

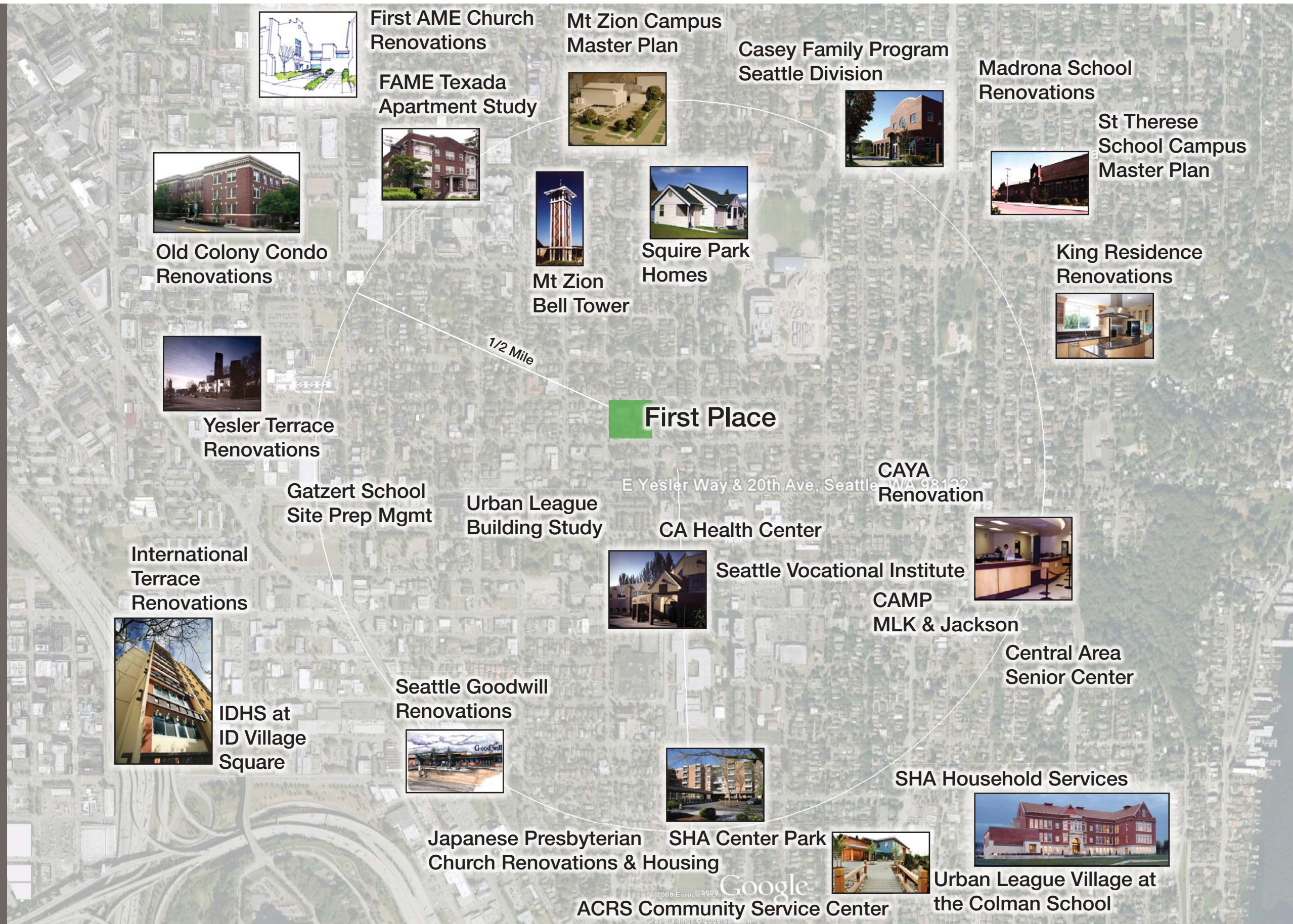
first place



We live
in your
neighborhood

We work
in your
neighborhood

- DKA has more than two dozen community-based projects in the Central Area
- The CHS project fits our commitment to working with non-profit, culturally diverse groups
- We are devoted to projects that involve and give back to the community





① View looking northeast on 20th Avenue



② Looking east on 20th Avenue



③ Looking southeast on 20th Avenue

1. Please describe the existing site, including location, existing uses and/or structures, topographical or other physical features, etc.

EXISTING SITE

Uses

The site is located on 20th Avenue between E Spruce and E Fir Streets, and is approximately 128 feet east-west and 120 feet north-south. The lot is vacant, currently containing a parking lot for the First Place School immediately to the north contains an 83' by 49' rectangular, vacant, dilapidated commercial building that fronts E Yesler. The rest of the lot is vacant. The zoning on the lot is LR3.

Topography

The site drops approximately 8 feet from west to east along 20th Avenue and approximately 4 feet along its north-south direction at the rear of the lot.

Access

The site is bounded by 20th Avenue to the west. 20th Avenue is a residential street.



④ Standing in the site looking west



Site analysis summary:

20th Avenue topography

- Slopes slightly downhill to the south

20th Avenue traffic

- Residential street connecting Jackson Place to Capitol Hill.

Solar access

- Good solar access to the south as neighboring structures are two and three stories. Good solar access to the east as building to the east is set towards its street property line on 21st Avenue leaving a large rear setback for parking.

Building mass

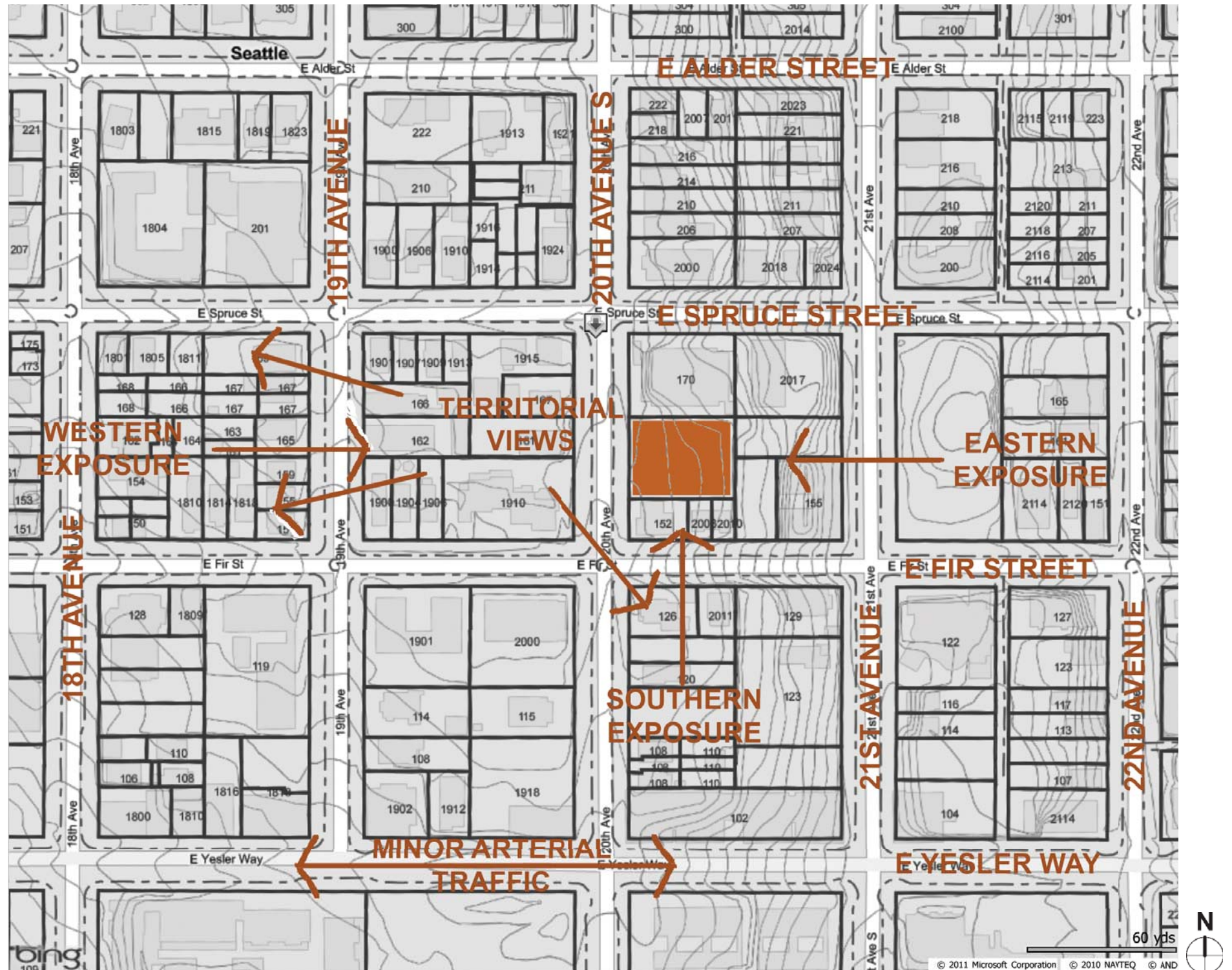
- The First Place School, a three story brick building is located immediately to the north with predominantly two and three story residential buildings on the rest of the block.

Views

- The site has some territorial views to the west and south.

Parking access

- Propose new, 10 foot curb cut at 20th Avenue for access to a single ADA Parking stall. No parking is being provided for the residential apartments.



2. Please indicate the site's zoning and any other overlay designations.

The site is zoned LR-3. Further description below.

Site location: 160 - 20th Avenue
12,800 SF LR-3

Site Zoning: Lowrise LR-3

SEPA Review: Required with construction of over 8 dwelling units in LR-3
CAM 208

Permitted Uses: Residential Use: Apartment
23.45.004

Height: Table A. Structure Height for Lowrise Zones in Feet.
23.45.514 Maximum height is 40 feet for Apartments in LR3 in Urban Centers, Urban Villages, and Station Area Overlay Districts.
D4. In LR3 zones, for structures subject to a 40 foot height limit, the ridge of pitched roofs on principal structures may extend up to 5 feet above the height limit provided that the height exception in subsection 23.45.514.F is not used and that all portions of the pitched roof shall have a minimum slope of 6:12.

Height: Rooftop features: J4. In LR zones, the following rooftop features may extend 10 feet above the height limit set in subsections 23.45.514.A and F, if the combined total coverage of all features does not exceed 15 percent of the roof area or 20 percent of the roof area if the total includes screened mechanical equipment:
23.45.514 a. Stair penthouses, except as provided in subsection 23.45.514.J.6;
b. Mechanical equipment;
J6. Subject to the roof coverage limits in subsections 23.45.514.J.4 and 5, elevator penthouses may extend above the applicable height limit up to 16 feet.
J7. For height exceptions for solar collectors, see Section 23.45.545

Floor Area Ratio: B. Floor Area Ratios. Floor area ratio limits apply in LR zones as shown in Table A for 23.45.510.
23.45.510 Table A. Inside an Urban Village, 1.5 or 2.0. The higher FAR limit applies if the project meets the standards of subsection 23.45.510.C
C. In LR zones, in order to qualify for the higher FAR limit shown in Table A for 23.45.510, certain standards shall be met regarding: green building performance standards; alley access and improvement standards; parking location if parking is required; access to parking if parking is provided.

Density: Table A. Density Limits in Lowrise Zones: 1/800 or No limit for Apartments in LR-3 zone. For
23.45.512 apartments that meet the standards of subsection 23.45.510.C, there is no density limit in LR2 and LR3 zones.

Structure Width/Depth: Table A. LR3 inside Urban Villages, Urban Centers or Station Area Overlay Districts is 150 feet.
23.45.527 B1. The maximum combined length of all portions of facades within 15 feet of a lot line that is neither a rear lot line nor a street or alley lot line shall not exceed 65 percent of the length of that lot line, except as specified in subsection 23.45.527.B.2.

Setbacks and Separations: A. LR zones. Required setbacks for the LR zones are shown in Table A for 23.45.518.
23.45.518 Table A. For apartments the setbacks are as follows;
Front: 5 feet minimum;
Rear: 15 minimum if no alley
Side Setback for Facades greater than 40 feet in length: 7 average; 5 minimum
F. Separations between multiple structures. In LR and MR zones the minimum required separation between principal structures at any two points on different interior facades is 10 feet
J3. Structures in required setbacks or separations: Uncovered, unenclosed pedestrian bridges, necessary for access and 5 feet or less in width, are permitted in any required setback or separation.

Parking: 23.54.015 Required Parking
23.54.030 Parking Space Standards
Table B Residential Uses – Residential uses in commercial and multifamily zones within urban centers or within the Station Area Overlay District(1) - No minimum requirement.

23.45.536 Parking location, access, and screening
B1. If parking is required, it shall be located on the same lot as the use requiring the parking, except as otherwise provided in this subsection 23.45.536.B.
B2. Except as otherwise provided in this subsection 23.45.536.B, surface parking may be located anywhere on a lot except:
a. between a principal structure and a street lot line
b. in the required front setback or side street side setback; and
c. within 7 feet of any street lot line.

Landscaping standards: A1. All landscaping provided to meet requirements under this Section 23.45.524 shall meet
23.45.524 standards promulgated by the Director to provide for the long-term health, viability, and coverage of plantings.
A2a. Landscaping that achieves a Green Factor score of 0.6 or greater, determined as set forth in Section 23.86.019, is required for any lot with development containing more than one dwelling unit in Lowrise zones. Vegetated walls may not count towards more than 25 percent of a lot's Green Factor score.
B1. 1. Street trees are required if any type of development is proposed, except as provided in subsection 23.45.524.B.2 and B.3 below and Section 23.53.015. Existing street trees shall be retained unless the Director of Transportation approves their removal.

Amenity Areas: A1. The required amount of amenity area for rowhouse and townhouse developments and
23.45.522 apartments in LR zones is equal to 25 percent of the lot area.
A2. A minimum of 50 percent of the required amenity area shall be provided at ground level, except that amenity area provided on the roof of a structure that meets the provisions of subsection 23.45.510.E.5 may be counted as amenity area provided at ground level.
A4. For apartments, amenity area required at ground level shall be provided as common space.
D1. All units shall have access to a common or private amenity area.
D3. Projections into amenity areas. Structural projections that do not provide floor area, such as garden windows, may extend up to 2 feet into an amenity area if they are at least 8 feet above finished grade.
D5. Common amenity area for rowhouse and townhouse developments and apartments shall meet the following conditions:
a. No common amenity area shall be less than 250 square feet in area, and common amenity areas shall have a minimum horizontal dimension of 10 feet.
b. Common amenity area shall be improved as follows:
1) At least 50 percent of common amenity area provided at ground level shall be landscaped with grass, ground cover, bushes and/or trees.
2) Elements that enhance the usability and livability of the space for residents, such as seating, outdoor lighting, weather protection, art, or other similar features shall be provided.
c. The common amenity area required at ground level for apartments shall be accessible to all apartment units.

Design standards: B. Application of provisions. The provisions of this Section 23.45.529 apply to all residential uses
23.45.529 that do not undergo any type of design review pursuant to Chapter 23.41, except single-family dwelling units.

Standards for certain accessory uses: C3. Solar collectors on roofs. Solar collectors that meet minimum written energy conservation
23.45.545 standards administered by the Director and that are located on a roof are permitted as follows:
a. In Lowrise zones up to 4 feet above the maximum height limit or 4 feet above the height of elevator penthouse(s).



① 208 & 210 21st Ave



② View of mixed use development at boundary line of NC1-40 and L-3 at 1918 E Yesler



⑥ 1918A & B E Spruce St

⑦ 1912 - 1918 E Fir St

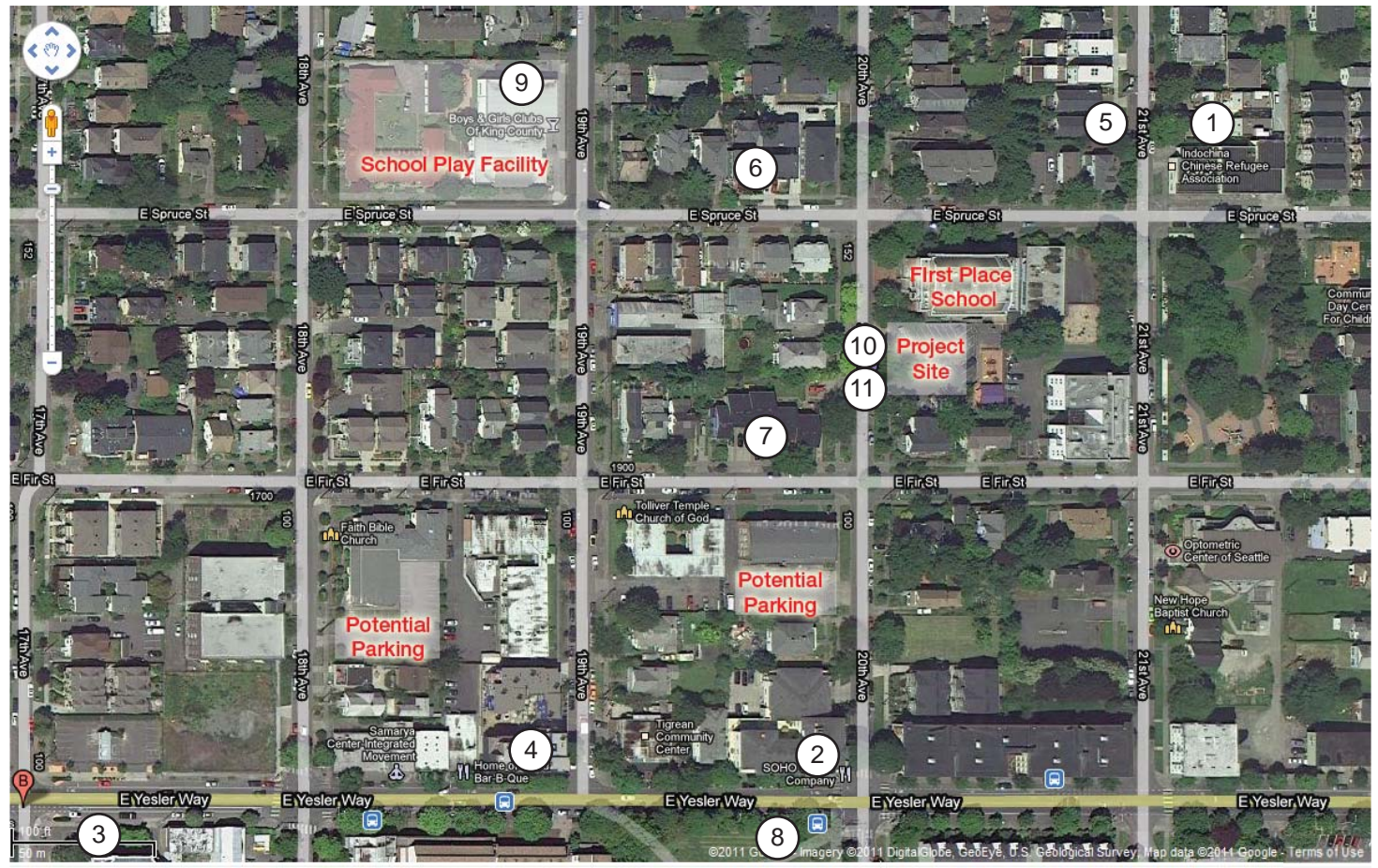


③ Langston Hughes Theater



④ 19th and E Yesler Way

⑤ 213 & 217 21st Ave





8 Edwin Pratt Park from E Yesler Way



9 View of Rotary Boys and Girls Club on 19th Ave

3. Please describe neighboring development and uses, including adjacent zoning, physical features, existing architectural and siting patterns, views, community landmarks, etc.

Neighborhood Context and Adjacent Zoning

Land Use

The site sits in the middle of a neighborhood of multiple zones, on the edge of the LR-3 zone. There are several recent developments in the Multi-family and Commercial zones adjacent to the site that coexist with the adjacent single family housing stock. Across E. Yesler Way is Edwin T Pratt Park, a very accessible and large green space.

Architecture

The architecture varies dramatically in this neighborhood with a wide range of building types. The neighborhood fabric surrounding our site includes several recently built townhome projects, single family homes, several civic buildings and places of worship. The housing type along 20th Avenue is predominantly **large apartment buildings with smaller apartment buildings and multi- and single-family residences perpendicular to Yesler.**

Topography and Views

The land slopes down hill to the east away from 20th Avenue.



10 Panoramic view along 20th avenue, looking east



11 Panoramic view along 20th avenue, looking west

Design Review Guidelines for Multifamily and Commercial Buildings.

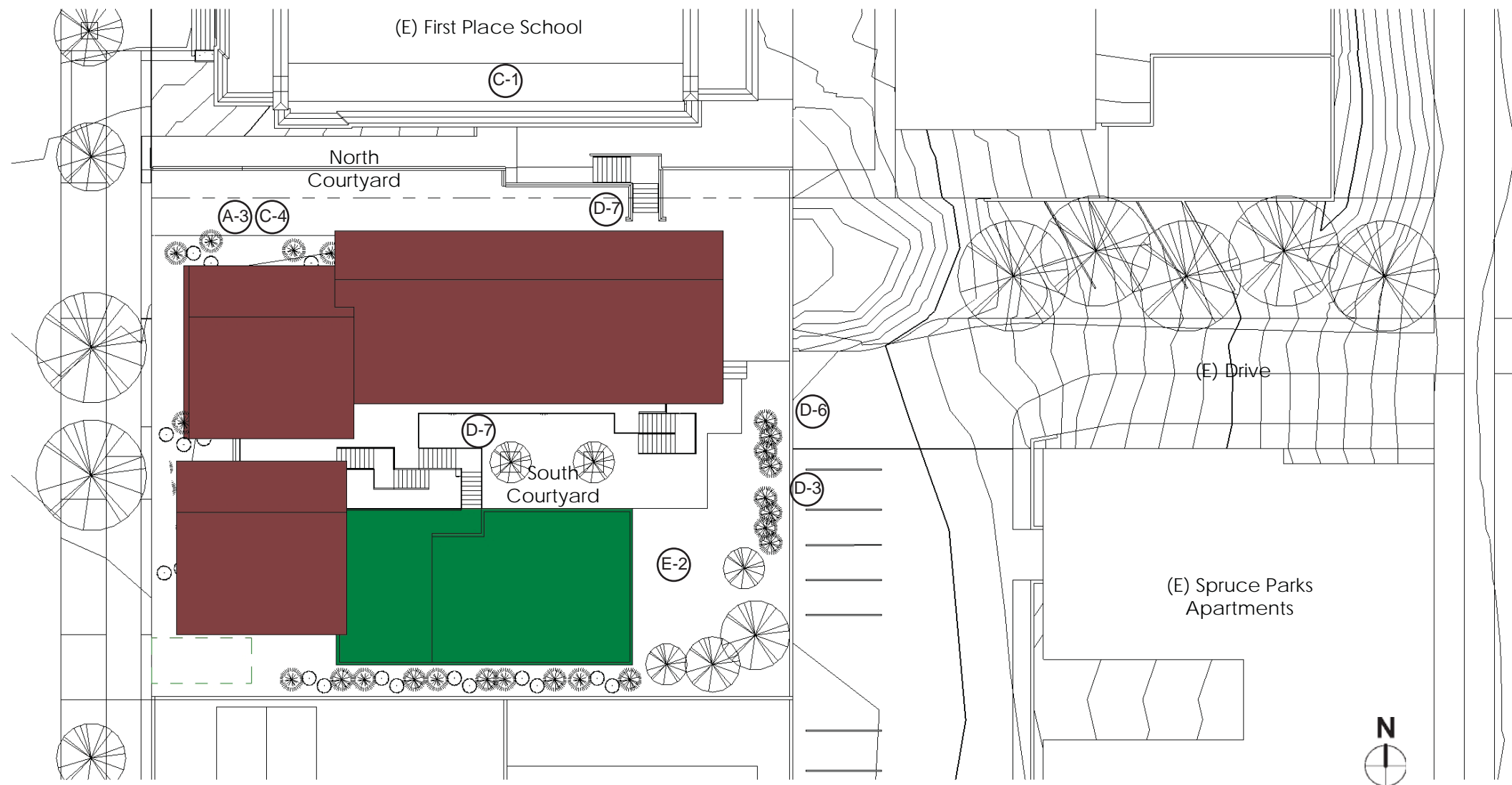
A-1. Responding to Site Characteristics:	The slight slope of the site is mediated in the preferred scheme by both the breaking up building massing and by sinking the internal courtyard 3'-0" to 4'-0" below sidewalk grade at 20th. The retaining wall along the east edge of the site and sloped walkway along the north edge of the site are maintained.
A-2. Streetscape Compatibility:	There is visual interest at street level and a re-knitting of street wall currently left incomplete by the existing parking lot. Project has a residential scale.
A-3 Entrances Visible from the Street: A-6 Transition Between Residence & Street: D-1 Pedestrian Open Spaces and Entrance:	Entry into a community courtyard is clearly visible to the north of the residential project and is shared by both school and housing. The community courtyard draws visitors into the site. Visitors to the housing project will find a secure entry at the east end of the community courtyard. Visitors to the existing school may enter the schools southern face through this same community courtyard or continue through the courtyard to Edwin Pratt Park to the east. Street edge along 20th will include low planting to enhance the streetscape and provide visual interest. See also D-7 and D-12.
A-5 Respect for Adjacent Sites: B-1 Height, Bulk and Scale Compatibility:	The massing of the preferred scheme is modulated to break down the scale of the multifamily building to fit in the residential scale of this transitional LR1 to LR3 neighborhood. The preferred scheme includes gable roofs to match the residential scale of the immediate neighborhood's single and multifamily buildings and has a massing that mediates the scale of the residential home immediately to the south and the institutional school building to the north. See also answer to C-1 on page 8.
A-7 Residential Open Space:	There are 5.6 acres of attractive, usable open space at Pratt Park immediately east of the project site. Use of Pratt Park will be encouraged via the development of a pedestrian corridor along the northern boundary of the site. There is also a community courtyard for residents. While the north bar building is three stories to maximize unit square footage available, the majority of the southern residential bar building is limited to two stories in height in order to allow expansive light into the depth of the courtyard. See also D-7 and E-2 for discussion of open spaces on site.
A-8 Parking and Vehicular Access:	With the New Multifamily code, there is no parking requirement for the residences. The preferred scheme will include one ADA van parking stall at the southwest corner of the site accessible from 20th Avenue.
C-1 Architectural Context:	The most prominent building that needs to be respected in the immediate surroundings is the First Place Schools building. Formerly the Odessa Brown Neighborhood Health Center, the building is an icon in the community. The proposed housing project is pulled away from the First Place Schools building to provide adequate space and not impede the ability for natural light to warm the south elevation of the school. The height of the housing project has been reduced to not compete with the prominence of the school building. The western volume of the south bar building of the project has also been pulled away from the residential building to the south to provide more 'breathing room'. See also C-4 below. Gables of the preferred scheme slope down toward the smaller volume of the residence to the south and 'reach up' toward the school to the north.
C-4 Exterior Finish Materials: E-1 Landscape continuity:	We will use durable and maintainable materials at the buildings' exterior that also respect the need for sustainability. In the preferred scheme we hope to incorporate recycled brick at the north courtyard as an extension of the paving treatment at the school and may also provide a base of brick at the ground floor of the housing project. The rest of the building would be clad in a combination of vertical plank, shingle, and horizontal lap siding to break down the building facade, provide visual interest, and take cues from the cladding of other residential buildings in the neighborhood.
D-3 Retaining Walls:	As mentioned in A-1, the 4'-0" retaining wall along the east edge of the site is maintained.
D-6 Screening of Dumpsters, Utilities, and Service Areas:	Trash and recycling will be accessed from the parking lot immediately east of retaining wall along the east edge of the site. Trash and recycling will be combined with the existing dumpsters at the Spruce Park Apartments to the east.
D-7 Personal Safety and Security:	A second open space courtyard internal to the project site is dedicated to residents. All residents pass through this well-lit, well-planted outdoor space to get to their units, and all unit living rooms look back out onto this shared courtyard. The intent is to create an interactive and functional activity space that becomes a focal point for the families that live there and a space that is watched and monitored by residents. The entry into this interior courtyard is controlled at a secure single point of entry at the from the community courtyard to the north and is monitored by a community gathering room and manager office space that occupy the north bar building and face north. Exterior guardrails are minimized in the preferred scheme and upper level walkways are keyed to provided access only to management and residences with upper level units.

D-12 residential entries: All units have exterior entrances accessed from the interior courtyard.

E-2 Landscaping to Enhance the Building and/or Site: As mentioned in A-3, the north courtyard is designed to create a strong connection between the housing project and the school. This courtyard will include a community gathering space and may also extend to create a small outdoor classroom space at the north east corner of the site. Landscaping will be designed to complement the existing school building and incorporate Crime Prevention Through Environmental Design (CPTED) guidelines. The interior courtyard will include opportunities for gathering and play. The open space at the southeast corner of the site may potentially include small spaces for gardening and play equipment for both students during the day and residents during school off-hours.

Attention will be paid to the retaining wall at the east edge of the site to soften that boundary and provide a protective barrier. A similar 'green wall' protective barrier treatment will be provided at the west edge of the interior courtyard to prevent direct entry from the street. This courtyard is intended to provide a protected environment for families often in need of protection from challenging or dangerous circumstance.

Bioswales may be incorporated along the east and southern boundaries of the property to provide stormwater treatment and retention, as well as a landscape feature for residents.



4. Please describe the proponent's development objectives for the site, indicating types of desired uses and approximate structure sizes, as well as any potential requests for departures from development standards:

Objectives

The proponent's mission is to combine high quality education with wrap around family support in order to help those families at risk of homelessness and currently homeless families achieve permanent stability. The project would provide sixteen units of low income housing for families immediately adjacent to the existing First Place Schools education and family services facility, expanding their campus and ability to provide a full complement of services to address the entirety of the problem of homelessness. The design goal is to provide a housing design project that is not only an inspiration for the project's residents, but an educational learning laboratory for an affordable housing community.

Typical institutional housing includes white washed walls, double loaded corridors, and blinding florescent lighting. In moving away from this model, this project will include natural lighting throughout all units, through ventilation, a green roof, and be solar panel ready. At the center of the project is a landscaped community courtyard for residents to mingle and gather. Use of this outdoor space will encourage social interaction and foster connections. The design concept is that we create a community where a child sees the positive and exciting possibilities for their future.

Desired Uses - Residential Apartments

The project consist of one, two and three bedroom apartments organized in one-story flats and two-story units. Environmental consciousness will be expressed through material choice, building practices, and site planning. Natural light will reach deep into the homes and the *courtyard* because of thoughtful fenestration and massing choices. Thoughtful architecture and green building practices will demonstrate that these homes are informed by time and place. These homes will be certified Evergreen and BuiltGreen 4 Star. While addressing 20th Avenue with windows and outdoor stairs and landings at the west edge of the courtyard, for security reasons the homes will be focused onto an interior courtyard from which people will come and go. The courtyard will provide a warm and safe environment for community building and child play. The home sizes will vary from 700 square feet to 1150 square feet, allowing for a variety of family sizes.

Approximate Structure Size

Residential Apartments: Zoning allows 40 feet to the plate of a gabled roof with a height bonus for certain gable slopes above 30 feet or 30 feet to the top of a shed roof.

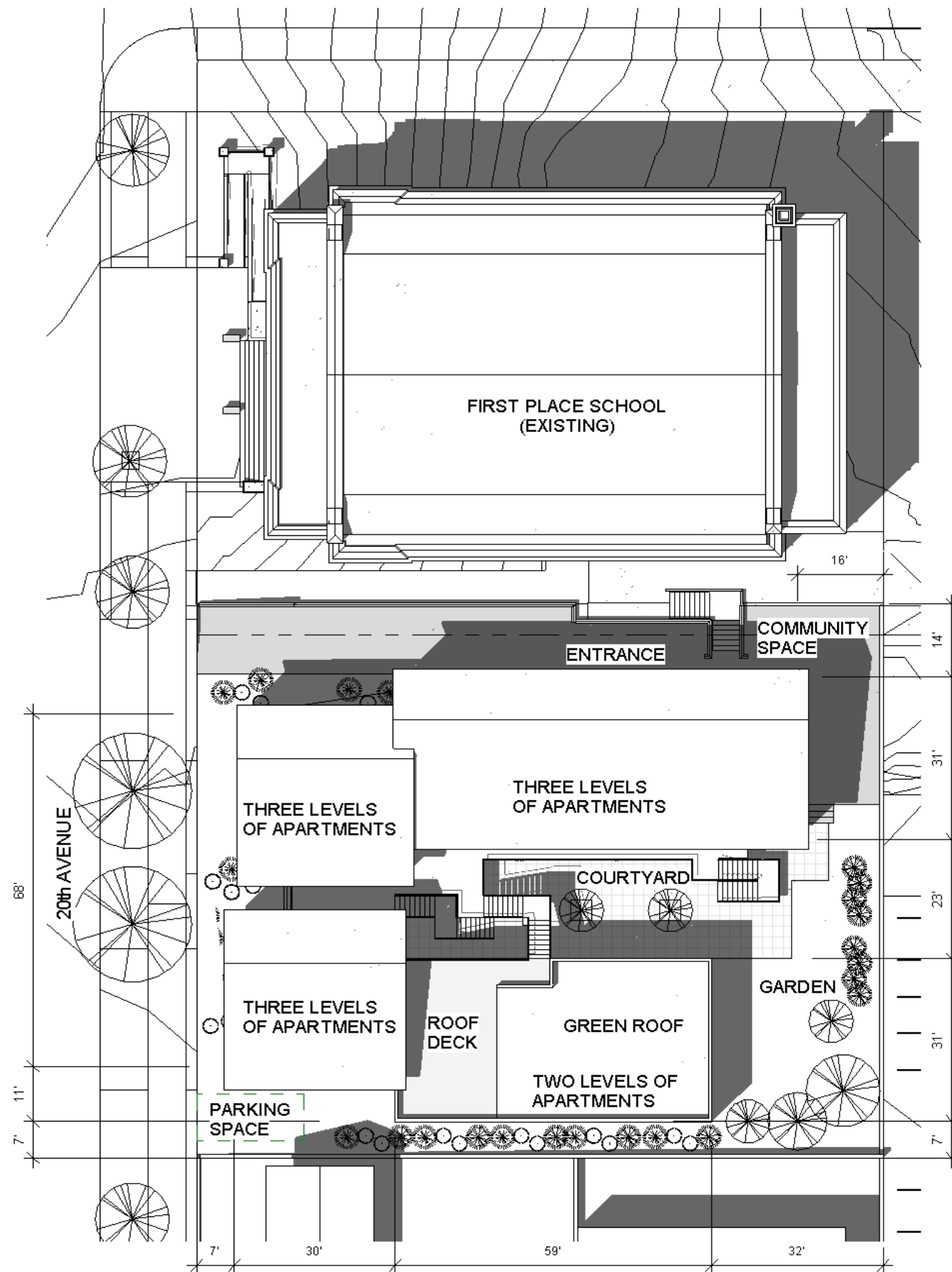
It is our intent to utilize less than the full height permitted through the incentives for proposing an apartment building under the new LR-3 zone. The structure will be built to the lower height limit permissable for all other structures in LR-3 of 30 feet with 5 feet of additional height allowed for a pitched roof. At the interior of the property, along the south edge, we are proposing to reduce the height to only two stories with a parapet for a roof deck/green roof. This reduction in structure size will provide much greater solar access for the courtyard and the remainder of the structure.

Access and Parking

No parking is required under the new Multifamily Land Use code for residential apartments in an Urban Village. As such, we are providing only one ADA accessible parking stall through a single 10-foot wide new curb cut on 20th Avenue. This will be at the south side of the property in the side setback.

Potential Design Departures

No design departures are needed for this project under the new Multifamily Land Use code.



Description Site Plan

Alternative 1 offers a design that maximizes the new potential allowable under the new Multifamily code. This includes a switch to Floor Area Ratio (FAR) from lot coverage, reduced setbacks, more flexibility with amenity (open) space and landscape standards. The site is located in the 23rd and Union - Jackson Residential Urban Village and as such benefits from an increased maximum zoning envelope, greater allowable height and no minimum parking requirement in order to focus density in these areas. The scheme provides no parking and conforms to the new zoning code.

Description Building Design Massing

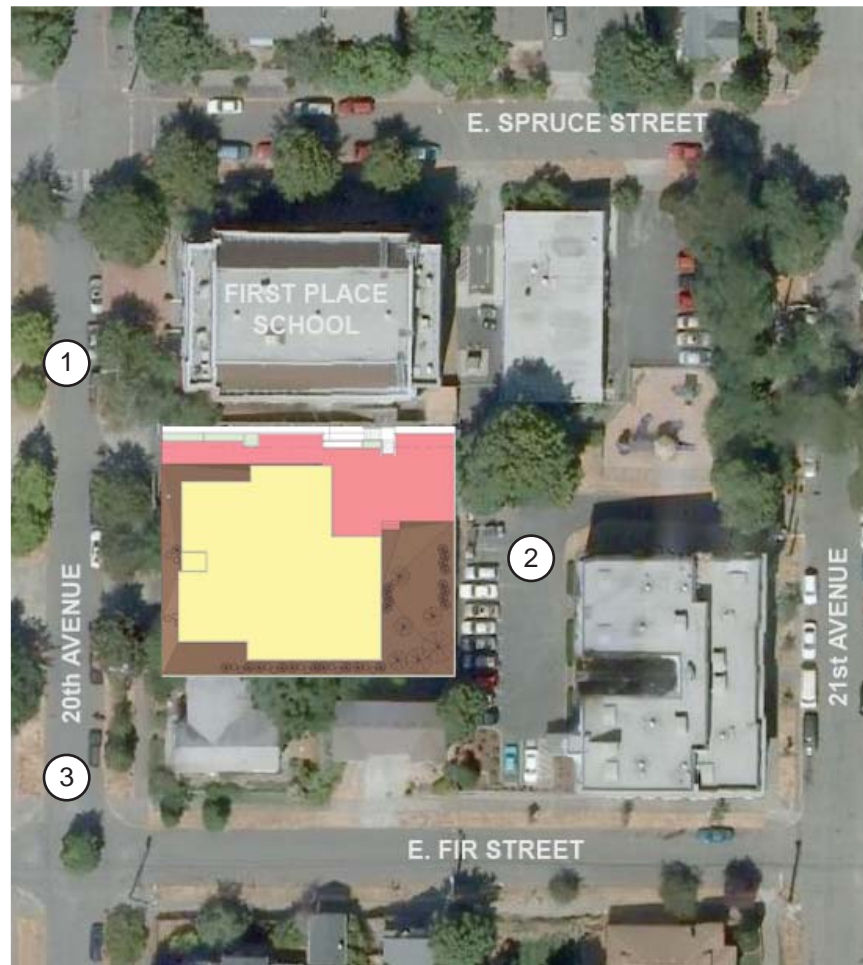
The proposed massing maximizes the permitted heights with 40 feet from grade for an apartment building inside the Urban Village, with an additional 4 foot parapet and elevator / stair penthouse access. Facade length, FAR and setbacks define the footprint. Amenity area is provided at grade at the rear of the site and on the roof.



① view from north on 20th Avenue



② view from east above



③ view from south on 20th Avenue

Description Site Plan

Alternative 2 offers a design that maximizes the new potential allowable under the new Multifamily code. The scheme provides no parking and conforms to the new zoning code. Alternative 2 differs from Alternative 1 by providing a pedestrian courtyard at the center of the project that serves as a communal open space for the apartment tenants. In this scheme all amenity (open) space is provided at the ground and is accessible to all tenants.

Description Building Design Massing

The proposed massing maximizes the permitted heights with 40 feet from grade for an apartment building inside the Urban Village, with an additional 4 foot parapet and elevator / stair penthouse access. Facade length, FAR and setbacks define the footprint. Amenity area is provided at grade at the rear of the site in the central community courtyard. The structure height is reduced to 30 feet on the south side of the property to improve access to solar exposure to the courtyard and the apartments on the north side.



① view from north on 20th Avenue



③ view of courtyard at second level east to west



② view from east above



④ view of courtyard at main level east to west

Description Site Plan

Alternative 3, our preferred alternative offers a design that utilizes the new potential allowable under the new Multifamily code without maximizing the buildable envelope. The scheme conforms to the new zoning code and provides one accessible parking stall off 20th Avenue to the south of structure. Alternative 3 differs from Alternative 2 by removing a story from the entire structure, providing an improved pedestrian courtyard at the center of the project that serves as a communal open space for the apartment tenants. In this scheme all amenity (open) space is provided at the ground and is accessible to all tenants.

Description Building Design Massing

The proposed massing is considerably less than the permitted heights with a gable roof above 30 feet from grade. Facade length and setbacks define the footprint as FAR is not maximized in order to be sensitive to the existing surrounding context. Amenity area is provided at grade in the central community courtyard and at the rear of the site. The structure height is reduced to 24 feet on the south side of the property by removing one story from that portion of the structure. This will improve access to solar exposure to the courtyard and the apartments on the north side.



① view from north on 20th Avenue



③ view of 'community' courtyard



② view from east above



④ view of courtyard at main level east to west

Alternative 1 - 4 story Maximum Envelope

Description

This design maximizes the potential in the new Multifamily code by proposing a 4 story apartment building within the 23rd and Union - Jackson Residential Urban Village. No parking is provided and amenity space is distributed at grade and on the structure's roof.

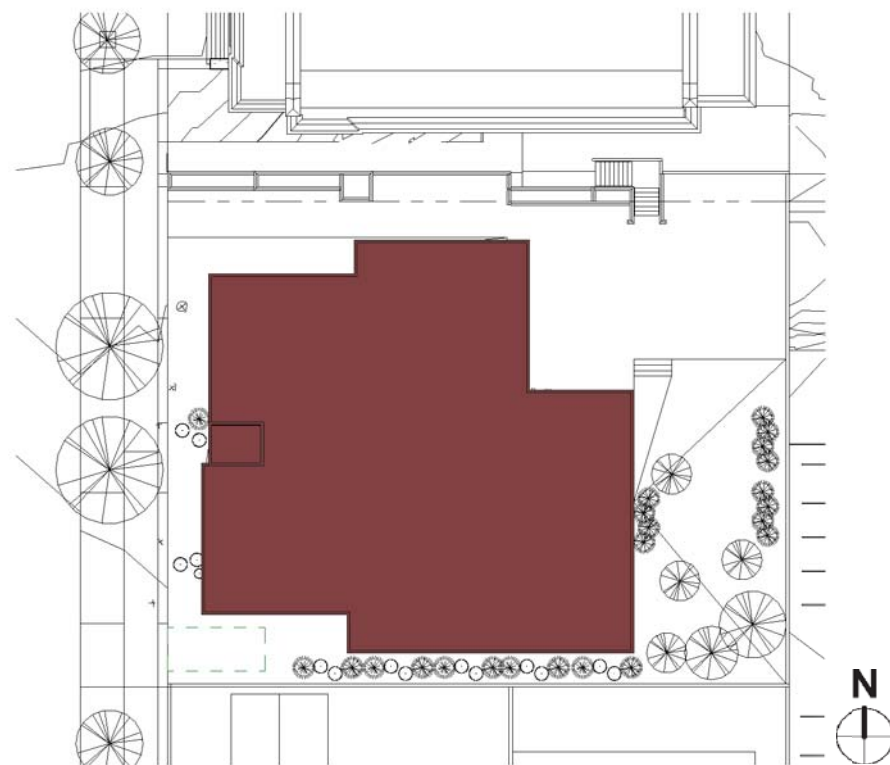
FAR - 2.0

Advantages

Greater flexibility in the new Multifamily code makes it possible to maintaining compliance with all land use codes, requiring no departures. It offers no parking as permitted under the new code.

Issues

The project is a large building out of scale with its surroundings. The tenants are given little opportunity to interact, as it lacks elements that encourage neighbors to casually interact and build community.



Alternative 2

Description

This design also maximizes the potential in the new Multifamily code by proposing a 4 story apartment building within the 23rd and Union - Jackson Residential Urban Village. The center of the project is opened up, containing a communal courtyard for the residents. A single accessible parking space is provided off of 20th Avenue.

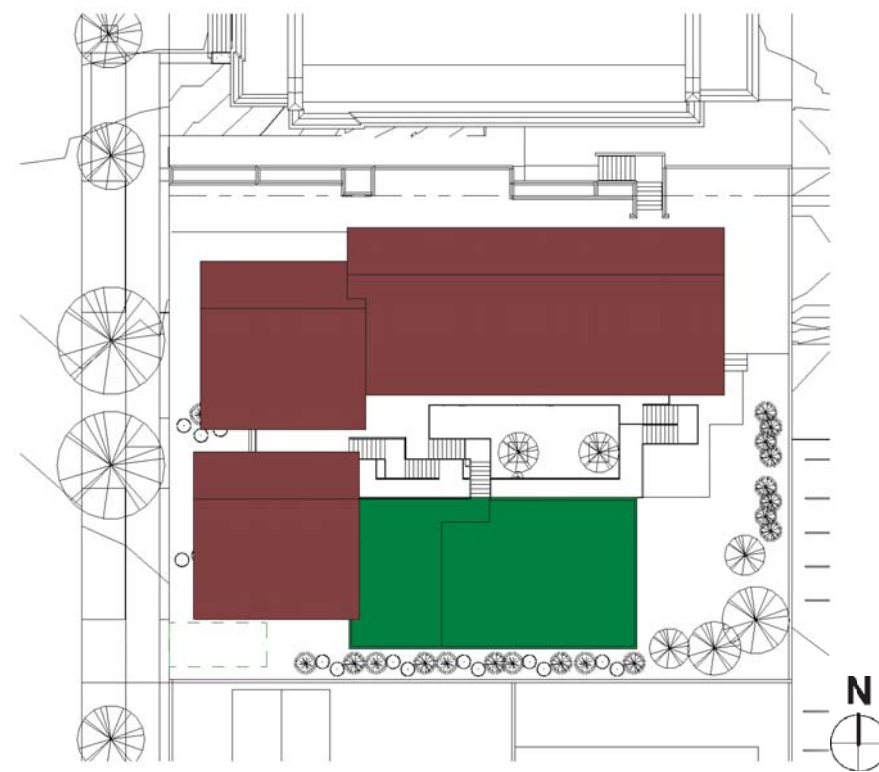
FAR - 1.73

Advantages

The massing is organized on the site to create better more usable amenity space at grade accessible to all tenants easily. The courtyard encourages casual and planned interaction in order to build community. A reduction of height on the south side of the structure creates better solar access for the apartments and the courtyard. It also requires no departures.

Issues

The project is a large building out of scale with its surroundings. Although the courtyard improves the experience for the tenants it does little to help the building relate to its surroundings.



Alternative 3 - Preferred Alternative

Description

A planted, larger communal courtyard is at the center of this design. It is wrapped by a smaller scaled 2 and 3 story apartment building to encourage more activity between the community of residents. It takes advantage of the flexibility through the new Multifamily code without maximizing the building envelope. A single accessible parking space is provided off of 20th Avenue.

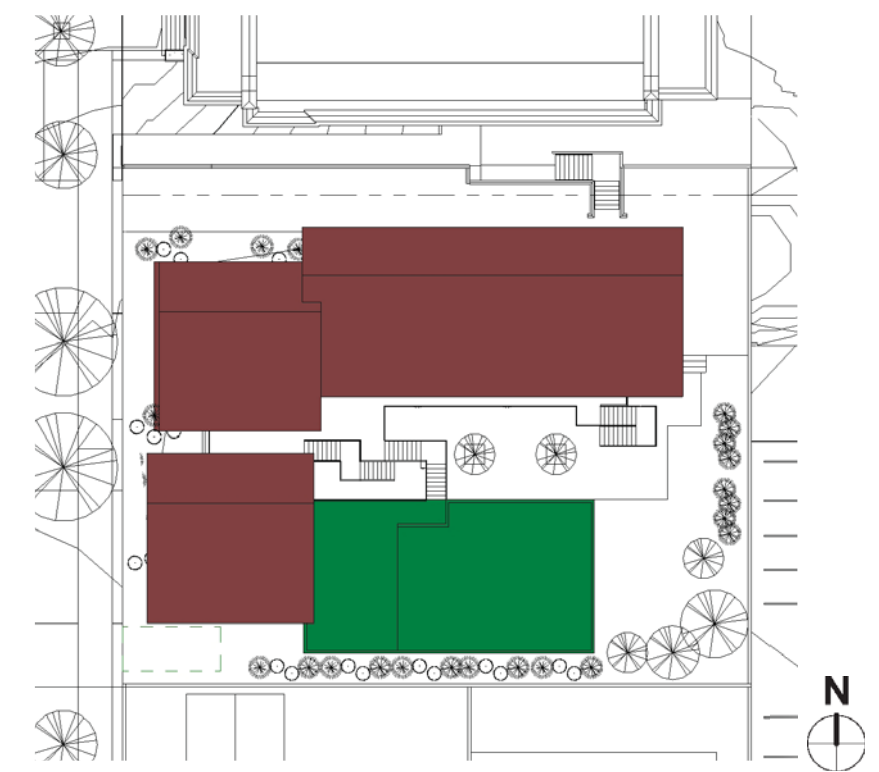
FAR - 1.26

Advantages

By changing the scale of the building, the center of the project becomes a large pedestrian friendly zone, encouraging social interaction. This alternative is sensitive to the its surroundings and is better scaled to the neighboring structures. It also requires no departures.

Issues

Our preferred alternative's does not maximize the allowable zoning envelope for an apartment building in a Urban Village in order to better fit with its surroundings.





Preferred Scheme

Residential scale three story buildings with more intimate scale street facades & visible public entry at formal 'front yard' between Residence and School

- 'Front yard' opens to feature School's existing side facade
- 'Front yard' enlivened as entry & by school & resident activity
- No direct access to residential entry at the street, must enter through communal courtyard
- Same additional benefits as noted in Alternate Scheme #2



Alternate Scheme #1
Maximum buildout of lot: Large four-story residential block



Alternate Scheme #2
Private internal yard is separated from the street by fence & landscaping

- More residential 'look' with gable ends
- Gives the impression of development of smaller scale building instead of one large block