

LAUNDRY BLOCK - DPD PROJECT: EAST # 3011607 / WEST #3011606 / LAUNDRY BUILDING #3011522



Design Review Board Recommendation Meeting: April 20, 2011



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A.0 PROJECT DATA

- The Owner’s programmatic goals include:
- Approximately 300 new residential units, including 2-story lofts and live/work units and amenity spaces
 - ground floor retail
 - parking for approx. 300 vehicles (residential and commercial)
 - adaptive reuse of landmark Supply Laundry Building

- Qualitative design goals for the project include:
- establish a sense of place
 - create a street presence
 - respect the neighborhood
 - accommodate open space in a thoughtful manner
 - secure LEED Gold certification

Project Data (for new construction):

	West Phase	East Phase	total
total number of stories	7 stories	7 stories	7 stories
basement parking levels	3 basement levels	no basement	3 basements
approx. # vehicles	310 vehicles	no parking	310 vehicles +/-
retail SF	5,724 sf	3,628 sf	9,352 sf
total building sf	292,536 gsf	86,554 gsf	379,090 gsf

Supply Laundry Adaptive Reuse:

approx. 27,000 gsf commercial (retail and/or office) on 2 stories
approx. 9,000 gsf commercial and storage at basement
vehicle parking to be accommodated in West Phase

2.0 ZONING DATA

2.1 Height: SMC 23.48.010
Max. Allowed: 55'/75' mixed use or residential 75'
Can be up to 85' if:
1. 2 floors have a floor-to-floor height of 14'
2. Additional height used to accommodate mechanical equipment.
3. Does not allow more than 7 floors.
70' max Type VA sprinklered

Roof Top Features: The following rooftop features may extend up to 15 feet above the maximum height limit, so long as the combined total coverage of all features listed in this subsection 23.48.101.F.4 does not exceed 20% of the roof area, or 25% of the roof area if the total includes stair or elevator penthouses or screened mechanical equipment:
Solar Collectors, Stair and elevator penthouses, mechanical equipment, Atriums, greenhouses and solariums

SMC 23.48.101.F.5 - Greenhouses that are dedicated to food production are permitted to extend 15 feet above the applicable height limit, as long as the combined total coverage of all features gaining additional height listed in this subsection 23.48.010.F does not exceed 50% of the roof area.

2.2 Upper Level Setbacks: SMC 23.48.012
Upper level setback required at Harrison above 45'
Structures on lots abutting alley in SM/R shall provide setback above 25'
(1:2 to a maximum of 15' & 4' of balconies, decks, eaves, etc. may project into setback.)
DEPARTURE REQUESTED

2.3 General Façade Requirements: SMC 23.48.014
A primary building entrance shall be required from the street +/- 3' from sidewalk grade.
Minimum Façade Height 25' on Class 2 pedestrian streets (Harrison & Republican)
DEPARTURE REQUESTED
Street Level Setback: SMC 23.48.014.D
1. may have setback 12' max. from property line
2. additional setbacks for 30% of the setback area located 20' min. from street corner.
Parking: SMC 23.48.024.3.a
parking in structures must be separated from street by other uses along Class 2 Pedestrian streets

2.4 Transparency and blank façade: SMC 23.48.018
Transparency: SMC 23.48.018.A.1
No transparency at residential use.
a. Class 2 pedestrian streets minimum 60% of facade width must be transparent
b. Other streets: minimum 30% of façade width must be transparent
c. When slope of street > 7.5%, transparency may be reduced to 45% on Class 2 streets.
DEPARTURE REQUESTED

Blank Facades: SMC 23.48.018.B.3
a. Class 2 pedestrian streets - maximum 15' wide (except garage doors), total <40%
b. Other streets - maximum 30' wide (except garage doors), total < 70%
DEPARTURE REQUESTED

2.5 Street Level Uses: SMC 23.48.019
Only apply to Class 1 pedestrian streets. - None on this project.

2.6 Residential Amenity Area SMC 23.48.020
Required: 5% gross resid. space = 192,421 gsf @ 5%= 9,621 gsf req'd
up to 50% of residential amenity may be enclosed (greenhouses, solariums) 11,594 gsf provided
minimum dimensions: 15 feet, not less than 225 feet COMPLIANT
DEPARTURE REQUESTED to allow both buildings on site to use common amenity areas.

2.7 Screening and Landscaping Standards: SMC 23.48.024
Required: street trees per SDOT

2.8 Solid Waste & Recyclables: SMC 23.48.031
Required: 100+units = 200 s.f. + 2 s.f. for each additional unit. 202 units = 404 SF req'd
Provided: 646 SF
COMPLIANT
Access: 1. front-loading dumpsters shall have direct access from alley or street
2. gates and access way shall be a minimum of 10' wide.
3. 21' overhead clearance required.

2.9 Required Parking and Loading: SMC 23.48.034
parking: 23.54.015.B applies:
"In commercial zones in urban centers, no parking is required, except for fleet vehicles."
It was confirmed that the project is in the South Lake Union Urban Center, and that the SM zone is a "commercial zone" according to the definitions section 23.84.048, "zone, commercial."
loading berth: none required per SMC 23.54.035.B.2
Access: SMC 23.48.034
1. when lot abuts an improved alley, access shall be from alley
2. when lot fronts alley and east/west street, parking may be from east/west street
3. if lot does not abut an improved alley...
4. Director shall determine whether location of parking/loading will expedite movement of vehicles
5. Curbcut width and number of curbcuts shall be per 23.54.030.

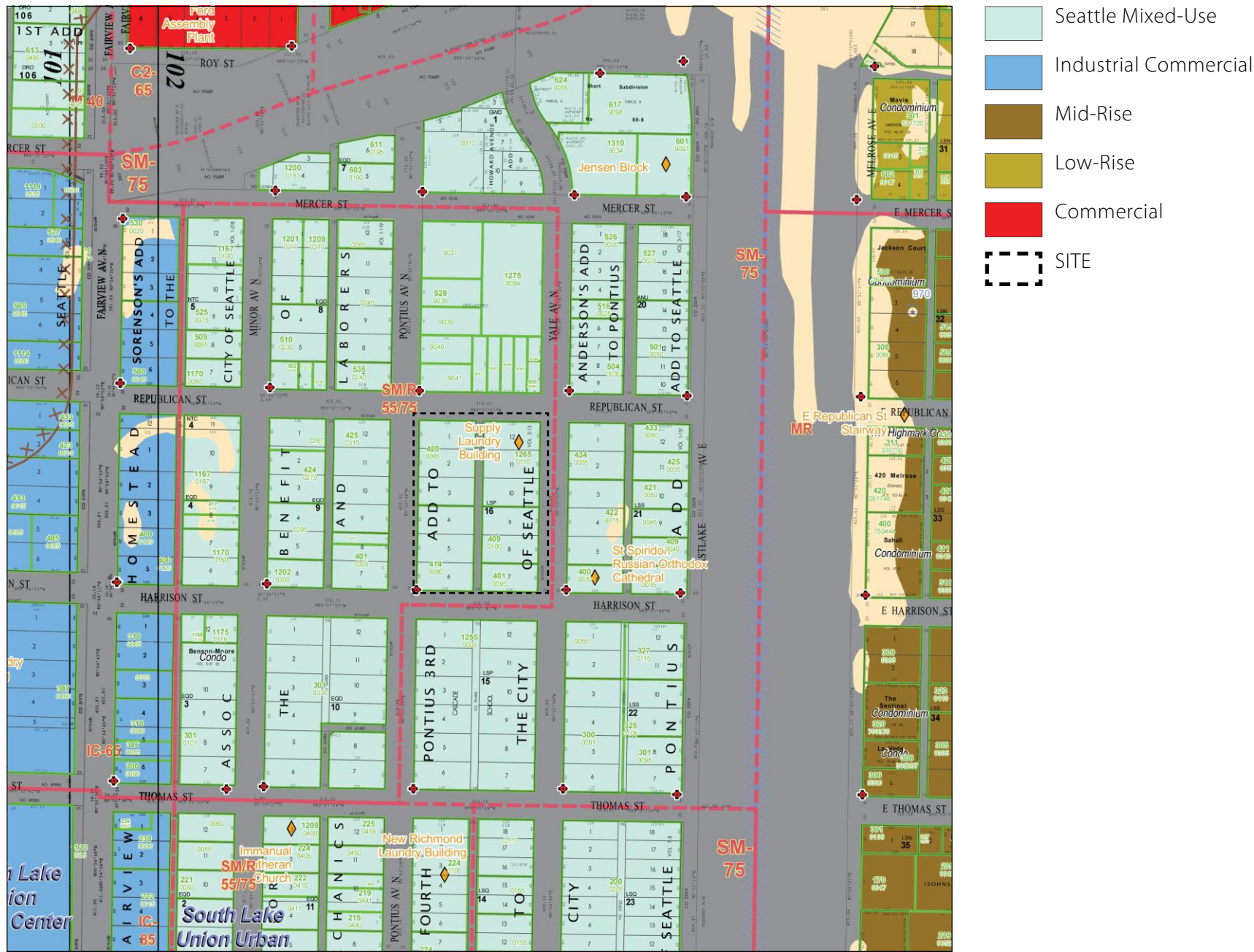
DEPARTURE REQUESTED for parking access

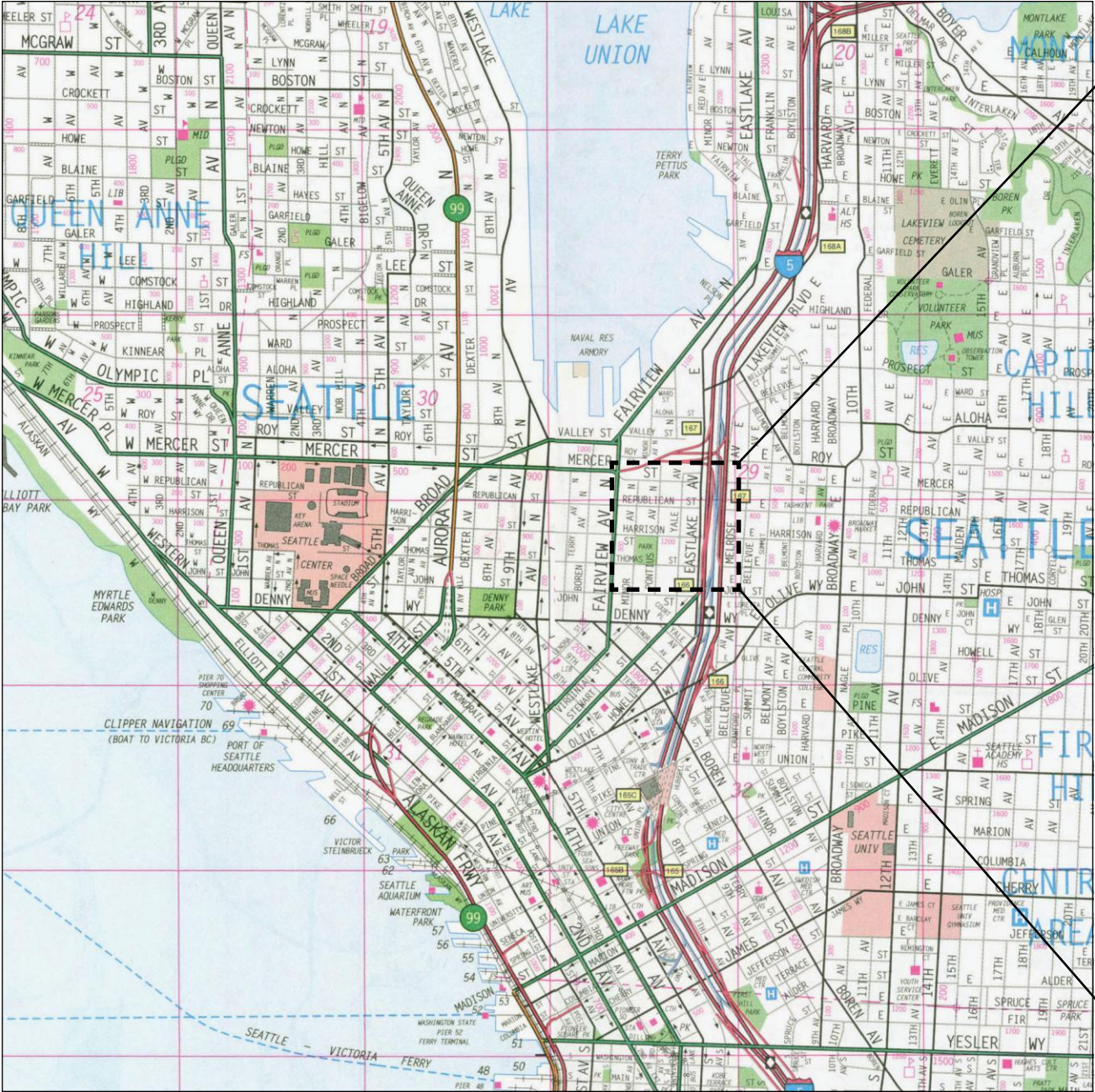
	Commercial				Residential				Totals
	S	M	L	BF VAN	S	M	L	BF	
P3			0		10	55	8		73
P2			0		54	57	8		119
P1	52	34	1	2		21	4		114
subtotal	52	34	1	2	64	133	20		306
	89 commercial stalls				217 residential stalls				
commercial:	2% Large 38% Medium 58% Small				residential:	9% Large 61% Medium 29% Small			
	35% min 35% min 65% Max					60% min permitted			

Bicycle Parking	SMC 23.54.015 Chart E		
	Required Bicycle Parking Ratio		Required
Sales & Service	8,064 sf	1/ 12000	2 long-term stalls
Residential	298 units	1/ 4	75 long-term stalls
			77 Total long-term
Sales & Service	8,064 sf	1/ 4000	2 Total short-term
			79 TOTAL

After the first 50 spaces for bicycles, additional spaces are required at one half the ratio shown in Chart E.
79 total spaces required
50 spaces at 100% = 50
29 spaces at 50% = 15
Adjusted total required = 65 long and short-term bicycle parking stalls
100 provided at Level 1 of 10W and 10SE
short term parking stalls located in grade-level courtyard
Loading berth: low to medium demand use (general commercial sales, medical services)
less than 10,000 sf
no loading berth required

A.2 ZONING MAP





Vicinity Map



Zone: SM/R 55' / 75'
Overlay: SLU Hub Urban Village
Class 2 Pedestrian Streets: Republican & Harrison

B.1 SURROUNDING USES



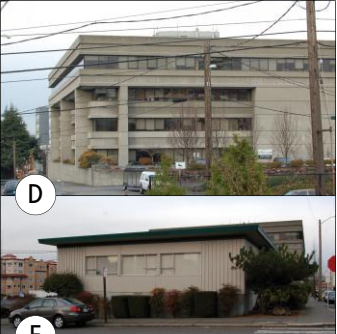
A Casa Pacifica / Affordable Housing



B Home Deli & Apt. Bldg.



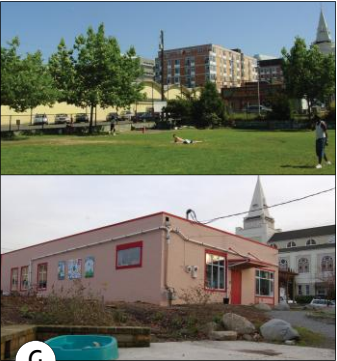
C Cascade Senior Housing



D Pontius Building / City Center Council



F Cascade Park Walk



G Cascade Park & Center



H Alcyone Building (mixed-use)



I Affordable Housing



J Alley 24



T Amli 535 Building



S 505 Yale Ave. N



Q Supply Laundry Building



R 500 Yale Ave. N



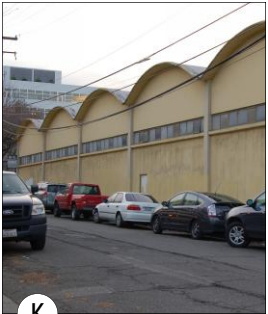
P The Cairns



O St. Spiridon Cathedral



N Pemco Insurance Building



K Florist Building



L Lutheran Church

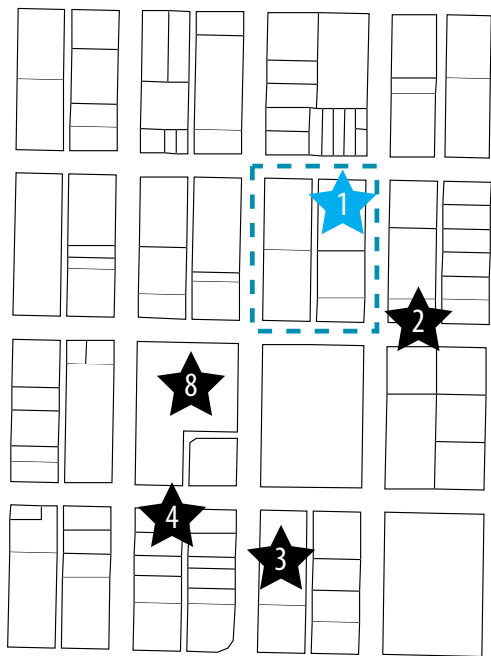


M REI Shopping Center

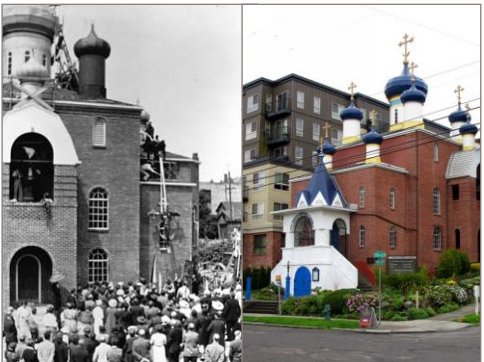
HISTORIC LANDMARKS IN THE CASCADE NEIGHBORHOOD



1 Supply Laundry Building
1265 Republican Street



- 1 Supply Laundry Building
- 2 St. Spiridon Orthodox Cathedral
- 3 New Richmond Laundry Building
- 4 Immanuel Lutheran Church
- 5 Old Norway Hall
- 6 Seattle Times Building
- 7 Troy Laundry Building
- 8 Cascade Park
- 9 Van Vorst Building
- 10 St. Clocks: West Earth Co.
- 11 Pacific-Ford McKay Building
- 12 Ford Assembly Plant
- 13 Schooner Wawona



2 St. Spiridon Orthodox Cathedral
400 Yale Avenue N



4 Immanuel Lutheran Church
1215 Thomas Street



3 New Richmond Laundry Building
224 Pontius N



8 Cascade Playground
333 Pontius Avenue N



B.3 REPUBLICAN ST. FACADES

A PROJECT SITE

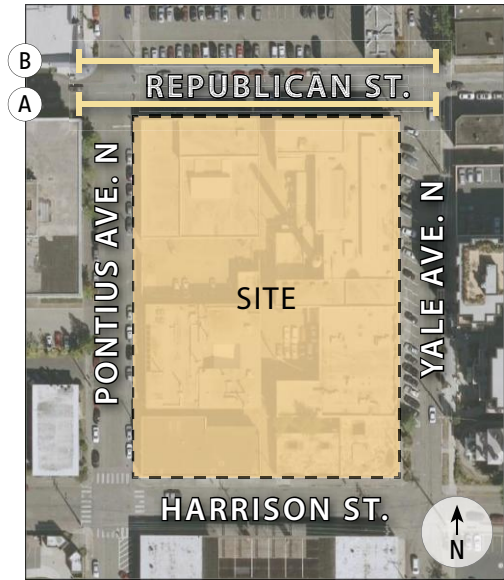


Republican St. - Looking South (toward site)

B ACROSS FROM PROJECT SITE



Republican St. - Looking North (away from site)



A PROJECT SITE



Yale Ave. N - Looking West (toward site)

B ACROSS FROM PROJECT SITE



Yale Ave. N - Looking East (away from site)



B.5 PONTIUS AVE. N. FACADES

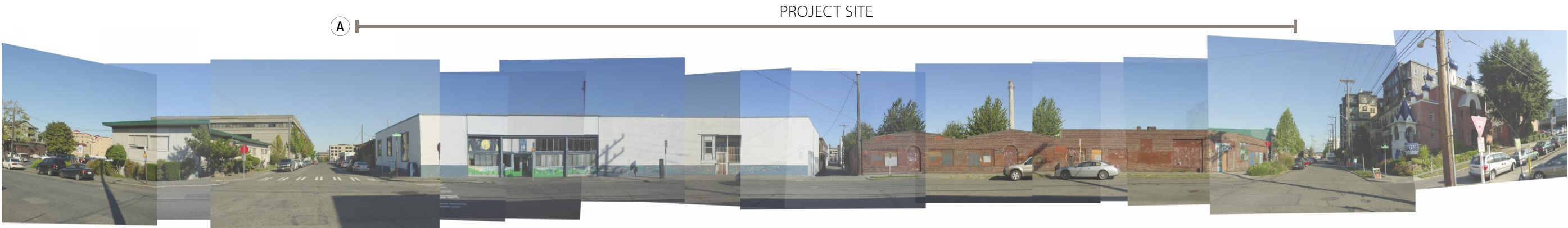


Pontius Ave. N - Looking East (toward site)



Pontius Ave. N - Looking West (away from site)

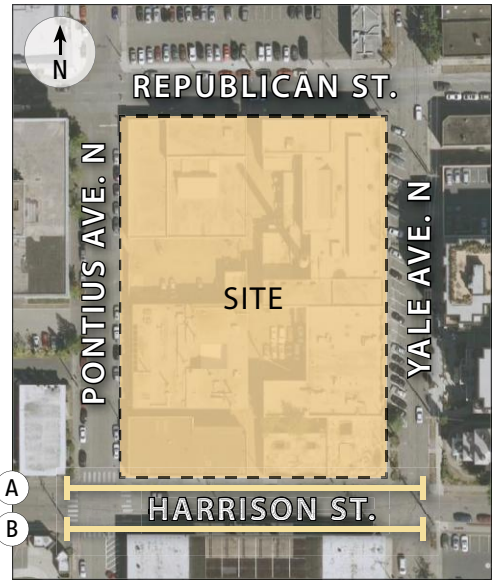




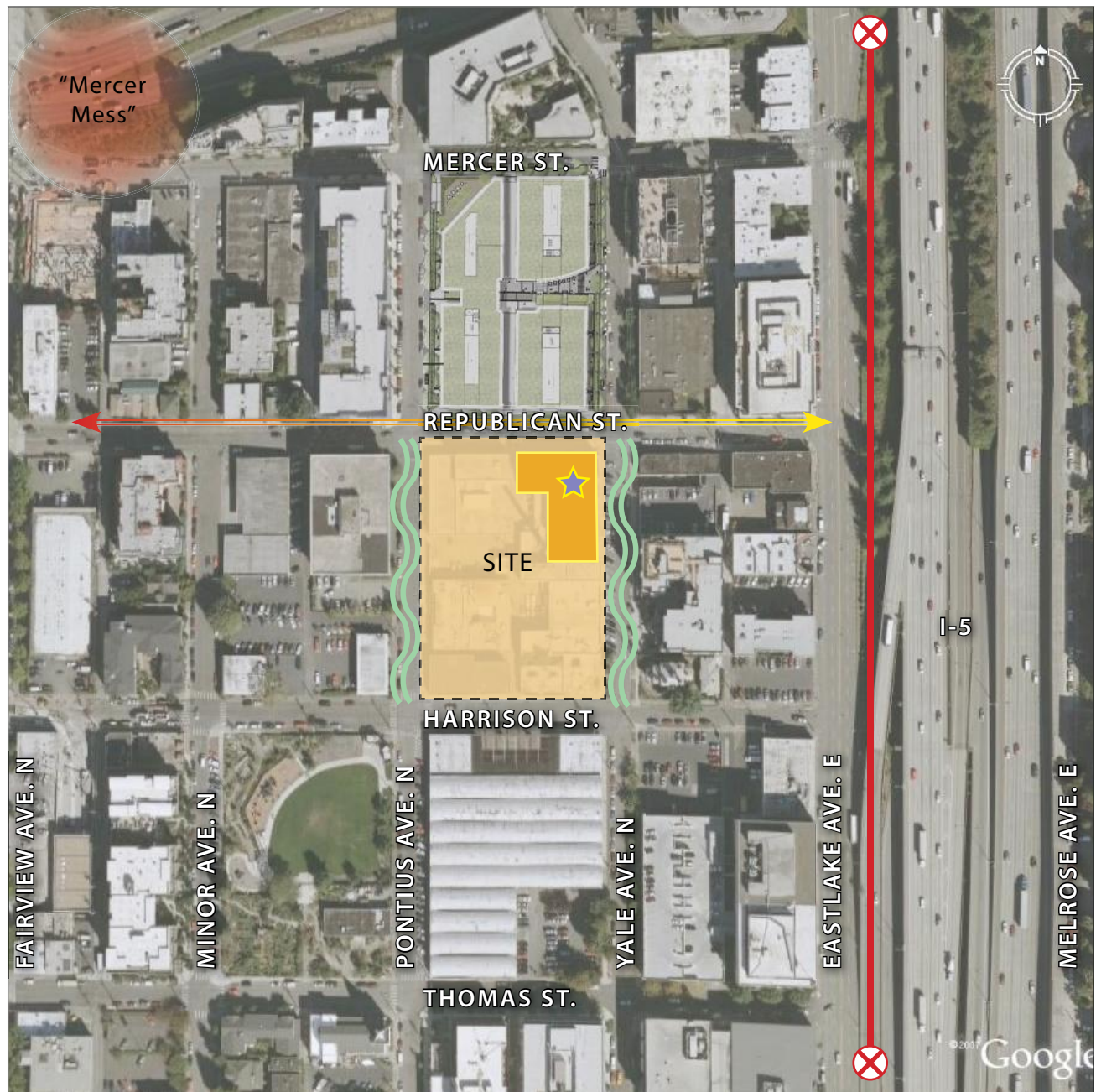
Harrison St. - Looking North (toward site)



Harrison St. - Looking South (away from site)



B.7 SITE ANALYSIS: SITE CONSTRAINTS



- "Mercer Mess" - heavy traffic Isolates neighborhood.
- I-5 Cut off pedestrian connection to Capitol Hill
- Maintain existing landmark
- Swales:
 - Limited ability to bridge across for retail access
 - Road narrowed & parking limited along Pontius & Yale
- Brisk traffic along Republican St.

Seattle's Blue Ring Concept:

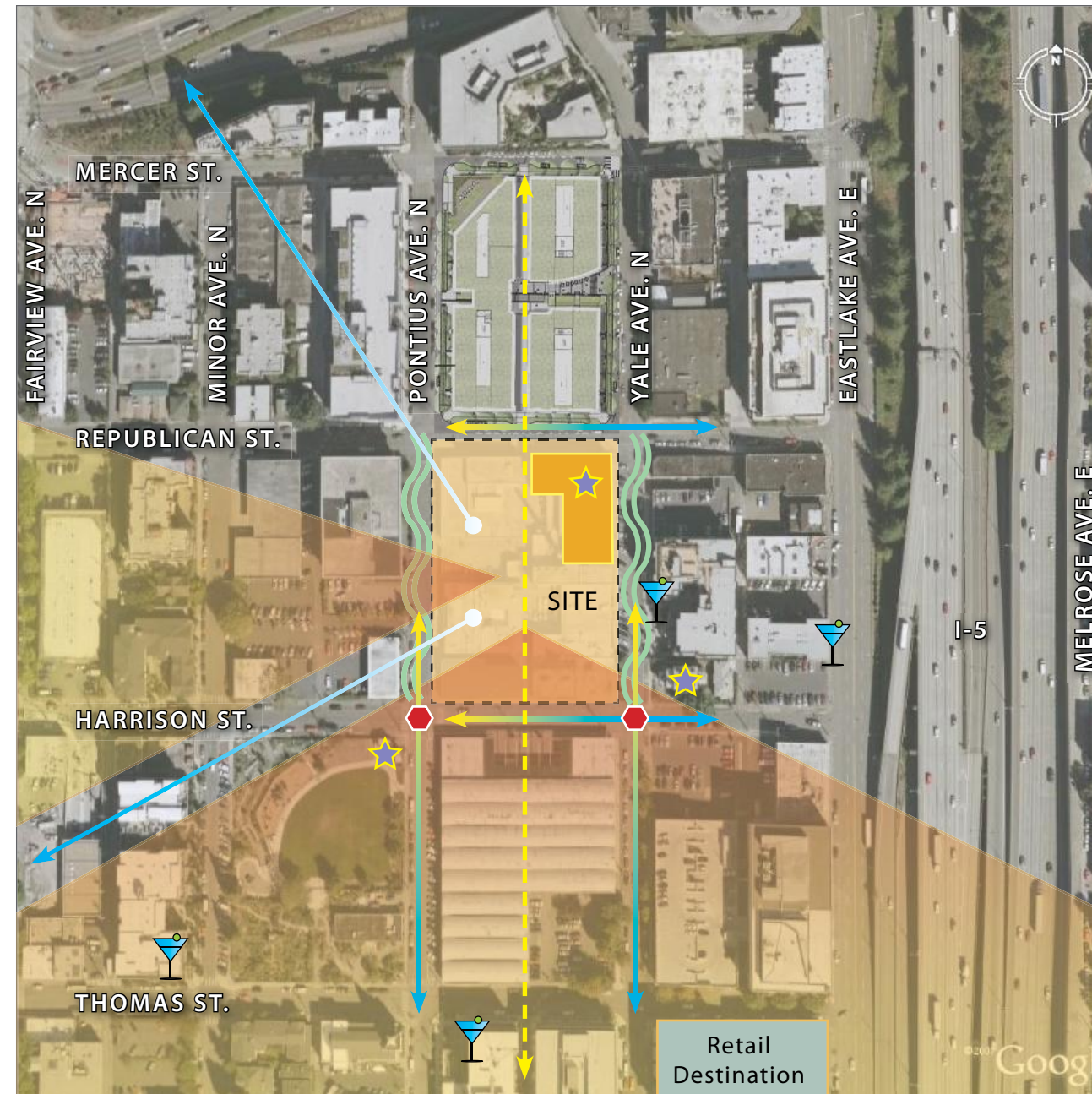


The Center City consists of 10 neighborhoods that originally were the commercial and industrial core of Seattle.

The Center City lacks open space usable by visitors and residents.

GOAL:

- To activate public spaces and use existing assets such as water, public parks, private plazas and the street right-of-way.
- To use the Blue Ring to connect existing assets and "strategically add new open spaces to create a more unified public realm and a wonderful walking experience.



- Swales:
 - Appropriate environment for Live/Work or residential stoops
- North/South - Pedestrian connection to future re-development
- East/West - Pedestrian connections to park and transportation
- Traffic calmed by 4-way stop signs
- Landmarks:
 - Supply Laundry Building
 - St. Spiridon Orthodox Cathedral
 - UPA-era park restrooms
- Pedestrian access to Blue Ring Connection
- Solar access
- Enhanced Pedestrian Alley experience through future re-development
- Close Retail destinations
- Potential views to Space Needle & Lake Union
- Neighborhood Entertainment:
 - Victory Lounge (Eastlake Ave. N)
 - Paddy Coyne's (Thomas St. & Minor Ave. N)
 - Feierabend (422 Yale Ave. N)
 - Southlake Grill (1255 Harrison St.)

C.0 SUMMARY OF EARLY DESIGN GUIDANCE

DESIGN GUIDELINE PRIORITIES

After visiting the site, considering the analysis of the site and context provided by the proponents, and hearing public comment, the Design Review Board members provided the following siting and design guidance and identified by letter and number those guidelines found in the City of Seattle’s Design Review: Guidelines for Multi-family and Commercial Buildings and the South Lake Union Design Guidelines of highest priority to this project.

“Hot Buttons” are items initially discussed by the Board and include items of top importance for the design. For this project, the Board determined the hot buttons were:

1. **Street vs. Alley development.**

The Board noted that the proposed massing and street level uses will draw more retail/office/restaurant visitors through the alley and mid-block connections, as opposed to the bordering streets. This is acceptable, given the adjacent development and strong alley connections to the north and the south. However, the result should not be a site oriented only to the interior. The applicant should recognize the unique identity of the alley connections, the swale development, and proximity to adjacent destinations (Cascade Park, landmarks, and businesses). The proposed design should respond accordingly to each condition.

RESPONSE: The applicant proposes not to orient the project only to the interior of the block, but rather to give as much consideration to the alley facing facades as is typically provided for street facing facades.

2. **Street facing character adjacent to the swales.**

The proposed swales at this site are an opportunity and the proposed project design should strongly respond to that opportunity.

- o Employ a **consistent architectural design response** on the facades adjacent to the proposed swales. (ex. Gardens and stoops responding to landscaping in the swale)
- o The applicant should include sections at the MUP stage of review that demonstrate the proposed development in context with the proposed swale design.

RESPONSE: Section drawings to describe the relationship between the building entries and swales were included in the MUP application. Gardens and stoops have been employed to create a public/semi-public/private transition between the swales and the townhouse entries. More illustrations of these conditions will be presented at the DRB Recommendation meeting on April 20, 2011.

3. **Alley character**

- o The Supply Laundry Building smokestack and alley-facing plaza should be the primary focal point of the alley development, with nearby massing, pedestrian connections, and facades designed to enhance this area
- o Apply one simplified architectural typology for development facing the alley
- o The two mid-block connections between the alley and Pontius/Yale should be consistently designed to better focus on the axis of this connection, with the smokestack at the center of that axis
- o The Board expressed a willingness to entertain the departure for a curb cut at Republican St, but noted that the alley should continue to function as an alley for the purpose of vehicular access, loading, and services.

RESPONSE: The courtyard at the alley side of the Supply Laundry building has been designed to allow a restaurant in the building to spill out around the smokestack. Materials planned for this plaza include reclaimed steel beams from within the Supply Laundry Building repurposed as trellises, and reclaimed diamond plate decking. The smokestack will be uplit in the evenings to reinforce the focal point of the new development. The alley provides vehicular access to the Supply Laundry loading dock, as well as the new buildings’ service areas.

4. **Design response to historic landmarks**

- (Supply Laundry Building on site, and St. Spiridon Cathedral across the street)
- o The proposed new construction should include design references to the historic landmark Supply Laundry Building on site
 - o Visually integrate the new structures with the old (references such as material, details, bay and window rhythm could be used), and emphasize the historic character of the landmarks
 - o Proposed new facades should not be so complex in design that they detract from the historic landmarks

RESPONSE:

The south facades along Harrison Street intentionally angle back and/or are held lowered to the ground to maintain a visual access between the adjacent St. Spiridon Cathedral and Cascade Park. A departure has been requested to support this design intent.

The rhythm of the Supply Laundry’s brick pilasters along Yale Ave N is reflected in the design of the Fabric building masses, which also feature visible masonry frames as organizing elements for their facade design. The intention is that the Fabric building masses reflect the proportion and materiality of both the Supply Laundry building and the other existing industrial masonry buildings in the neighborhood. The Fabric elements are intended to act as background, contextual buildings to the historic landmarks on and around the site.

The architectural design concept of Object - Fabric - Link distills the full block redevelopment project into smaller, neighborhood scaled building masses. Clear and consistent detailing will be applied to each of the three styles to simplify the design and avoid competition with the historic landmarks.

A. Site Planning	
A-1	A-1 Responding to Site Characteristics
<p>The siting of buildings should respond to specific site conditions and opportunities such as non-rectangular lots, location on prominent intersections, unusual topography, significant vegetation and views or other natural features.</p> <p>Comments reflect those found in Hot Buttons above, specifically regarding a design response to the unusual conditions at the site (swales, historic landmarks, adjacent Park).</p> <p>The Board noted appreciation for both the mid-block connection from Cascade Park to the land marked smokestack, and the setback at the south façade for visual connection from the Park to St. Spiridon Cathedral. The Board advised further developing the mid-block connection to enhance the smokestack at the axis of that connection.</p> <p>Cascade Park is considered a “heart location.” The proposed angle of the mid-block connection will more directly connect the Park with the interior of the subject property and Yale Ave N, to the east. The Board noted that the Park-facing facades should be designed in response to the Park and swale and Pontius Ave N.</p>	<p>Applicant’s Response:</p> <p>The project proposes to create a large open space at grade along the alley to serve as a gathering space for the community. The design of the alley and surrounding spaces is focused on allowing the alley itself to become a comfortable pedestrian environment, similar to the precedent established with the Alley 24 development two blocks south of this site. The upper level massing of the buildings shifts to create breathing room between the 7-story volumes on either side of the alley, allowing light and air to penetrate the site and reach grade level open spaces at the center of the block.</p> <p>The project is voluntarily setting back 1’-0” along the entire frontages of Pontius Ave. N and Yale Ave. N. This is to allow room for the right-of-way requirements to spill over the property line and accommodate the SPU bioswales planned for this block. The swales will treat stormwater runoff from the Capitol Hill neighborhood before it is discharged into Lake Union. They will be populated with low-level plantings, providing green open spaces to the South Lake Union neighborhood. Plant materials similar to those found in the swales will be carried into the site at grade level, capitalizing on the sense of place created by the swales.</p> <p>We have completed a series of shadow studies as part of our SEPA application to confirm nearby Cascade Park will not be impacted by shadows from this new development.</p> <p>A large common area roof deck will be provided on top of the west building (10W) to provide residents with views of Lake Union to the north, Seattle Center to the west, and downtown to the south/southwest.</p>

A-2	A-2 Streetscape Compatibility
<p>The siting of buildings should acknowledge and reinforce the existing desirable spatial characteristics of the right-of-way.</p> <p>Guidance reflects the comments found in Hot Buttons 1 and 2. The applicant should demonstrate how the proposed design meets guidance and the South Lake Union guideline for development in and adjacent to the right of way for the adjacent streets. Specifically, the proposed design should focus on responding to the swales on Yale Ave N and Pontius Ave N, and appropriate development adjacent to the proposed retail at the north and south perimeters of the site.</p>	<p>Applicant’s Response:</p> <p>As noted above, the streetscapes along Pontius Ave N and Yale Ave N will be dominated by the future bioswales along this block. The swale edges will be populated with informational signage, pedestrian bridges and seating to enhance the pedestrian environment. Because the swales will limit mid-block crossings and parking along the east and west sides of the site, these frontages are proposed to house a combination of residential townhouses and live/work units at the center of the block, transitioning to commercial uses at the north and south ends of the block.</p> <p>Much of the south (Harrison Street) frontage is dedicated to commercial/retail use. The buildings have been set back several feet from the south property line to allow internal functions to spill out onto the sidewalk while still maintaining a minimum 6’-0” sidewalk to allow for pedestrian movement. Large awnings are proposed along the commercial frontages to allow for pedestrian overhead weather protection. Building and canopy lighting will be incorporated along all frontages of the block.</p>

C.2 SUMMARY OF EARLY DESIGN GUIDANCE

A-3	A-3 Entrances Visible from the Street
Entries should be clearly identifiable and visible from the street.	<p>Applicant's Response:</p> <p>As discussed in the Early Design Guidance meeting, the loft units at the SW corner of the site along Pontius Ave N are designed primarily for commercial use. Focusing on a commercial function and locating them adjacent to the large commercial space opposite the entrance to Cascade Park will encourage public interaction at this highly public portion of the site.</p> <p>Key elements of the building program have been oriented along the through-block pedestrian "mews" to generate activity at the ground plane around and through the site. The fitness room amenity space is located in the west building with large windows facing both the alley and the through-block "mews." A WinterGarden has been located adjacent to the entry lobby of the west building, carrying the outdoor landscaping found in the center of the site into the building and linking it to the green space of the swale along Pontius Ave N. Several of the townhouse entry stoops are located along the alley or the through block "mews" to help generate pedestrian activity at the center of the site. The parking garage has been concentrated to the west half of the site, thereby generating significant pedestrian traffic as residents of the southeast building (10SE) cross the alley to access their cars. To facilitate the passage of 10SE residents to the garage, a prominent entrance to the 10SE building lobby has been added to the through-block crossing opposite the smoke stack. Finally, a new entrance to the historic Supply Laundry building is proposed on the north side of the through-block crossing.</p>

A-4	A-4 Human Activity
<p>New development should be sited and designed to encourage human activity on the street.</p> <p>Guidance reflects the comments regarding street vs. alley hierarchy in Hot Button #1. The proposed retail/restaurant uses on site should be oriented to the street and the pedestrian connections to encourage human activity through and around the site.</p>	<p>Applicant's Response:</p> <p>See discussion above for a description of how the through-block crossing and ground related open spaces are designed to keep the neighborhood connections open. The project will provide lighting along the alley and at the through block connections to help the open spaces feel safe and comfortable for pedestrians, even at night.</p> <p>There are grade level residential units proposed along Yale Ave N, Pontius Ave N., the through-block crossing and along the alley. Each condition and the proposed approach vary slightly depending on the specific conditions. In each scenario there will be an entry sequence to create a public, semi-public, semi-private and private transition.</p> <p>With the exception of the historic building (given it is an existing condition), the proposed commercial spaces are set back from the property line to allow commercial activity to spill out onto the sidewalk and ease the transition from exterior public space to interior private space. Commercial space is concentrated at the south end of the site along Harrison St., a green street linking the project to Cascade Park. Commercial space is also proposed along Republican St., where traffic moves more quickly, making the ground level more appropriate for commercial use.</p> <p>The DRB suggestion to request raised street mid-block crossings along Pontius and Yale was considered during coordination meetings between this project and the SPU Swale design. Raised street crossings are not being pursued at this time as the street grading required by the new swales would make it difficult to accommodate additional catch basins along those frontages. Furthermore, raised street crossings are often not supported by SDOT.</p>

A-5	A-5 Respect for Adjacent Sites	
	Buildings should respect adjacent properties by being located on their sites to minimize disruption of the privacy and outdoor activities of residents in adjacent buildings.	<p>Applicant's Response:</p> <p>St. Spiridon Cathedral is a designated Seattle Landmark across Yale Ave. N. from this site. The building massing at the southeast corner of the site (10SE) has been angled back on the uppermost floors to preserve the view from the entry stoop of the church to the Space Needle.</p>
A-6	A-6 Transition between Residence and Street	
	<p>For residential projects, the space between the building and the sidewalk should provide security and privacy for residents and encourage social interaction among residents and neighbors.</p> <p>Guidance reflects comments found in Hot Button #2 and #3, specifically the proposed residential units at grade on Pontius Ave N, Yale Ave N, and the alley.</p>	<p>Applicant's Response:</p> <p>See discussion of A-4 Human Activity, above.</p>
A-8	A-8 Parking and Vehicle Access	
	Siting should minimize the impact of automobile parking and driveways on the pedestrian environment, adjacent properties and pedestrian safety.	<p>Applicant's Response:</p> <p>As part of the effort to make the alley a more pedestrian friendly environment, the design has been revised to concentrate all of the below grade parking into one garage at the west side of the site. As shown previously, access to this garage would be provided off Republican Street. This limits vehicle access on the alley to service vehicles and tenant move-ins as the garage entrance to 10SE has been eliminated. The Board had some concern about visibility for pedestrians at the north end of the alley in relation to the garage entrance along Republican and requested the project avoid any blind corners at the alley intersection. We have since studied this condition and propose to hold the building façade 10'-0" back from the property line between the garage driveway and the north entrance to the alley to maximize visual access between pedestrians and vehicles entering the site.</p>

A-10	A-10 Corner Lots	
	Building on corner lots should be oriented to the corner and public street fronts. Parking and automobile access should be located away from corners.	<p>Applicant's Response:</p> <p>Each of the primary building corners has been designed to orient to its specific site conditions. The northwest building corner at the intersection of Pontius Ave N and Republican Street is a tall, regular building mass to balance the bulk and scale of the Pontius Building across the street. The southwest building corner features a prominent building mass floating over a transparent base. It has a high concentration of commercial activity planned for at ground level to relate to the activity of Cascade Park on the opposite corner of the intersection. The southeast building anchors the corner at the lower levels to bring commercial activity to the intersection of Harrison St and Yale Ave N, but the upper levels set back to preserve views to and from St. Spiridon Cathedral. The northeast corner of the Supply Laundry building at the intersection of Republican St and Yale Ave N will be restored to its original condition so the facades come together in a way that will strengthen the building's presence on the site.</p> <p>As described in the response to A-8 above, parking and automobile access is concentrated away from the site corners at the center of the block along Republican Street.</p>

C.4 SUMMARY OF EARLY DESIGN GUIDANCE

B-1

B. Height, Bulk and Scale	
B-1 Height Bulk and Scale	
<p>Projects should be compatible with the scale of development anticipated by the applicable Land Use Policies for the surrounding area and should be sited and designed to provide a sensitive transition to near-by, less intensive zones. Projects on zone edges should be developed in a manner that creates a step in perceived height, bulk, and scale between anticipated development potential of the adjacent zones.</p> <p>Guidance comments regarding height bulk and scale may be found in all four Hot Button items above. The Board stressed simplification of the design concept, responding to the historic character of the Supply Laundry Building and adjacent St. Spiridon Cathedral, and development of consistent design responses applicable to each façade context (swales, alley, facing the Park, etc).</p>	<p>Applicant's Response:</p> <p>See A-10 above for a description of how the building massing relates to each of the street intersections and the surrounding massing.</p> <p>Building massing has been modulated to break the full block development down into the scale of a smaller, quarter block scaled developments more common to this neighborhood. Three primary building façade treatments have been developed to provide visual interest and enhance the project's relationship to the surrounding context.</p> <p>The "Fabric" elements relate to the warehouse industrial building style common to South Lake Union. Fabric utilizes brick cladding, large window openings and clean massing and proportions to create the sense of a background building common to the urban fabric of the neighborhood.</p> <p>The "Object" element suggests movement from the exterior to the interior of the site along the through-block connection; it also addresses the northeast entrance to Cascade Park. Object features horizontal cladding and horizontal window configurations to suggest movement through the site, with a glassy base to further enhance the sense of motion.</p> <p>The "Link" elements are lighter, glassier facades pulled further back from the property lines, linking the Object and Fabric building masses together. Detailing for the Link will be simple with clean proportions and a limited material palate.</p>

C-1

C. Architectural Elements and Materials	
C-1 Architectural Context	
<p>New buildings proposed for existing neighborhoods with a well-defined and desirable character should be compatible with or complement the architectural character and siting pattern of neighboring buildings.</p>	<p>Applicant's Response:</p> <p>See discussion of the variety of façade treatments as described in response to B-1, above.</p> <p>The historic Supply Laundry building at the northeast corner of the site will be rehabilitated and preserved, repurposing the original industrial building into a commercial retail/office space to engage with the current neighborhood context.</p> <p>The project is working in partnership with SPU to bring the Swale on Yale project to the site, thereby responding to the sustainable character of the Cascade neighborhood. The project also proposes an Urban Agriculture element at the roof of 10W.</p>
C-2 Architectural Concept and Consistency	
<p>Building design elements, details and massing should create a well-proportioned and unified building form and exhibit an overall architectural concept. Buildings should exhibit form and features identifying the functions within the building. In general, the roofline or top of the structure should be clearly distinguished from its facade walls.</p> <p>The roofs of this development may be visible from Capitol Hill. The applicant should demonstrate how the proposed design satisfies this guideline at the MUP stage of review.</p>	<p>See discussion of the variety of façade treatments as described in response to B-1, above.</p> <p>As discussed in the Early Design Guidance meeting, the rooftops of the building are considered the fifth elevation of the project. Currently the design intends to include areas of Urban Agriculture, common gathering spaces and low-intensity green roofs on the roof of the west building (10W).</p>

C-2

C-3	C-3 Human Scale	
	The design of new buildings should incorporate architectural features, elements and details to achieve a good human scale.	Applicant's Response: The project will incorporate a variety of exterior finish materials to help the larger building masses achieve a good human scale, particularly at the ground plane. Brick, scored concrete, clear glazing, canopies, signage, lighting and planting will create a comfortable neighborhood scale at pedestrian level. Residential entrances will be layered with varied façade treatments including planting beds, stoops and canopies to ease the transition from public to private space, helping the ground-related housing units feel appropriately located in this larger development. Commercial frontages will use large expanses of clear glazing to provide transparency to the interior spaces, as well as integrated signage, lighting and overhead weather protection to anchor the commercial spaces to the streetscape and provide a comfortable pedestrian environment.
C-4	C-4 Exterior Finish Materials	
	Building exteriors should be constructed of durable and maintainable materials that are attractive even when viewed up close. Materials that have texture, pattern, or lend themselves to a high quality of detailing are encouraged. Guidance reflects comments regarding architectural concept and treatment applicable to each environment, as described in Hot Buttons 2, 3, 4, and the response to guideline B-1.	Applicant's Response: Exterior finish materials proposed for this project include brick, scored concrete, clear glazing at the ground plane. Metal and rainscreen cladding are proposed at the upper levels.
C-5	C-5 Structured Parking Entrances	
	The presence and appearance of garage entrances should be minimized so that they do not dominate the street frontage of a building.	The parking entrance proposed along Republican St. is set back 10'-0" from the building façade and property line. The building mass that houses the garage is a "Fabric" element, comprised of a brick framework acting as the primary expression of the building mass. The brick is proud of the parking entry and the rhythm of the openings is established by the building mass at large; the parking entrance merely fits within a seemingly existing opening. The entrance will be treated with a canopy similar in scale and style to the canopies protecting the residential and commercial portions of the building along the same frontage.

D-1	D. Pedestrian Environment	
	D-1 Pedestrian Open Spaces and Entrances	
D-6	Convenient and attractive access to the building's entry should be provided. To ensure comfort and security, paths and entry areas should be sufficiently lighted and entry areas should be protected from the weather. Opportunities for creating lively, pedestrian-oriented open space should be considered. The Board noted that the restaurant plaza and Supply Laundry smokestack at the alley should be the focal point of the alley development. Open space adjacent to the residences at grade should be consolidated and aligned with the 'axis' of the alley and the mid-block connection, with the purpose of simplifying the alley development and providing usable open space for residents. Development adjacent to Yale Ave N and Pontius Ave N should respond to the swale conditions adjacent to the sidewalk. The applicant should design the open space (stoops, gardens, etc) to respond to that context and opportunity.	Applicant's Response: See responses to A-3 and A-4 above for a discussion of the placement and design of building entrances along the site. The through-block pedestrian mews is a publically-accessible open space populated with building entrances. The mews link together open spaces across the site, using the materials and plantings of the swales to strengthen the connection between Yale and Pontius Avenues to the east and west. North-south passage through the site along the alley is strengthened as a pedestrian space with a variety of paving styles and adjacent plantings, including trees. The smokestack is a visually prominent element in the neighborhood that will be preserved and utilized as a marker for the community open space at its base, between the existing Supply Laundry building and the alley. It will be reinforced for seismic stability, and once the adjacent Fuller Brush Building is removed, the base of the smokestack will be exposed to the adjacent open space, acting as a beacon for the open space to the surrounding neighborhood.
	D-6 Screening of Dumpsters, Utilities and Service Areas	
	Building sites should locate service elements like trash dumpsters, loading docks and mechanical equipment away from the street front where possible. When elements such as dumpsters, utility meters, mechanical units and service areas cannot be located away from the street front, they should be situated and screened from view and should not be located in the pedestrian right-of-way. Guidance reflects comments found in Hot Button 3. The applicant should demonstrate how the proposed alley design will also provide adequate screened service areas (dumpsters, loading, utilities, etc).	Service areas for all three buildings are located off of the alley. Both new construction buildings concentrate access to trash, transformers and other utilities at the south end of the alley between Harrison Street and the central alley courtyard. The existing loading dock for the Supply Laundry Building will be preserved for use by future tenants of that building.

C.6 SUMMARY OF EARLY DESIGN GUIDANCE

D-7	D-7 Personal Safety and Security Project design should consider opportunities for enhancing personal safety and security in the environment under review. All pedestrian areas should be well lit with fixtures that avoid light spillage to adjacent properties. The mid-block connections should provide clear sight lines and the applicant should indicate how the proposed residences and commercial spaces will provide eyes on the street in these areas.	Applicant's Response: This project will provide a significant increase in the number of eyes on the street for its neighborhood context. The increased density created by the new construction will increase the amount of pedestrian traffic around the site, as will the commercial spaces at grade. The upper story apartments and roof decks will overlook the surrounding streets and activity in Cascade Park. The interior of the site along the alley and the adjacent public spaces are treated with as much intensity as the 'exterior' faces of the project, as there are several building or unit entrances off of the alley and mews, as well as upper story apartments looking down on the open spaces below. To foster 18-hour public activity the project proposes installation of overhead catenary lighting along the alley and building mounted lighting around the open spaces. It is anticipated the open spaces and alley at the center of the site could be used for spill over activities from the commercial units in the Supply Laundry building, such as restaurant seating, display space, special events/ performances and neighborhood gatherings.
	D-8 Treatment of Alleys	
D-8	The design of alley entrances should enhance the pedestrian street front. Guidance reflects comments found in Hot Button 3, A-8, and D-6.	Applicant's Response: See comments in D-7 above for information on projected lighting and use of the alley. As requested in the Early Design Guidance meeting, the design of the loading dock at the west side of the Supply Laundry building will be developed and presented in more detail at the DRB Recommendation meeting.
	D-9 Commercial Signage	
D-9	Signs should add interest to the street front environment and should be appropriate for the scale and character desired in the area.	Applicant's Response: Illustrations of the proposed signage for the project will be presented for DRB review at the Recommendation meeting.

D-10	D-10 Commercial Lighting	
	Appropriate levels of lighting should be provided in order to promote visual interest and a sense of security for people in commercial districts during evening hours. Lighting may be provided by incorporation into the building façade, the underside of overhead weather protection, on and around street furniture, in merchandising display windows, in landscaped areas, and/or on signage. The applicant should demonstrate at the MUP stage of review how the proposed street facing and alley facing areas satisfy these guidelines.	Applicant's Response: Lighting will be provided at the commercial spaces to promote visual interest and a sense of security during evening hours. The lighting will be comprised of a combination of building-mounted, canopy and storefront lighting. Illustrations of the proposed lighting will be presented for DRB review at the Recommendation meeting.
D-11	D-11 Commercial Transparency	
	Signs should add interest to the street front environment and should be appropriate for the scale and character desired in the area.	Applicant's Response: Commercial storefronts will be highly transparent. See diagrams on sheet T02 of the Master Use Permit application.
D-12	D-12 Residential Entries and Transitions	
	For residential projects in commercial zones, the space between the residential entry and the sidewalk should provide security and privacy for residents and a visually interesting street front for pedestrians. Residential buildings should enhance the character of the streetscape with small gardens, stoops and other elements that work to create a transition between the public sidewalk and private entry.	Applicant's Response: The residential entries at the ground plane will have small gardens, stoops, lighting and canopies to create a transition between the public sidewalk and private entry. See discussion in response to A-3 and A-4 above for more description.

E-1

E. Landscaping	
E-1 Landscaping to Reinforce Design Continuity with Adjacent Sites	
<p>Where possible, and where there is not another overriding concern, landscaping should reinforce the character of neighboring properties and abutting streetscape.</p> <p>Guidance reflects comments regarding development adjacent to the swales found in Hot Button 1, 2, A-2, B-1, and D-1.</p>	<p>Applicant's Response:</p> <p>As suggested in the SLU-specific supplemental guidance, the project supports the creation of a hierarchy of passive and active open space within South Lake Union by pooling open space requirements on site to create larger spaces. These spaces may be found in the open space oriented along the alley at ground plane, the common deck at level 3 of 10SE, and the roof deck on top of 10W. The landscaping will meet LEED criteria as the project is working towards Gold and LEED certifications. There are a few existing trees on site that will not be maintained, but trees are proposed along the alley to enhance the local environment. Tree selection for the alley, Republican Street and Harrison Street will be made at the suggestions of the City Arborist. The swales on Yale and Pontius will create marsh-like conditions, and site lighting for the streetscape and landscaping will reference the City Light Streetscape Light Standards Manual.</p>
E-2 Landscaping to Enhance the Building and/or Site	
<p>Landscaping, including living plant material, special pavements, trellises, screen walls, planters, site furniture, and similar features should be appropriately incorporated into the design to enhance the project.</p> <p>The applicant noted that landscaping is anticipated to enhance areas such as the blank wall at the alley adjacent to the driveway ramp, changes in grade near the restaurant plaza, and residential entries at grade. The applicant should demonstrate how the proposed design satisfies this guideline at the MUP stage of review.</p>	<p>Applicant's Response:</p> <p>SPU will likely incorporate informational signage and art related to the swales along Yale and Pontius. Integrated seating, lighting and edge treatments will also enhance the pedestrian environment along those right-of-ways.</p> <p>Landscaping at the center of the site will incorporate planting, special pavements, planters, trees and site furniture to enhance the public spaces in the project. See landscaping plans for design and details.</p>

E-3

E-3 Landscape Design to Address Special Site Conditions	
<p>The landscape design should take advantage of special on-site conditions such as high-bank front yards, steep slopes, view corridors, or existing significant trees and off-site conditions such as greenbelts, ravines, natural areas, and boulevards.</p>	<p>Applicant's Response:</p> <p>The special site condition for this project will be the future swales on Yale and Pontius. As such, the design of the ground plane is predicated on the location, materials and textures of the swales. Ground level plantings along the through-block mews is proposed to be slightly depressed from the adjacent walking path to evoke the sense of a marshy rain garden, with similar plant selection to the plantings in the swales.</p> <p>A landscaped common roof deck on the west building (10W) will take advantage of views to Lake Union, Seattle Center and downtown.</p>

D.0 ELEVATIONS - 10W



ELEVATIONS 10W - SOUTH (Facing Harrison Street) D.1

A-10, B-1, C-2, C-4

The "OBJECT" volume addresses the prominent intersection opposite Cascade Park to the SW. This clearly defined mass floats over a highly transparent commercial base, allowing the commercial activity within to be visible from the park.

A-5, B-1, C-2, C-3, E-2

The upper stories of the building set back to reduce the Height, Bulk and Scale impact of the new building on Harrison Street and the alley, providing space for light and air to penetrate the center of the block. The roof deck at level 3 will feature a passive green roof.

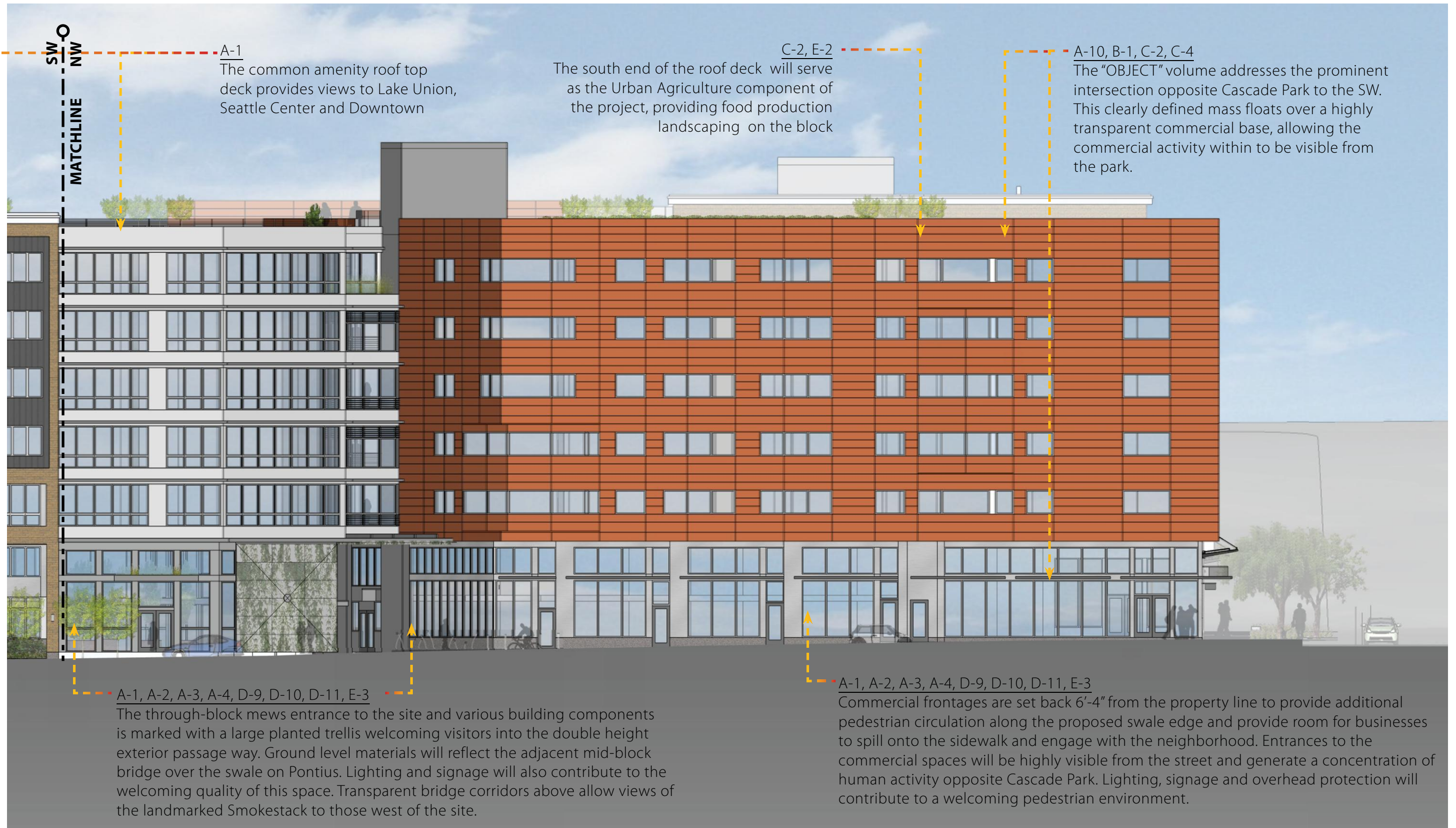
A-1, A-2, A-3, A-4, D-9, D-10, D-11

Commercial frontages are set back 3'-10" from the property line to provide additional pedestrian circulation and planting space on Harrison, which is a Class 2 Pedestrian Street, as well as a "green" street. The additional space will also provide room for businesses to spill onto the sidewalk and engage with the neighborhood. Entrances to the commercial spaces will be highly visible from the street and generate a concentration of human activity opposite Cascade Park. Lighting, signage and overhead protection will contribute to a welcoming pedestrian environment.

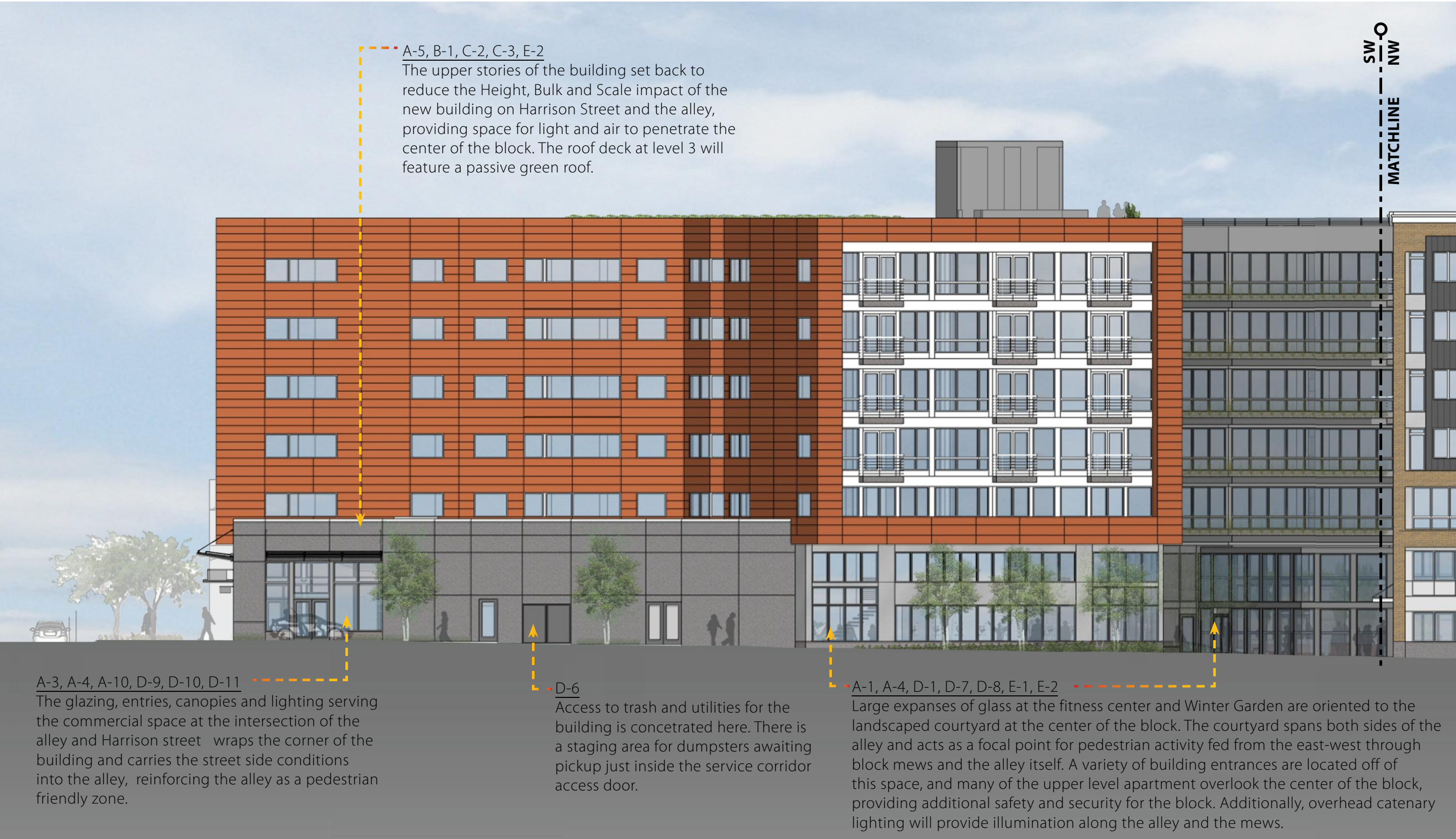
D.2 ELEVATIONS 10W - WEST (Facing Pontius Ave. N.)



ELEVATIONS 10W - WEST (Facing Pontius Ave. N.) D.3



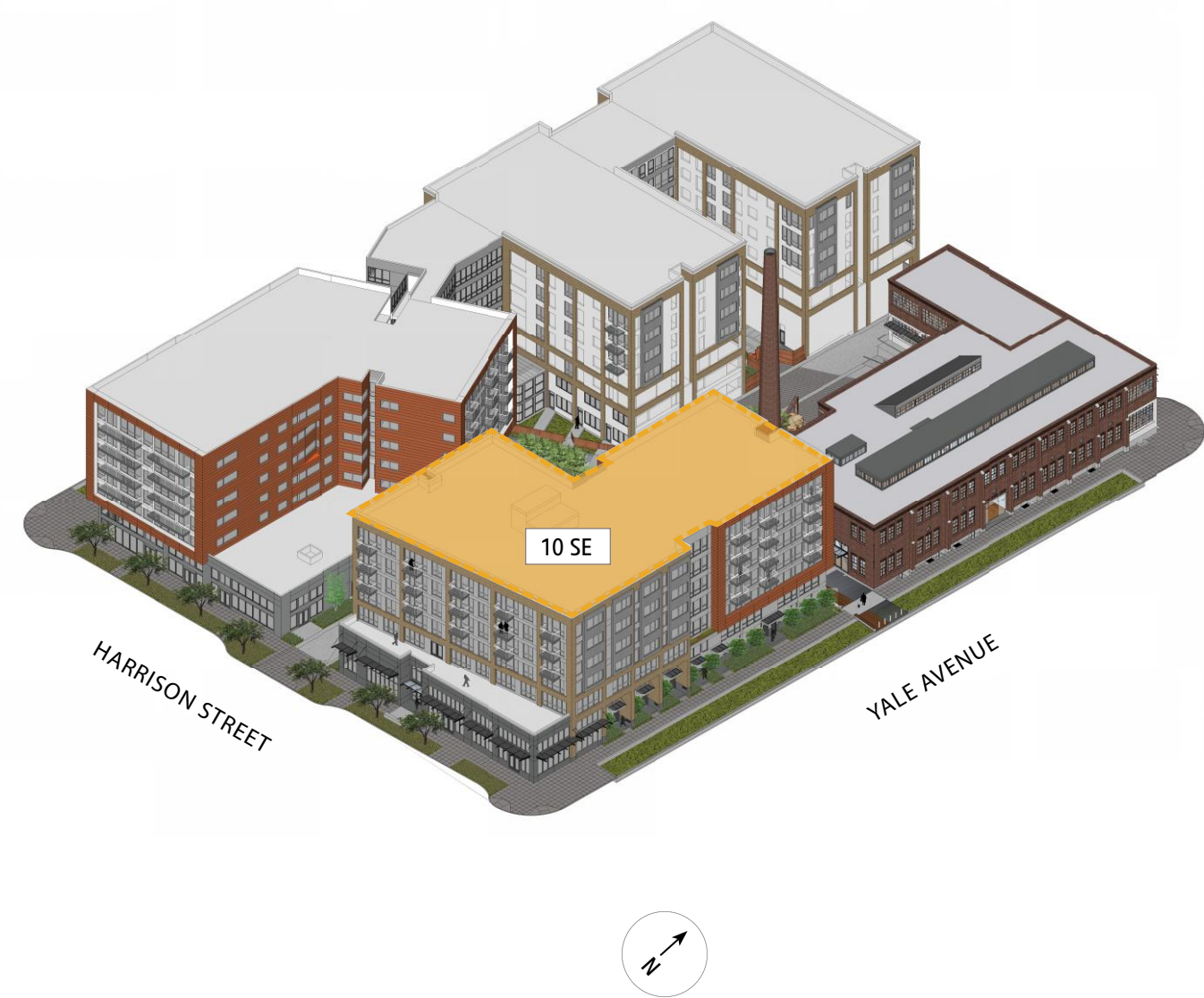
D.4 ELEVATIONS 10W - EAST (Alley Elevation)





D.6 ELEVATIONS 10W - NORTH (Facing Republican Street)





D.8 ELEVATIONS 10SE - SOUTH (Harrison Street)



ELEVATIONS 10SE - EAST (Facing Yale Ave. N.) D.9

A-5, B-1

The "FABRIC" building mass angles back at the upper stories to provide visual access to and from the adjacent landmarked St. Spiridon Cathedral at the corner of Harrison and Yale Ave. N.

B-1, C-1, C-2, C-4

The "FABRIC" building mass reflects the massing, rhythm and materiality of the industrial South Lake Union context, help to break down the scale of the building and allowing it to better fit within its neighborhood context.

B-1, C-1, C-2, C-4

The "LINK" portions of the facade connect the "FABRIC" and "OBJECT" building masses, helping to break down the scale of the building and allowing it to better fit within its neighborhood context.

A-3, A-4, A-10, D-9, D-10, D-11

The southeast corner of the site is anchored by commercial space featuring large expanses of glass for transparency to the surrounding context, lighting, signage and overhead weather protection to create a pedestrian friendly commercial frontage.

A-3, A-4, A-6, C-3, D-12, E-3

Residential entry stoops provide entrances visible from the street. Grand brick piers and projecting canopies provide human scale and work with the adjacent landscaping to provide a transition between the residences and the street.

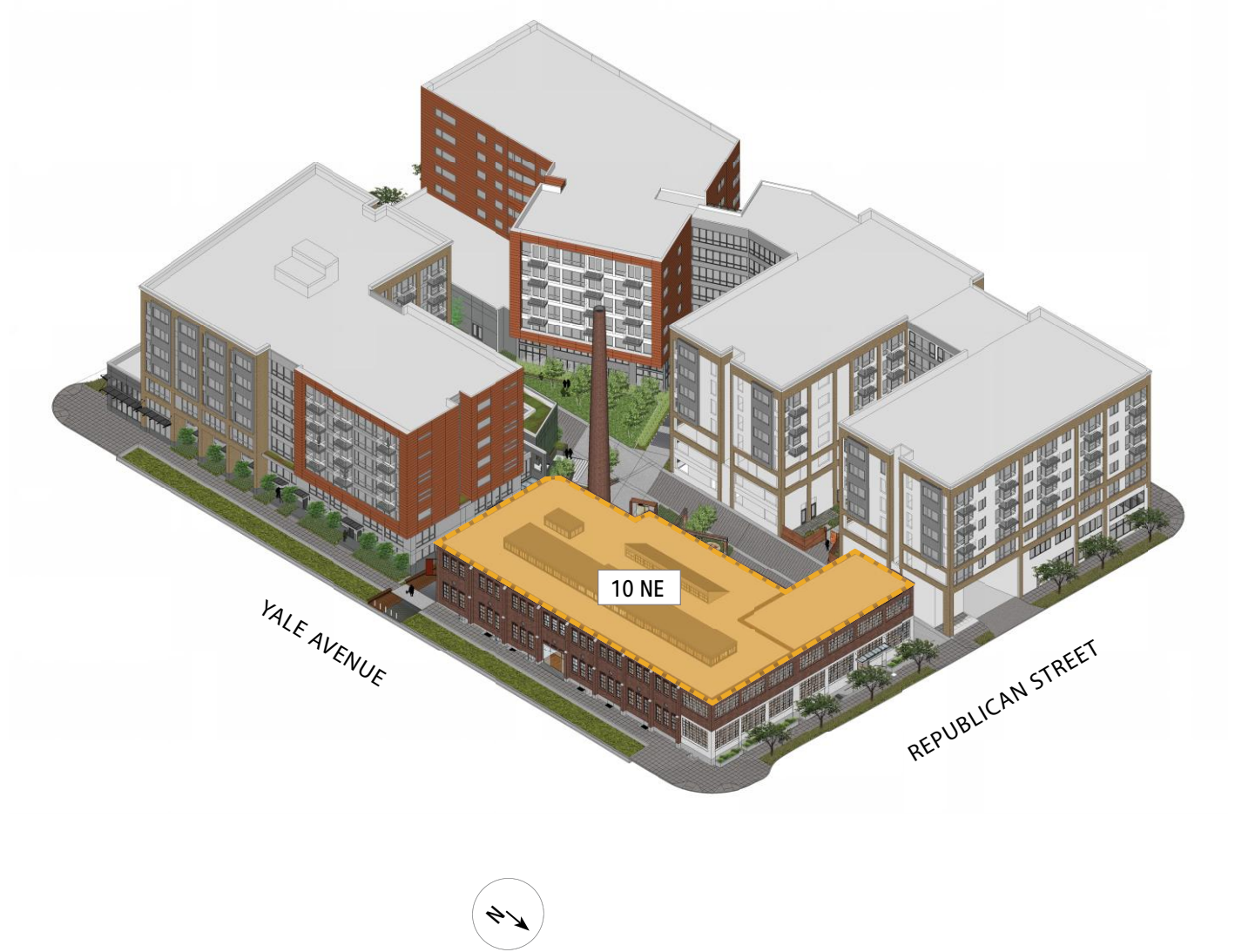


D.10 ELEVATIONS 10SE - NORTH (Facing Thru-Block Mews)







D.12 ELEVATIONS - 10 NE | SUPPLY LAUNDRY BUILDING



- The design of new entries, storefronts and canopies in the **Republican Street massing** will reflect the original design.
- New entries, storefronts and canopies on the **Yale Avenue, Mews, and Alley** facades will share a common design language that contrasts with the Republican Street massing.



KEY

-  New Entry/Storefront in Republican Street massing
-  New Entry/Storefront to contrast with Republican Street massing

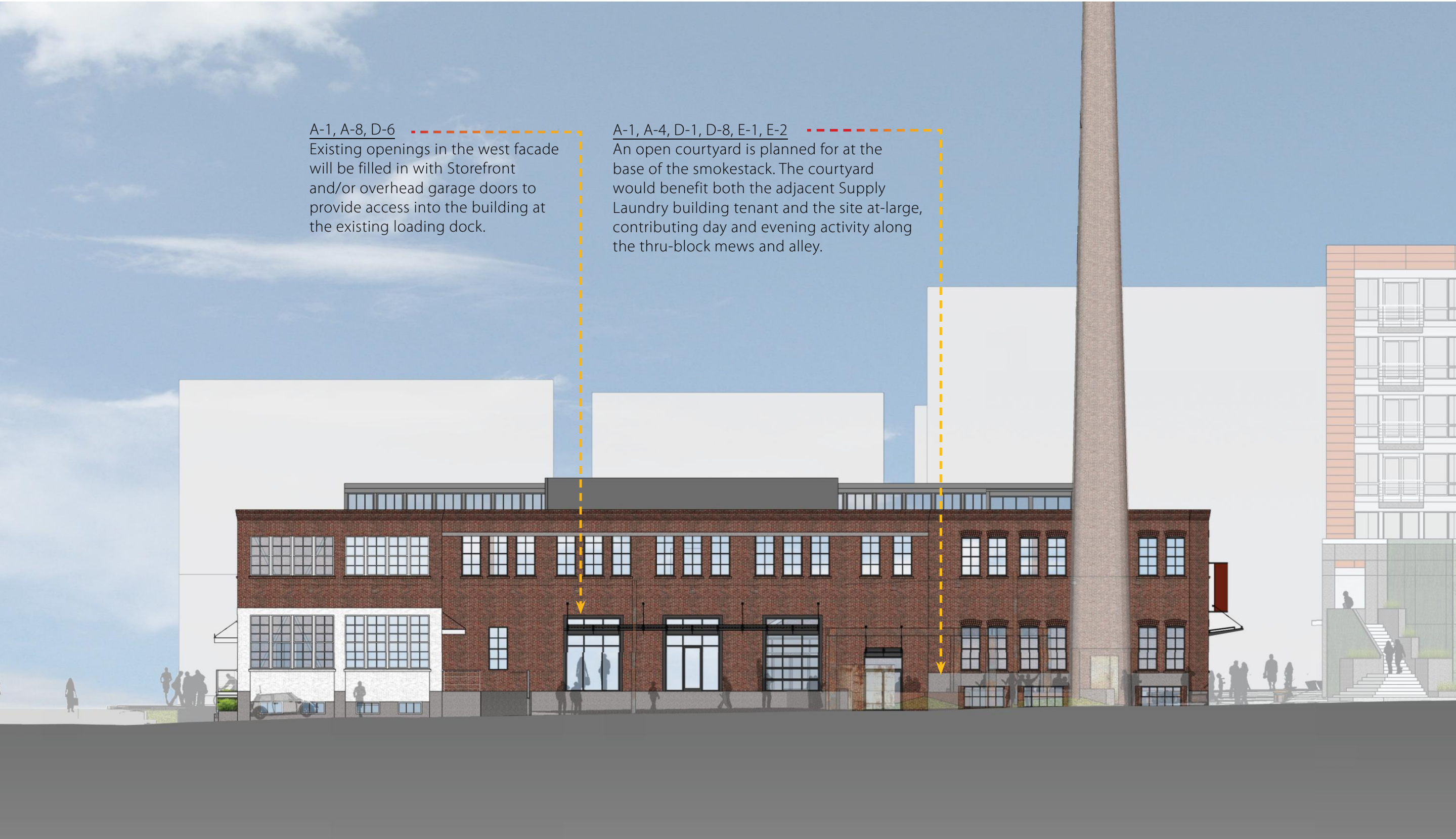


D.14 ELEVATIONS 10NE - EAST (Facing Yale Ave. N.)





D.16 ELEVATIONS 10NE - WEST (Alley elevation)

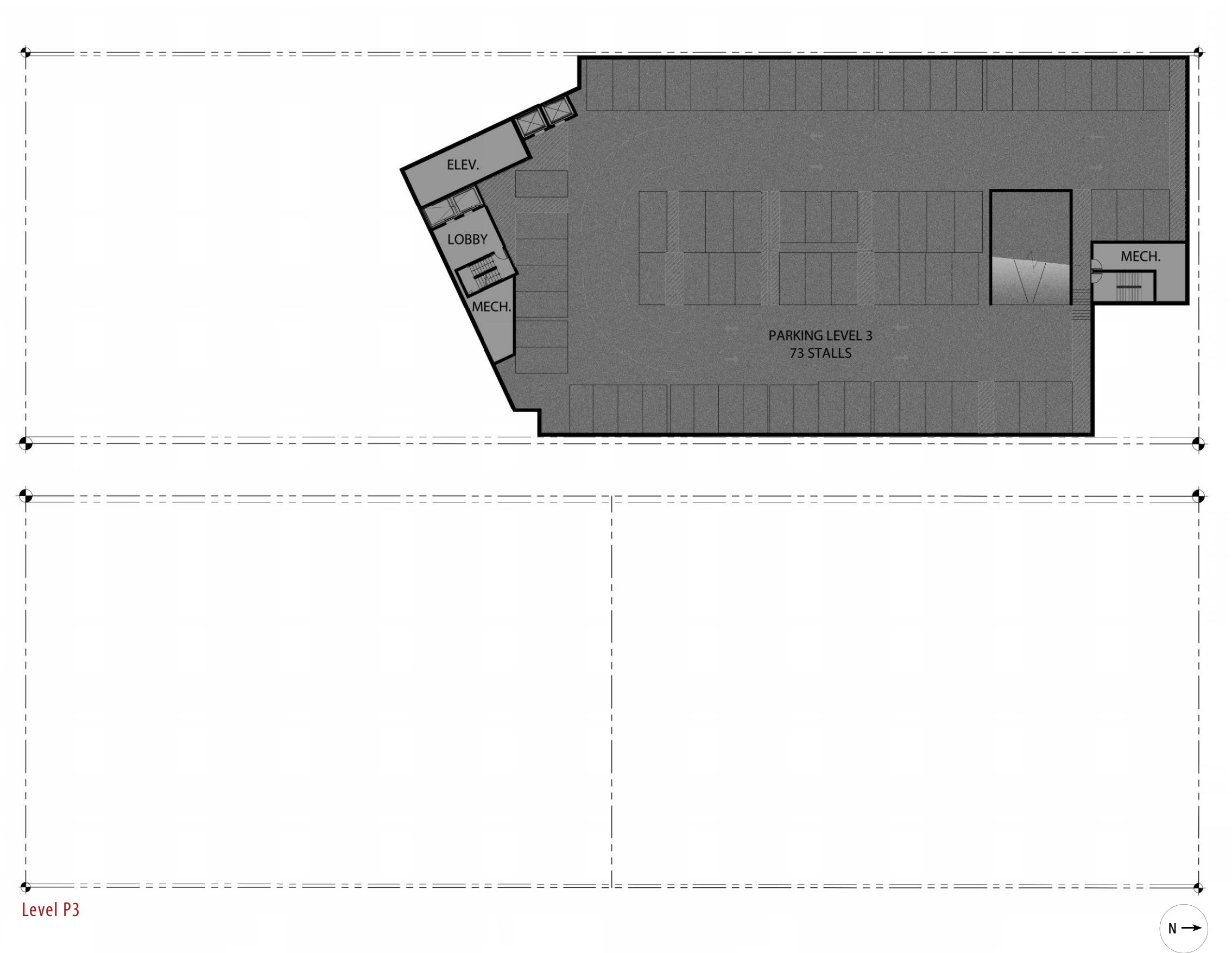


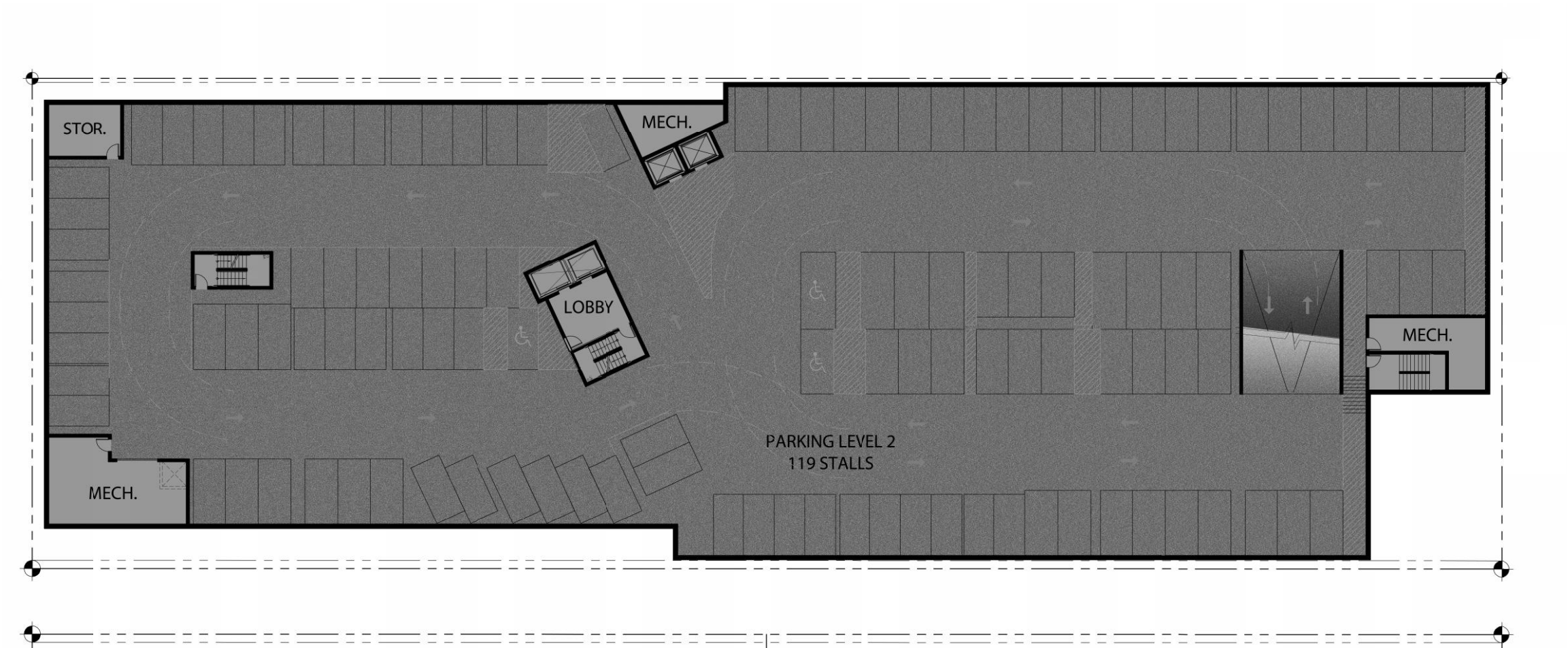


A-1, A-4, D-1, D-8, E-1, E-2
An open courtyard is planned for at the base of the smokestack. The courtyard would benefit both the adjacent Supply Laundry building tenant and the site at-large, contributing day and evening activity along the thru-block mews and alley.

A-4, C-3, D-1, D-9, D-10
Two large existing openings in the south facade will be repurposed into building entrances along the pedestrian thru-block mews. Signage, canopies, lighting and transparency will help make these prominent building entries. Their location will generate significant pedestrian activity at the center of the block as parking for this building will be located on the west portion of the site.

E.0 FLOOR PLANS

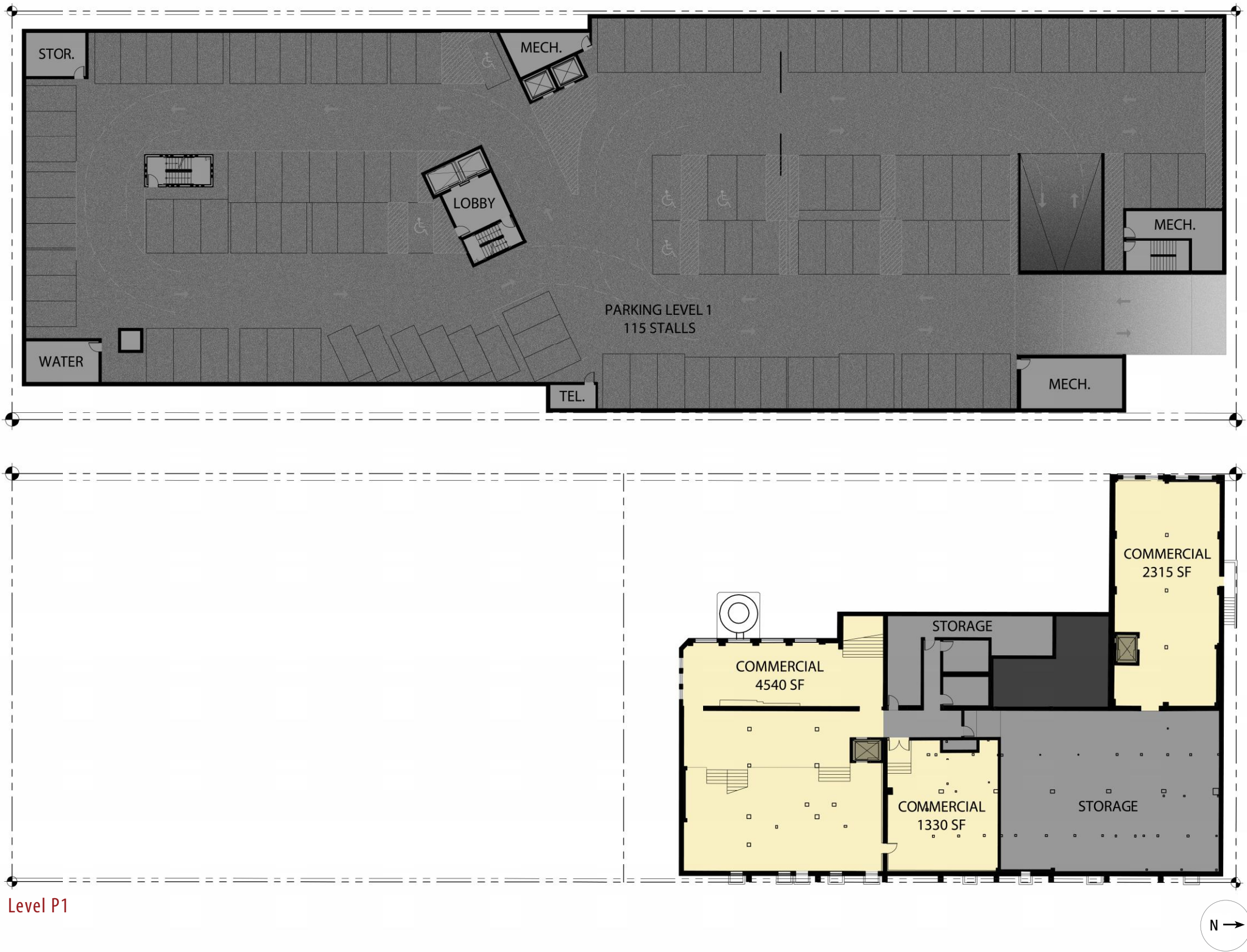




Level P2



E.2 FLOOR PLANS - LEVEL P1





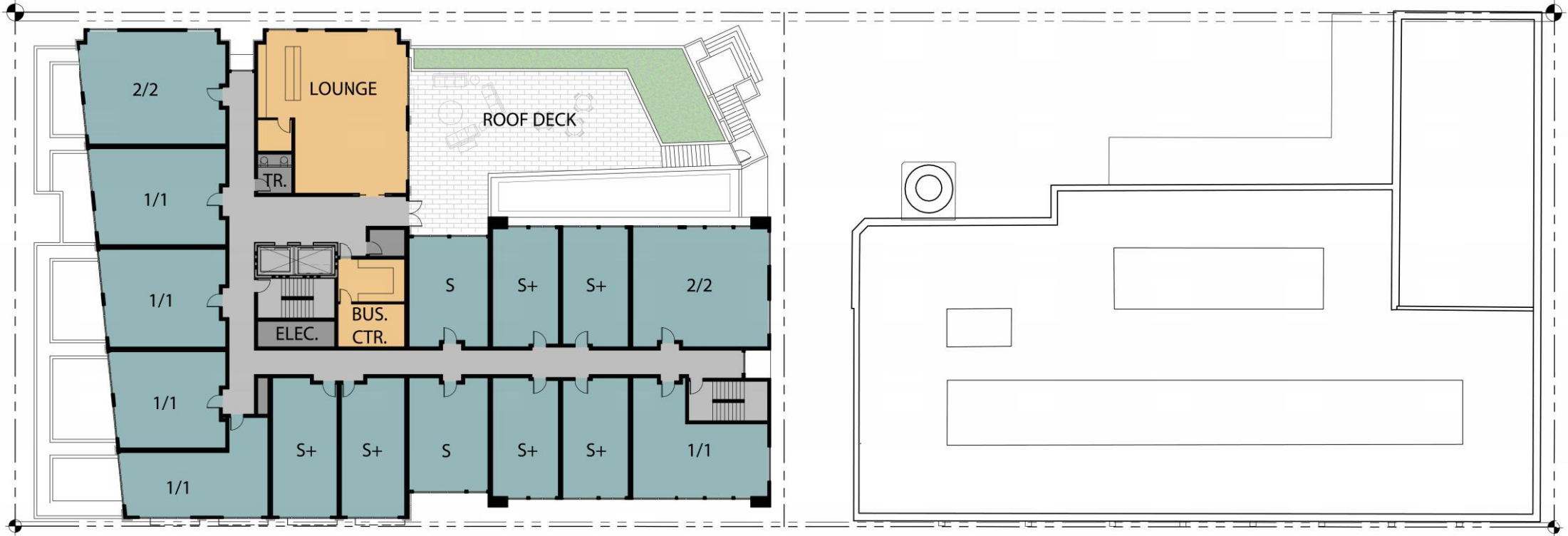
Level 1



E.4 FLOOR PLANS - LEVEL 2



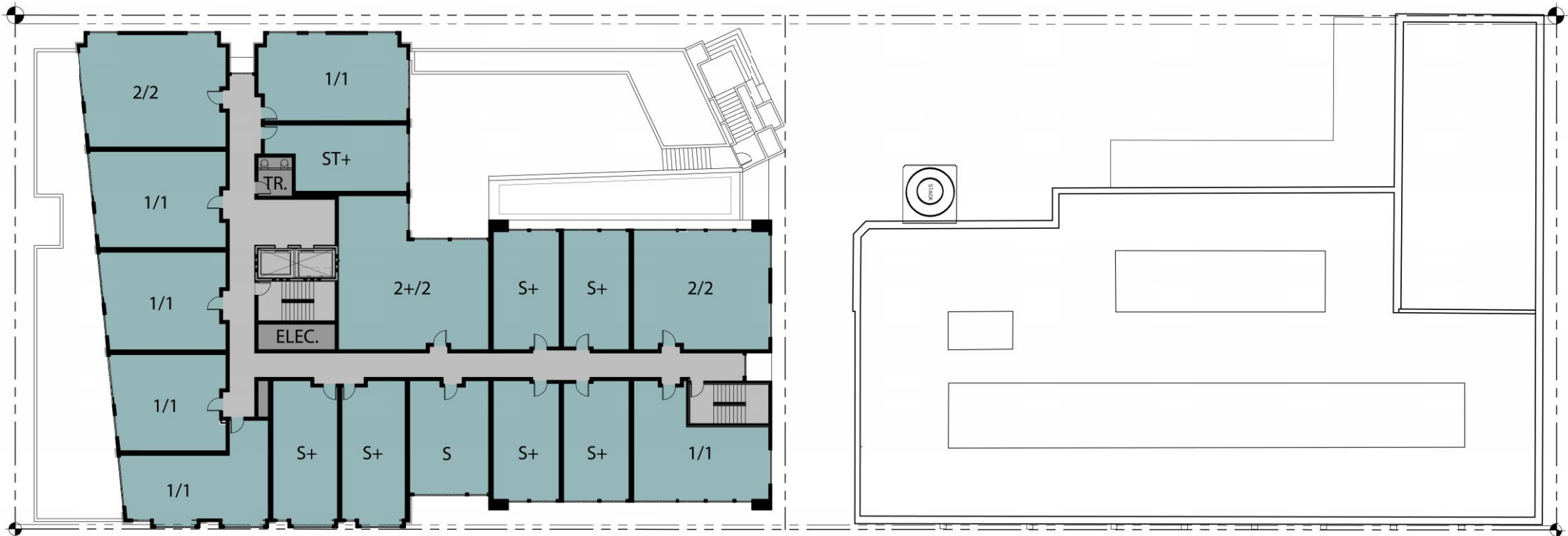
Level 2



Level 3

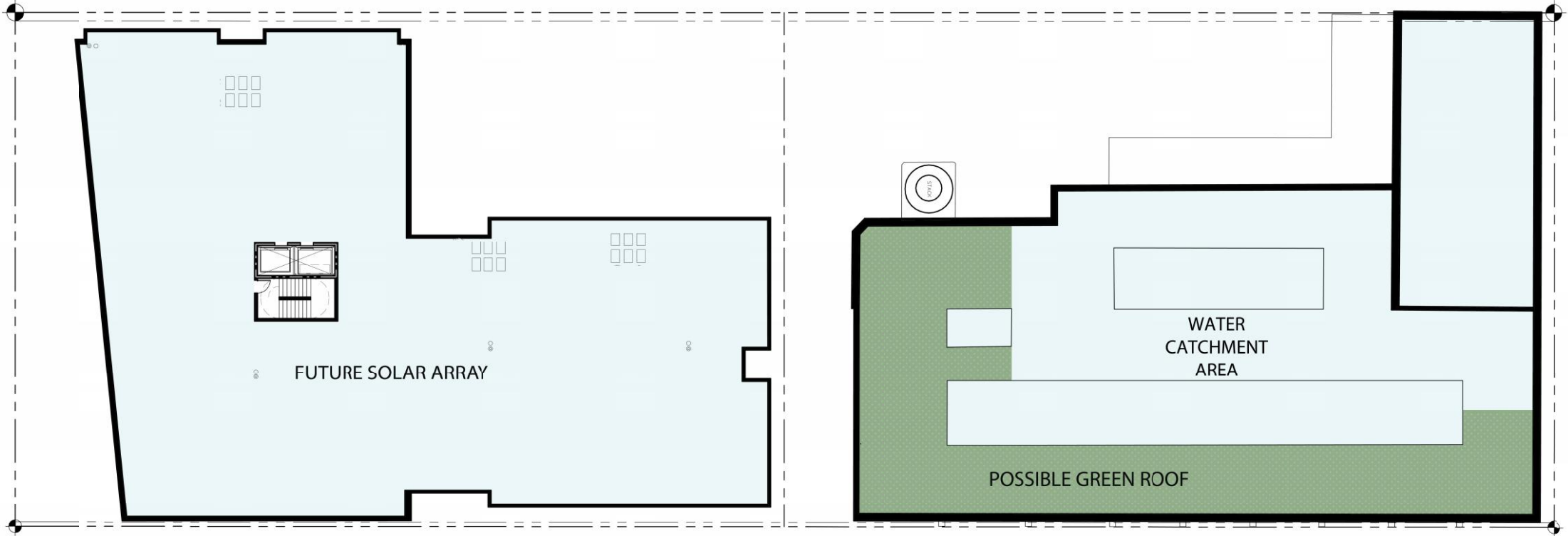
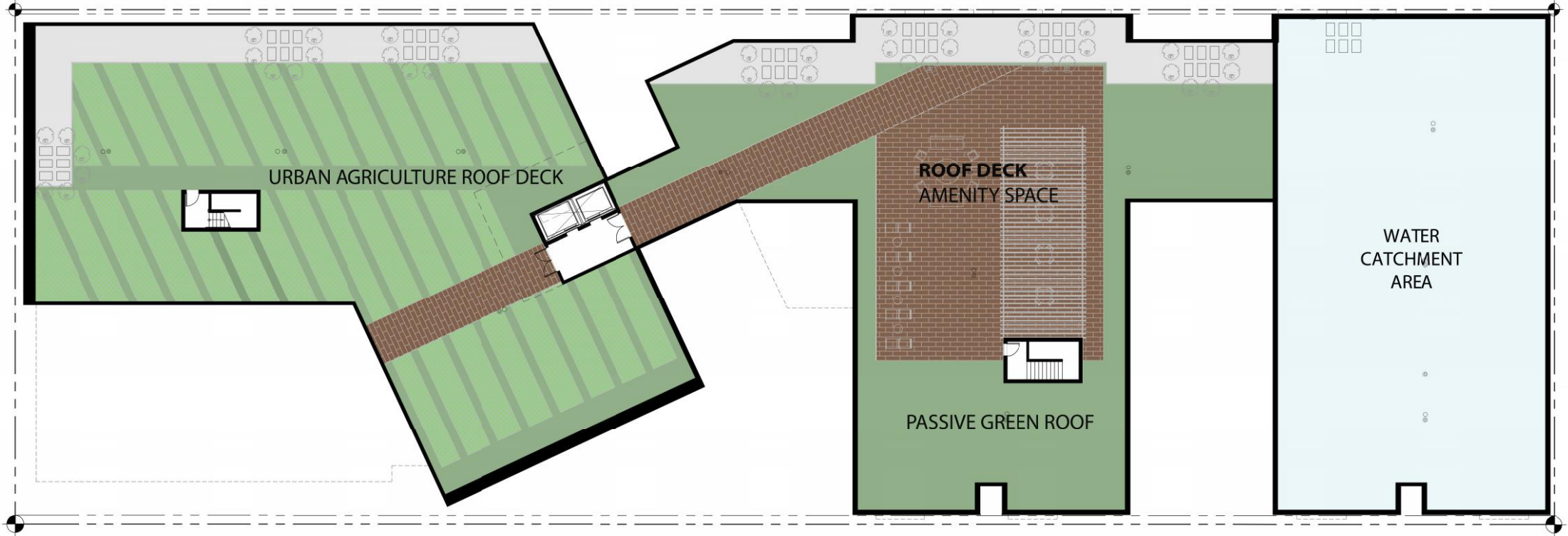


E.6 FLOOR PLANS - LEVEL 4-7



Level 4 - 7

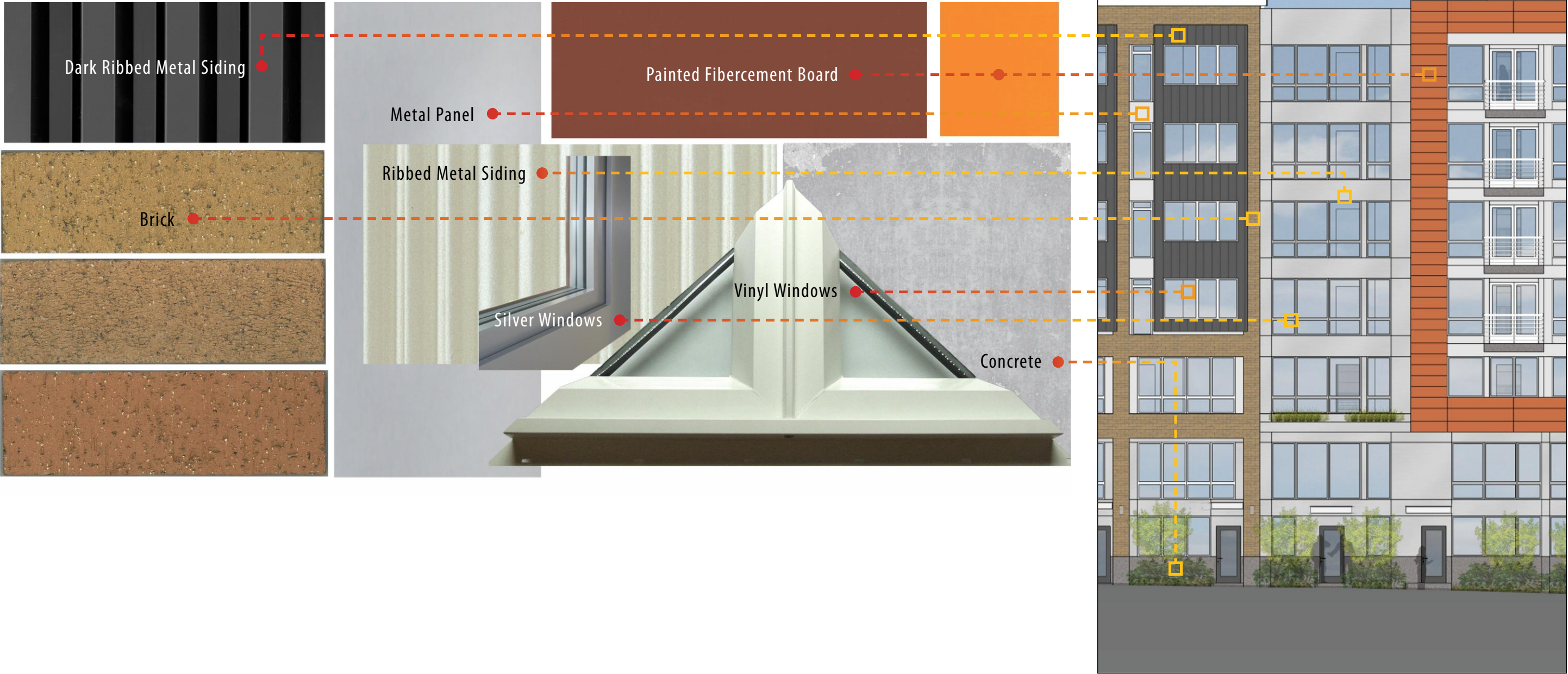




Roof



F.0 MATERIALS





Signage & Lighting Examples

G.1 CANOPIES



Canopy Type "A"



Canopy Type "D"



Canopy Type "B"



Canopy Type "E"



Canopy Type "C"





Site Plan

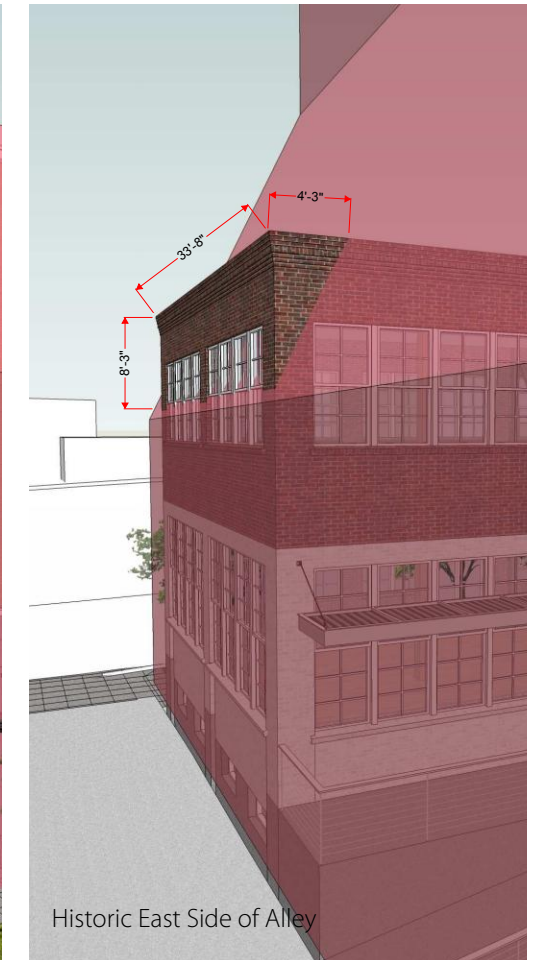
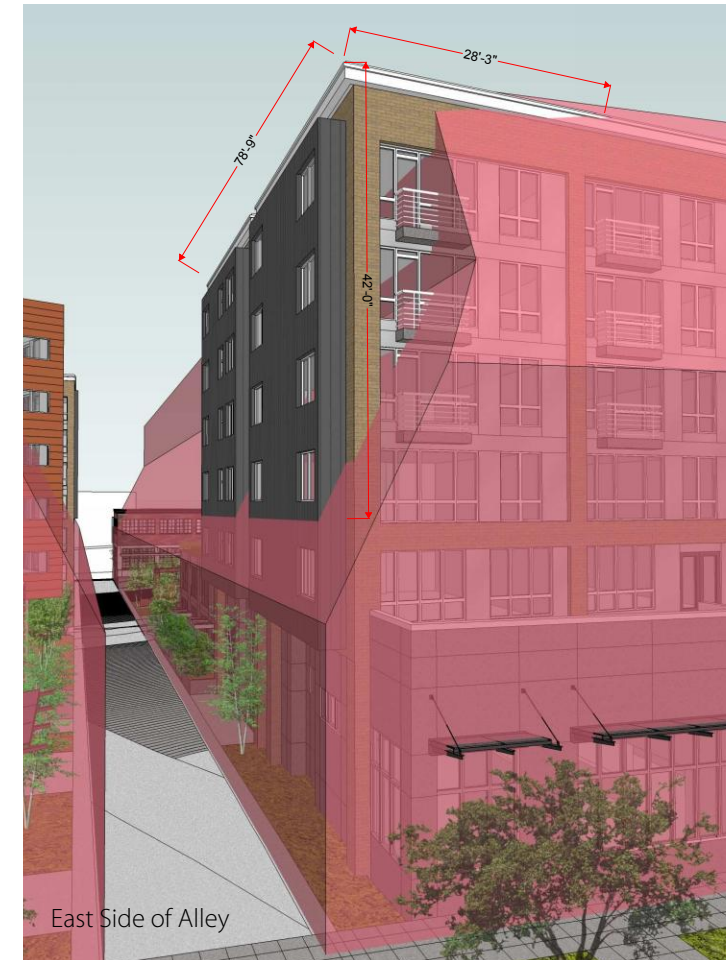
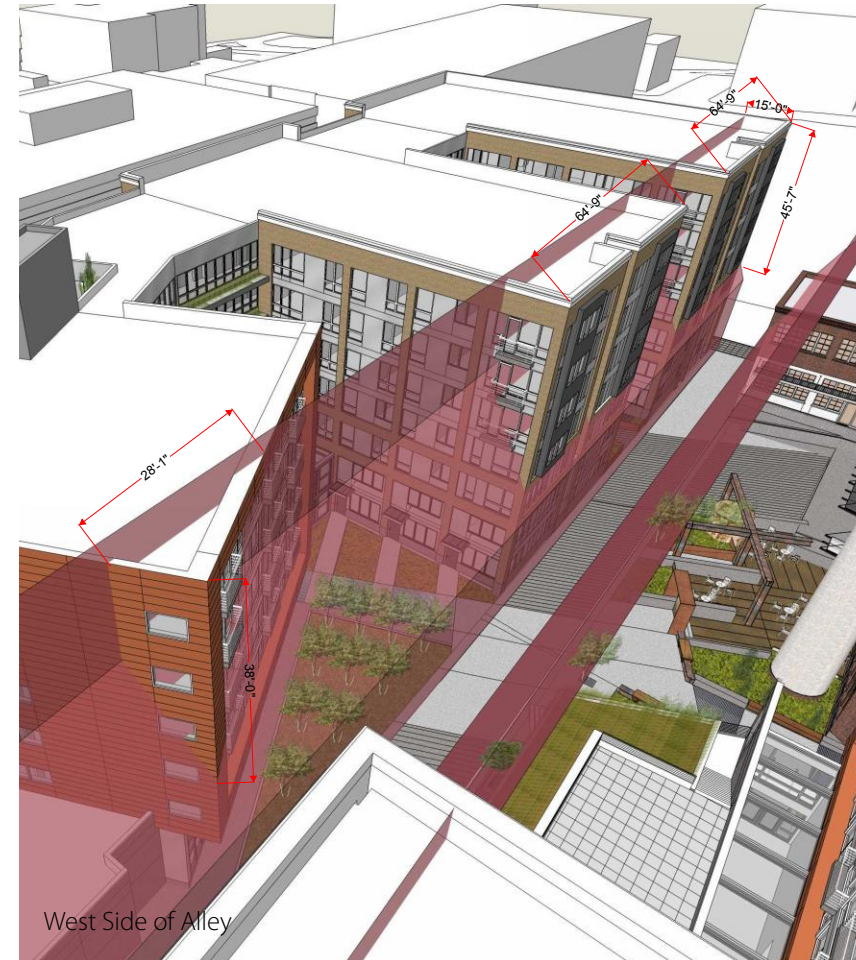
H.0 DEPARTURE REQUESTS - Departure Matrix

REQUESTED DEPARTURES

	Description	Request	Justification	DRB Comments
1	Upper Level Setbacks SMC 23.48.012 Upper level setbacks are required along Harrison Street above 45'-0". Upper level setbacks are required for facades facing alleys for any portion of the structure greater than 25'-0" in height.	To allow the top 2 floors to extend into the setback along Harrison Street and the top 4 floors to extend into the setback along the alley.	The project sets back several feet at sidewalk level to allow activity to spill out onto portions of the sidewalk. On the upper levels the project is voluntarily setting back along Harrison to preserve views to and from St. Spiridon Cathedral, and the building massing sets back significantly from the alley in places to create breathing room for the ground level spaces located along the alley.	The Board supported the request for this departure as shown at the EDG meeting on 10/6/10.
2	Façade Heights SMC 23.48.014B2 Class 2 pedestrian streets require a minimum façade height of 25'-0".	To allow portions of the new building facades along Harrison street to be between 21' - 25' tall.	The southeast building is intentionally setting back the upper floors to allow visual clearance to and from St. Spiridon Cathedral. Additionally, to avoid pinching the alley with two tall buildings, the east side of the west building pulls back from the alley and street.	This request was not known at the time of the EDG presentation.
3	Façade Transparency SMC 23.48.018.A.1 On Class 2 pedestrian streets a minimum of 60% of the façade must be transparent between 2' and 8' above grade.	Allow a reduction in transparency along Republican Street from 60% to 48.8%	The easternmost portion of the opaque façade is setback from the property line by 10'-0" to allow pedestrians along the alley and Republican St a better view of the cars entering and exiting the parking garage.	This request was not known at the time of the EDG presentation.

4	Blank Façade SMC 23.48.018.B.1 On Class 2 pedestrian streets the maximum width for a blank façade is 15' wide (exclusive of garage entries)	Allow a 16'-9" wide blank façade along Republican Street.	This blank façade is set back from the property line by 10'-0" to allow pedestrians along the alley and Republican street a better view of the cars entering and exiting the parking garage.	This request was not known at the time of the EDG presentation.
5	Residential Amenity Area SMC 23.48.020 Residential amenity area =5% of the gross residential square footage must be provided.	Allow the residential amenity area to be accommodated for the project as a whole rather than requiring a proportional division by building.	We are not requesting to reduce the quantity of residential amenity area. We would like to consolidate the amenities to serve the entire site, rather than the individual buildings.	The Board supported the request for this departure as proposed at the EDG meeting on 10/6/10.
6	Parking and Loading SMC 23.48.034 When a lot abuts an alley, parking access must be off of the alley	To allow the parking garage entrance to be accessed off of Republican Street.	A primary goal of the project is to create a safe pedestrian environment along the alley to provide public amenity space to the neighborhood and site. Reducing traffic along the alley will contribute to this goal. At the request of the DRB the project has been revised to open up the NE corner of the west building, thereby providing better view access for pedestrians along the alley and Republican street to see vehicle movement in and out of the garage.	The Board considered support for this departure at the EDG meeting on 10/6/10. They requested additional information and diagrams prior to making a recommendation.

DEPARTURE REQUESTS - Upper Level Setbacks H.1



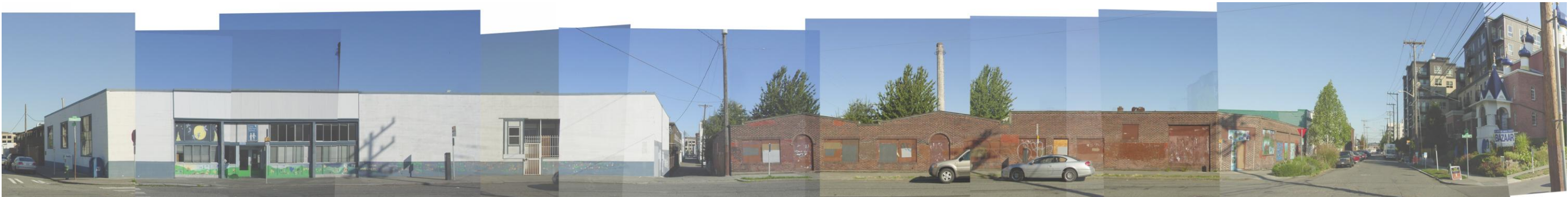
REQUIREMENT	REQUEST	JUSTIFICATION	DRB COMMENTS
<p>Upper Level Setbacks SMC 23.48.012</p> <p>Upper level setbacks are required along Harrison Street above 45'-0".</p> <p>Upper level setbacks are required for facades facing alleys for any portion of the structure greater than 25'-0" in height.</p>	<p>To allow the top 2 floors to extend into the setback along Harrison Street and the top 4 floors to extend into the setback along the alley.</p>	<p>The project sets back several feet at sidewalk level to allow activity to spill out onto portions of the sidewalk. In addition, the project is voluntarily setting back the upper floors along Harrison to preserve views to and from St. Spiridon Cathedral.</p>	<p>The Board supported the request for this departure as shown at the EDG meeting on 10/6/10.</p>

H.2 DEPARTURE REQUESTS - Minimum Facade Height



PROPOSED SOUTH ELEVATION OF SITE ALONG HARRISON STREET

St. Spiridon Cathedral



EXISTING CONDITIONS

REQUIREMENT	REQUEST	JUSTIFICATION	DRB COMMENTS
Facade Height SMC 23.48.014.B.2 Class 2 Pedestrian streets require a minimum facade height of 25'-0"	To allow portions of the new building facades along Harrison Street to be between 21' - 25' tall.	The southeast building (10SE) is intentionally setting back the upper floors to allow visual clearance to and from St. Spiridon Cathedral. Additionally, to avoid pinching the alley with two tall buildings, the east side of the west building pulls back from the alley and the street.	This request was not known at the time of the EDG presentation.

DEPARTURE REQUESTS - Facade Transparency and Blank Facade H.3

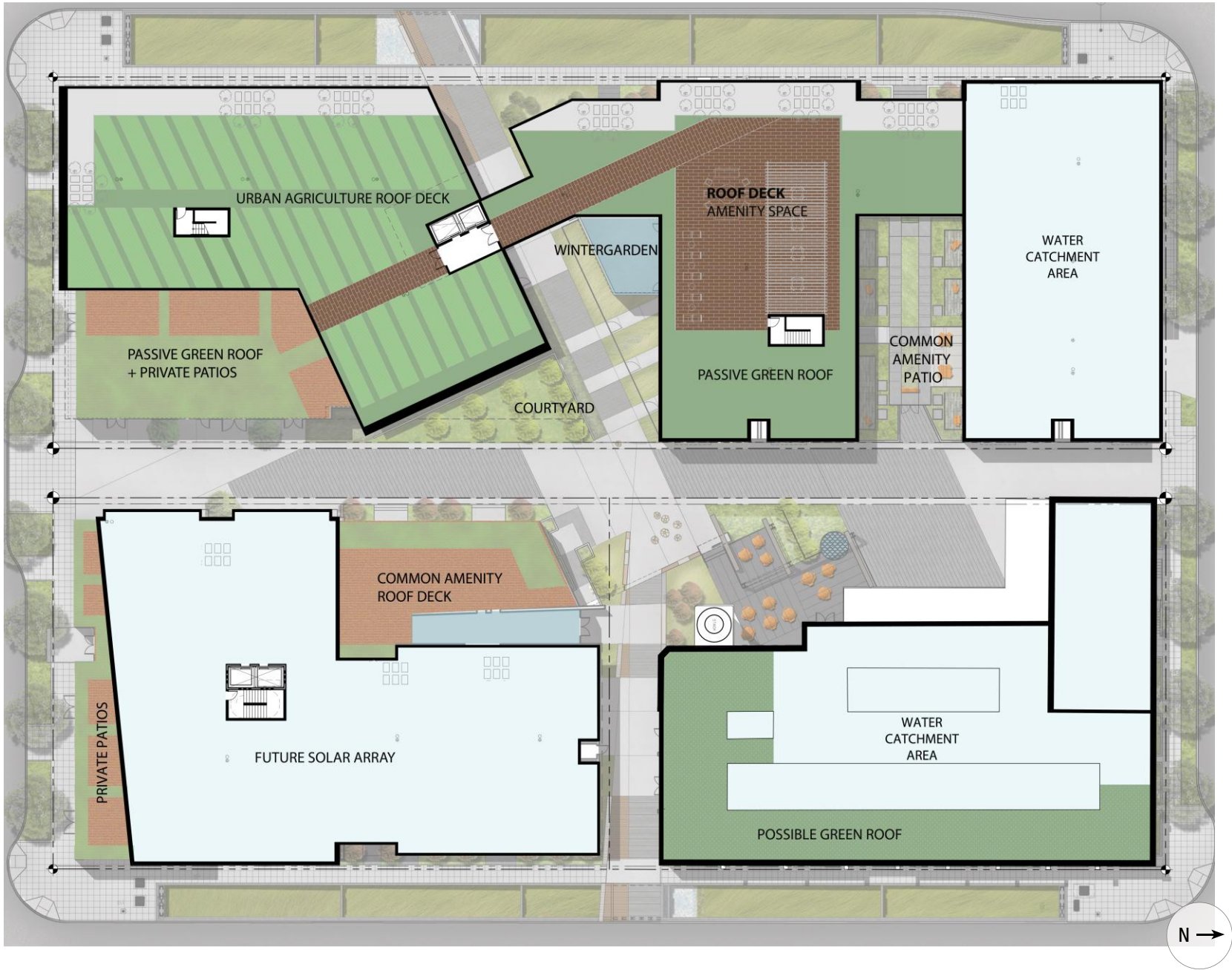
REQUIREMENT	REQUEST	JUSTIFICATION	DRB COMMENTS
Blank Façade SMC 23.48.018.A.1 On Class 2 pedestrian streets the maximum width for a blank façade is 15' wide (exclusive of garage entries)	Allow a 16'-9" wide blank façade along Republican Street.	This blank façade is set back from the property line by 10'-0" to allow pedestrians along the alley and Republican street a better view of the cars entering and exiting the parking garage. The project is also planning to provide a window into the cistern for people to see the water collection levels.	This façade was not developed at the time of the EDG presentation.



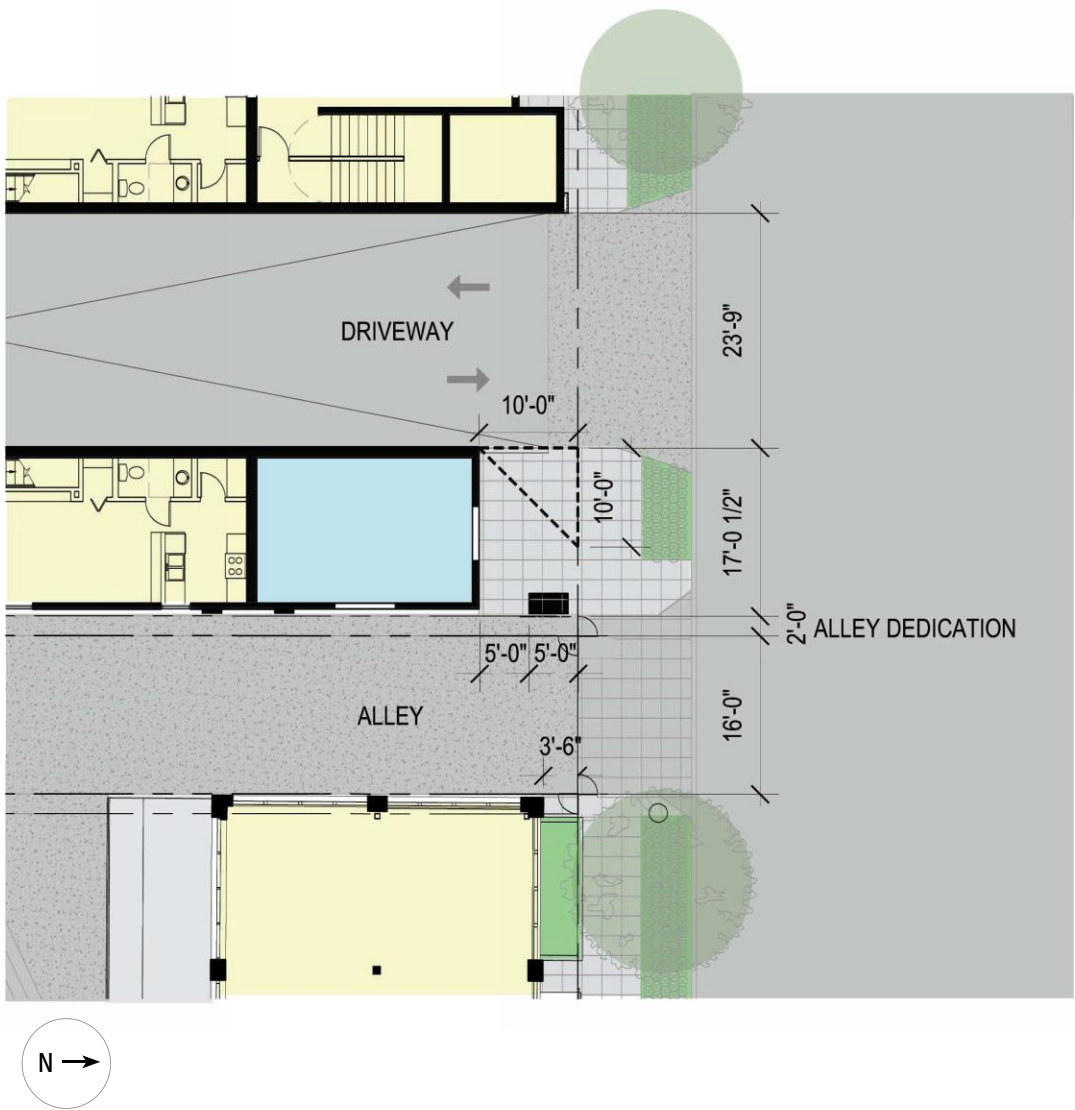
NORTH ELEVATION OF 10W ALONG REPUBLICAN STREET

REQUIREMENT	REQUEST	JUSTIFICATION	DRB COMMENTS
Façade Transparency SMC 23.48.018.A.1 On Class 2 pedestrian streets a minimum of 60% of the façade must be transparent between 2" and 8' above grade.	Allow a reduction in transparency along Republican Street from 60% to 48.8%	The easternmost portion of the opaque façade is set back from the property line by 10'-0" to allow pedestrians along the alley and Republican street a better view of the cars entering and exiting the parking garage.	This façade was not developed at the time of the EDG presentation.

H.4 DEPARTURE REQUESTS - Residential Amenity Space



REQUIREMENT	REQUEST	JUSTIFICATION	DRB COMMENTS
Residential Amenity Area SMC 23.48.020 Residential amenity area =5% of the gross residential square footage must be provided.	Allow the residential amenity area to be accommodated for the project as a whole rather than requiring a proportional division by building.	We are not requesting to reduce the quantity of residential amenity area. We would like to consolidate the amenities to serve the entire site, rather than the individual buildings. Amenity spaces to include a large roof deck on top of 10W, a smaller roof deck at level 3 of 10SE, as well as a grade level courtyard, amenity patio and winter-garden.	The Board supported the request for this departure as proposed at the EDG meeting on 10/6/10.



VIEW TO EAST ON REPUBLICAN STREET



VIEW TO WEST ON REPUBLICAN STREET



VIEW OF ALLEY FROM REPUBLICAN STREET



EXISTING CONDITION



EXISTING CONDITION



EXISTING CONDITION

REQUIREMENT	REQUEST	JUSTIFICATION	DRB COMMENTS
Parking and Loading SMC 23.48.034 When a lot abuts an alley, parking access must be off of the alley.	To allow the parking garage entrance to be accessed off of Republican Street.	<p>A primary goal of the project is to create a safe pedestrian environment along the alley to provide public amenity space for the neighborhood. Reducing traffic along the alley will contribute to this goal.</p> <p>At the request of the DRB the project has been revised to open up the NE corner of the west building, thereby providing better view access for pedestrians along the alley and Republican street to see vehicle movement in and out of the garage.</p>	The Board considered support for this departure at the EDG meeting on 10/6/10. They requested additional information and diagrams prior to making a recommendation.

I.0 LANDSCAPE PLAN



The site will include a combination of passive and active open spaces that help buffer residential private entries from commercial and public open spaces. At the center of the site will be a courtyard defined by a grove of birch trees on one side and a plaza integrated with the historic laundry building and smokestack on the other. A green wall will reinforce the commitment to sustainability and the integration of the building systems with the landscape.

Sedum green roofs and terraces for the residences will provide expansive views of the surrounding neighborhood and lake beyond. The green roofs will play a role in absorbing and delaying the release of storm water while reducing heat island effects and improving views for the whole neighborhood. The remaining roofs will collect water to irrigate all of the landscape on the site.



The landscape at Block 10 reflects the mixed-use character of the project while blending into the diverse surrounding neighborhood. The swale plantings on Yale and Pontius carry through the center of the site with densely planted beds of sedges and rushes. These grass plantings are functional but also will carry a stark contrast to the typical streetscape plant palette. Neighborhood signage will explain their purpose of water treatment as part of the Capitol Hill Water Quality Project and their contribution to the watershed of the South Lake Union basin.

The green street on Harrison Street includes a wide planting area with Live Oak trees and an understory of Tufted Hairgrass that are mimicked within the streetscape on Republican Street to the north.

J.0 RENDERINGS



AERIAL VIEW FROM THE NORTHEAST





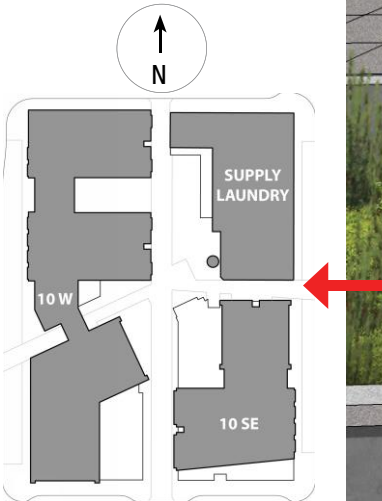
VIEW FROM THE NORTHEAST ALONG YALE AVE N.

J.2 RENDERINGS



STREET LEVEL PERSPECTIVE FROM THE INTERSECTION OF YALE AVE. N. and HARRISON STREET





VIEW FROM THE EAST ALONG YALE AVE N., FEATURING THE MID-BLOCK PASSAGEWAY (MEWS)

J.4 RENDERINGS



VIEW FROM THE SOUTHWEST (CASCADE PARK)





VIEW FROM PONTIUS AVE. N. AT THROUGH-BLOCK MEWS



VIEW AT THE CENTER OF THE BLOCK, LOOKING NORTH ALONG THE ALLEY

