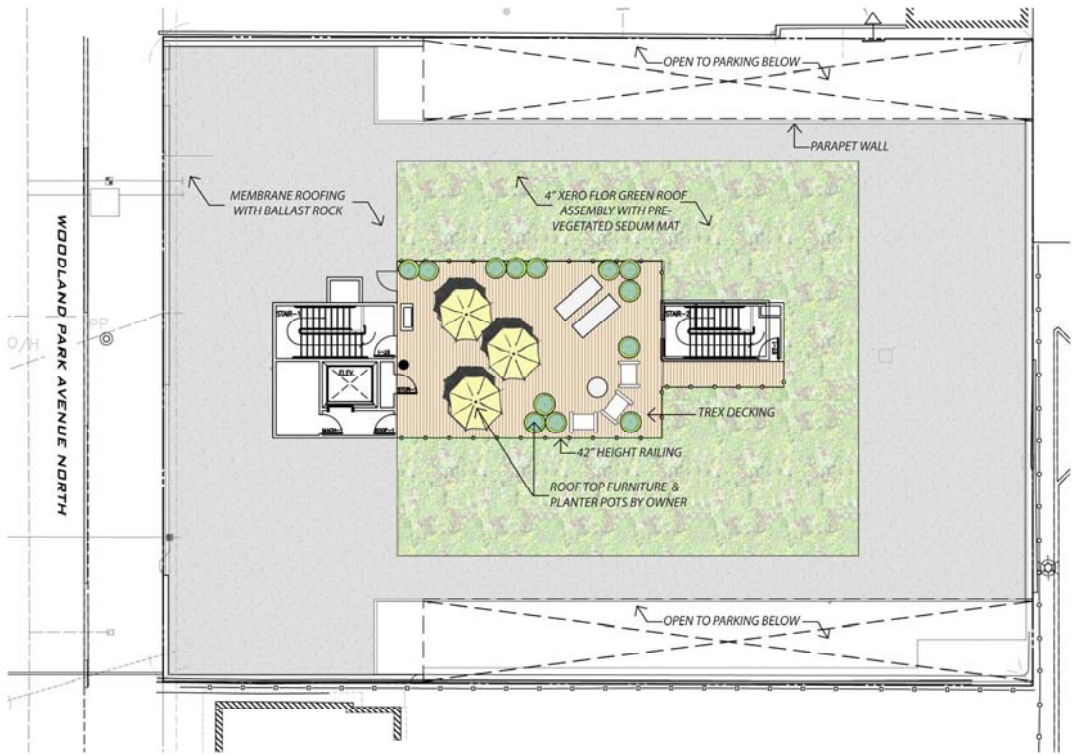
3606 WOODLAND PARK AVE N: RECOMMENDATION MEETING

PARKING / SECURITY SCREENING

A17



LANDSCAPE GROUND FLOOR PLAN



LANDSCAPE ROOF PLAN



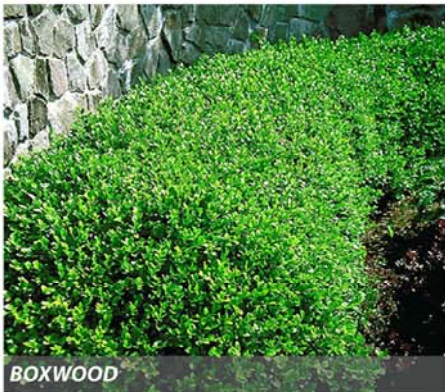
CREEPING YEW



SNOWMOUND SPIREA

OR

A EVERGREEN OR DECIDUOUS ACCENT SHRUBS



BOXWOOD



OTTO LUYKEN LAUREL

OR

B 24" HT. EVERGREEN FOUNDATION SHRUBS



DWARF FOUNTAIN GRASS

C ORNAMENTAL GRASSES



BLUE OAT GRASS

D ORNAMENTAL GRASSES



YULAN MAGNOLIA



NORWEGIAN SUNSET MAPLE

OR

F SMALL/MEDIUM DECIDUOUS SHADE TREE



FRONTIER ELM

E NEW STREET TREES - LOCATION & VARIETY PER SDOT



EMERALD GREEN ARBORVITAE

G 5' HEIGHT EVERGREEN SCREENING HEDGE



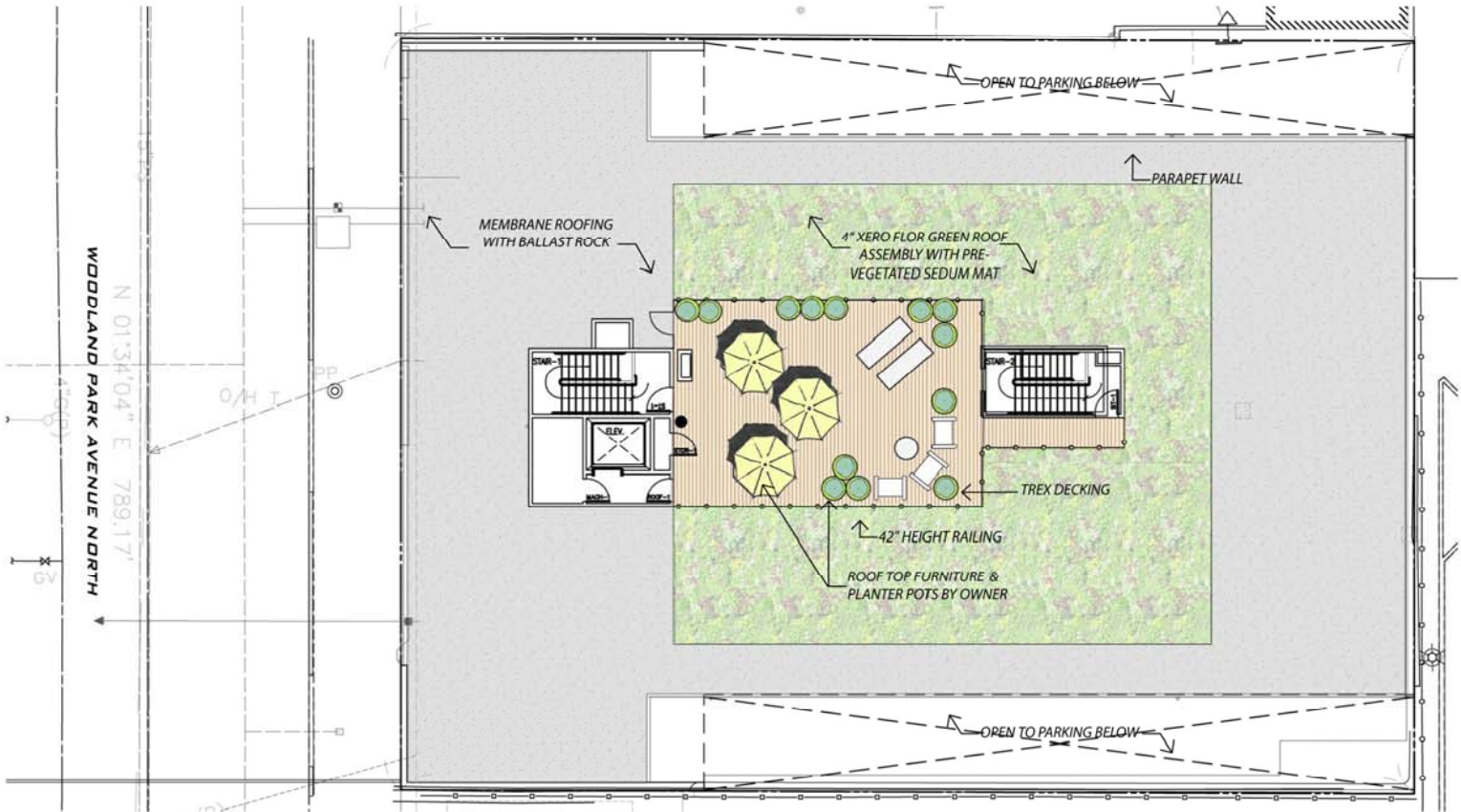
NATURAL GRAY CONCRETE
2'X2' SAWCUT SCORE JOINTS

C.I.P. CONCRETE SIDEWALK



CHARCOAL GRAY CONCRETE
1'X1' SAWCUT SCORE JOINTS





ROOF LEVEL PLAN

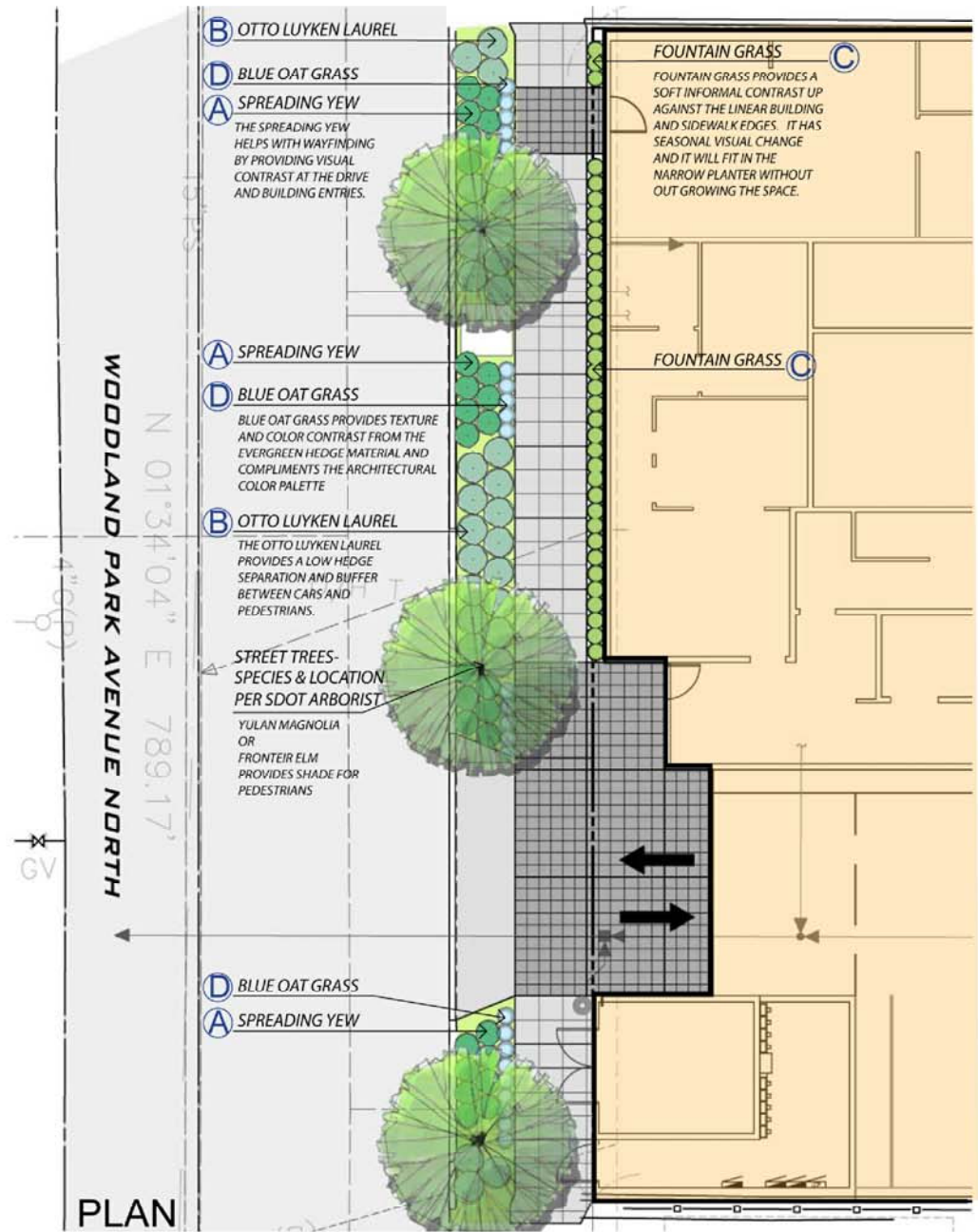


PRE-VEGETATED SEDUM TILE AS SHIPPED FROM THE NURSERY

PLANT PALETTE



VIGNETTE



PLANT PALETTE



CHARACTER



APPENDIX:

MATERIAL BOARD

FROM JUNE 13, 2011

(1 PAGE)

RECOMMENDATION PACKET

FROM JUNE 13, 2011

(8 PAGES)

DESIGN REVIEW BOARD PACKET

FROM NOVEMBER 22, 2010

(14 PAGES)



GREEN ROOF
 • GREEN FACTOR
 • TENANT AMENITY AREA
 • ENERGY SAVINGS & REDUCED HEAT ISLAND EFFECT



PROPERTY FENCE
 • WOOD FENCE BETWEEN NEW PARKING AND NEIGHBORS
 • SOFT BOUNDARY TO NEIGHBORS THAT SHIELDS HEAD LIGHTS
 • HUMAN SCALE AND NATURAL MATERIAL
 • NEIGHBORHOOD CONTEXT - similar to neighbors' fence

MINERAL FIBER CEMENT LAP SIDING
 • RESIDENTIAL WOOD LOOK
 • NEIGHBORING CONTEXT - neighbors have similar looking material



LAP SIDING & SMOOTH PANELS



MINERAL FIBER CEMENT PANELS
 • NEIGHBORHOOD CONTEXT - neighbors have similar looking material
 • DURABLE MATERIAL

SMOOTH PANELS
 SHOULD BE TEXTURED ONLY, NOT COLOR



AWNING
 LAP SIDING
 SMOOTH PANEL



JULIET BALCONIES
 • RHYTHM & PATTERN - modulates elevation
 • SAFETY - allows for large area of natural ventilation
 • EXPANSIVE VIEWS - allows for large opening area



GROUND FACE MASONRY VENEER
 • VARIATION - breaks up facade as accent bands
 • DURABLE MATERIAL - creates strong base & is vandal resistant
 • NEIGHBORING CONTEXT - neighbor to the north is a masonry building



SPLIT FACE MASONRY VENEER
 • DURABLE MATERIAL - graffiti proof
 • "STRONG" DESIGN - use as "book ends" at north and south walls

ROOF DECK
 • DURABLE MATERIAL
 • TENANT AMENITY AREA
 • VIEWS OF LAKE UNION & DOWNTOWN



VINYL WINDOWS
 • LOW-E GLASS - energy efficient windows
 • OPERABLE WINDOWS - tenant flexibility
 • FRESH AIR - insect screens



STOREFRONT SYSTEM
 • CLEAR GLASS - visibility into work space
 • METAL FRAME - commercial space appearance



EXTERIOR MATERIALS BOARD

FREMONT APARTMENT BUILDING
 3606 WOODLAND PARK AVE N
 06.13.11

3606 WOODLAND PARK AVE N: EARLY DESIGN GUIDANCE

COLOR AND MATERIALS

3606 WOODLAND PARK AVE N

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for GRE Fremont L.L.C.

June 13, 2011



RECOMMENDATION MEETING

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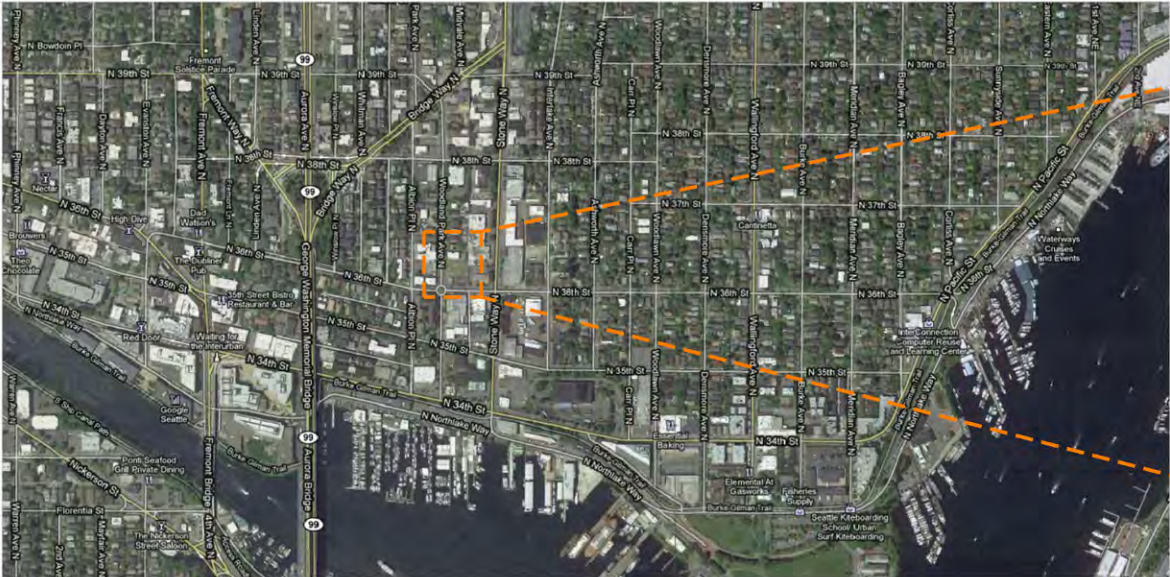
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Sheet Index

- A0 TITLE SHEET
- A1 CONTEXT ANALYSIS & RENDERINGS
- A2 DESIGN RENDERINGS & DRB RESPONSES
- A3 FLOOR PLANS
- A4 SHADOW & LIGHTING STUDIES
- A5 ARCHITECTURAL SITE PLAN

Vicinity Map



Site Map





blue accent

horizontal lap siding

parking below structure

4-story apartments

strong masonry facade

NEIGHBORHOOD CONTEXT



studio
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PLANNING
CONSULTING



abundance of blue in neighborhood



red accent awnings



red accents



FREMONT APARTMENT BUILDING
3606 WOODLAND PARK AVE N
06.13.11



WORK-LIVE UNIT ENTRY FROM STREET



RESIDENTIAL ENTRY



NORTHWEST CORNER



SOUTHEAST CORNER



WEST ELEVATION

LIVE/WORK
STOREFRONT

RESIDENTIAL
ENTRY

PARKING
ENTRY

D-11 larger scale fenestration
at live-work unit

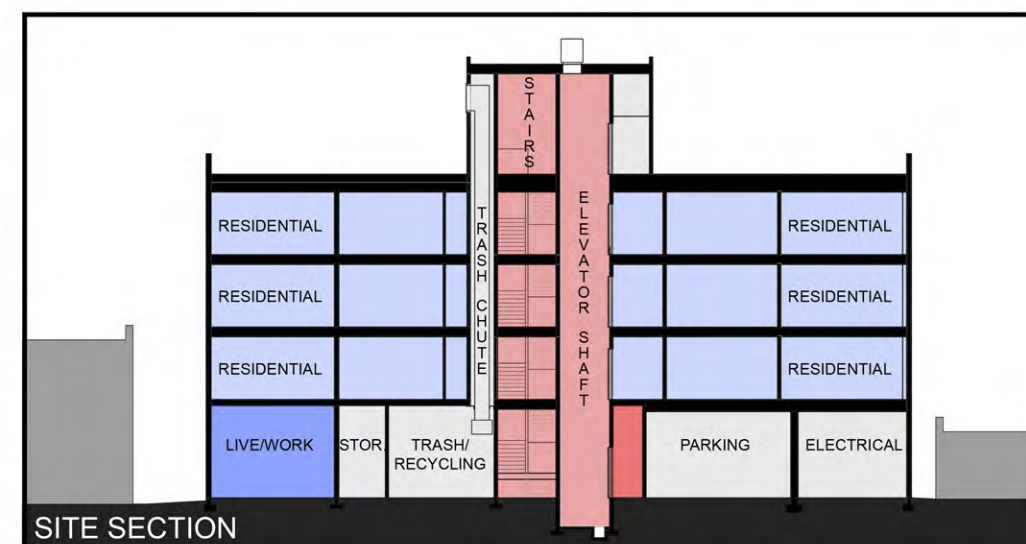
E-3 maximize
street trees

C-4 sturdy-looking
materials at base

D-12 secure and private
residential entry

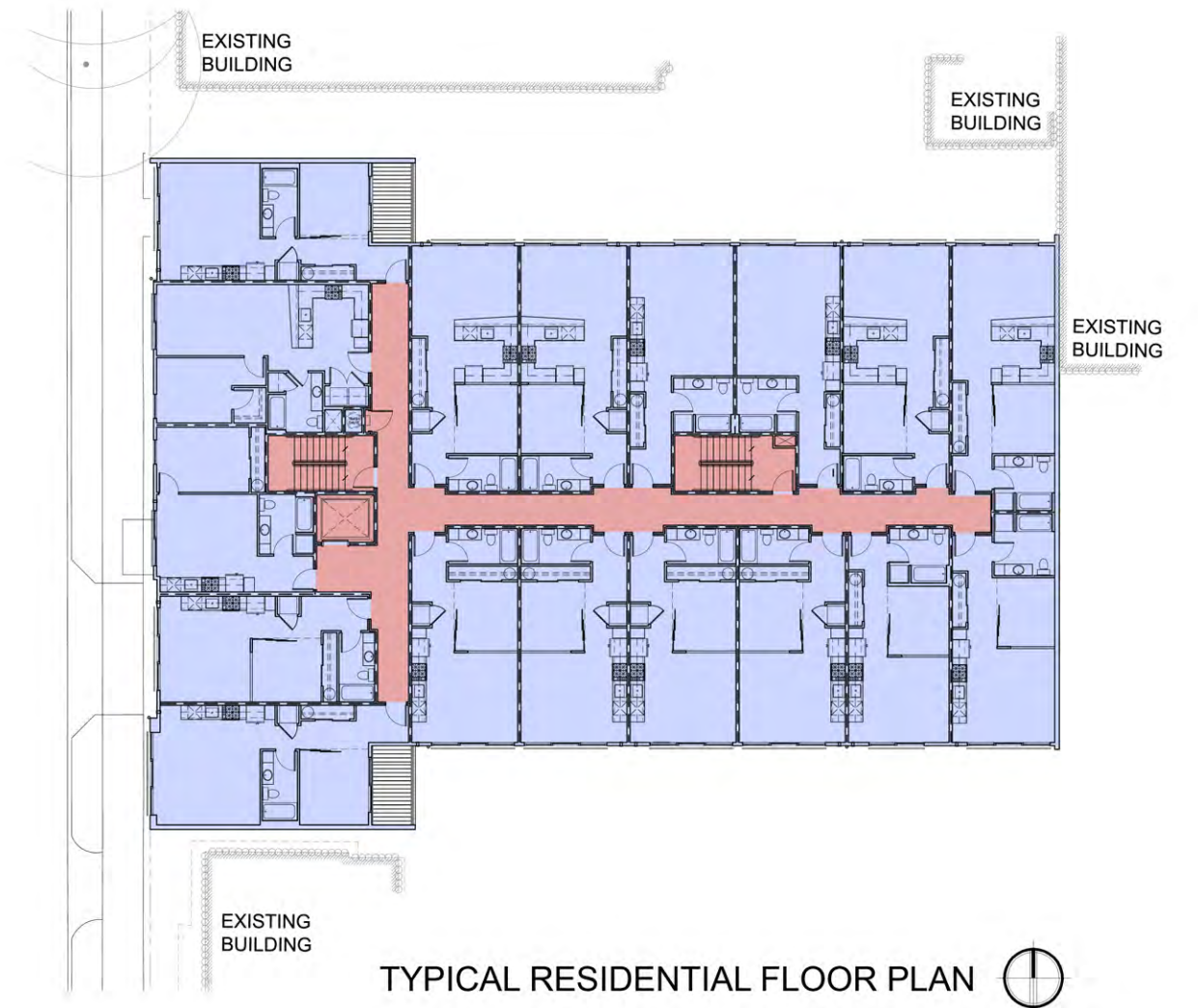
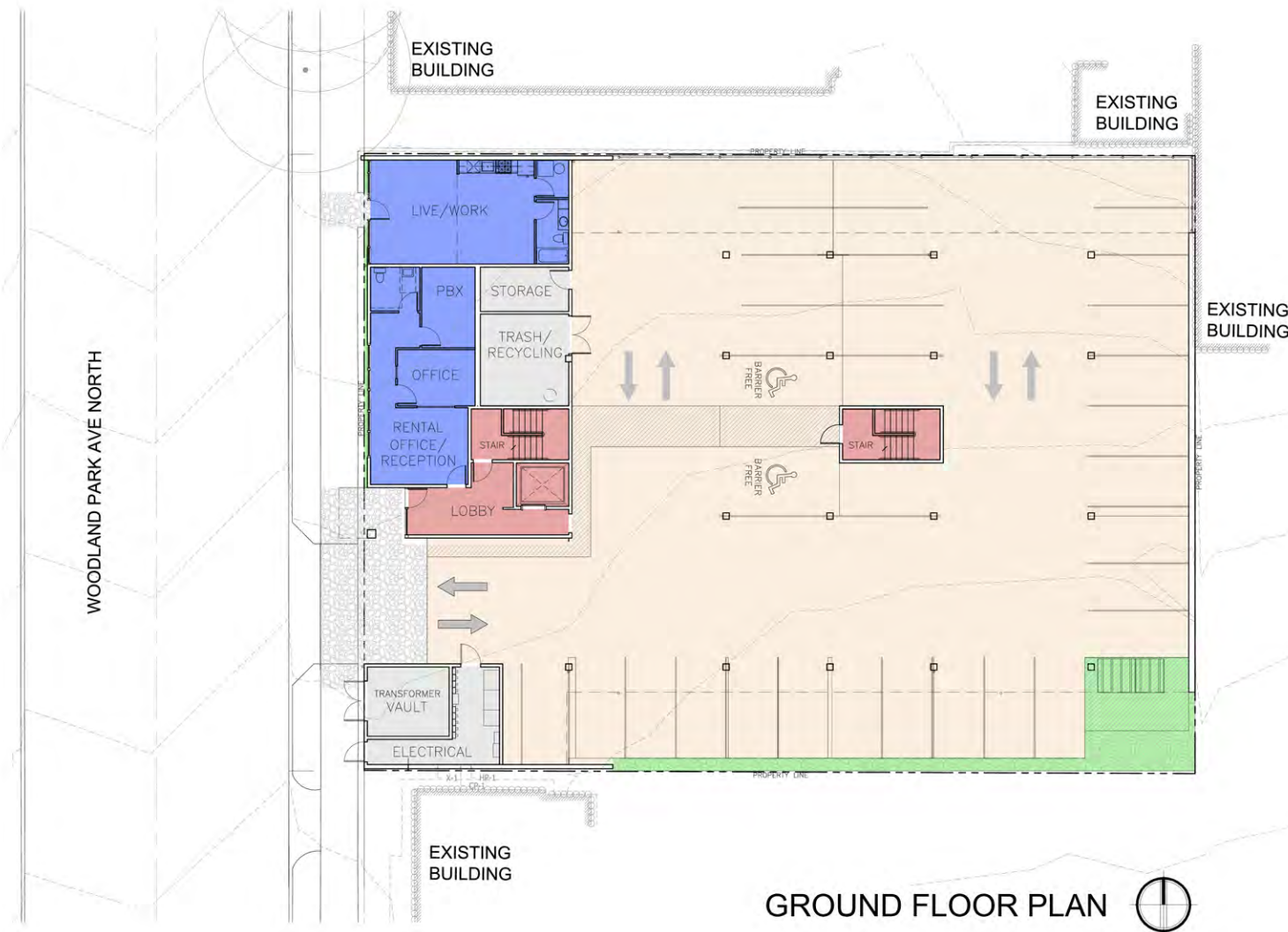
B-1 more modulation
along front facade

D-2 expressive CMU
walls with striation



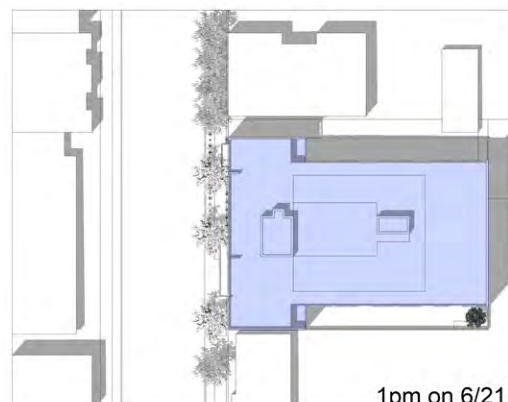
SITE SECTION

FREMONT APARTMENT BUILDING
3606 WOODLAND PARK AVE N
06.13.11

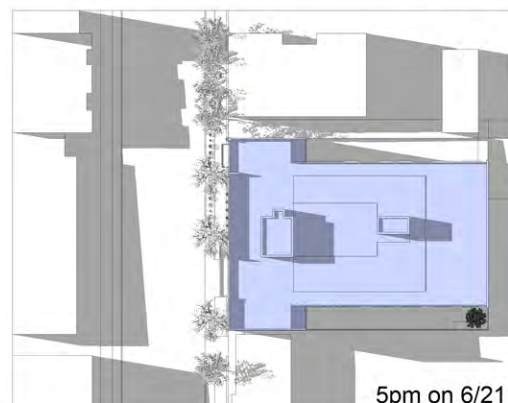




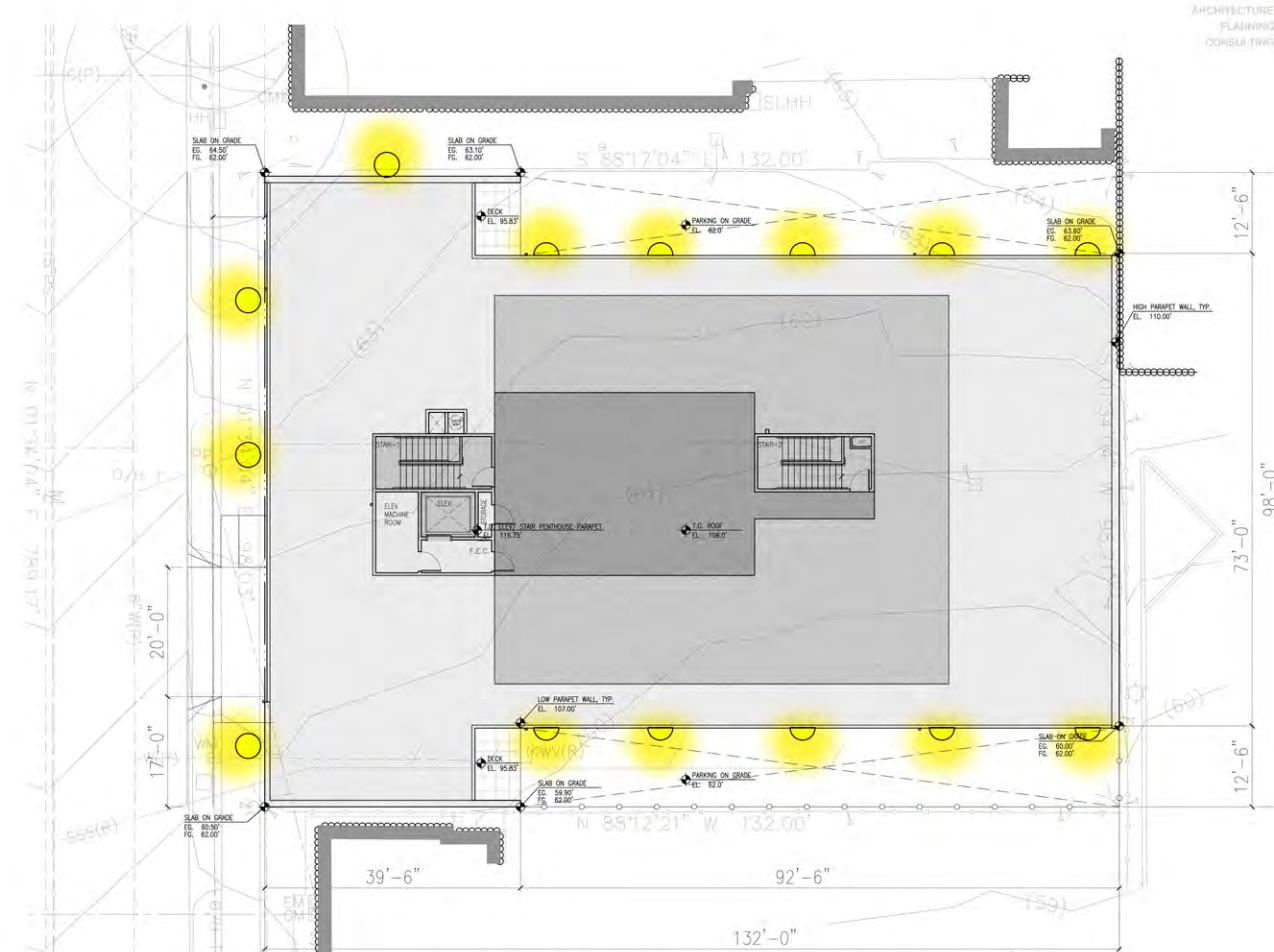
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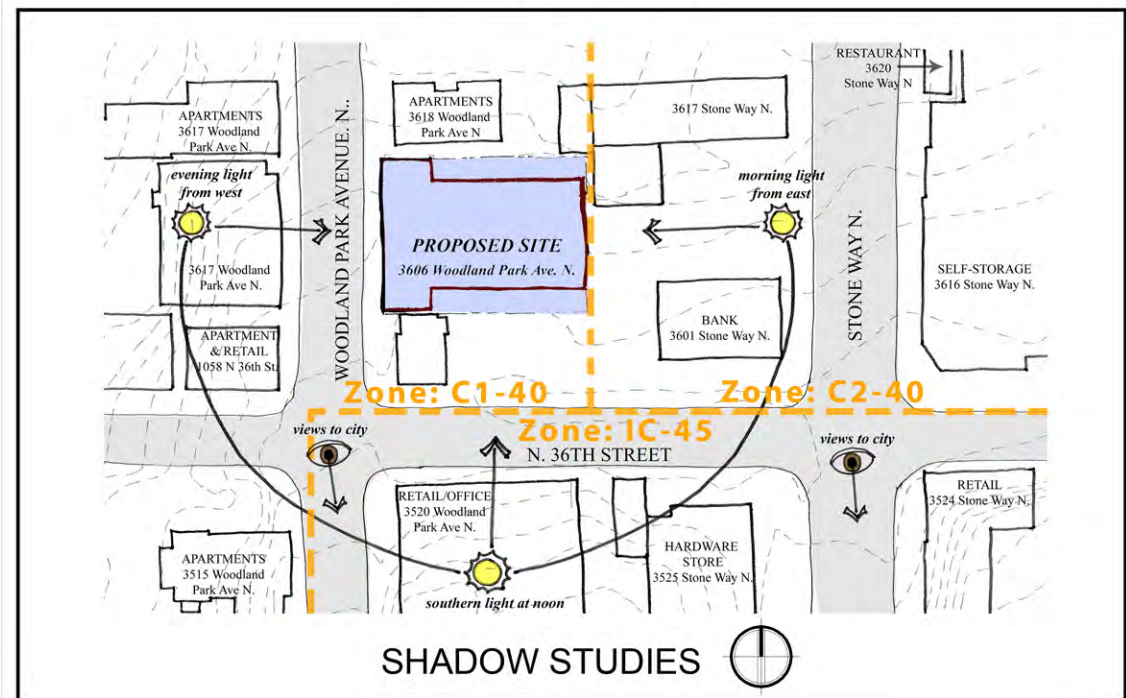
1pm on 6/21



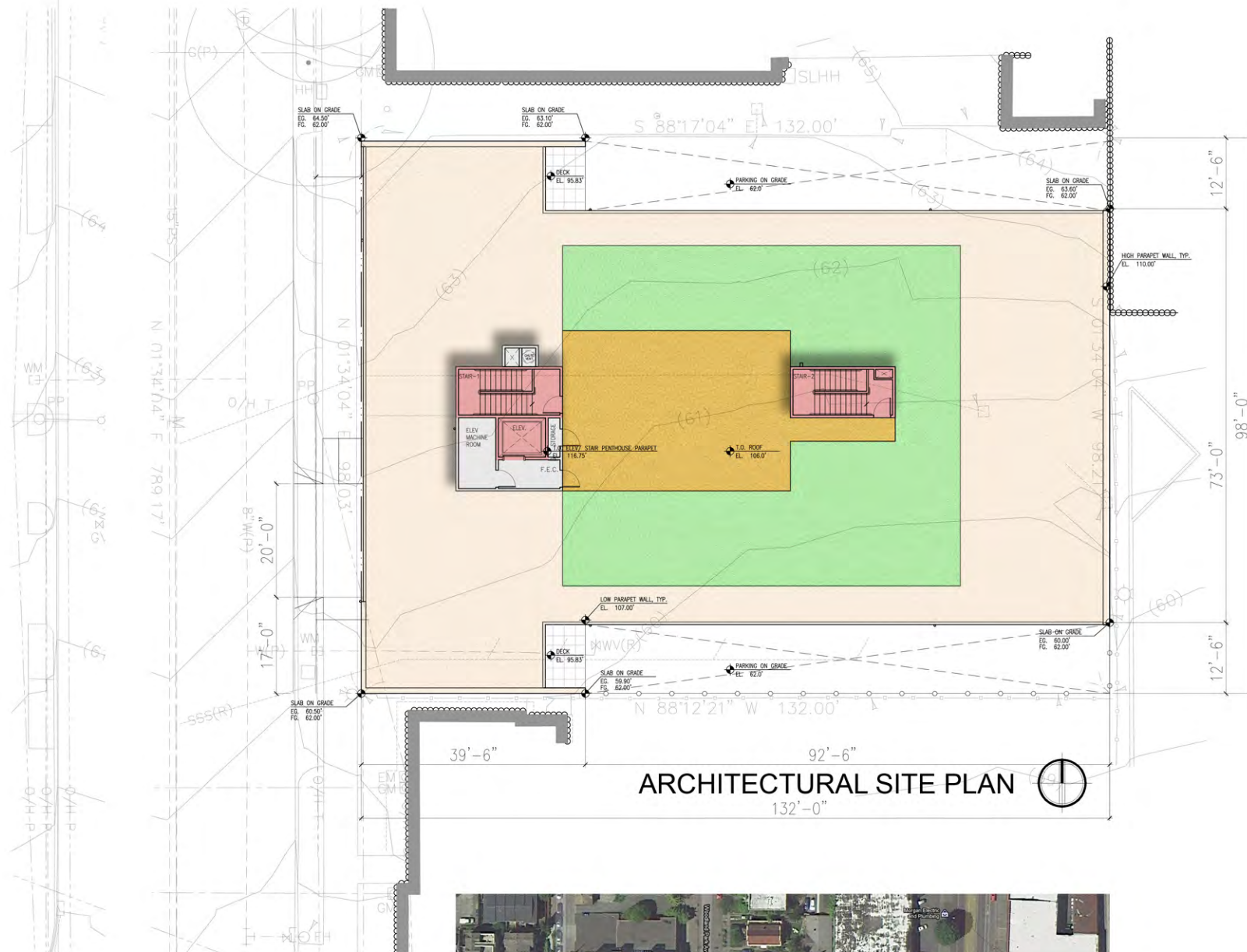
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CONCEPTUAL LIGHTING PLAN



SHADOW STUDIES



ARCHITECTURAL SITE PLAN

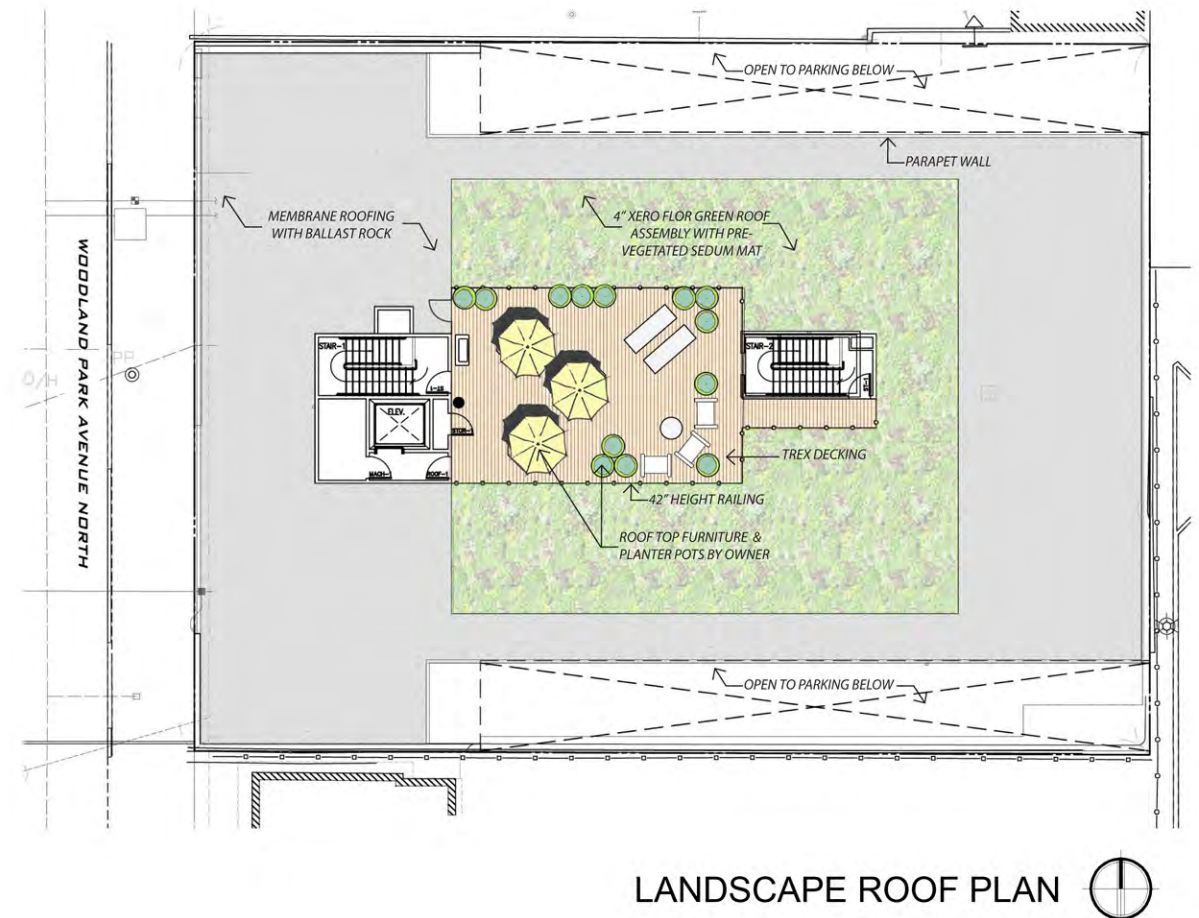
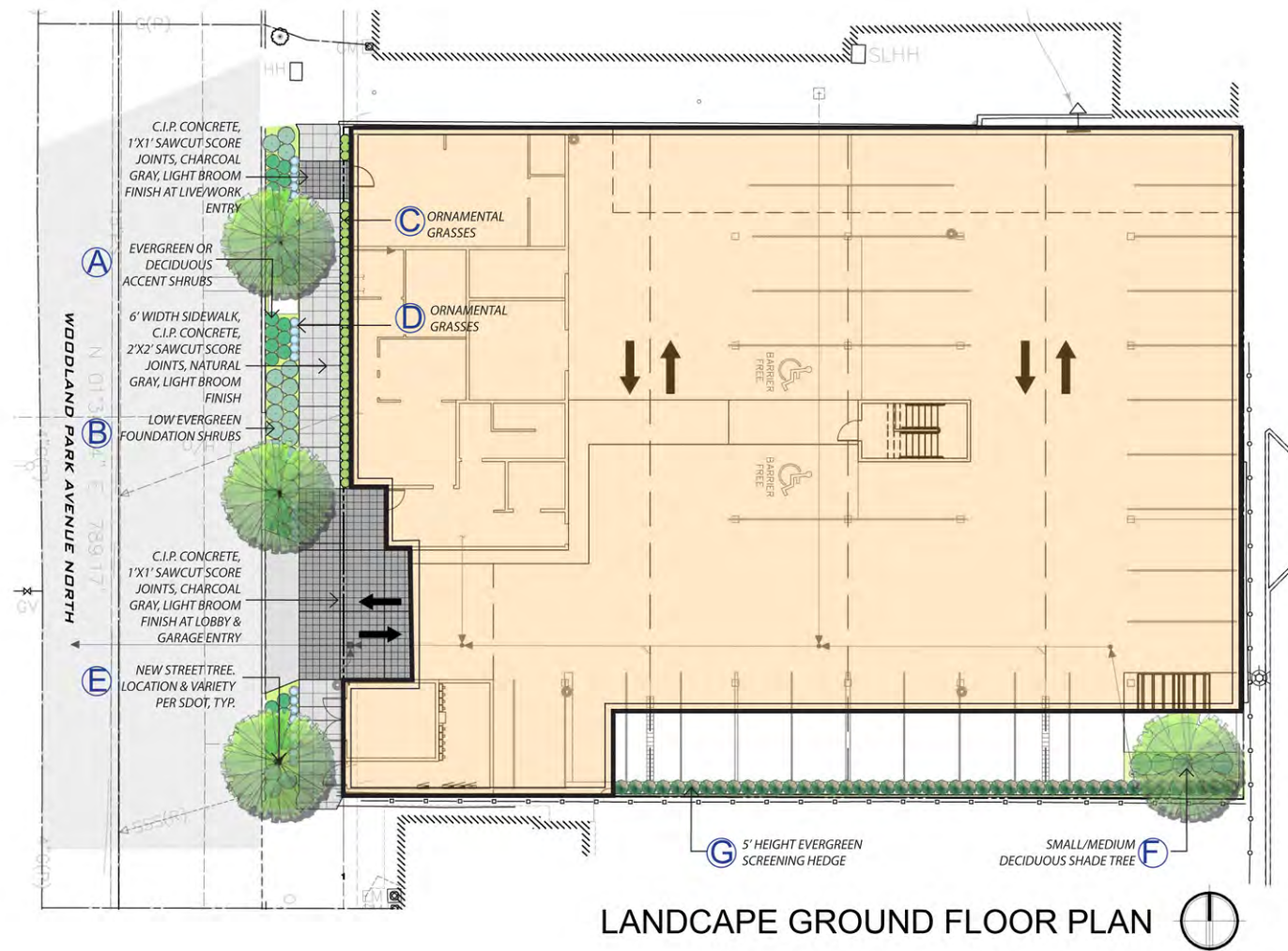
VICINITY AERIAL PHOTO



SITE



EARLY DESIGN GUIDANCE - PREVIOUS SCHEME - 11.22.10





CREeping YEW

OR



SNOWMOUND SPIREA



EVERGREEN OR DECIDUOUS ACCENT SHRUBS



BOXWOOD

OR



OTTO LUYKEN LAUREL



24" HT. EVERGREEN FOUNDATION SHRUBS



DWARF FOUNTAIN GRASS



ORNAMENTAL GRASSES



BLUE OAT GRASS



ORNAMENTAL GRASSES



YULAN MAGNOLIA



OR



FRONTIER ELM



NEW STREET TREES - LOCATION & VARIETY PER SDOT



NORWEGIAN SUNSET MAPLE



SMALL/MEDIUM DECIDUOUS SHADE TREE



EMERALD GREEN ARBORVITAE



5' HEIGHT EVERGREEN SCREENING HEDGE



NATURAL GRAY CONCRETE
2'X2' SAWCUT SCORE JOINTS



CHARCOAL GRAY CONCRETE
1'X1' SAWCUT SCORE JOINTS

C.I.P. CONCRETE SIDEWALK

EARLY DESIGN GUIDANCE

3606 WOODLAND PARK AVE N

A Proposed Apartment Development
for GRE Freemont L.L.C.
November 22nd, 2010

studio **MENG**
STRAZZARA

ARCHITECTURE
PLANNING
CONSULTING

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Fax: 206-323-7135
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darrelin@brhinc.com

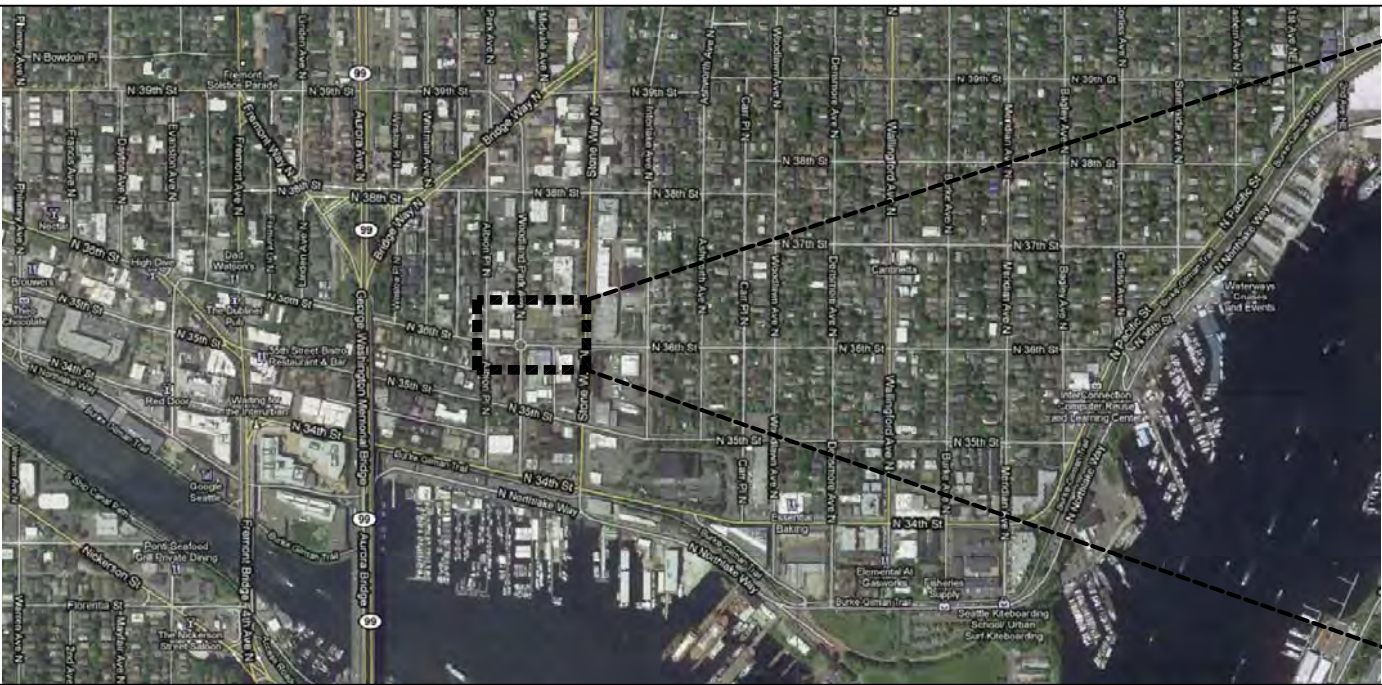
ARCHITECT

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Vicinity Map



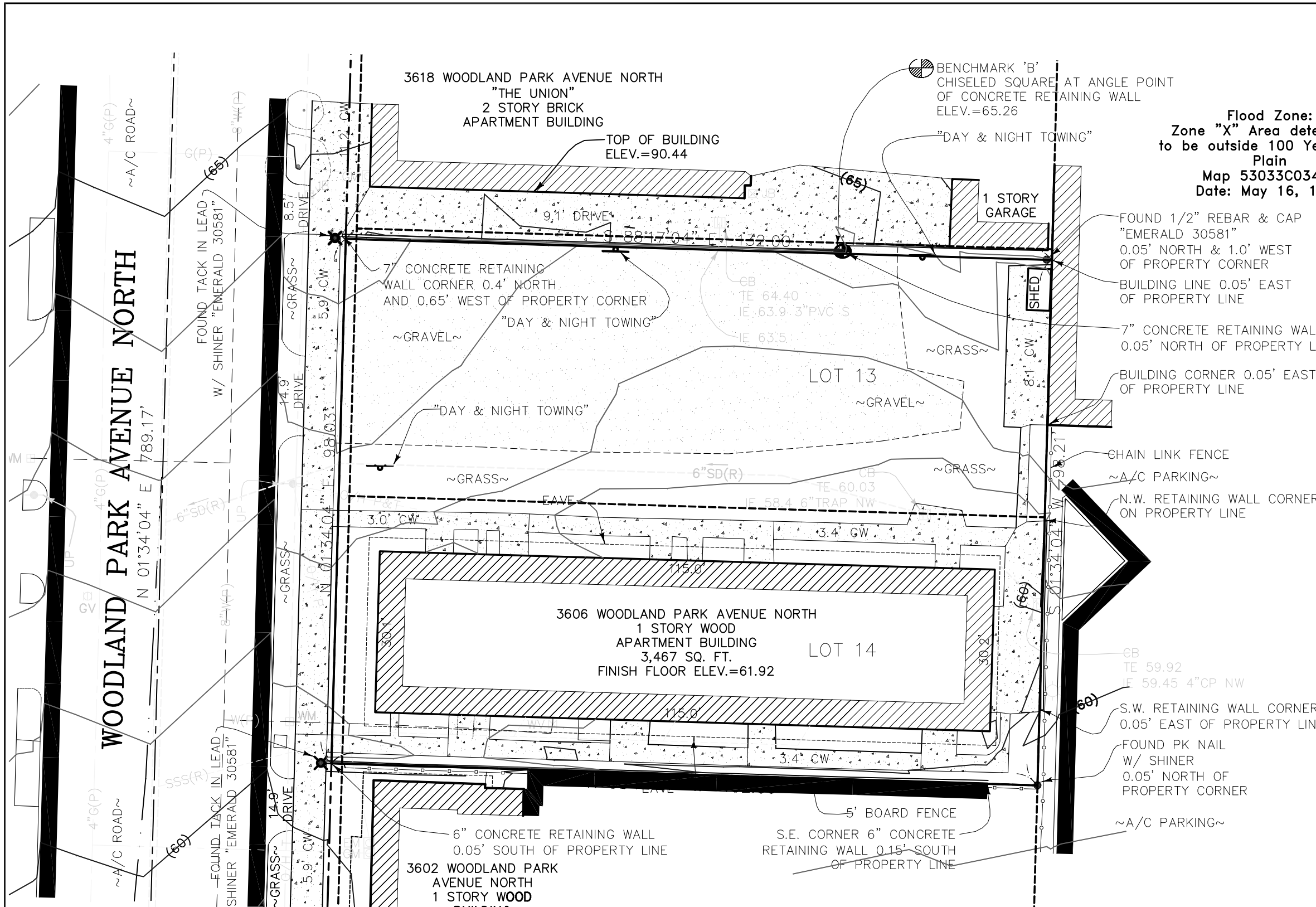
Site Map



3606 WOODLAND PARK AVE N: EARLY DESIGN GUIDANCE

TITLE SHEET/ CONTACT INFO/ SHEET INDEX/ VICINITY MAP/ SITE MAP

A1



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Flood Zone:
Zone "X" Area determined
to be outside 100 Year Flood
Plain
Map 53033C0340F
Date: May 16, 1995

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SITE NOTES

SITE ADDRESS:
3606 WOODLAND PARK AVENUE NORTH
SEATTLE, WASHINGTON

TAX ACCOUNT NO.:
226150-0150-07

ZONING:
C1-40: COMMERCIAL 1 WITH 40 FOOT HEIGHT LIMIT.

ZONING AGENCY:
CITY OF SEATTLE
DEPARTMENT OF PLANNING AND DEVELOPMENT
700 5TH AVENUE, SUITE 2000
SEATTLE, WA 98104
(206) 684-8467

SETBACKS:
CURRENT SETBACK REQUIREMENTS SUBJECT TO SITE PLAN REVIEW.
CURRENT SETBACKS MAY DIFFER FROM THOSE IN EFFECT DURING
DESIGN/CONSTRUCTION OF EXISTING IMPROVEMENTS.

FLOOD ZONE:
THIS SITE APPEARS ON NATIONAL FLOOD INSURANCE RATE MAP, DATED MAY
16, 1995, COMMUNITY PANEL NO. 53033C0340, AND IS SITUATED IN ZONE
"X". AREA DETERMINED TO BE OUTSIDE THE 500 YEAR FLOODPLAIN.

HORIZONTAL DATUM:
MONUMENTED CENTERLINE OF WOODLAND PARK AVENUE NORTH
BEARING NORTH 01°34'04" EAST.

VERTICAL DATUM:
NAVD 88.

ORIGINATING BENCHMARK:
POINT NAME "2609CC_54A" BRASS CAP STAMPED "C of S 7573"
LOCATED 9.6' NORTH OF INTERSECTION OF BACK CONCRETE WALK
AT N.W. CORNER NORTH 38TH STREET & STONE AVENUE NORTH.
ELEVATION=84.627'

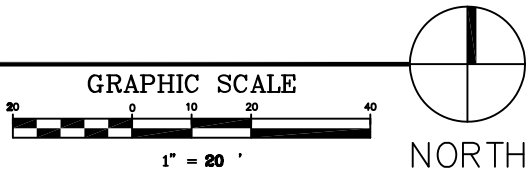
AREA:
SITE AS SHOWN CONTAINS 12,952 SQUARE FEET OR 0.2973 ACRES,
MORE OR LESS.

PARKING SPACE COUNT:
PARKING SPACES TOTAL 0 INCLUDING 0 HANDICAP ACCESSIBLE SPACES.
(NO STRIPED PARKING STALLS)

SUBSTRUCTURES:
BURIED UTILITIES ARE SHOWN AS INDICATED ON RECORDS MAPS FURNISHED
BY OTHERS AND VERIFIED WHERE POSSIBLE BY FEATURES LOCATED IN THE
FIELD. WE ASSUME NO LIABILITY FOR THE ACCURACY OF THOSE RECORDS.
FOR THE FINAL LOCATION OF EXISTING UTILITIES IN AREAS CRITICAL TO
DESIGN CONTACT THE UTILITY OWNER/AGENCY.

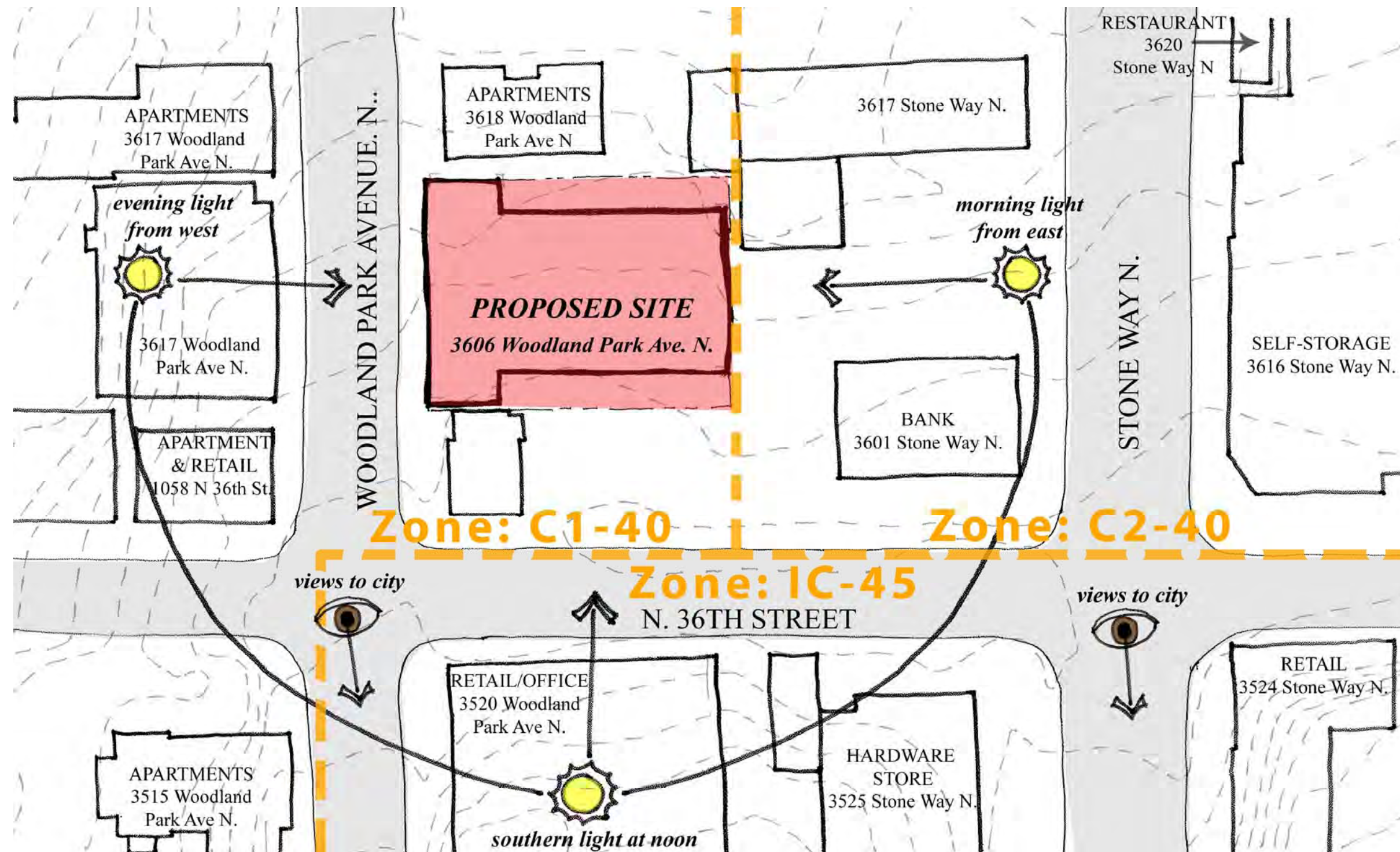
TELECOMMUNICATIONS/FIBER OPTIC DISCLAIMER:
RECORDS OF UNDERGROUND TELECOMMUNICATIONS AND/OR FIBER OPTIC
LINES ARE NOT ALWAYS AVAILABLE TO THE PUBLIC. BRH HAS NOT
CONTACTED EACH OF THE MANY COMPANIES, IN THE COURSE OF THIS
SURVEY, WHICH COULD HAVE UNDERGROUND LINES WITHIN ADJACENT RIGHTS-
OF-WAY. THEREFORE, BRH DOES NOT ACCEPT RESPONSIBILITY FOR THE
EXISTENCE OF UNDERGROUND TELECOMMUNICATIONS/FIBER OPTIC LINES
WHICH ARE NOT MADE PUBLIC RECORD WITH THE LOCAL JURISDICTION. AS
ALWAYS, CALL 1-800-424-5555 BEFORE CONSTRUCTION.

1 SURVEY PLAN
SCALE: 1"=20'-0"



3606 WOODLAND PARK AVE N: EARLY DESIGN GUIDANCE
SITE SURVEY PLAN

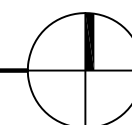
A2



1

SITE ANALYSIS

SCALE: NTS



NORTH

3606 WOODLAND PARK AVE N: EARLY DESIGN GUIDANCE

SITE ANALYSIS

A3

PROPOSED SITE



3606 WOODLAND PARK AVE N: EARLY DESIGN GUIDANCE

AERIAL MAP WITH PHOTO KEY

A4



PHOTO #1
View south along Woodland Park Ave N.



PHOTO #2
View south along Woodland Park Ave N.



PHOTO #3
View south along Woodland Park Ave N.



PHOTO #4
Looking south at proposed site



PHOTO #5
View from proposed site across Woodland Park Ave N.



PHOTO #6
View north of proposed site from Woodland Park Ave N.



PHOTO #7
View north along Woodland Park Ave N.



PHOTO #8
View of intersection at Woodland Park Ave N. & N 36th St.



PHOTO #9
View of intersection at Woodland Park Ave N. & N 36th St.

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3606 WOODLAND PARK AVE N: EARLY DESIGN GUIDANCE

VICINITY PHOTOS

A5

DESIGN GUIDELINES

A-7 Residential Open Space

The proposed development of the site does not leave much room for residential open space at the ground level. Balconies can be provided at some units on the upper levels, but create unsightly "outdoor storage" areas for tenants which detract from the appearance of the building when occupied. We propose that the majority of the residential open space/amenity requirement be met via the creation of a roof deck accessible to all building tenants. This deck will be at a high enough elevation that it will have views of Lake Union and Downtown Seattle.

A-8 Parking & Vehicle Access

The site only has right-of-way access along the western edge bordering Woodland Park Avenue N, necessitating that vehicular access be from that street. We propose creating an inset parking gate well off the street with an area for off-street drop-off and queuing as well as a an opportunity for a larger textural paving at the residential entry area.

B-1 Height, Bulk & Scale Compatibility

There are numerous buildings in the immediate area that fill their sites from side lot line to side lot line, similar to the configuration proposed for this project. The apartment building adjacent to the north, and several buildings across the street are built to a height and scale similar to the proposed project. Our proposed building configuration maintains a continuous frontage at the street, interrupted only by the recessed parking entrance (see A-8).

C-2 Architectural Concept & Consistency

We intend to use building form, materials, and fenestration to create a cohesive and engaging design which follows a coherent overall concept. Preliminarily, we see the metaphor of a sliced and peeled apple as a useful design direction for this project: carved from a simple form with bold, layered geometry and organic color differentiation, implying sustenance beneath the skin. Rhythmic proportioning will be used to unify design elements in a total design gestalt.

C-4 Exterior Finish Materials

This project will be designed under very tight budgetary constraints, making it difficult to incorporate higher-end finishes into the design. However, we are committed to creating a design and details with materials which are visually engaging and durable. We refer the Board to examples of our past work as evidence of our ability to fulfill this commitment.

D-2 Blank Walls

Because portions of the proposed building are built directly to the side and rear property lines, there are three internal lot-line fire walls which can have no openings for fire-resistance reasons. These walls will be treated with textural material and color to enhance their appearance as part of the "peel" of the metaphorical apple (see C-2), and green-wall trellises used to allow plant materials to cover large portions of their surface.

D-6 Screening of Service Areas

The service and garbage collection area is proposed to be located at the southwest corner of the site in a full enclosure with a door in order to screen it from the street and contain odors while allowing easy access for garbage pickup.

D-12 Residential Entrance

The residential lobby and entrance has been located centrally in the façade and recessed partially in combination with the parking entrance to create an entrance plaza area at the street. The first-floor wall adjacent to the north, along the live-work spaces, angles in from the northwest building corner toward the residential entrance for spatial and formal emphasis. Color differentiation and signage will also be used to emphasize the "front door" of the project.

DESIGN STATEMENT

This project is the first of several upcoming in which we are trying to develop a new model for the design and development of apartment buildings in a severely-impacted real estate economy. **New economic realities call for innovative approaches.**

As this particular site was being considered for development, the property owner identified the core criteria that would have to be met to result in a successful project. These include:

1. Total construction cost of **less than \$120 per square foot**
2. A minimum of **50 dwelling units**
3. Target project for **workforce housing** (100% to 120% of median income)

The first criterion derives from financial feasibility limitations. At construction hard costs over \$120/sf, the project is not feasible. The second criterion derives from the challenges of sourcing capital for construction projects in the current economy. Private equity participation is now necessary to make projects of this type happen, and most private equity participants have investment thresholds, one of which is a minimum unit count of 50 dwelling units. The third criterion is driven by demand.

Design Criteria

Following from these two criteria, our design team developed the following design criteria to meet the project requirements:

- ☐ No parking below grade.
- ☐ Mostly wood-frame construction (i.e. no concrete, minimal steel).
- ☐ Use simple building geometry, regular shapes, and compact plans.
- ☐ Take a Systems Approach to design.
- ☐ Use low life-cycle- and first-cost building materials, finishes, and fixtures.
- ☐ Minimize construction waste and material use (e.g. advanced framing, modular geometry, etc.).
- ☐ Maximize building perimeter available for dwelling unit daylighting while maintaining appropriate unit sizes and types.

is located directly on the shared property line [D].

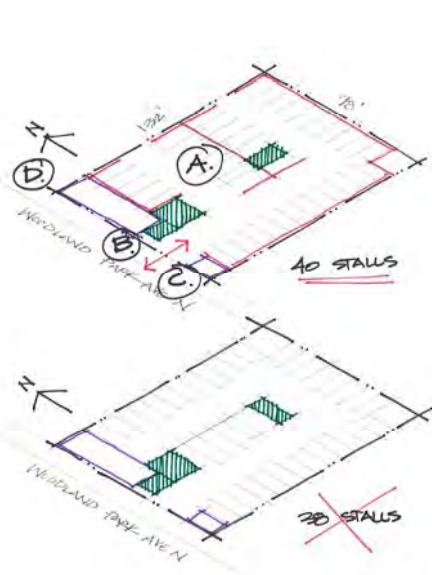


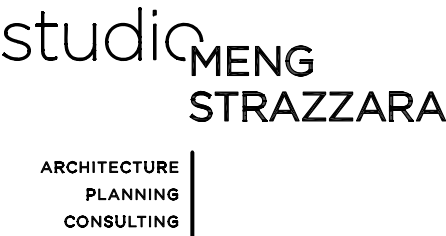
DIAGRAM #1

Issue 1: Parking Layout

Maximum possible parking on site without going underground is thus one of the main design constraints for this project, and defines the parameters for overall building configuration. Even with the allowable 20% reduction in parking allowed for this site via transit service offsets, 40 parking stalls are required by code for the targeted 50 dwelling units.

Optimum efficiency for parking layout requires 90-degree two-way parking aisles. The typical bay width for parking is therefore 56 feet to 59 feet (depending on stall size, one bay must be deeper to accommodate barrier-free parking). The site for this project is rectangular, 98 feet in the north-south dimension, and 132 feet in the east-west direction. It is not possible to park 40 cars on site without having two bays of parking, so the parking layout must therefore orient the bays north-south instead of east-west [A]. This leaves a strip of area along the street approximately 18 feet deep, in which live-work units, building service areas, and the project entrance lobby can be located (and which also screen the parking from the sidewalk). [B]

The access driveway and curb cut have been located toward the southwest corner [C] to keep it further away from the driveway accessing the adjacent apartment building to the north, which is located directly on the shared property line [D].



DESIGN STATEMENT

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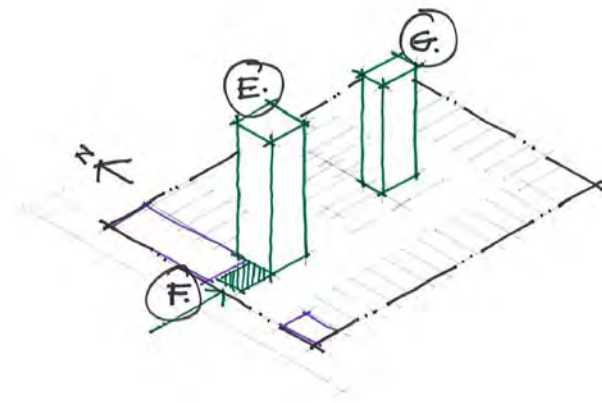


DIAGRAM #2

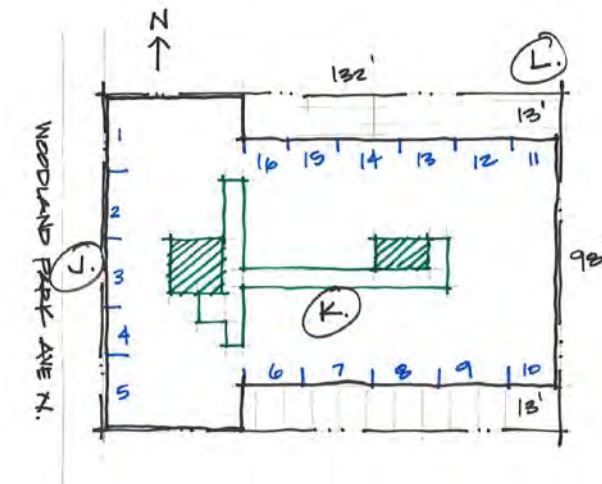


DIAGRAM #3A

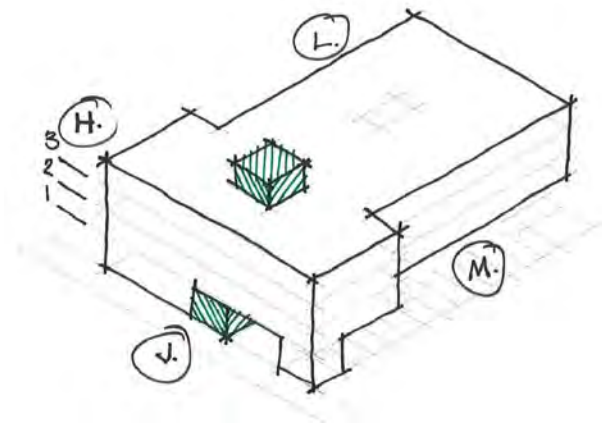


DIAGRAM #3B

Issue 2: Access & Circulation

The parking layout then defines the areas where vertical circulation core elements can be located, staying clear of drive aisles and minimizing impact on parking spaces by locating them within the parking module. The main stair and elevator core [E] must be directly accessible from the sidewalk and oriented to minimize hallway circulation on the upper levels. The location proposed for this core allows a lobby area with an inset entry door to emphasize the "front-door" presence of the project and provide weather coverage. The building wall along the sidewalk has been angled slightly toward the entrance for further emphasis and to allow a planting strip [F].

Required exit spacing under the provisions of the Seattle Building Code plus the need to minimize hallway circulation space on the upper levels determines the location of a second stairway [G] within the parking module, aligned with the main stairway [F].

Three parking stalls are thereby eliminated by vertical circulation elements, leaving us with the required minimum of 40 stalls for 50 units.

Issue 3: Residential Floor Layout

With two units provided as live-work spaces at the ground level, 48 more units must be located in the residential floors above to meet the minimum 50 required for project feasibility. This site is mostly level and has a 40-foot height limit under the provisions of the C1-40 zoning designation. This allows for three levels of units above [H], or 16 units per level, minimum.

The total site area to the property lines is 12,959 square feet. Subtracting space for core and circulation, this would theoretically allow 16 units of approximately 700 sq. ft. each. However, dwelling units must have windows for light and air access, and windows cannot be located directly on property lines. The site also has a Floor Area Ratio limit of 3.25.

Therefore, some portion of the residential levels must be set back from the property lines.

Maintaining full frontage along the street allows more window area for units facing the street and creates a more unified appearance and massing for the project on the block [J]. To the rear, units on both sides of the access hallway [K] must have window frontage, and we have therefore set back the building from both side property lines by approximately 13 feet [L]. This also allows the parking below to qualify as an "open parking garage" under the building code, eliminating the need for costly mechanical ventilation of this area [M].

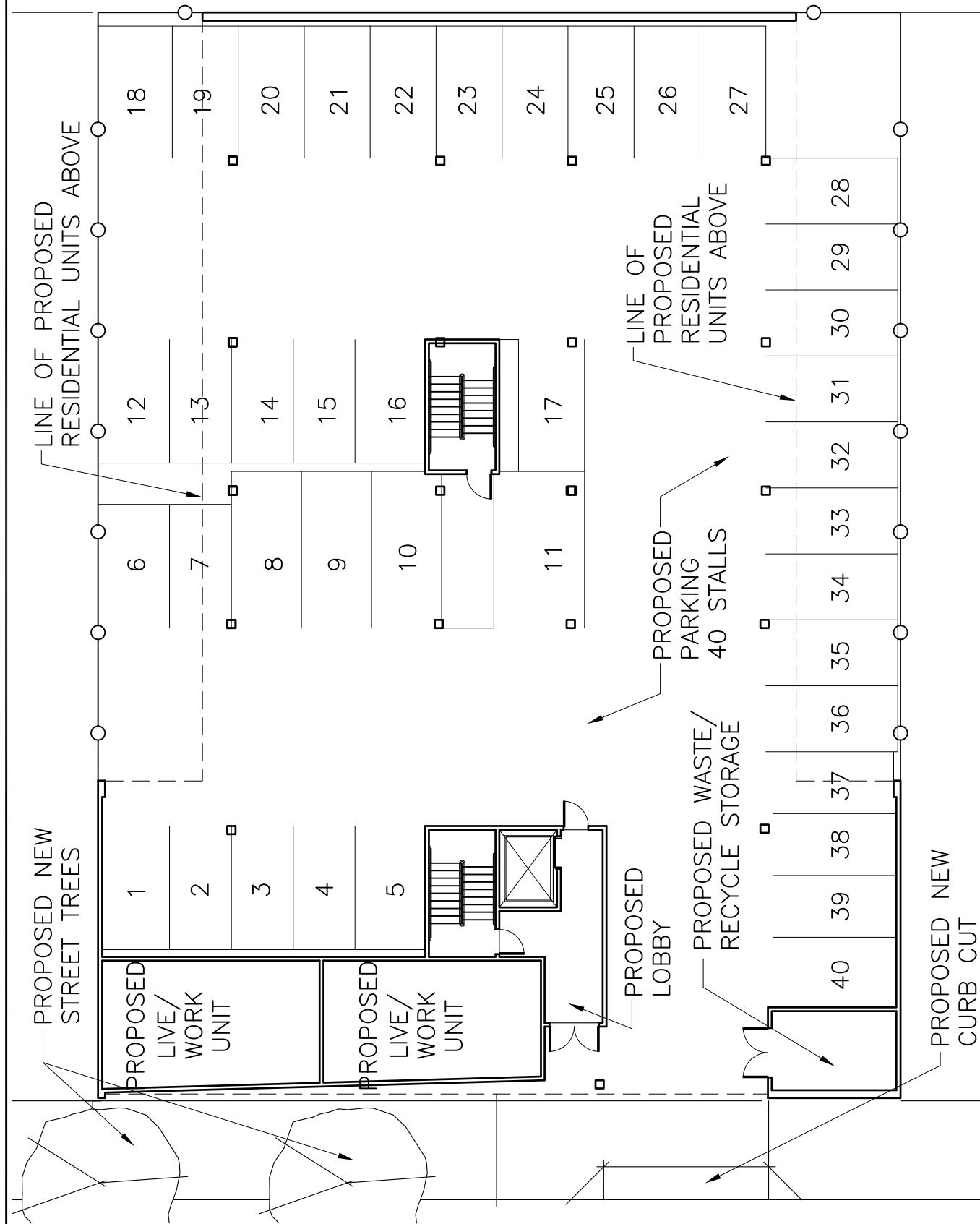
The units to the rear thus have access to light and air to the sides, so a further setback to the rear is not necessary and would in any case reduce overall unit square footages or unit count to unacceptably low levels. The proposed design therefore extends the residential floor plates to the rear property line [N]. The adjacent properties on all sides share the same commercial zoning designation and also have no side yard setback requirements. Overall plan shape is kept simple and regular to avoid cost issues, and is laid out on a four-foot module to reduce construction waste and allow for advanced framing techniques or partial modularization to be used. The firewalls at the side and rear property lines provide excellent shear wall locations.

Limited Building Configuration Options & Early Design Guidance

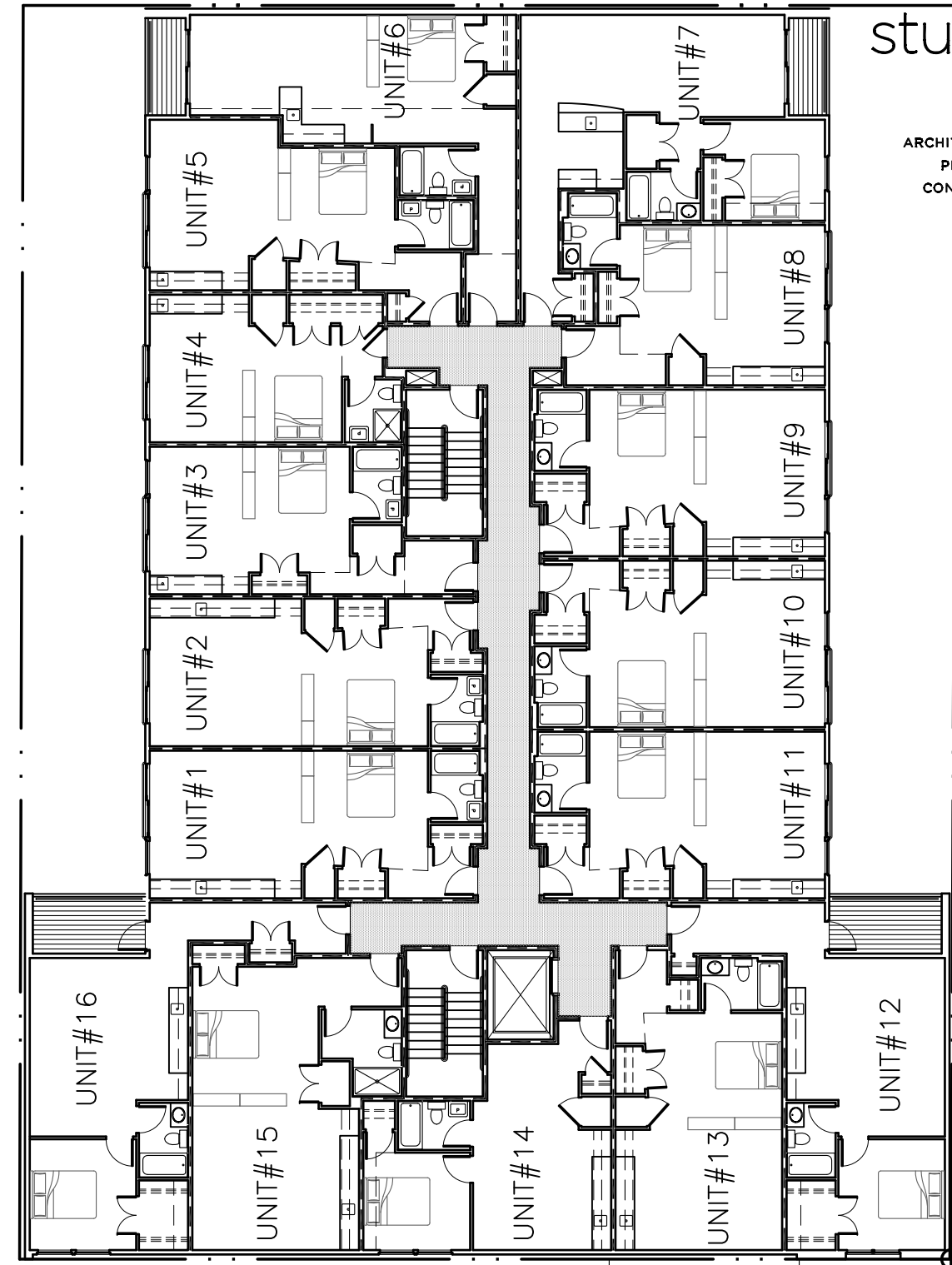
Following directly from the project feasibility criteria through the dimensional restrictions of the site and use geometries, we find that there is essentially only one way to "skin the cat" when it comes to overall building configuration for this project, yet the Early Design Guidance process recommends that applicants provide three distinct configuration options.

As part of our design proposal, rather than present non-feasible configuration options, our primary task for design review is then to determine alternatives for satisfying the design review guideline criteria within the configurational envelope that satisfies the project parameters. The three schemes shown here investigate how that might be done with exterior skin and fenestration treatment (Option 1), sloped roof elements (Option 2), and feature elements such as clerestory pop-ups (Option 3).

CONCEPTUAL PARKING PLAN



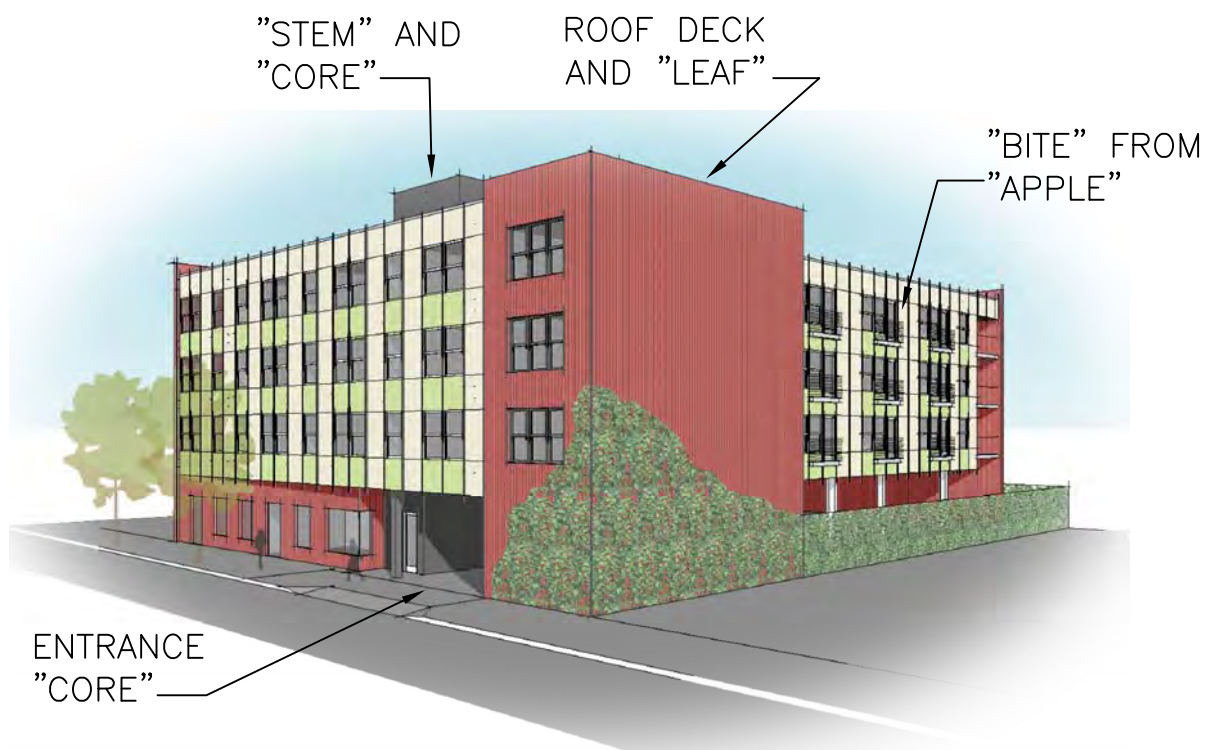
CONCEPTUAL TPY. UNIT PLAN



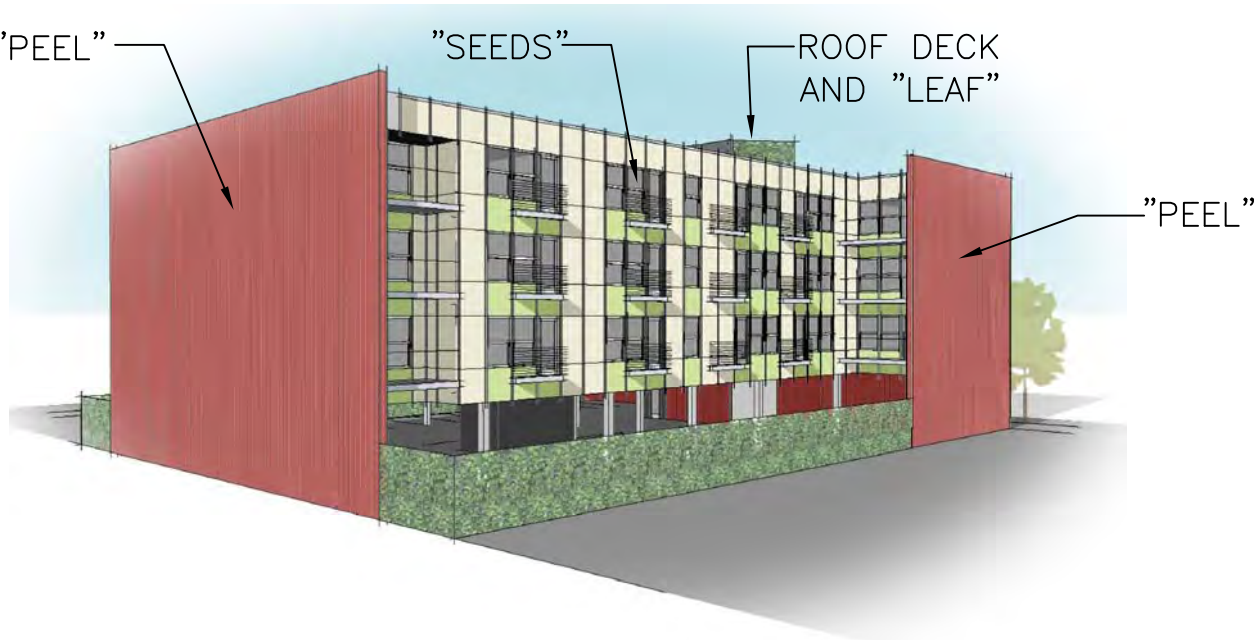
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CONSULTING



OPTION 1: "RED DELICIOUS"



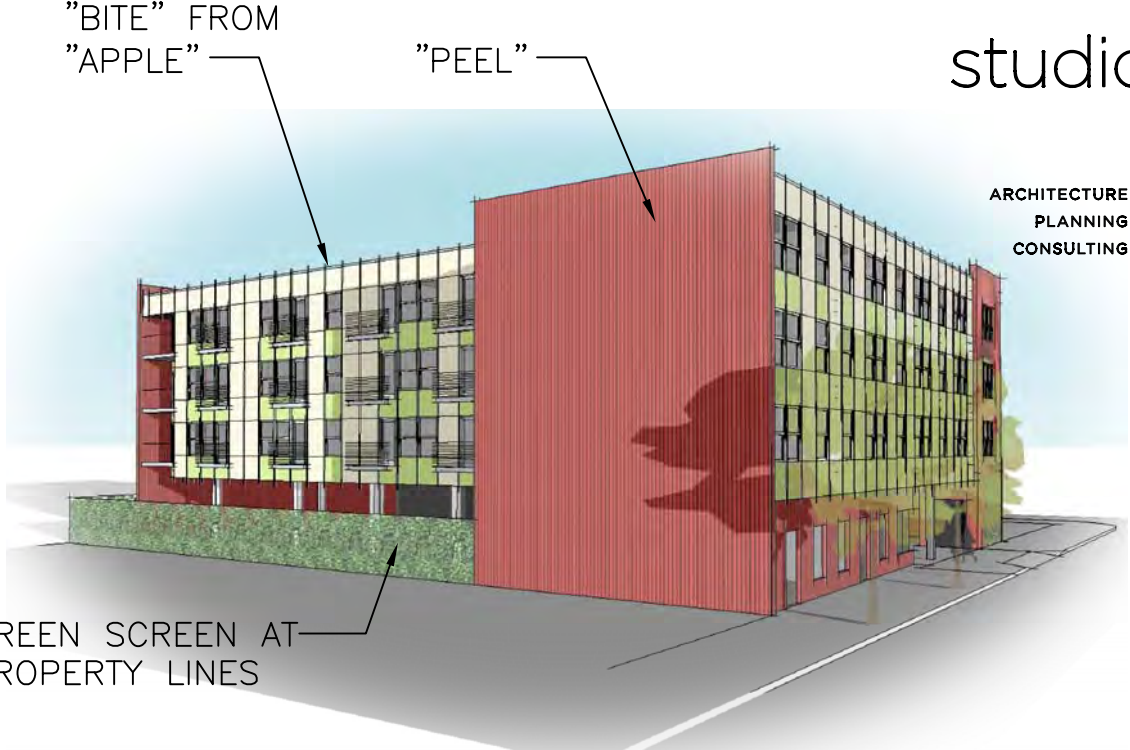
1 PROPOSED SOUTHWEST ELEVATION
SCALE: NOT TO SCALE



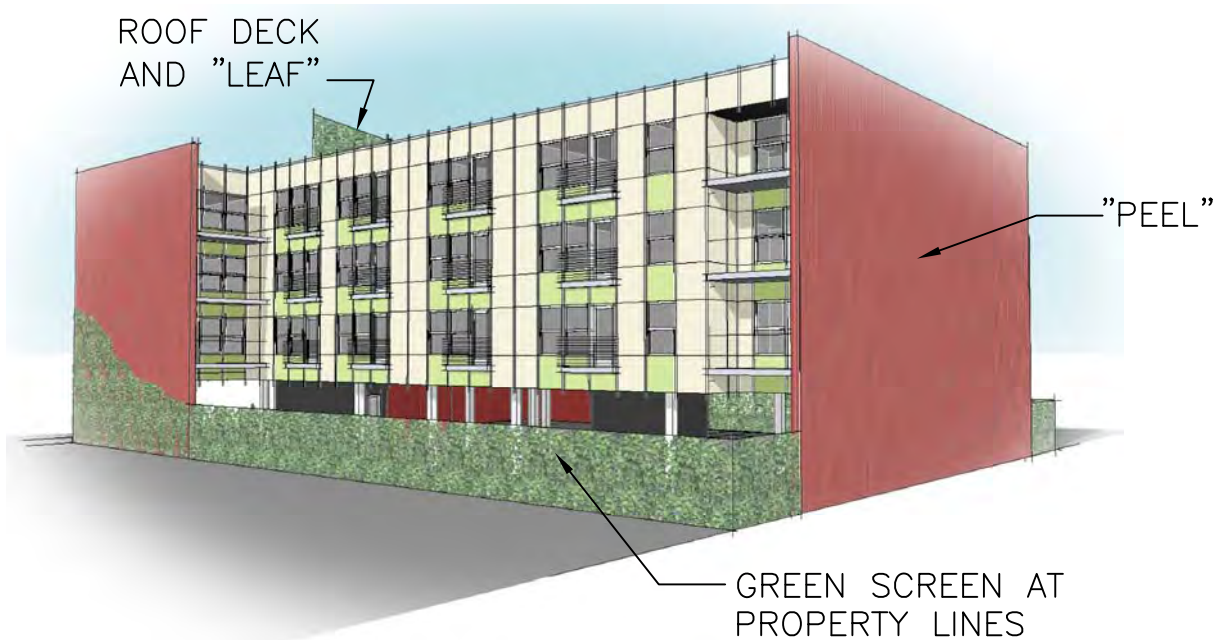
3 PROPOSED NORTHEAST ELEVATION
SCALE: NOT TO SCALE



INSPIRATION:



2 PROPOSED NORTHWEST ELEVATION
SCALE: NOT TO SCALE



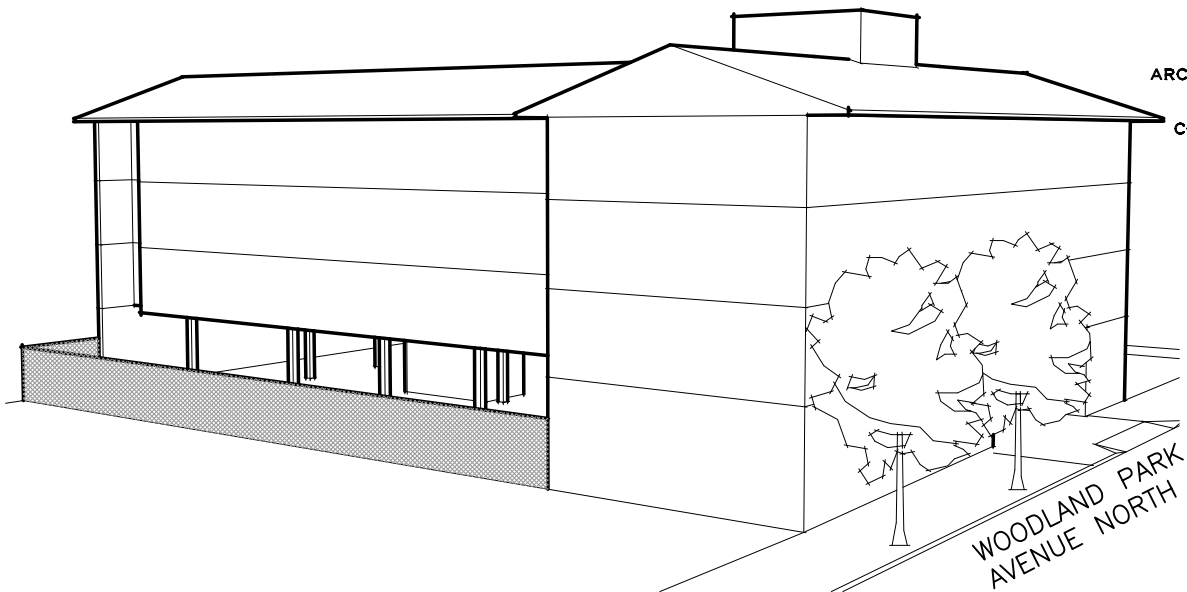
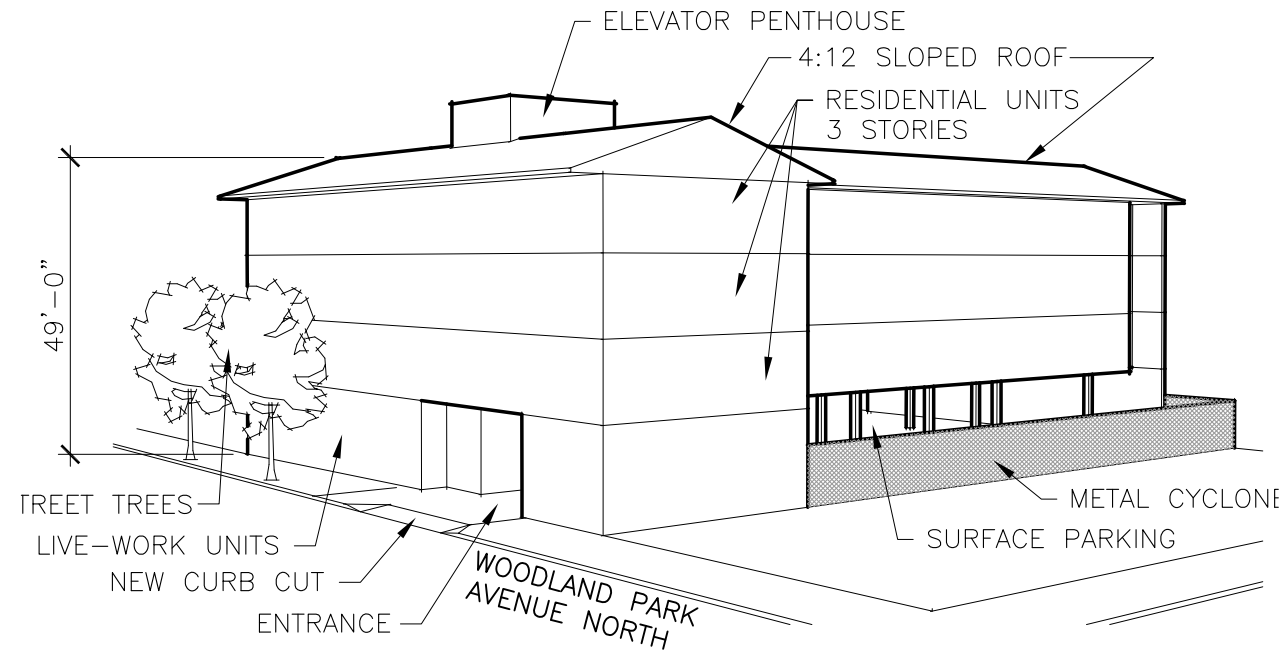
4 PROPOSED SOUTHEAST ELEVATION
SCALE: NOT TO SCALE

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OPTION 2: SLOPED ROOF

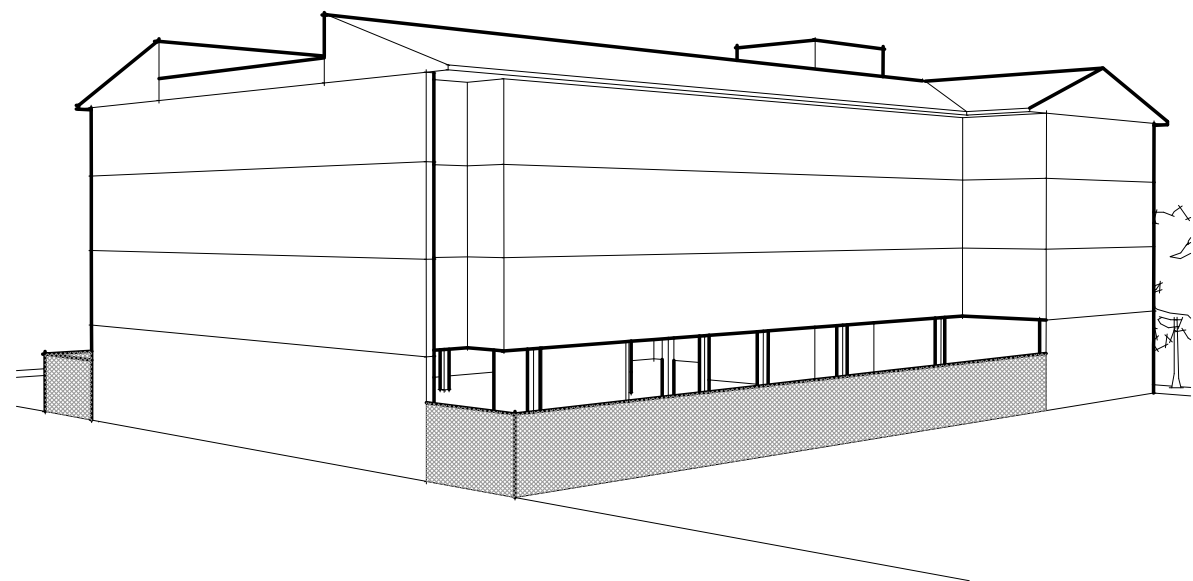
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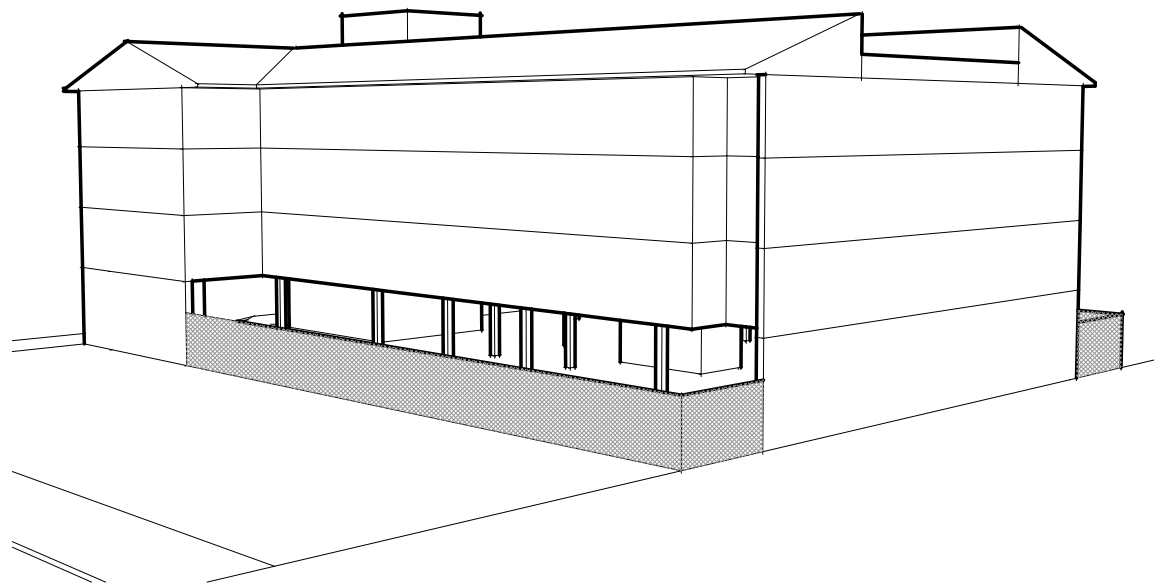


1 PROPOSED SOUTHWEST ELEVATION
SCALE: NOT TO SCALE

2 PROPOSED NORTHWEST ELEVATION
SCALE: NOT TO SCALE



3 PROPOSED NORTHEAST ELEVATION
SCALE: NOT TO SCALE

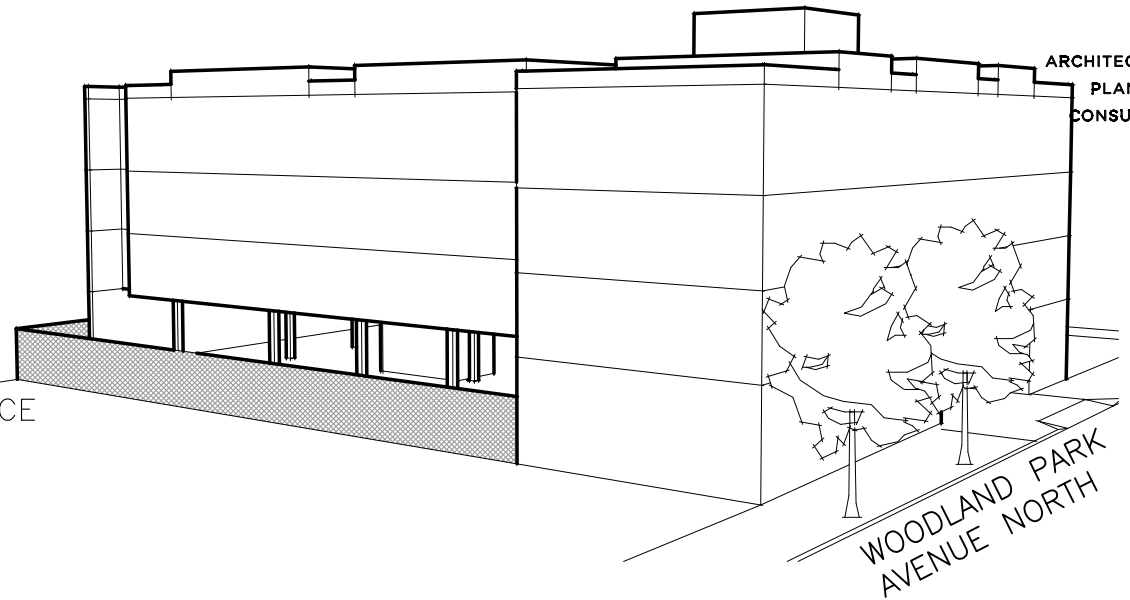
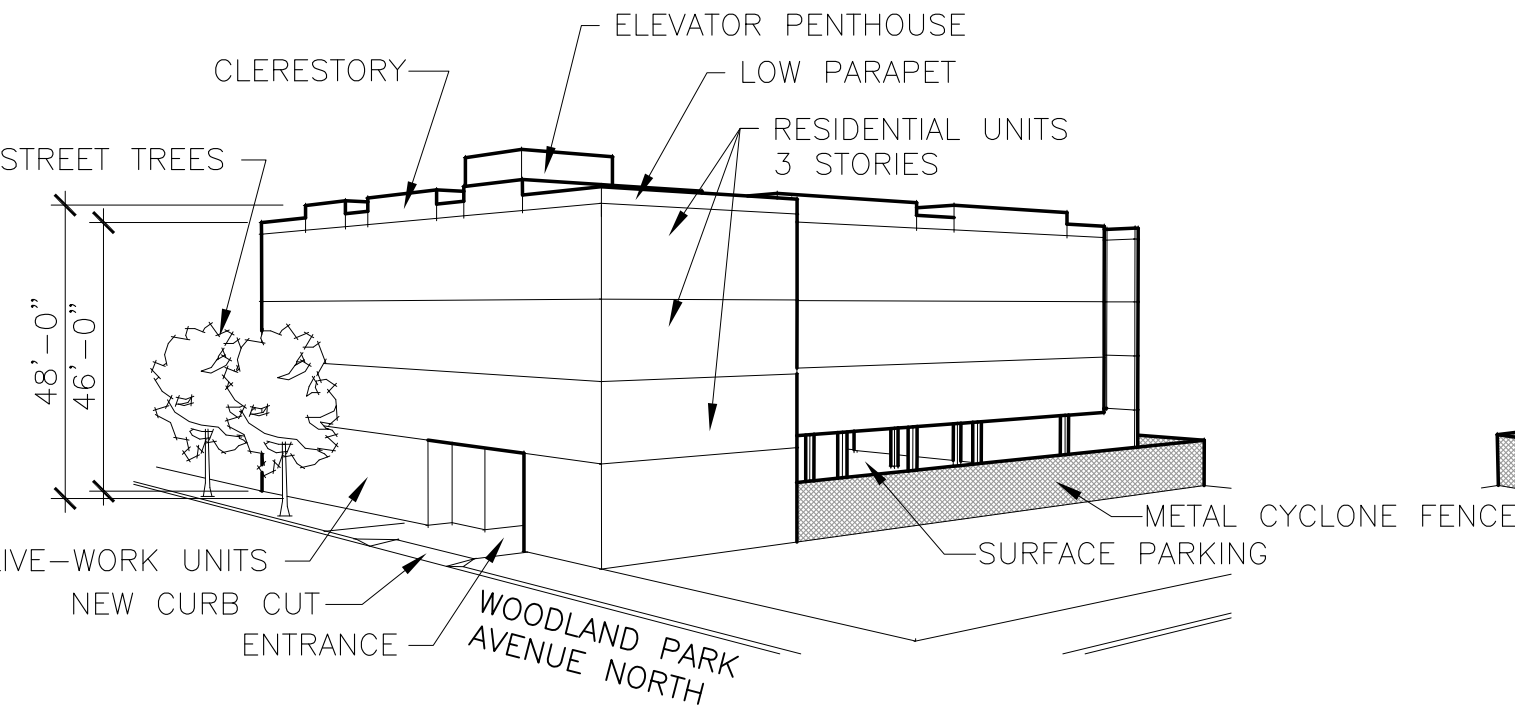


4 PROPOSED SOUTHEAST ELEVATION
SCALE: NOT TO SCALE

OPTION 3: CLERESTORY AT 4TH FLOOR

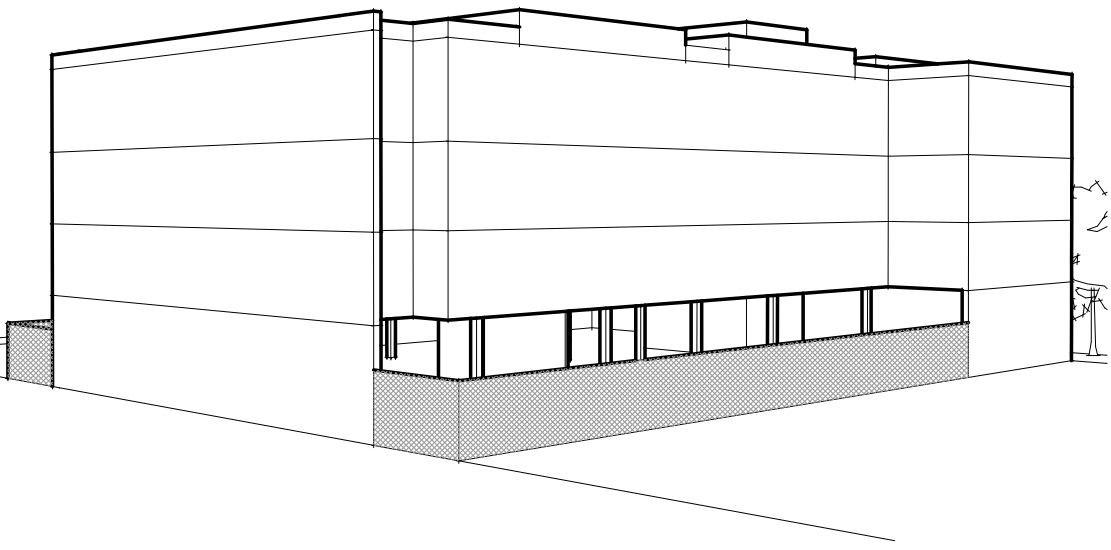
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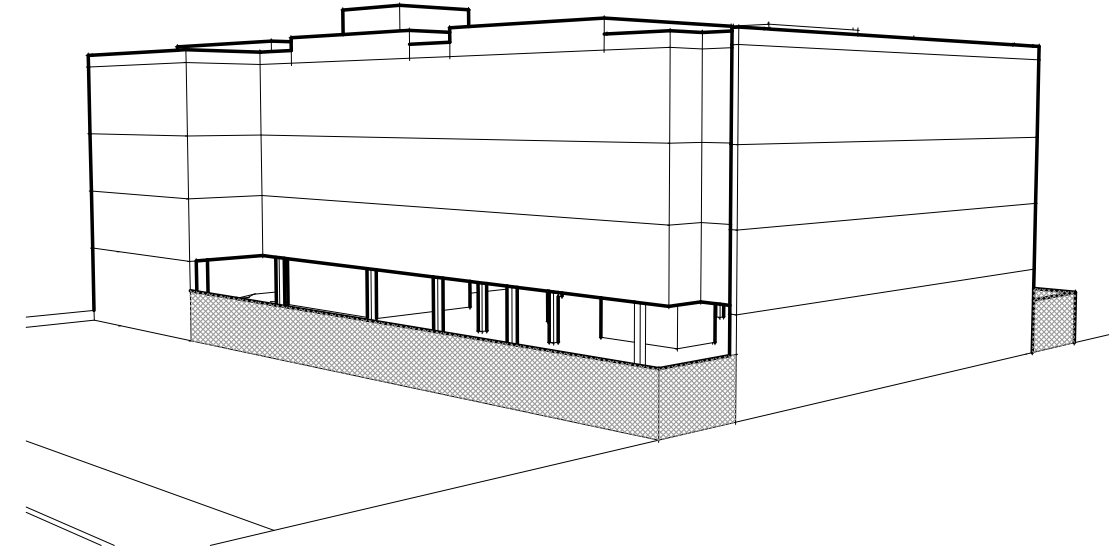


1 PROPOSED SOUTHWEST ELEVATION
SCALE: NOT TO SCALE

2 PROPOSED NORTHWEST ELEVATION
SCALE: NOT TO SCALE



3 PROPOSED NORTHEAST ELEVATION
SCALE: NOT TO SCALE



4 PROPOSED SOUTHEAST ELEVATION
SCALE: NOT TO SCALE

FREESTANDING TRELLIS FENCE EXAMPLE

Size: 4' wide x 6',8',10',12', or 14' tall x 2" or 3" thick also available in 2" increments up to 4' x 14' in multiple panels

Finish: galvanized wire panels with multigrade alkaline wash, epoxy thermal-set primer, and baked on powder coat finish in gloss green, black, silver, white; matte wrinkle green or wrinkle black.

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CLADDING & SYSTEM CONSTRUCTION DESIGN DIRECTIONS

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SMOOTH PANELS
* VERTICAL BATTENS
* HORIZONTAL FLASHING
LINES ALIGN WITH
FENESTRATION
* 4'-0" GRID FOR
DESIGN UNITY &
REDUCED CONSTRUCTION
WASTE

42" X 72"
DOUBLE-HUNG WINDOWS
* TOP-BOTTOM
NATURAL VENTILATION
* ALLOWS LARGER
WINDOWS WITH
ECONOMICAL FRAMES
* REPETITIVE UNIT
SIZES CREATE FACADE
RHYTHM IN ALTERNATION
* BETTER SHADOW
LINES THAN WITH
CASEMENTS



HIGHER PARAPET @
EMPHASIS ELEMENTS

METAL SIDING @
EMPHASIS ELEMENTS

* STRONG COLOR
* TEXTURAL EFFECT

NEUTRAL COLOR

ACCENT COLOR @
WINDOW BAYS

* SMOOTH PANEL?
* PAINTED?
* TEXTURED?
* PRE-FINISHED?

3606 WOODLAND PARK AVE N: EARLY DESIGN GUIDANCE
CLADDING & SYSTEM CONSTRUCTION DESIGN DIRECTIONS

A13

STUDIO MENG STRAZZARA'S PROJECT PORTFOLIO EXAMPLES



BROADWAY ON BROADWAY
MIXED USE, CAPITOL HILL - SEATTLE, WA



DWELL ROOSEVELT
MIXED USE, ROOSEVELT WAY - SEATTLE, WA



SHILSHOLE BAY CONDOMINIUMS
MIXED USE, BALLARD - SEATTLE, WA