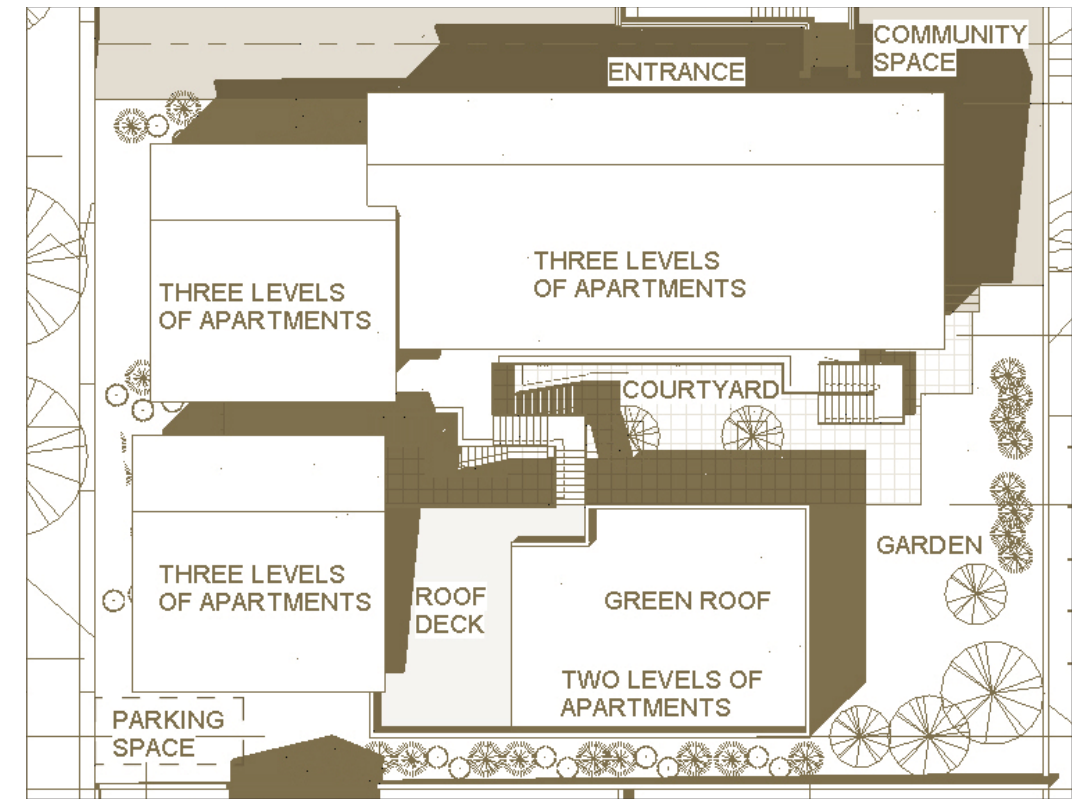


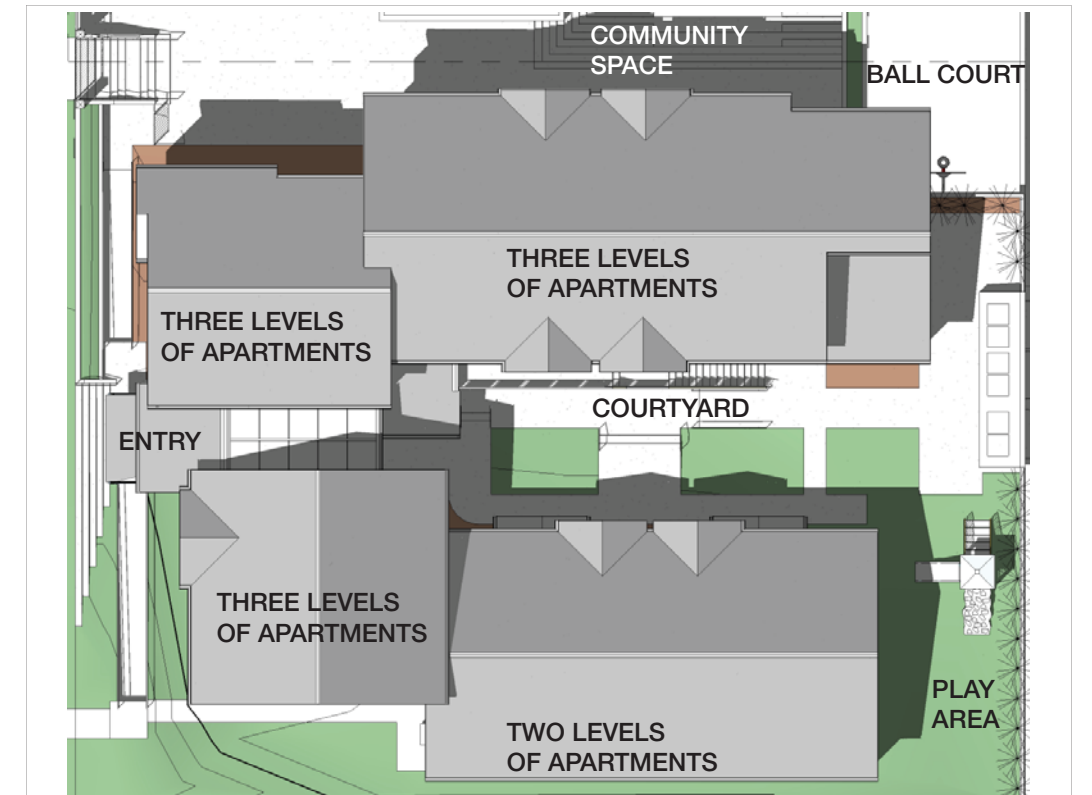
first place



Design Review Presentation - April 6, 2011



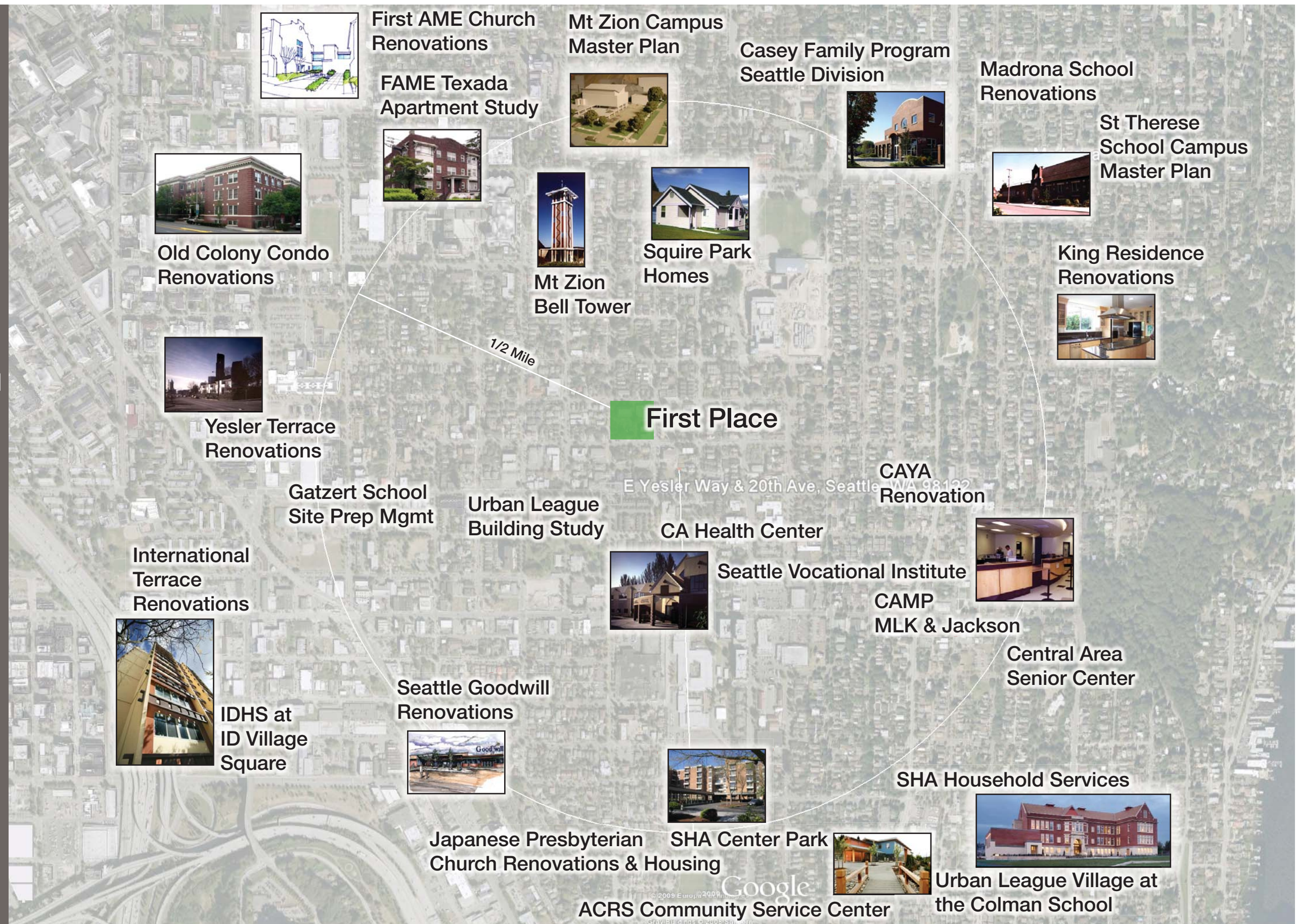
Improved Design Incorporating Early Design Guidance Recommendations



We live
in your
neighborhood

We work
in your
neighborhood

- DKA has more than two dozen community-based projects in the Central Area
- The CHS project fits our commitment to working with non-profit, culturally diverse groups
- We are devoted to projects that involve and give back to the community





① View looking northeast on 20th Avenue



② Looking east on 20th Avenue



③ Looking southeast on 20th Avenue



④ Standing in the site looking west

1. Please describe the existing site, including location, existing uses and/or structures, topographical or other physical features, etc.

EXISTING SITE Uses

The site is located on 20th Avenue between E Spruce and E Fir Streets, and is approximately 128 feet east-west and 120 feet north-south. The lot is vacant, currently containing a parking lot for the First Place School immediately to the north contains an 83' by 49' rectangular, vacant, dilapidated commercial building that fronts E Yesler. The rest of the lot is vacant. The zoning on the lot is LR3.

Topography

The site drops approximately 8 feet from west to east along 20th Avenue and approximately 4 feet along its north south direction at the rear of the lot.

Access

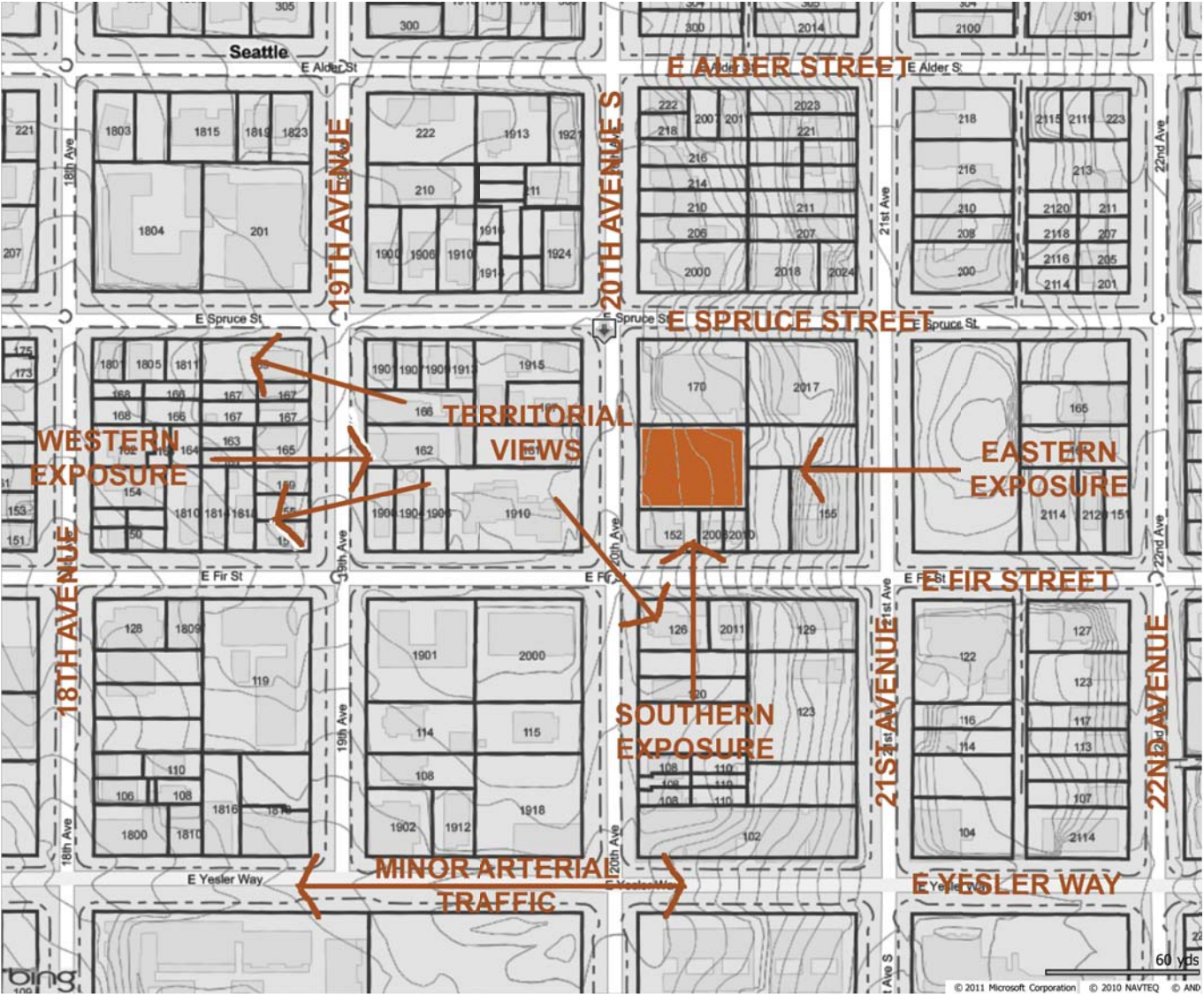
The site is bounded by 20th Avenue to the west. 20th Avenue is a residential street.

Description Site Plan

Alternative 3, our preferred alternative offers a design that utilizes the new potential allowable under the new Multifamily code without maximizing the buildable envelope. The scheme conforms to the new zoning code and provides one accessible parking stall off 20th Avenue to the south of structure. Alternative 3 differs from Alternative 2 by removing a story from the entire structure, providing an improved pedestrian courtyard at the center of the project that serves as a communal open space for the apartment tenants. In this scheme all amenity (open) space is provided at the ground and is accessible to all tenants.

Description Building Design Massing

The proposed massing is considerably less than the permitted heights with a gable roof above 30 feet from grade. Facade length and setbacks define the footprint as FAR is not maximized in order to be sensitive to the existing surrounding context. Amenity area is provided at grade in the central community courtyard and at the rear of the site. The structure height is reduced to 24 feet on the south side of the property by removing one story from that portion of the structure. This will improve access to solar exposure to the courtyard and the apartments on the north side.



Site analysis summary:

20th Avenue topography

- Slopes slightly downhill to the south

20th Avenue traffic

- Residential street connecting Jackson Place to Capitol Hill.

Solar access

- Good solar access to the south as neighboring structures are two and three stories. Good solar access to the east as building to the east is set towards its street property line on 21st Avenue leaving a large rear setback for parking.

Building mass

- The First Place School, a three story brick building is located immediately to the north with predominantly two and three story residential buildings on the rest of the block.

Views

- The site has some territorial views to the west and south.

Parking access

- Propose new, 10 foot curb cut at 20th Avenue for access to a single ADA Parking stall. No parking is being provided for the residential apartments.

2. Please indicate the site’s zoning and any other overlay designations.

The site is zoned LR-3. Further description below.

Site location:	160 - 20th Avenue 12,800 SF LR-3
Site Zoning:	Lowrise LR-3
SEPA Review: CAM 208 Permitted Uses: 23.45.004	Required with construction of over 8 dwelling units in LR-3 Residential Use: Apartment
Height: 23.45.514	Table A. Structure Height for Lowrise Zones in Feet. Maximum height is 40 feet for Apartments in LR3 in Urban Centers, Urban Villages, and Station Area Overlay Districts. D4. In LR3 zones, for structures subject to a 40 foot height limit, the ridge of pitched roofs on principal structures may extend up to 5 feet above the height limit provided that the height exception in subsection 23.45.514.F is not used and that all portions of the pitched roof shall have a minimum slope of 6:12.
Height: Rooftop features: 23.45.514	J4. In LR zones, the following rooftop features may extend 10 feet above the height limit set in subsections 23.45.514.A and F, if the combined total coverage of all features does not exceed 15 percent of the roof area or 20 percent of the roof area if the total includes screened mechanical equipment: a. Stair penthouses, except as provided in subsection 23.45.514.J.6; b. Mechanical equipment; J6. Subject to the roof coverage limits in subsections 23.45.514.J.4 and 5, elevator penthouses may extend above the applicable height limit up to 16 feet. J7. For height exceptions for solar collectors, see Section 23.45.545
Floor Area Ratio: 23.45.510	B. Floor Area Ratios. Floor area ratio limits apply in LR zones as shown in Table A for 23.45.510. Table A. Inside an Urban Village, 1.5 or 2.0. The higher FAR limit applies if the project meets the standards of subsection 23.45.510.C C. In LR zones, in order to qualify for the higher FAR limit shown in Table A for 23.45.510, certain standards shall be met regarding: green building performance standards; alley access and improvement standards; parking location if parking is required; access to parking if parking is provided.
Density: 23.45.512	Table A. Density Limits in Lowrise Zones: 1/800 or No limit for Apartments in LR-3 zone. For apartments that meet the standards of subsection 23.45.510.C, there is no density limit in LR2 and LR3 zones.
Structure Width/Depth: 23.45.527	Table A. LR3 inside Urban Villages, Urban Centers or Station Area Overlay Districts is 150 feet. B1. The maximum combined length of all portions of facades within 15 feet of a lot line that is neither a rear lot line nor a street or alley lot line shall not exceed 65 percent of the length of that lot line, except as specified in subsection 23.45.527.B.2.
Setbacks and Separations: 23.45.518	A. LR zones. Required setbacks for the LR zones are shown in Table A for 23.45.518. Table A. For apartments the setbacks are as follows; Front: 5 feet minimum; Rear: 15 minimum if no alley Side Setback for Facades greater than 40 feet in length: 7 average; 5 minimum F. Separations between multiple structures. In LR and MR zones the minimum required separation between principal structures at any two points on different interior facades is 10 feet J3. Structures in required setbacks or separations: Uncovered, unenclosed pedestrian bridges, necessary for access and 5 feet or less in width, are permitted in any required setback or separation.

Parking: 23.54.015 Required Parking 23.54.030 Parking Space Standards	Table B Residential Uses – Residential uses in commercial and multifamily zones within urban centers or within the Station Area Overlay District(1) - No minimum requirement.
23.45.536 Parking location, access , and screening	B1. If parking is required, it shall be located on the same lot as the use requiring the parking, except as otherwise provided in this subsection 23.45.536.B . B2. Except as otherwise provided in this subsection 23.45.536.B, surface parking may be located anywhere on a lot except: a. between a principal structure and a street lot line b. in the required front setback or side street side setback; and c. within 7 feet of any street lot line.
Landscaping standards: 23.45.524	A1. All landscaping provided to meet requirements under this Section 23.45.524 shall meet standards promulgated by the Director to provide for the long-term health, viability, and coverage of plantings. A2a. Landscaping that achieves a Green Factor score of 0.6 or greater, determined as set forth in Section 23.86.019, is required for any lot with development containing more than one dwelling unit in Lowrise zones. Vegetated walls may not count towards more than 25 percent of a lot’s Green Factor score. B1. 1. Street trees are required if any type of development is proposed, except as provided in subsection 23.45.524.B. 2 and B.3 below and Section 23.53.015. Existing street trees shall be retained unless the Director of Transportation approves their removal.
Amenity Areas: 23.45.522	A1. The required amount of amenity area for rowhouse and townhouse developments and apartments in LR zones is equal to 25 percent of the lot area. A2. A minimum of 50 percent of the required amenity area shall be provided at ground level, except that amenity area provided on the roof of a structure that meets the provisions of subsection 23.45.510.E.5 may be counted as amenity area provided at ground level. A4. For apartments, amenity area required at ground level shall be provided as common space. D1. All units shall have access to a common or private amenity area. D3. Projections into amenity areas. Structural projections that do not provide floor area, such as garden windows, may extend up to 2 feet into an amenity area if they are at least 8 feet above finished grade. D5. Common amenity area for rowhouse and townhouse developments and apartments shall meet the following conditions: a. No common amenity area shall be less than 250 square feet in area, and common amenity areas shall have a minimum horizontal dimension of 10 feet. b. Common amenity area shall be improved as follows: 1) At least 50 percent of common amenity area provided at ground level shall be landscaped with grass, ground cover, bushes and/or trees. 2) Elements that enhance the usability and livability of the space for residents, such as seating, outdoor lighting, weather protection, art, or other similar features shall be provided. c. The common amenity area required at ground level for apartments shall be accessible to all apartment units.
Design standards: 23.45.529	B. Application of provisions. The provisions of this Section 23.45.529 apply to all residential uses that do not undergo any type of design review pursuant to Chapter 23.41, except single-family dwelling units.
Standards for certain accessory uses: 23.45.545	C3. Solar collectors on roofs. Solar collectors that meet minimum written energy conservation standards administered by the Director and that are located on a roof are permitted as follows: a. In Lowrise zones up to 4 feet above the maximum height limit or 4 feet above the height of elevator penthouse(s).



① 208 & 210 21st Ave



② View of mixed use development at boundary line of NC1-40 and L-3 at 1918 E Yesler



③ Langston Hughes Theater



④ 19th and E Yesler Way

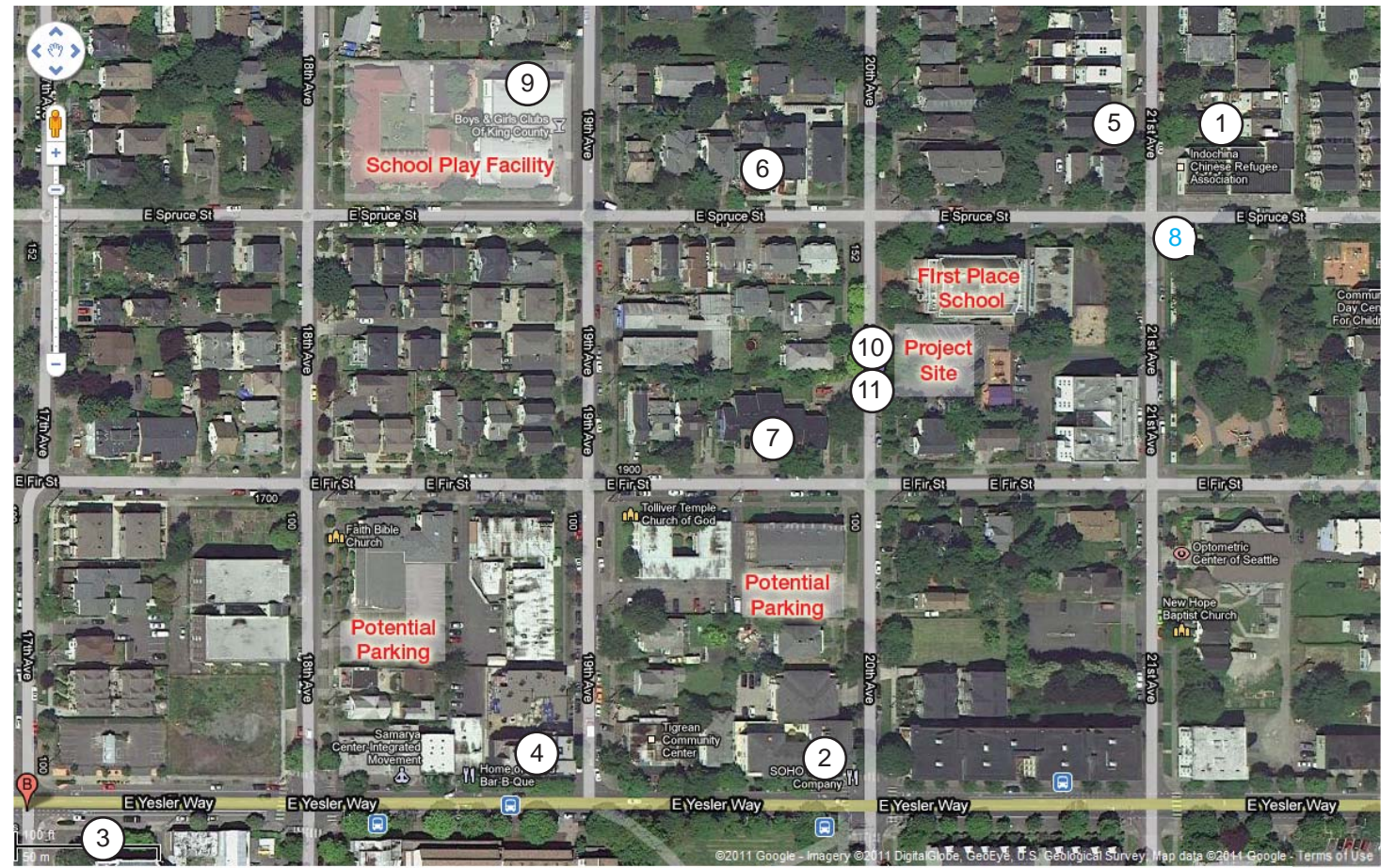


⑥ 1918A & B E Spruce St



⑤ 213 & 217 21st Ave

⑦ 1912 - 1918 E Fir St





8 Spruce Park from E. Spruce and 21st Ave (Updated Image)



9 View of Rotary Boys and Girls Club on 19th Ave

3. Please describe neighboring development and uses, including adjacent zoning, physical features, existing architectural and siting patterns, views, community landmarks, etc.

Neighborhood Context and Adjacent Zoning

Land Use

The site sits in the middle of a neighborhood of multiple zones, on the edge of the LR-3 zone. There are several recent developments in the Multi-family and Commercial zones adjacent to the site that coexist with the adjacent single family housing stock. Across E. Yesler Way is Edwin T Pratt Park, a very accessible and large green space.

Architecture

The architecture varies dramatically in this neighborhood with a wide range of building types. The neighborhood fabric surrounding our site includes several recently built townhome projects, single family homes, several civic buildings and places of worship. The housing type along 20th Avenue is predominantly **large apartment buildings with smaller apartment buildings and multi- and single-family residences perpendicular to Yesler.**

Topography and Views

The land slopes down hill to the east away from 20th Avenue.



10 Panoramic view along 20th avenue, looking east



11 Panoramic view along 20th avenue, looking west

A-1. Responding to Site Characteristics:
The siting of buildings should respond to specific site conditions and opportunities such as non-rectangular lots, location on prominent intersections, unusual topography, significant vegetation and views or other natural features.

At the Early Design Guidance Meeting, the Board noted that the location, height, and appearance of retaining walls at the edges of the property are unclear at this stage of review. The applicant should provide detailed information about these items at the Recommendation stage of review.

DKA response
Retaining walls along edges of property have been made as low as possible.

West property line: There is a retaining wall that is maintained at 40" in front of the north bar building. A plant area mediates the grade change between the sidewalk and the ramp. There is a five foot retaining wall along the west edge of the stairs down into the public courtyard.

North property line: There is a retaining wall that is maintained at 40" at the ramp down from the public courtyard to the bottom level of the outdoor classroom. A planted area mediates the grade change between the public courtyard and the lower section of ramp. The school play area at the northeast corner of the site has a 5.5' retaining wall along its south boundary.



Site SW Corner: Ramp to Main Entry Looking North



Site NW Corner: Ramp from Main Entry Looking South



Site NW Corner: Public Courtyard



Site NE Corner: Outdoor Classroom

East property line: There is an existing 3.25' retaining wall along the property line. This retaining wall is being increased to 5' in height. The housing courtyard has a gentle 1:48 slope to provide positive drainage and allow us to minimize the added height of the wall along the east property line. Building steps down with the courtyard slope. See drawing sheet A2.10 for relative elevations.



Site NE Corner: First Place School Play Area



East Edge: School Play Area / Housing Patio Housing Child Play Area

South property line: there is a low retaining wall that begins at 0' at the west end and grows to 4' at the east end of the site.



Site SE Corner: Housing Child Play Area / Housing Patio



Site SE Corner: Housing Child Play Area

A-2. Streetscape Compatibility.
The siting of buildings should acknowledge and reinforce the existing desirable spatial characteristics of the right-of-way.

At the Early Design Guidance Meeting, the Board discussed the context of nearby building entry design in relation to the proposed entry to this site. The Board noted that nearby residential design incorporates some front setback with a gradual transition to the front door (stairs, porch, etc.). Nearby “urban” development usually includes a strong street wall adjacent to the sidewalk, with a high degree of glazing and an entry directly from the sidewalk.

The Board explained that the proposed entry point is set back too far from the street, in combination with a strong street wall. The entry isn’t obvious and the street façade doesn’t create an active urban street front. The proposed design should be more wholly residential in feel (clearly identifiable entry, with a front façade setback and less street front glazing), or more urban in feel (minimal front setback with high degree of glazing and entry directly from the sidewalk).

If the applicant chooses the residential street front design, the entry should be clearly identifiable from the street. Possible techniques to enhance the entry point include combining the surface with the First Place School entry path for a wider ‘entry court,’ special paving, landscaping, and vertical architectural gateway elements.

The Board directed the applicant to design a front façade and entry that relates to both the character of the overall design, and the context of nearby development.

DKA response
The entry has been relocated to be between the two residential bar buildings and provides a strong presence at the street, including a terraced stair which mediates the median 2’-0” grade change from sidewalk to entrance patio.

A-3. Entrances Visible from the Street.
Entries should be clearly identifiable and visible from the street.

Comments reflect those in response to Guideline A-2.

DKA response
See DKA response for A-2



Main Entry from 20th Avenue



Public Courtyard Entrance



20th Avenue Streetscape



20th Avenue Streetscape Showing Section Cut of Ramps



20th Avenue Streetscape from Previous Design (From EDG Submittal)

A-6. Transition Between Residence and Street.
For residential projects, the space between the building and the sidewalk should provide security and privacy for residents and encourage social interaction among residents and neighbors.

In addition to the comments in response to Guideline A-2, the Board directed the applicant to carefully design the separation between the two buildings, where that separation will be visible from the street front. This design should unify the two buildings and enhance the street facing façade. Possible solutions could include a wall connecting the two buildings, the stairs as an architectural expression, or a green wall.

DKA response
New entry now unifies the two residential bar buildings and enhances the street facade and presence.

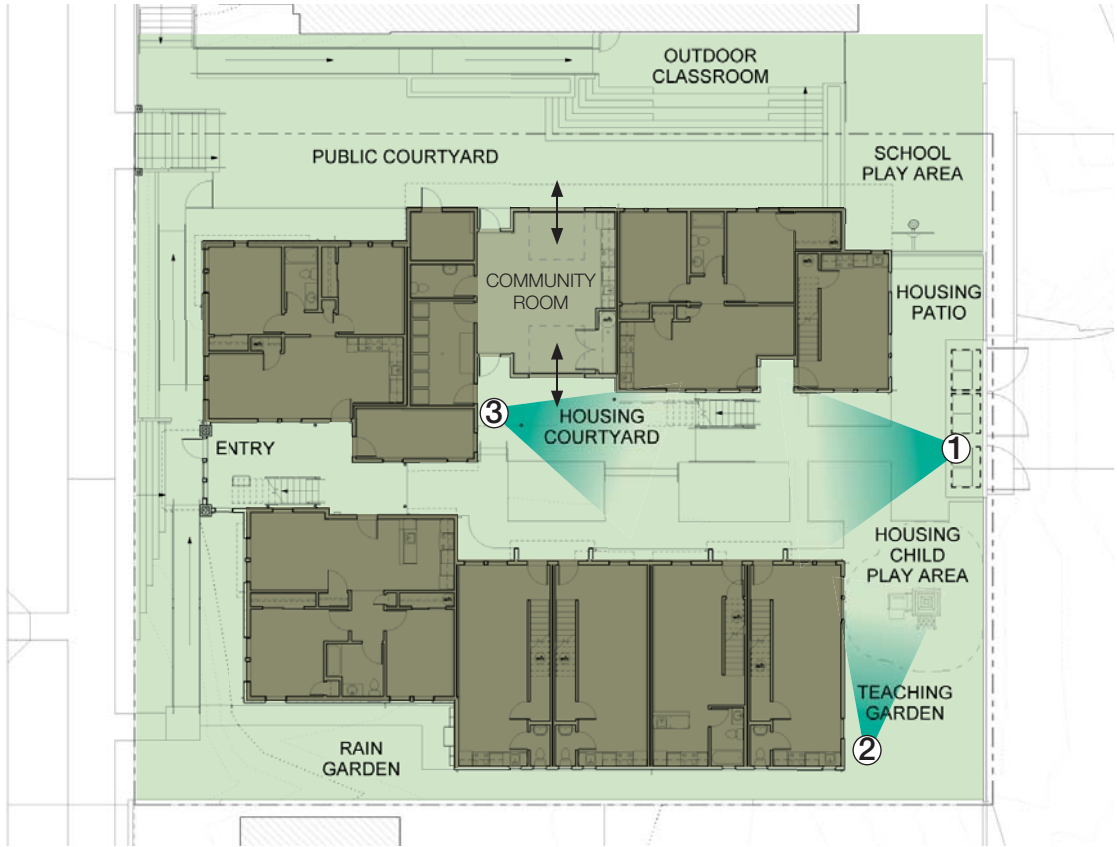
A-7. Residential Open Space.
Residential projects should be sited to maximize opportunities for creating usable, attractive, well-integrated open space.

At the Early Design Guidance Meeting, the Board described this as the largest challenge for the project. The Board noted that an overall design concept is needed to unify the residential open spaces for the proposal, including the interior space, the east 'backyard', the NE 'outdoor classroom,' and the entry court between First Place School and the proposed new building entry. The outdoor spaces should accommodate the building program and promote an overall unified open space design concept.

DKA response
A series of outdoor spaces have been created with different programs to accommodate the building program.

The Board was concerned with the character of the space between the two buildings. This space requires careful design to maximize light and air, visually integrate the external stair and walkways, and create human scale in the interior building facades. The applicant should provide shadow studies, floor plans demonstrating the relationship of units to the courtyard, and interior elevation drawings at the Recommendation stage of review.

DKA response
Relationship of units to the courtyard has been enhanced and articulated in the building facades, creating a more well-developed housing courtyard and entry sequence from street. Interior elevations articulate entries for individual units.



Key Plan - Main Level Plan with Open Spaces



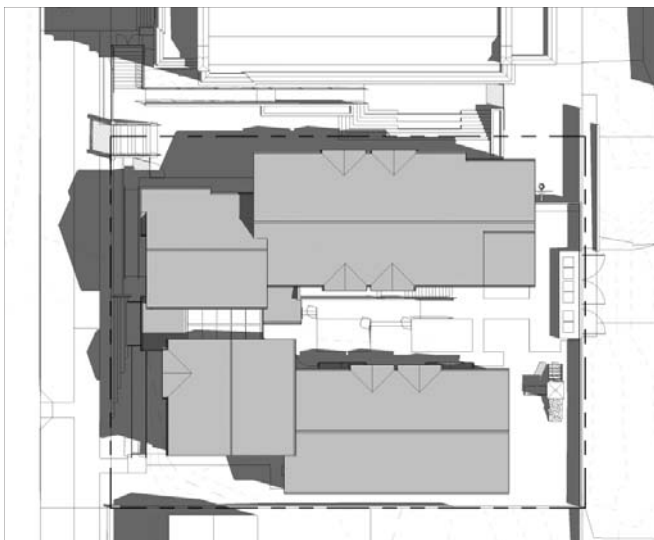
View 1 - Looking West into Housing Courtyard



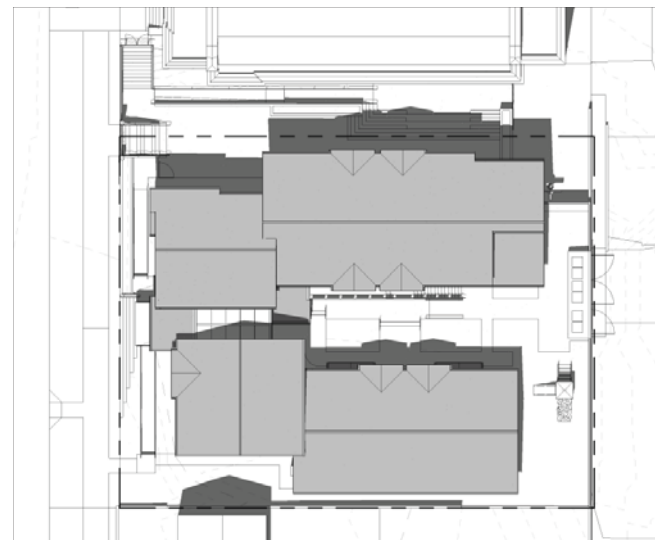
View 2 - Looking North from Teaching Garden



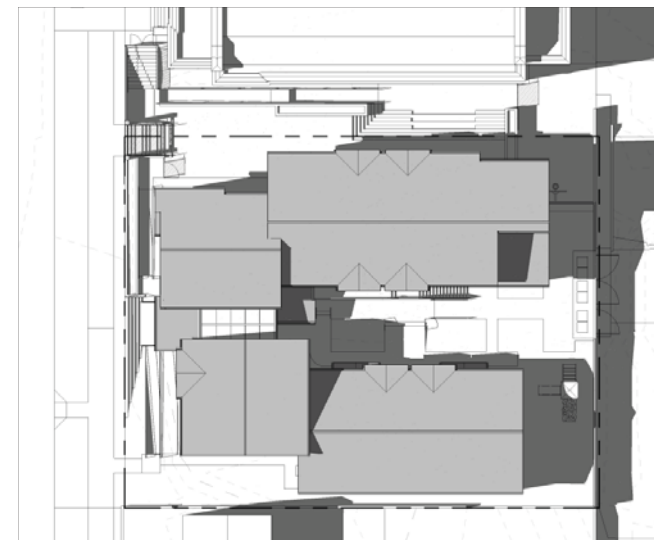
View 3 - Looking East into Housing Courtyard from Second Floor Walkway



June 21 - 9:00 am



June 21 - 12:00 pm



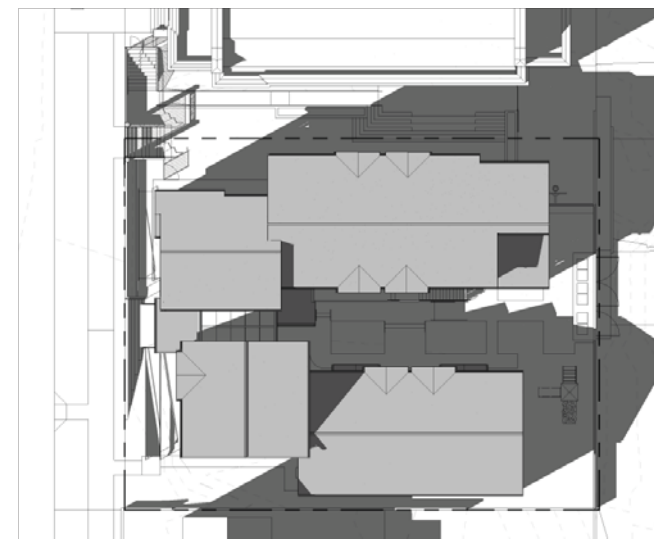
June 21 - 3:00 pm



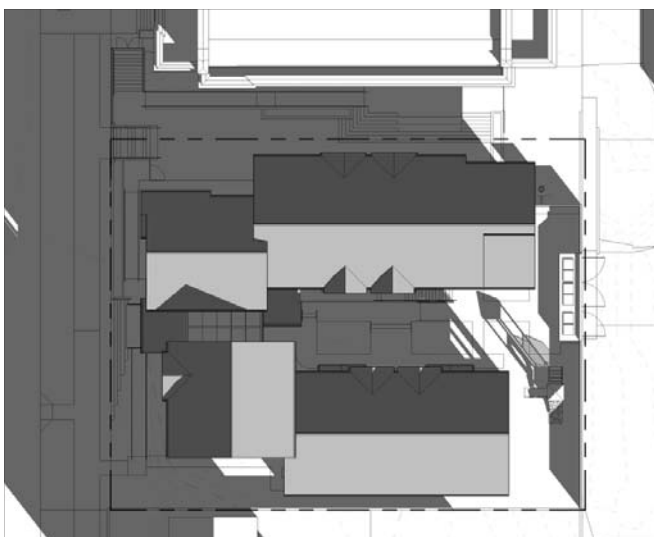
September 21 - 9:00 am



September 21 - 12:00 pm



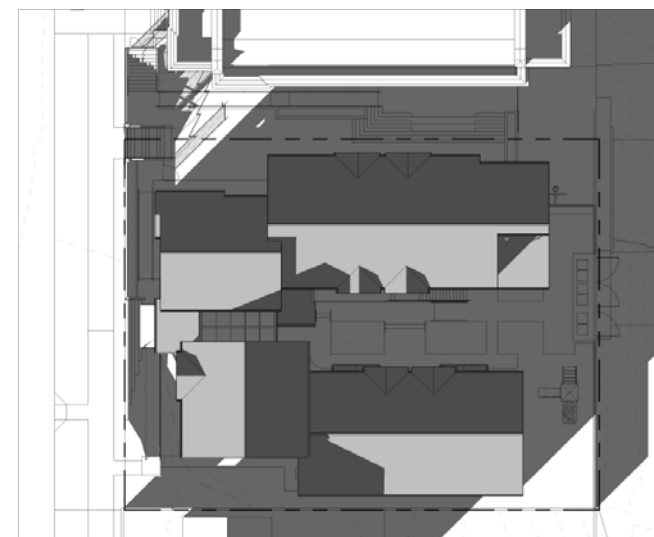
September 21 - 3:00 pm



December 21 - 9:00 am



December 21 - 12:00 pm



December 21 - 3:00 pm

Shadows are included as required for the MUP set. Shadow studies are included on this page of this package.

The Board was also concerned with the narrow corridors for the proposed north building entry and the First Place School entry, in relation to the northeast outdoor classroom area. These areas should be combined to create the greatest usability and visibility for all users.

DKA response

Site and building design have been reworked to create more desirable outdoor spaces and entry sequences.

The Board further advised the applicant to examine how the eastern 'backyard' area for the apartments will serve the building program, given the location of any community room, main entry, etc. One possibility is to combine this space with the outdoor classroom space.

DKA response

The site design has been reworked to address this programming issue. The Courtyards are further enhanced by the relocation of the community room as a indoor-outdoor connecting space with roll-up garage doors to connect and enliven either one or both courtyards for a variety of functions. A housing patio for barbeques and outdoor dining occupies the northeast edge of the housing courtyard. A child play space with play equipment is located at the southeast edge to maintain visibility for adults watching their kids at play, while still allowing the main housing courtyard to become a gathering space for teens and adults. Main housing courtyard includes planted areas that define and screen unit entries and also provide opportunity for seating to be incorporated along the perimeter of the planted beds.

The Board directed the applicant to demonstrate how the green roof relates to the open space program as well.

DKA response

The green roof has been removed from the project program as it did not have a strong relationship to the rest of the open space program. Green factor is achieved through the courtyard and site perimeter plantings, and rain gardens along the south property line.

C-1. Architectural Context.
New buildings proposed for existing neighborhoods with a well-defined and desirable character should be compatible with or complement the architectural character and siting pattern of neighboring buildings.

Comments reflect those in response to Guideline A-2.

DKA response
The windows, trim treatment and roof gables have all been revised to reflect the character of the existing homes in the neighborhood. A small photographic sampling of some of those homes is included on this page.

C-2. Architectural Concept and Consistency.
Building design elements, details and massing should create a well-proportioned and unified building form and exhibit an overall architectural concept. Buildings should exhibit form and features identifying the functions within the building. In general, the roofline or top of the structure should be clearly distinguished from its facade walls.

Comments reflect those in response to Guideline A-1, A-2, A-6, and A-7.

DKA response
Building elevations have been revised to provide a well-proportioned and unified look and feel.

C-3. Human Scale.
The design of new buildings should incorporate architectural features, elements, and details to achieve a good human scale.

Comments reflect those in response to Guideline A-1, A-2, A-6, and A-7.

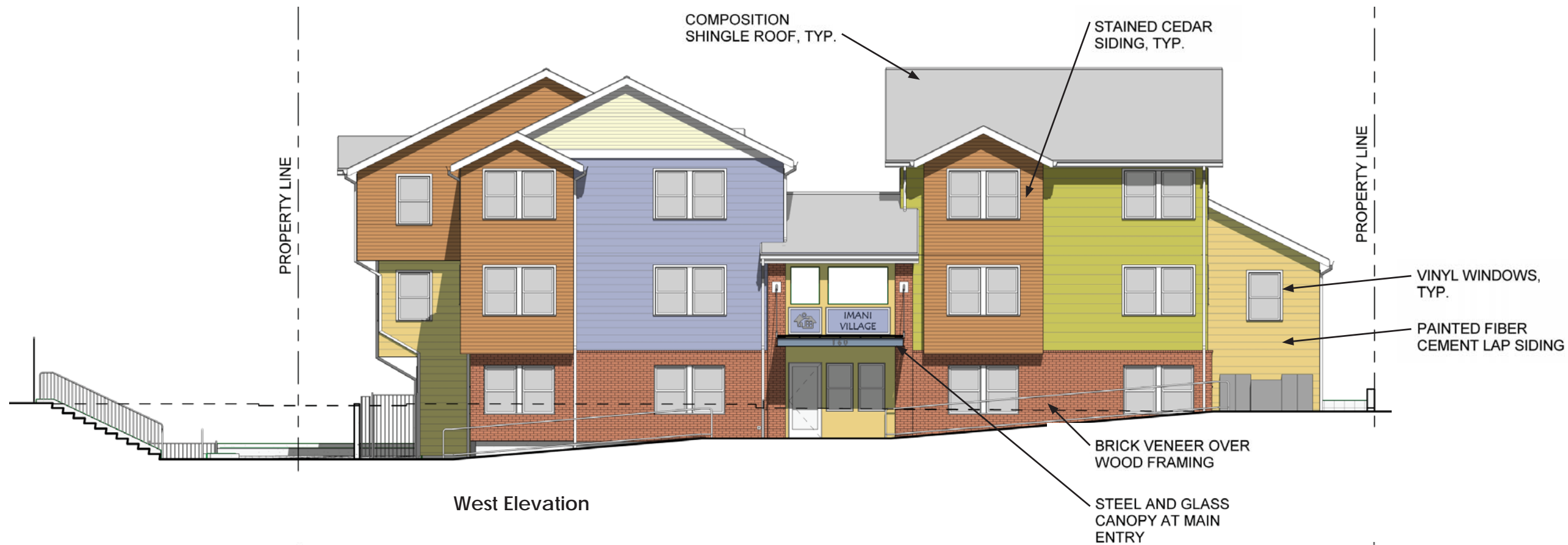
DKA response
The building design has been further developed to include window size, trim, guardrail, entry and second story walkways that provide an appropriate sense of human scale.

C-4. Exterior Finish Materials.
Building exteriors should be constructed of durable and maintainable materials that are attractive even when viewed up close. Materials that have texture, pattern, or lend themselves to a high quality of detailing are encouraged.

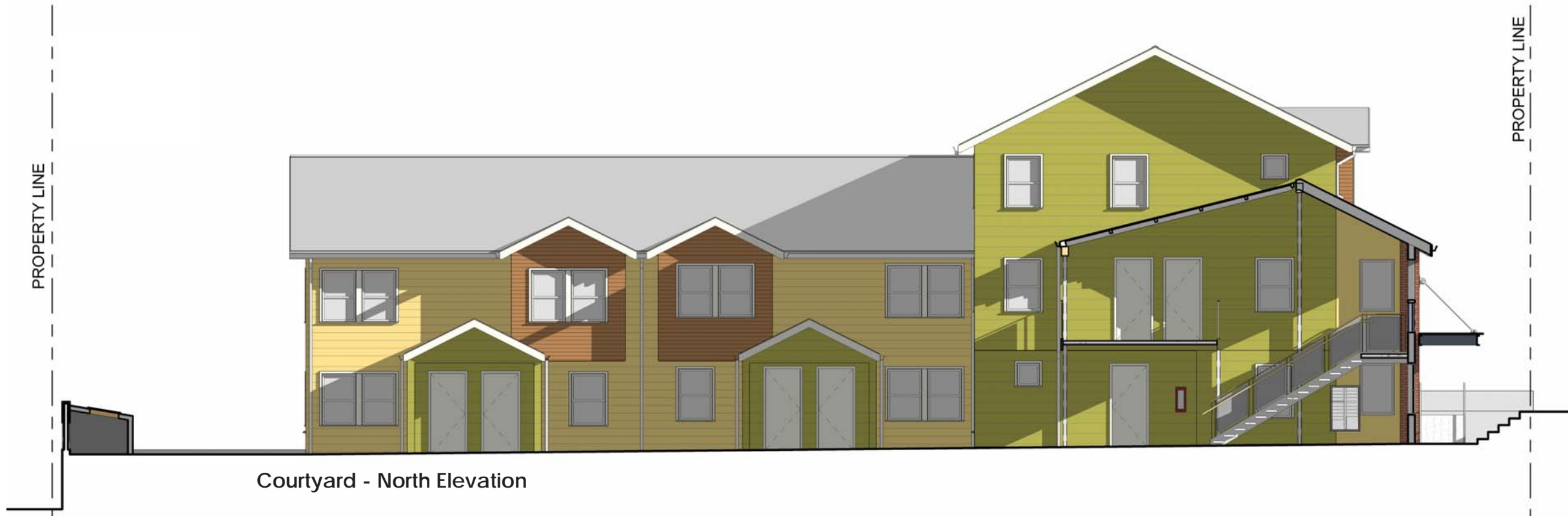
Comments reflect those in response to Guideline A-1, A-2, A-6, and A-7.

DKA response
Exterior elevations are a combination of Hardiplank horizontal lap siding, brick at the ground floor and recycled wood at projected window bays. All materials are treated with residential scale tectonic detailing.









D-1. Pedestrian Open Spaces and Entrances.
Convenient and attractive access to the building’s entry should be provided. To ensure comfort and security, paths and entry areas should be sufficiently lighted and entry areas should be protected from the weather. Opportunities for creating lively, pedestrian-oriented open space should be considered.

Comments reflect those in response to Guideline A-2, A-6, and A-7.

DKA response
A centralized entry now exists which is well lit from the sidewalk and located such that it is easily monitored from the office space in the inner courtyard. The entry includes a covered canopy area and an open air, but protected entry sequence that transitions residents and visitors from sidewalk to planted entry courtyard at the housing interior.

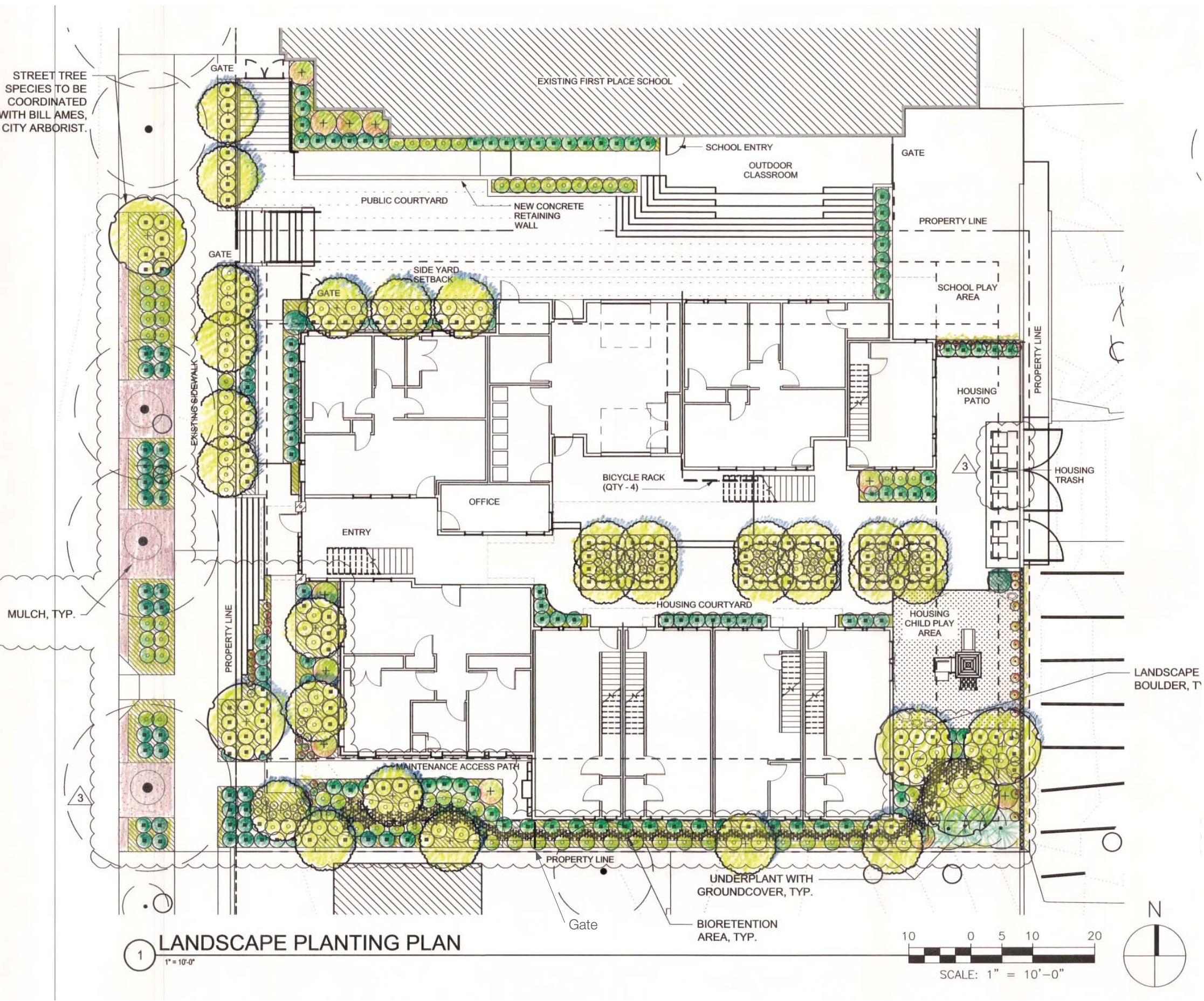
D-3. Retaining Walls.
Retaining walls near a public sidewalk that extend higher than eye level should be avoided where possible. Where higher retaining walls are unavoidable, they should be designed to reduce their impact on pedestrian comfort and to increase the visual interest along the streetscapes.

Comments reflect those in response to Guideline A-1, A-2, and A-7.

DKA response
The rendered image on page 7 labeled “Site NW Corner” provides a good view of the retaining wall adjacent to the sidewalk. This retaining wall mediates a grade change of 2’-0” from the building entry down to the public courtyard at the site’s northwest corner. The proposed planting reflect CPTED guidelines to maintain visibility and monitoring of the depressed ramp by both pedestrians at the sidewalk as well as the unit residents immediately adjacent to the ramp location.

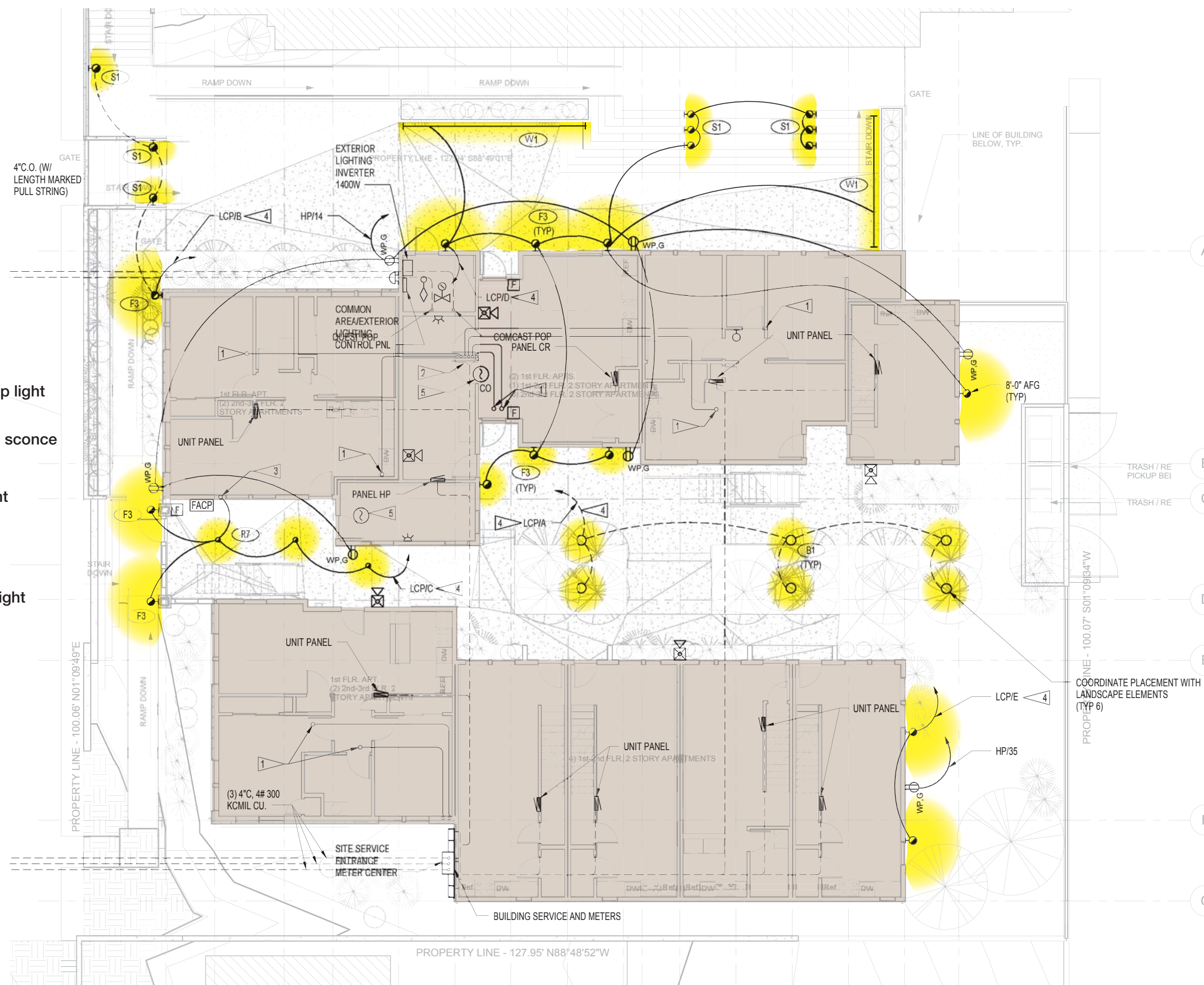
D-7. Personal Safety and Security.
Project design should consider opportunities for enhancing personal safety and security in the environment under review.

Comments reflect those in response to Guideline A-1, A-2, A-6, and A-7. The Board noted that ‘eyes on the street,’ a clearly identifiable entry, and clear sight lines will add to safety and security for residents. Multiple narrow paths and open spaces with retaining walls, blind corners, and lack of natural light will create challenges for safety and security.



Exterior Lighting Legend

- S1- Recessed step light
- F3- Compact wall sconce
- B1- Planter uplight
- R7- Spotlight
- W1- Planter striplight



Exterior Lighting

DKA response

All public gathering spaces and outdoor corridors have clear and obvious sight lines from units that provide the opportunity for residents to be aware of and monitor activities beyond their walls. Both office and the interior community space with large roll-up glass doors are located to provide the ability to engage and monitor adjacent outdoor spaces. Existing south-facing windows of the classrooms and offices of First Place Schools also provide monitoring of the public courtyard and outdoor classroom during the day. These spaces are secured in the evening via three gates at the west and one gate at the east end of the property. One gate along the south property line provides additional security. The secure entry, raised plinth condition along the east property line and the gate system described ensure a secure campus which is required for this client.

E-2 Landscaping to Enhance the Building and Site.

Landscaping, including living plant material, special pavements, trellises, screen walls, planters, site furniture, and similar features should be appropriately incorporated into the design to enhance the project.

Comments reflect those in response to Guideline A-2, A-6, and A-7.

DKA response

The adjacent planting plan indicated the wide variety of planting being provided along the sidewalk and at courtyard. Special features include a raingarden at the southwest corner, a bioswale along the south property line, a teaching garden south of the housing child play area, and green walls that wrap the exterior gathering spaces along the entire length of the east property line.

E-3 Landscape Design to Address Special Site Conditions.

The landscape design should take advantage of special on-site conditions such as high-bank front yards, steep slopes, view corridors, or existing significant trees and off-site conditions such as greenbelts, ravines, natural areas, and boulevards.

Comments reflect those in response to Guideline A-1, A-2, and A-7.

DKA response

Raingarden and bioswale at the south property line take advantage of the site slope. Other landscape features indicated above are integrated components of the development scheme.