



# UW MEDICINE LAKE UNION PHASE 3

## EARLY DESIGN GUIDANCE FOR PROJECT #3010494

PERKINS  
+ WILL  
10.07.2009



Contact Info:

**Property Address:**  
501 8th Avenue N.  
Seattle, WA 98109

**Project Number:**  
#3010494

**Owner:**  
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Seattle, WA 98104

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Project Summary

Phase 3 is located in South Lake Union and is part of the Life Science/Biotech Hub. UW Medicine enhances the synergistic co-location of Life Sciences in South Lake Union along with the Fred Hutchinson Research Center, Seattle Biomedical Research Institute, PATH, Nova Nordisk, and Merck/Rosetta Informatics. The building occupant is UW Medicine and the facilities support their biomedical research. The facilities and use are consistent with the City’s Comprehensive Plan and the South Lake Union Urban Center goals and policies to support the growth of innovative industries in the South Lake Union Urban Center. Phase 3 is a continuation of the UW Medicine research complex in South Lake Union. Phase 1 was completed in 2004 and Phase 2 was completed in 2008. The project site is bordered by Dexter Avenue North, Mercer Street, 8th Avenue North and Republican Street.



# ZONING ANALYSIS



Source: City of Seattle DPD Map Books

## Zoning Summary

- The site is currently zoned SM-65: Seattle Mixed with a 65' height limit.
- It is located in the South Lake Union Urban Center.
- Total site area is 56,608 GSF.
- In order to meet developer and occupant needs, a text amendment has been proposed to increase the height limit on the site to 125'; it is pending council action.



## Zoning Requirements

### Permitted Uses (23.48.004):

All uses are permitted outright, either as principal or accessory uses, except those specifically prohibited by Section 23.48.006 and those permitted only as conditional uses by Section 23.48.008. Research facilities, general office program, and below-grade parking are all permitted on this site.

### General Structure Height (23.48.010):

Maximum height limit of 65'. This can be increased to 85' if:

1. A minimum of 2 floors in the structure have a floor to floor height of at least 14 feet; and
2. The additional height is used to accommodate mechanical equipment; and
3. The additional height permitted does not allow more than 6 floors.

The combined total coverage of the roof by solar collectors; stair and elevator penthouses; mechanical equipment; and atriums, greenhouses, and solariums may be 65% of the roof area, provided that all of the following are satisfied:

- a. All mechanical equipment is screened; and
- b. No rooftop features are located closer than 10 feet to the roof edge.

The features listed above may extend up to 15 feet above the maximum height limit.

### Upper Level Setbacks (23.48.012):

No upper level setbacks required.

### General Facade Requirements (23.48.014):

A. A primary building entrance shall be required from the street or street-oriented courtyards and shall be no more than 3 feet above or below the sidewalk grade.

B2. On Class 2 Pedestrian Streets (Republican Street and Dexter Ave N) all facades shall have a minimum height of 25 feet.

B3. On all other streets, all facades shall have a minimum height of 15 feet.

### Transparency and Blank Facade Requirements (23.48.018):

Facade transparency and blank facade requirements shall apply to the area of the facade between two (2) feet and 8 feet above the sidewalk.

A1. Transparency shall be required as follows:

- a. Class 1 and 2 Pedestrian Streets (Republican Street and Dexter Ave N): A minimum of 60% of the width of the street level facade must be transparent.
- b. All other streets: A minimum of 30% of the width of the street-level facade must be transparent.

A2. Only clear or lightly tinted glass in windows, doors, and display windows shall be considered transparent.

### Transparency and Blank Facade Requirements (cont.):

B2. Blank Facade Limits for Republican Street and Dexter Ave N:

a. Blank facades shall be limited to segments 15 feet wide. Blank facade width may be increased to 30 feet if the Director determines that the facade is enhanced by architectural detailing, artwork, landscaping, or other similar features that have visual interest.

b. Any blank segments of the facade shall be separated by transparent areas at least 2 feet wide.

c. The total of all blank facade segments, including garage doors, shall not exceed 40% of the street facade of the structure on each street frontage.

B3. Blank Facade Limits for all other streets:

a. Blank facades shall be limited to segments 30 feet wide, except for garage doors which may be wider than 30 feet. Blank facade width may be increased to 60 feet if the Director determines that the facade is enhanced by architectural detailing, artwork, landscaping, or other similar features that have visual interest.

### Street-Level Uses (23.48.019):

Applicable to Class 1 pedestrian streets only - none on this project.

### Screening and Landscaping Standards (23.48.024):

C1. Street trees shall be provided.

### Required Parking and Loading (23.48.032 / 23.54.015):

1 parking space is required for each 1,500 square feet of laboratory and research spaces; plus 1 space for each 1,000 square feet of office space; plus 1 space for each 100 square feet of public assembly area.

### Parking and Loading Location (23.48.034):

Parking and loading access shall be limited to one two-way curbcut. The Director shall also determine whether the location of the parking and loading access will expedite the movement of vehicles.

### Loading Berth Requirements and Space Standards (23.54.035):

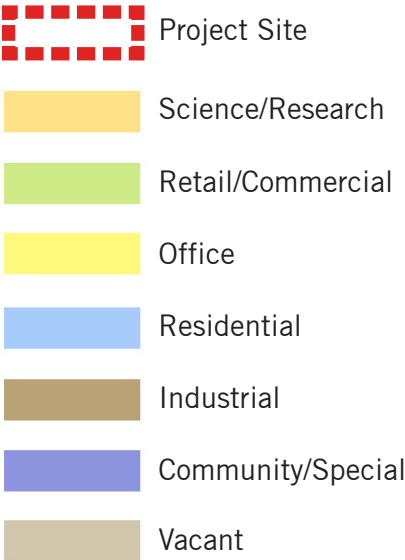
B2. Within the South Lake Union Hub Urban Village and when multiple buildings have a central loading facility, loading berth requirements may be waived or modified if the Director finds, in consultation with the Seattle Department of Transportation, the following:

- a. All loading is proposed to occur on-site.



Surrounding Uses/Site Context

The blocks surrounding the Phase 3 site are primarily composed of existing one and two-story retail and office buildings. The facades of these buildings are largely made up of brick and stucco, and offer little in terms of relevant design cues for Phase 3.1. Recent developments in the area include 5 and 6-story residential, office and lab buildings. The UW Medicine Phase 2 project, directly across the street from the Phase 3.1 site, will inform the articulation and materiality of our project.







① Athletic Awards Shop on Republican St



② Office Building on 8th Ave N.



⑤ Phase 2 Courtyard



③ Streetfront along Dexter Ave N.



④ Glazers on 8th Ave N.



⑥ Phase 2 Curtainwall



# URBAN DESIGN ANALYSIS

Site Elevation - Republican Street (facing north)



Site Elevation - 8th Avenue N (facing west)



Site Elevation - Mercer Street (facing south)



Site Elevation - Dexter Avenue N (facing east)

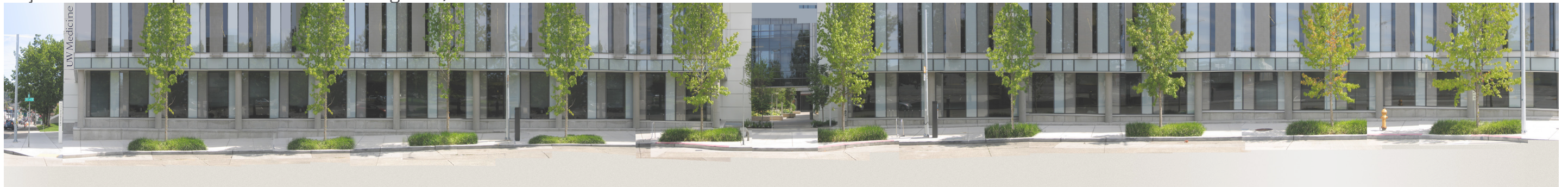




Adjacent Streetscape - Republican Street (facing south)



Adjacent Streetscape - 8th Avenue N (facing east)



Adjacent Streetscape - Mercer Street (facing north)

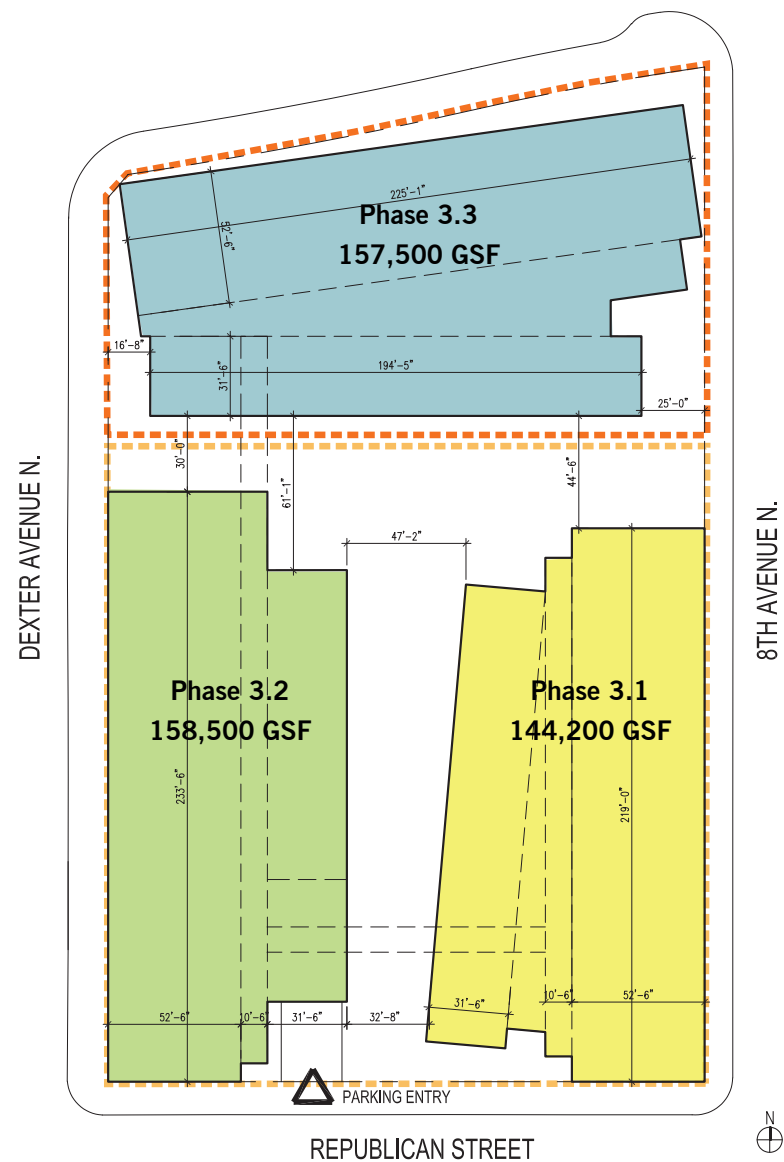


Adjacent Streetscape - Dexter Avenue N (facing west)



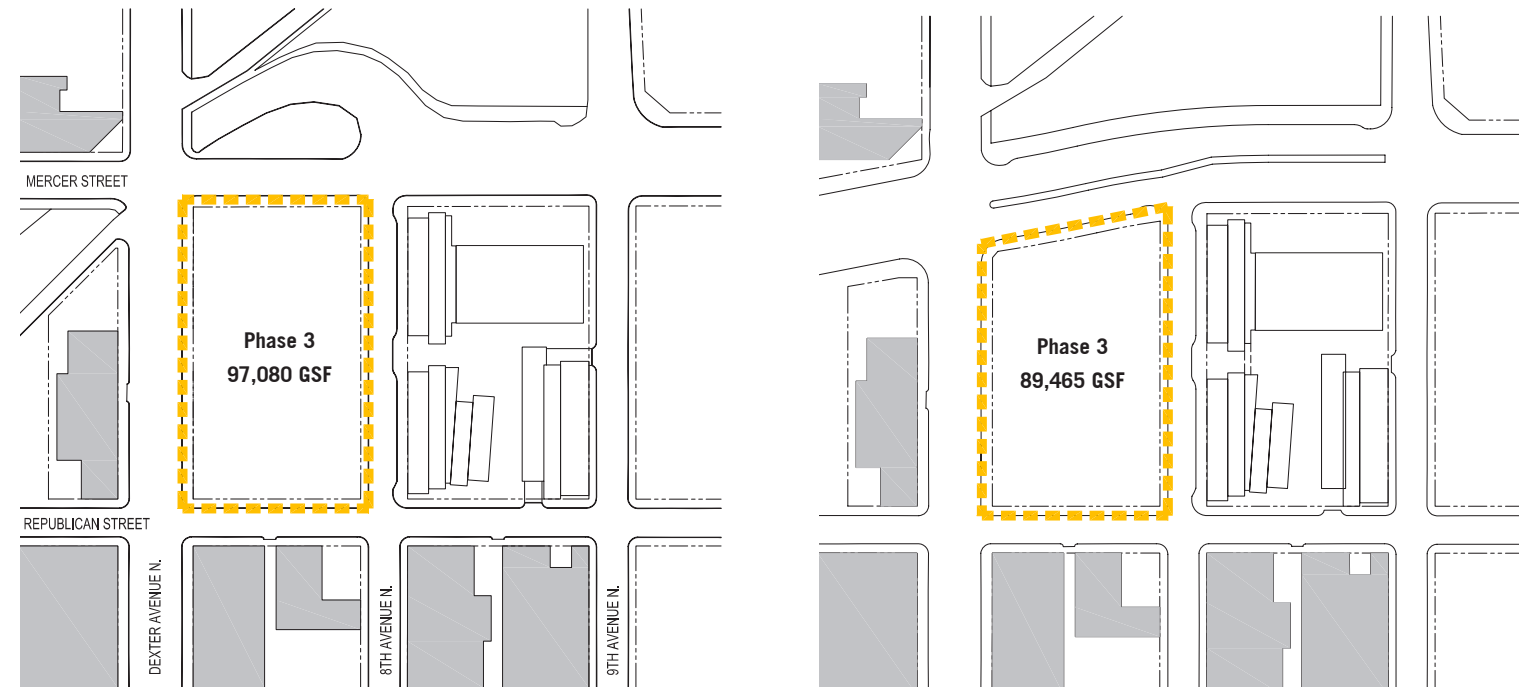
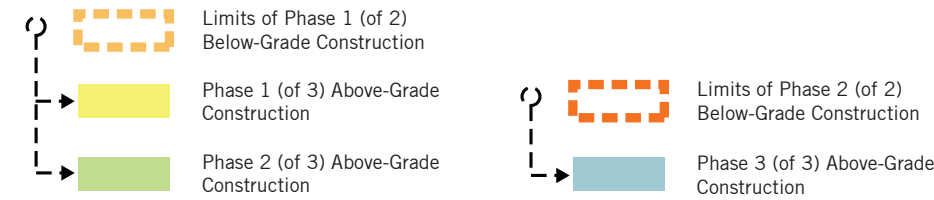


# PROJECT BACKGROUND



## Phase 3 Master Plan

The Master Plan for the entire block consists of three buildings, built over a 3 to 4-story parking garage. Phase 3.1 includes build-out of the 4-story below-grade structure on the southern two-thirds of the block, along with completion of the 7-story research building on the southeast corner of the site.



Mercer Corridor Project, Phase 1

Mercer Corridor Project, Phase 2

## Mercer Corridor Improvements

Phase 1 of the Mercer Corridor project does not directly affect the Phase 3 property. However, Phase 2 of the Mercer Corridor Project converts Mercer into a two-way street which will cut across the northwest corner of the site. Therefore, the City is acquiring this triangular portion of the site by eminent domain. Site plans for the block have been adjusted accordingly. Note that none of this work affects Phase 3.1, which will be built on the southern portion of the site.



## Development Objectives

The UW Medicine Lake Union Phase 3 project will be a valuable addition to the research community that is currently growing in South Lake Union. The following objectives were established in the Phase 3 Master Plan:

- Build-out of 420,000 SF
- Phased build-out of three buildings within the block
- Appropriate floor plates optimized for laboratory use

The basic program for Phase 3.1 includes:

- 144,000 GSF of new above-grade research space, distributed over 7 floors
- One 60,000 GSF below-grade level of research and building support space
- Three below-grade levels of parking, totaling approximately 204 parking spaces for Phase 3.1 occupants, and room for 187 future spaces for Phase 3.2 occupants

The client and design team have also established the following design objectives:

- Provide open space on the site that is available to the community and consistent in quality and character with the open space that has been provided on the Phase 2 site.
- Apply environmentally responsible planning and design strategies.
- Create a visual and functional linkage to existing UW facilities in South Lake Union.

## Pertinent Design Guidelines (from the South Lake Union Design Guidelines)

### Site Planning:

- *A-1 Responding to Site Characteristics:* The siting of buildings should respond to specific site conditions and opportunities such as non-rectangular lots, location on prominent intersections, unusual topography, significant vegetation and views or other natural features.
- *A-2 Streetscape Compatibility:* The siting of buildings should acknowledge and reinforce the existing desirable spatial characteristics of the right-of-way.
- *A-8 Parking and Vehicle Access:* Siting should minimize the impact of automobile parking and driveways on the pedestrian environment, adjacent properties and pedestrian safety.
- *A-10 Corner Lots:* Buildings on corner lots should be oriented to the corner and public street fronts. Parking and automobile access should be located away from corners.

## Pertinent Design Guidelines (cont.)

### Height, Bulk, and Scale:

- *B-1 Height, Bulk and Scale Compatibility:* Projects should be compatible with the scale of the development anticipated by the applicable Land Use Policies for the surrounding area and should be sited and designed to provide a sensitive transition to nearby, less-intensive zones.
- Where stepping back upper floors is not practical or appropriate other design considerations may be considered, such as modulations or separations between structures.

### Architectural Elements and Materials:

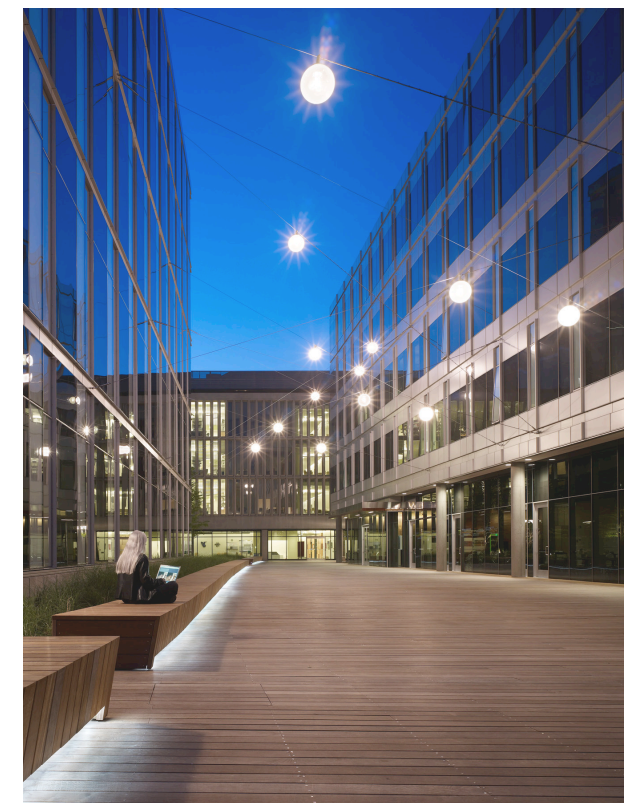
- *C-2 Architectural Concept and Consistency:* Building design elements, details and massing should create a well proportioned and unified building form and exhibit an overall architectural concept. Buildings should exhibit form and features identifying the functions within the building. In general, the roof line or top of the structure should be clearly distinguished from its facade walls.
- *C-4 Exterior Finish Materials:* Building exteriors should be constructed of durable and maintainable materials that are attractive even when viewed up close. Materials that have texture, pattern, or lend themselves to high quality of detailing are encouraged.

### Pedestrian Environment:

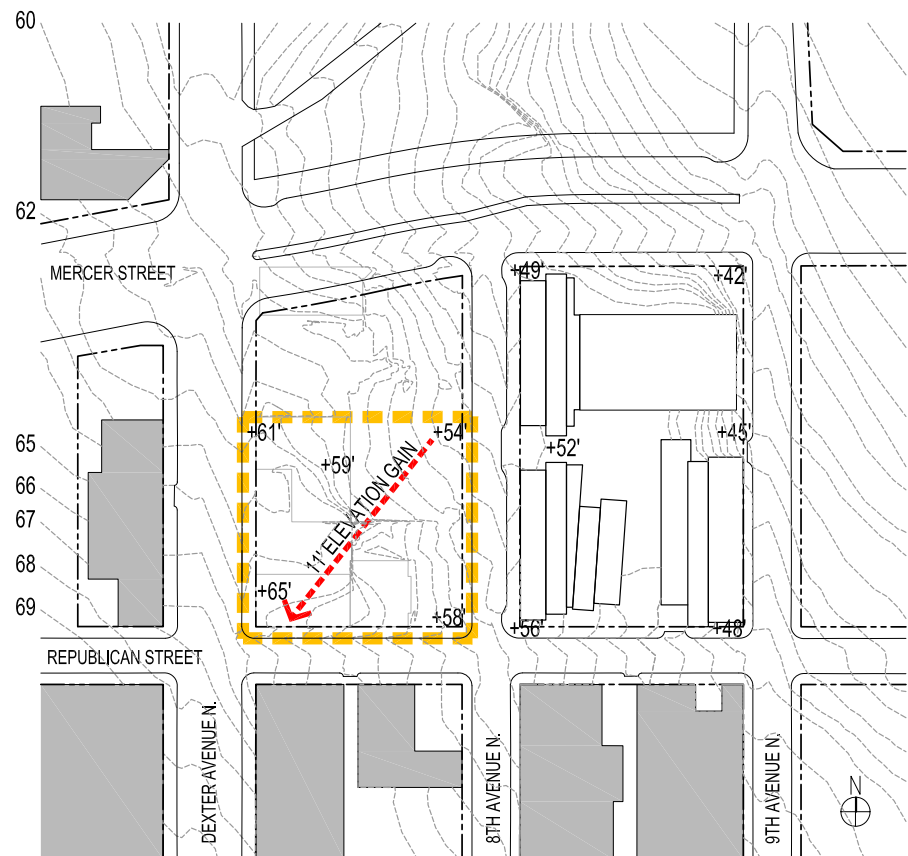
- *D-1 Pedestrian Open Spaces and Entrances:* Convenient and attractive access to the building's entry should be provided to ensure comfort and security, paths and entry areas should be sufficiently lighted and entry areas should be protected from the weather. Opportunities for creating lively, pedestrian-oriented open space should be considered.
- *D-2 Blank Walls:* Buildings should avoid large blank walls facing the street, especially near sidewalks. Where blank walls are unavoidable they should receive design treatment to increase pedestrian comfort and interest.

### Landscaping:

- *E-2 Landscaping to Enhance the Building and/or Site:* Landscaping, including living plant material, special pavements, trellises, screen walls, planters, site furniture and similar features should be appropriately incorporated into the design to enhance the project.

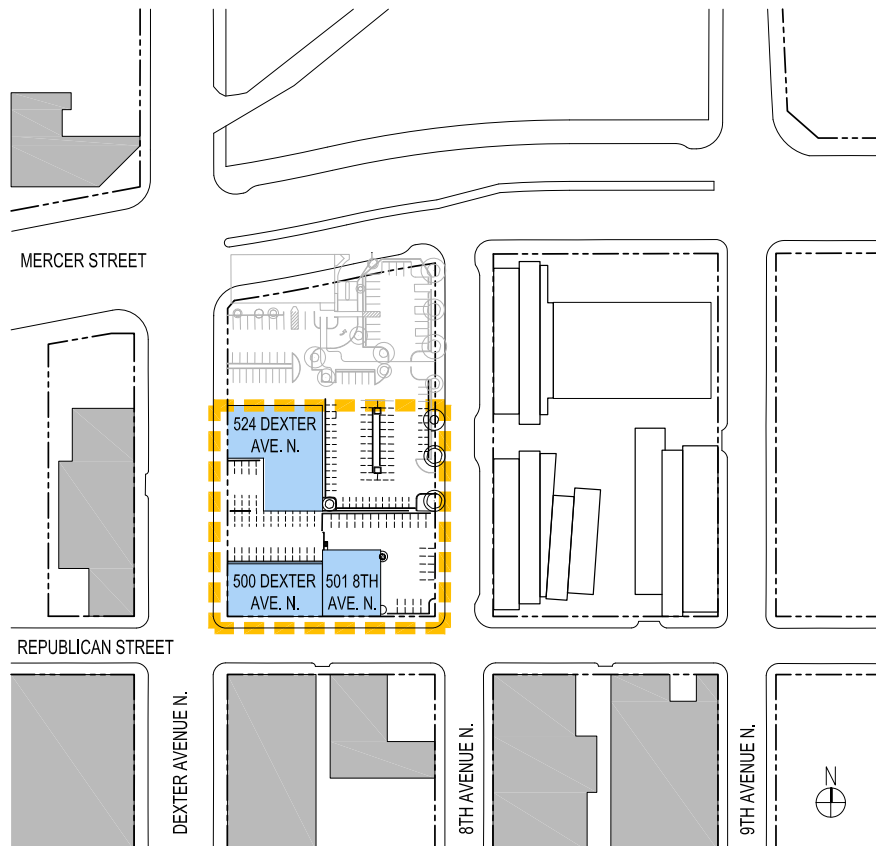


# SITE ANALYSIS



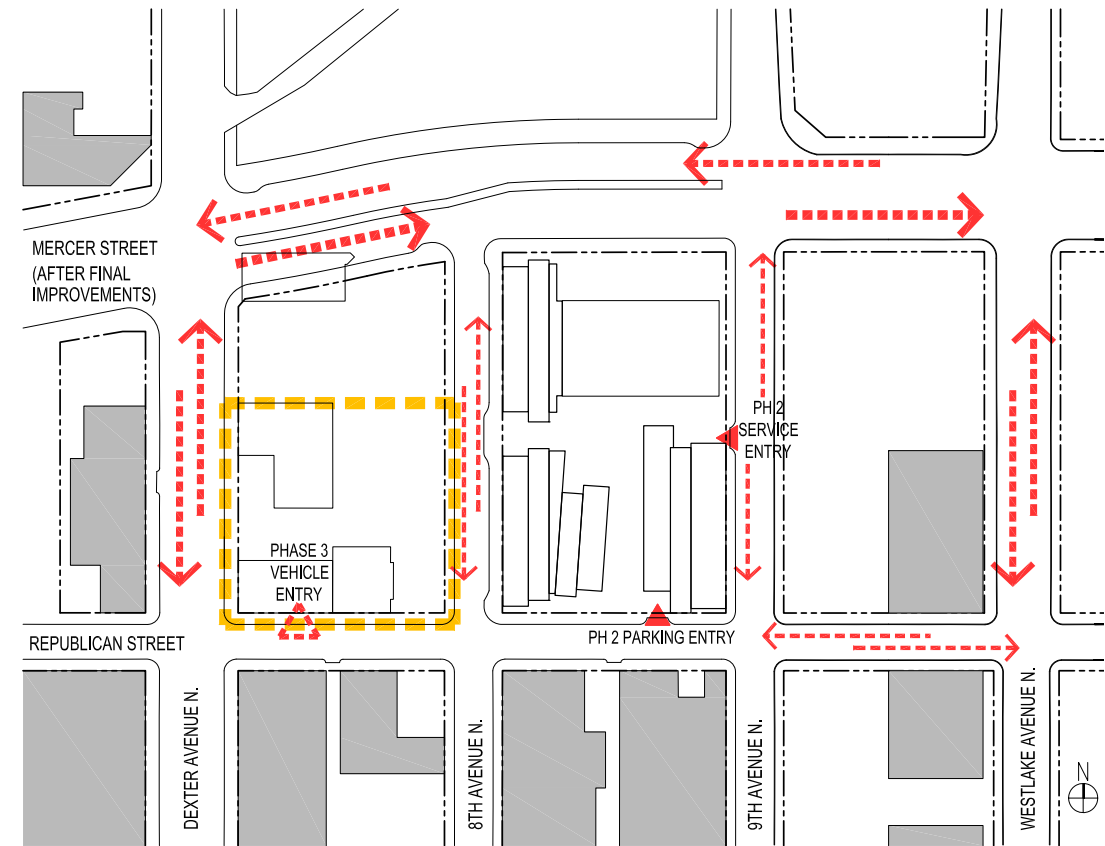
## Topography

There is an elevation gain of approximately 11 feet from the northeast corner of the site to the southwest corner of the site. Mid-block site entries along Republican Street and Dexter Avenue North are at approximately the same level.



## Existing Uses

The Barking Lounge is currently located at the southwest corner of the site, at 500 Dexter Avenue N. There is a vacant one-story brick building with an attached one-story wood-framed garage mid-block at 524 Dexter Avenue N. A vacant one-story concrete block building sits at 501 8th Avenue N. The remainder of the site is primarily composed of at-grade parking.



## Site Access

Due to the busy nature of Dexter Avenue N, and the quieter, pedestrian-oriented nature of 8th Avenue N, all vehicles (both service and parking) will enter the below-grade garage off of Republican Street. At the bottom of the parking ramp, trucks will be directed to the loading dock area, and cars will enter the parking area.



# MASSING ALTERNATIVE 1

## 'CODE-COMPLIANT SCHEME'

This scheme demonstrates the implications of trying to fit the needed floor area onto the site per current zoning heights. The client's goal of 420,000 SF (total site build-out) was met with this 5 and 6-story scheme, but the result has a number of disadvantages.

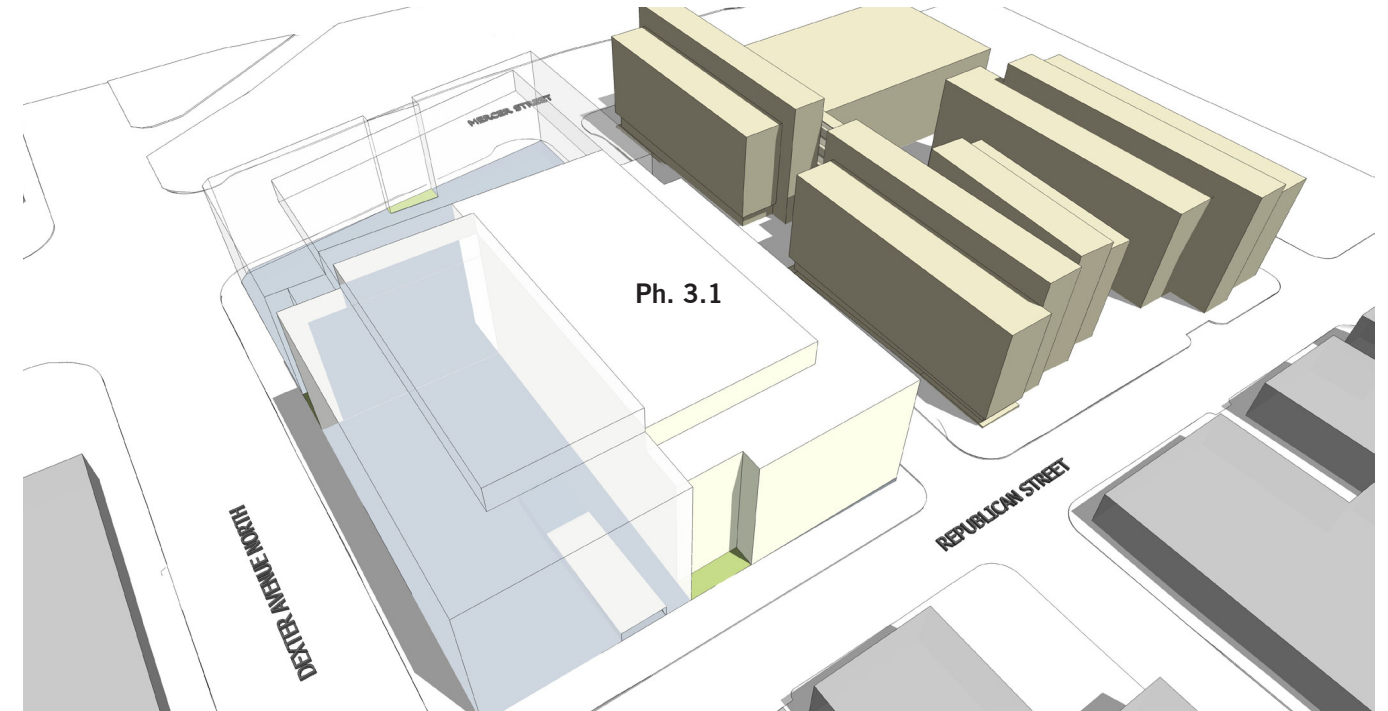
### Cons:

- No usable open space on site.
- Floor plate sizes are not appropriate for laboratories.
- Does not easily allow for phased build-out of 3 buildings.
- Does not meet UW Medicine's development goals.

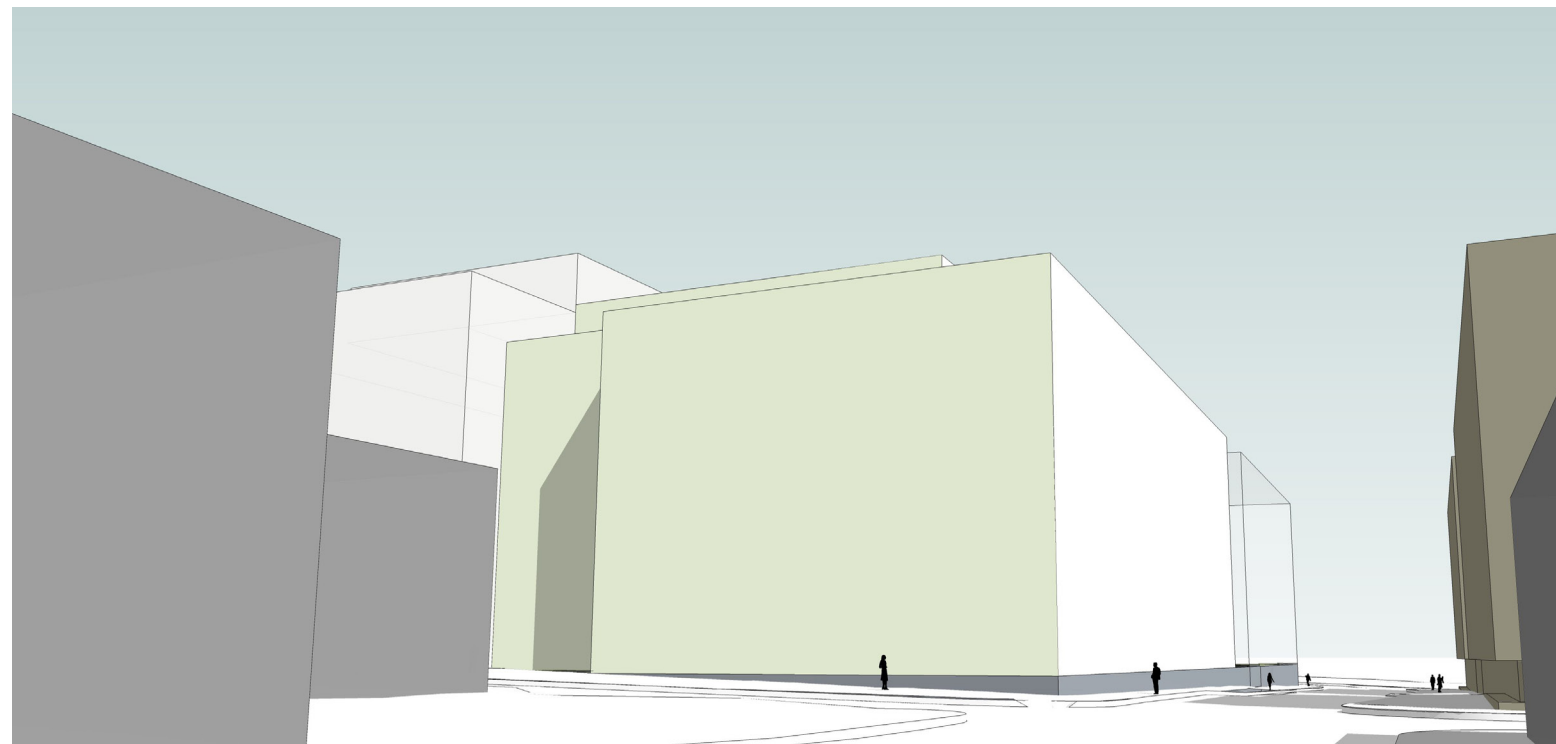
For the reasons listed above, an increase in height is currently being requested through the text amendment process.



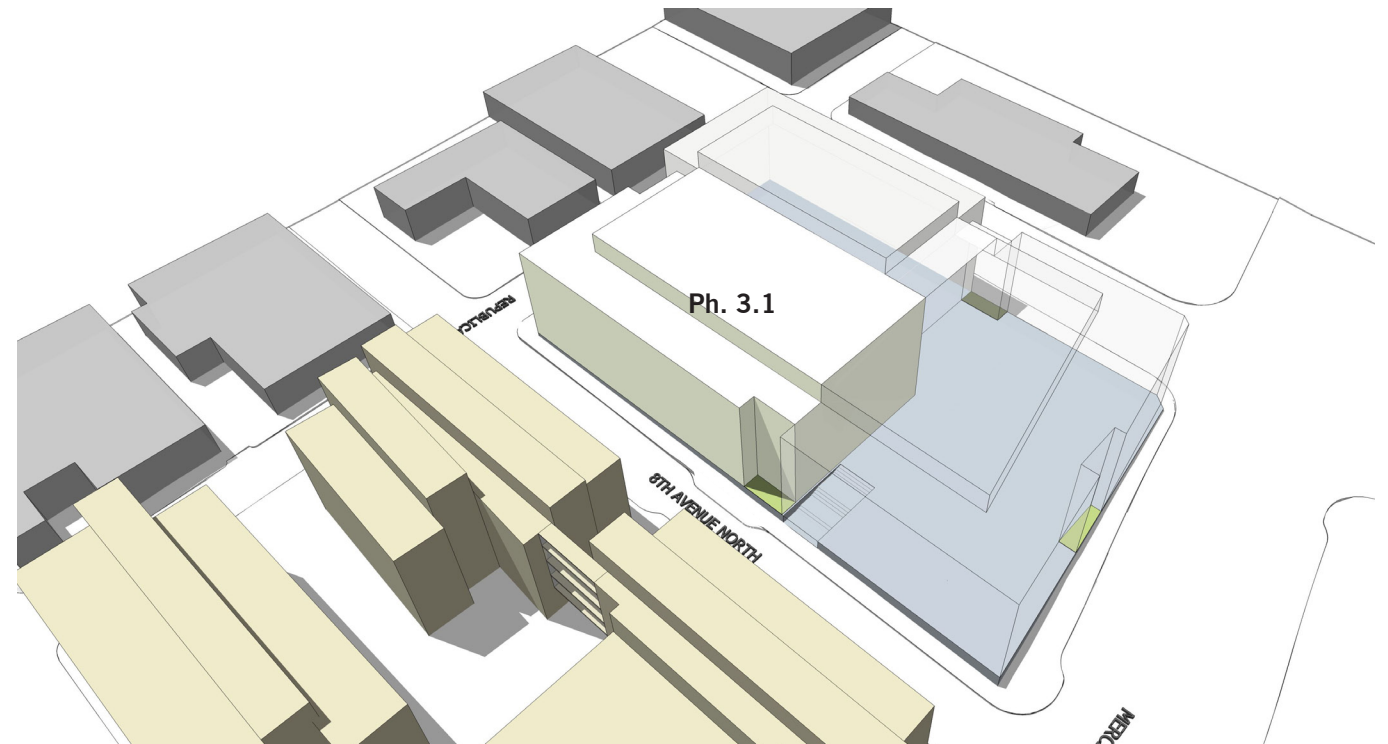
Plan View



Aerial View from SW



View from Republican and 8th



Aerial View from NE



# MASSING ALTERNATIVE 2

## 'BAR SCHEME'

Massing Alternatives 2 and 3 have the same gross floor area as Massing Alternative 1, but the area is distributed over 7 and 8 floors, rather than 5 and 6 floors.

### Pros:

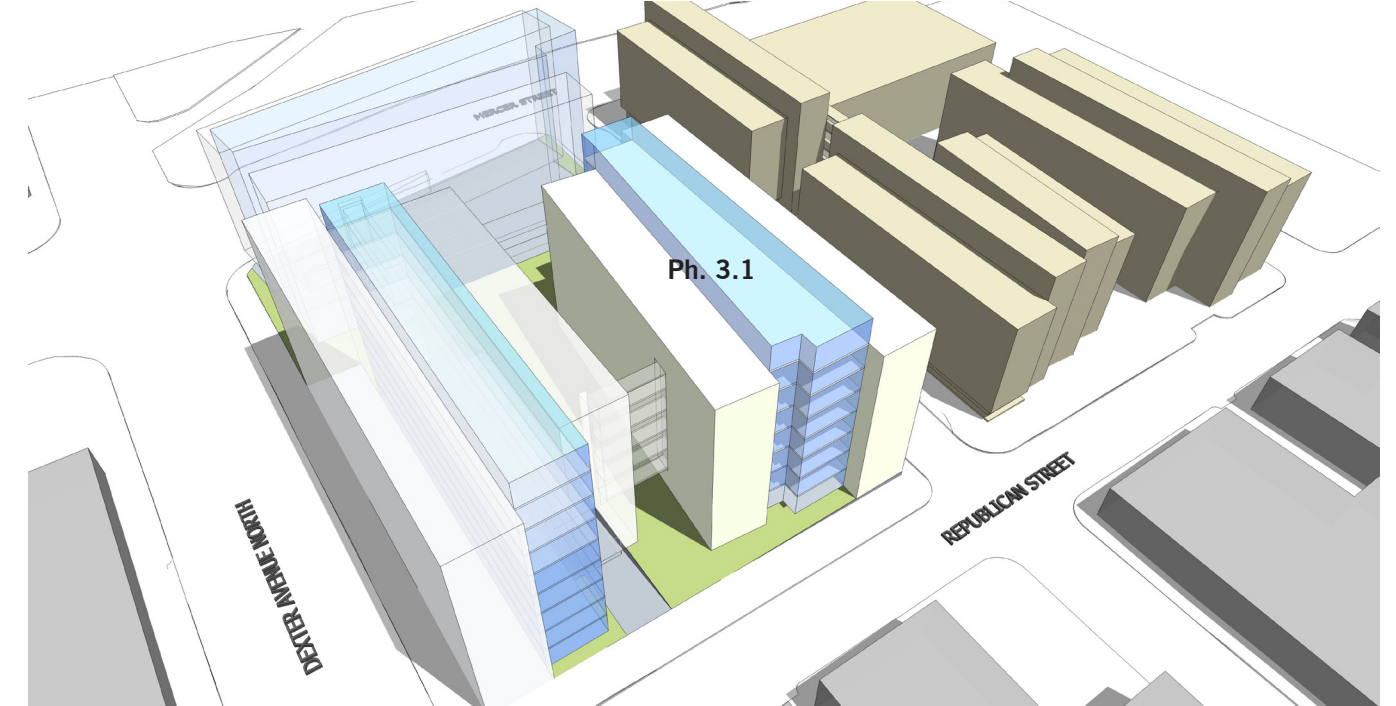
- Long north/south courtyard will receive mid-day direct sunlight.
- East/west courtyard provides mid-block access through site.
- Massing concepts are consistent with the adjacent Phase 2 site.

### Cons:

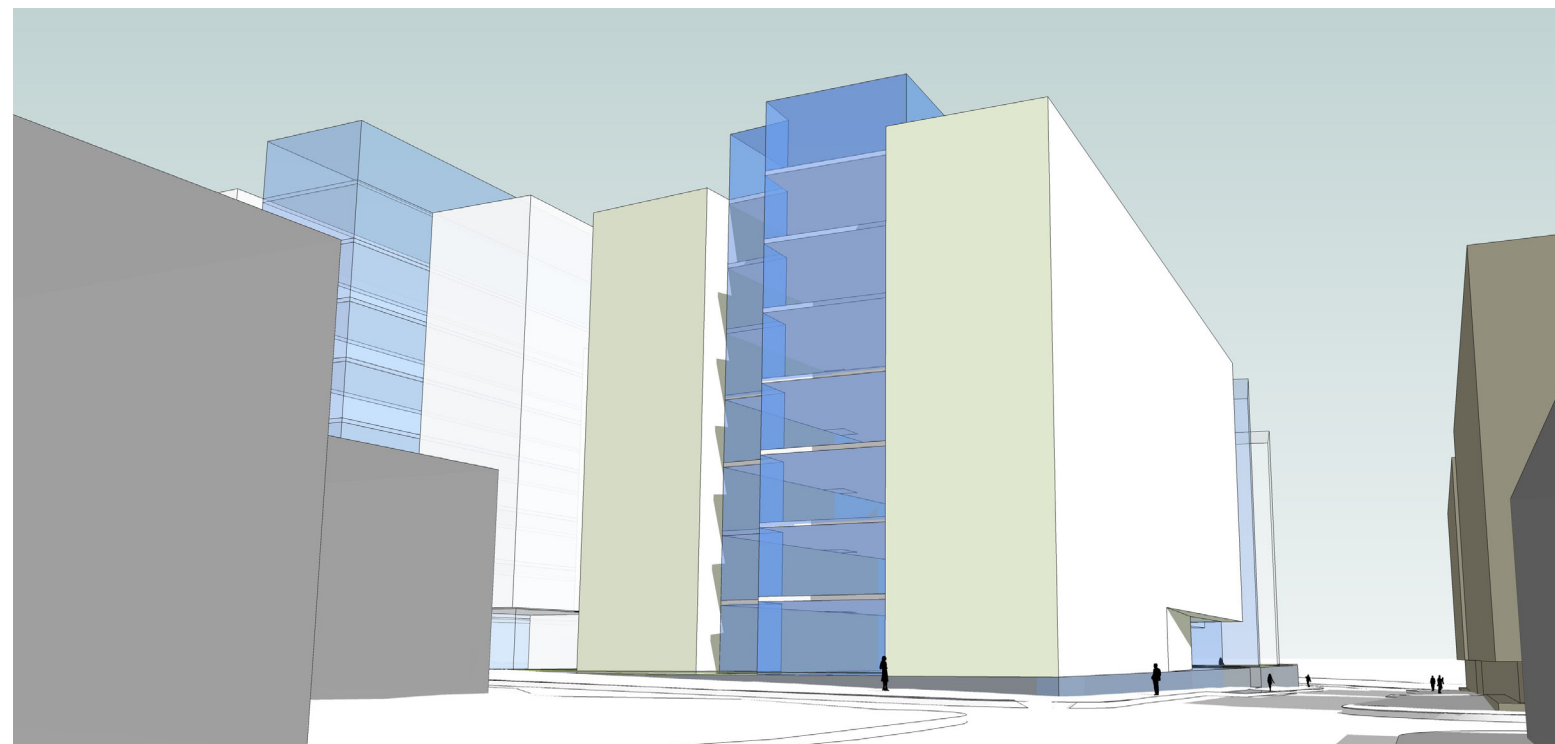
- Courtyard edge is not dynamic in form.
- Building facade along 8th Avenue N is not modulated.



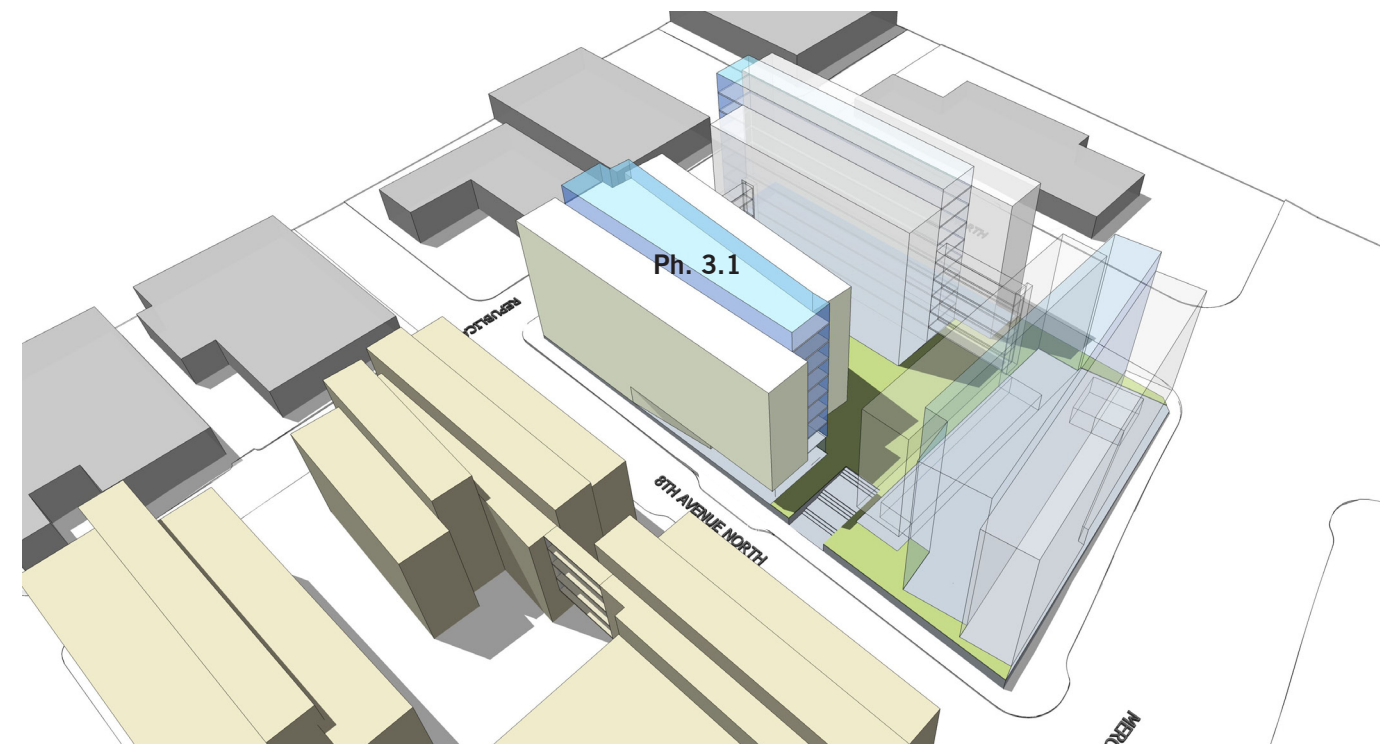
Plan View



Aerial View from SW



View from Republican and 8th



Aerial View from NE

# MASSING ALTERNATIVE 3

'FRACTAL SCHEME' - PREFERRED

## Pros:

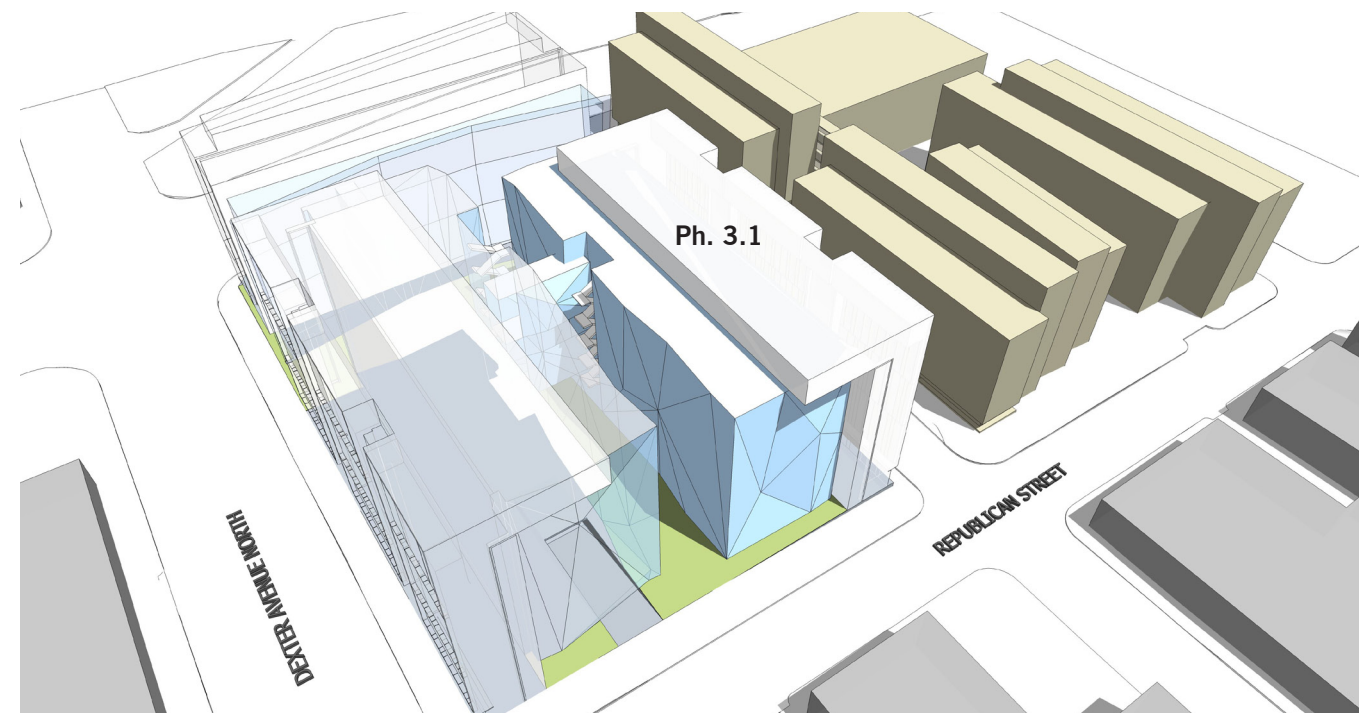
- Long north/south courtyard will receive mid-day direct sunlight.
- East/west courtyard provides mid-block access through site.
- Building facades along courtyard edge are shaped in a way that creates visual interest.

## Cons:

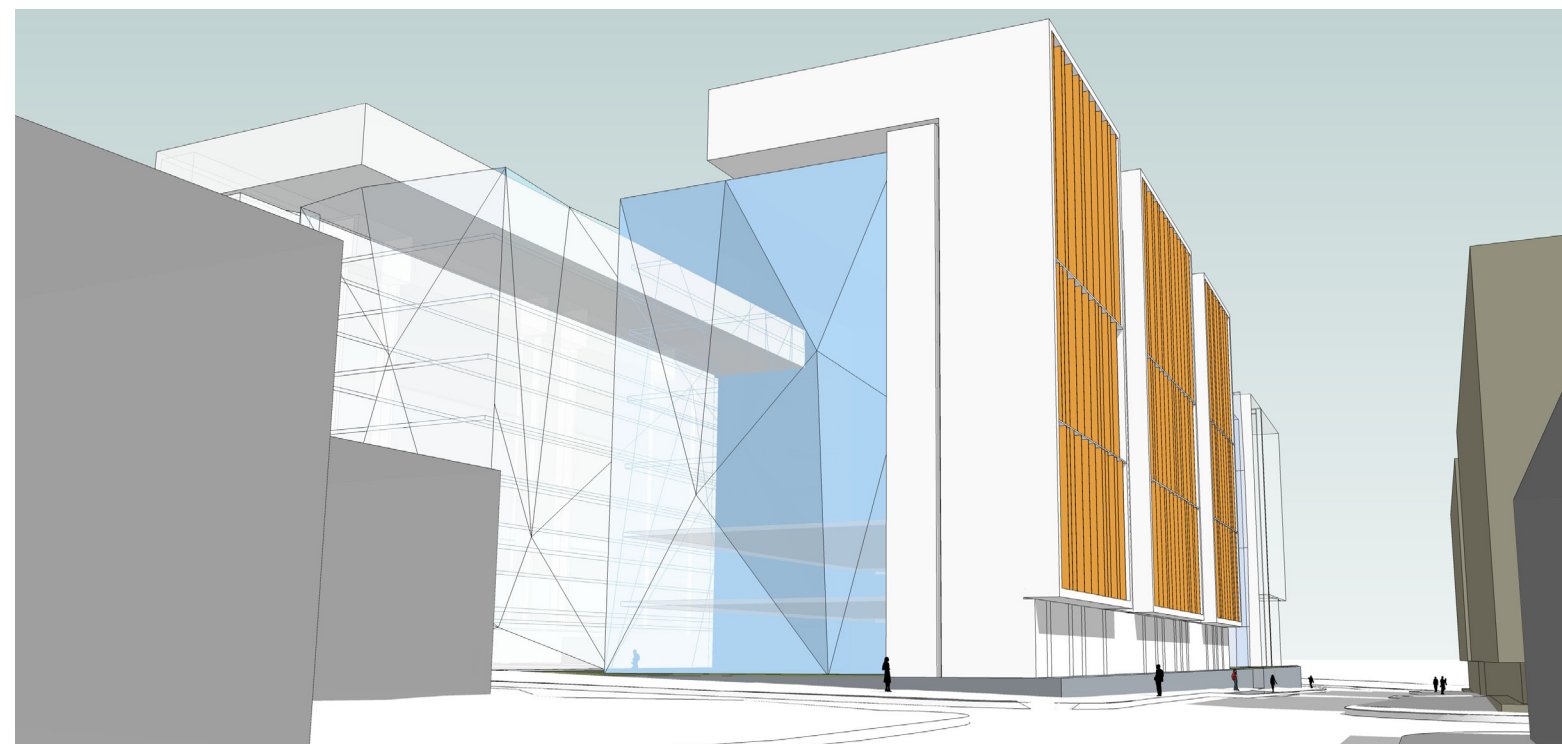
- The 'fractal' facade is a new building vocabulary for South Lake Union.



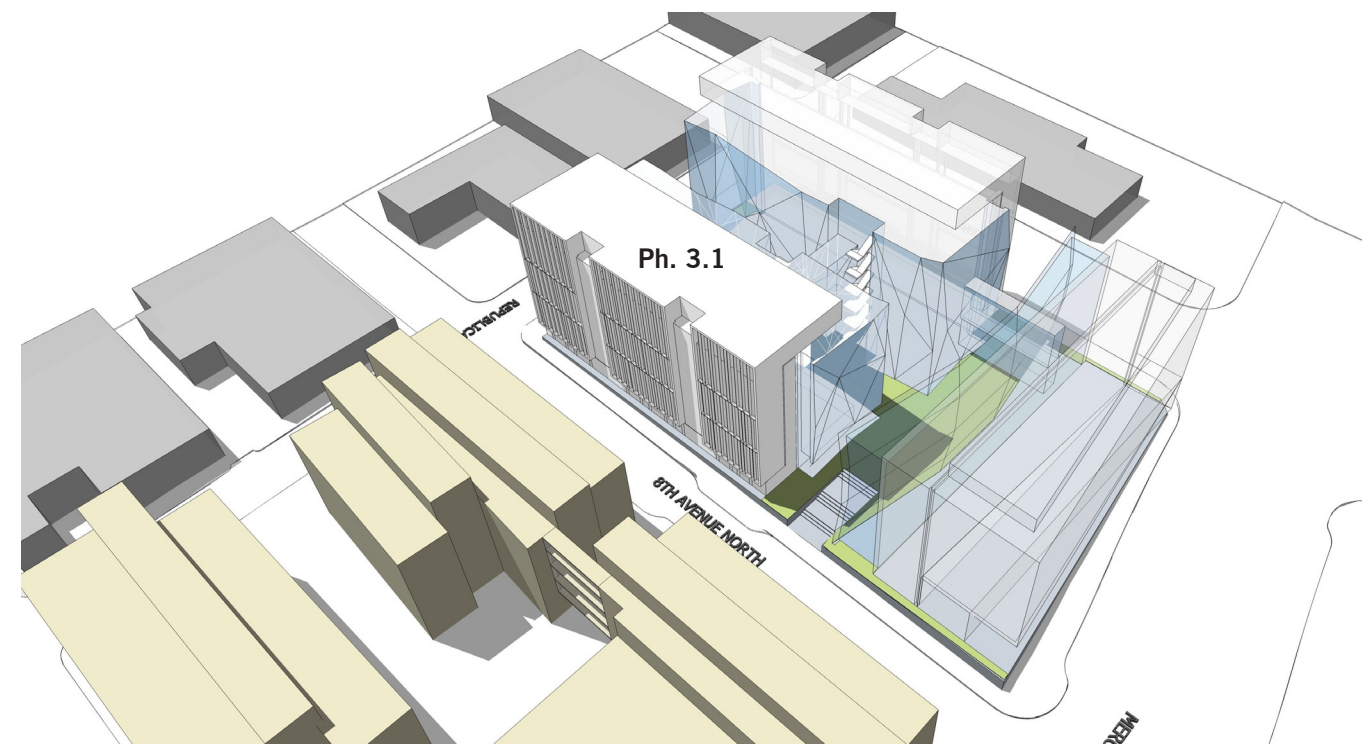
Plan View



Aerial View from SW



View from Republican and 8th



Aerial View from NE



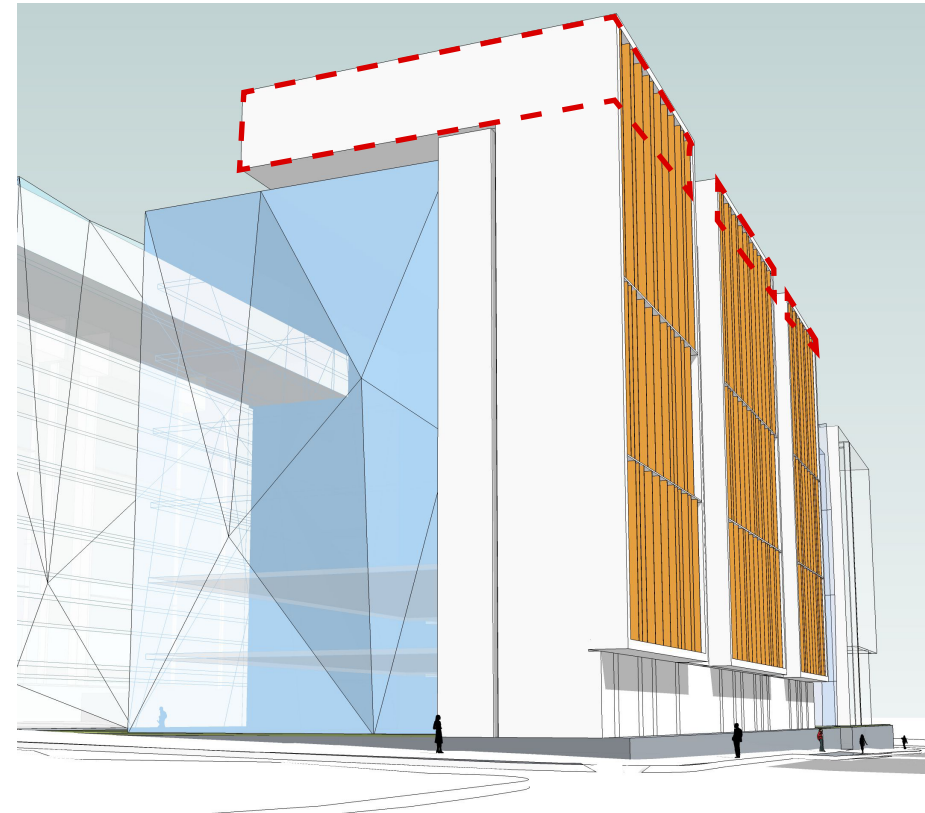


We are requesting a departure from the following portion of zoning code 23.48.010:

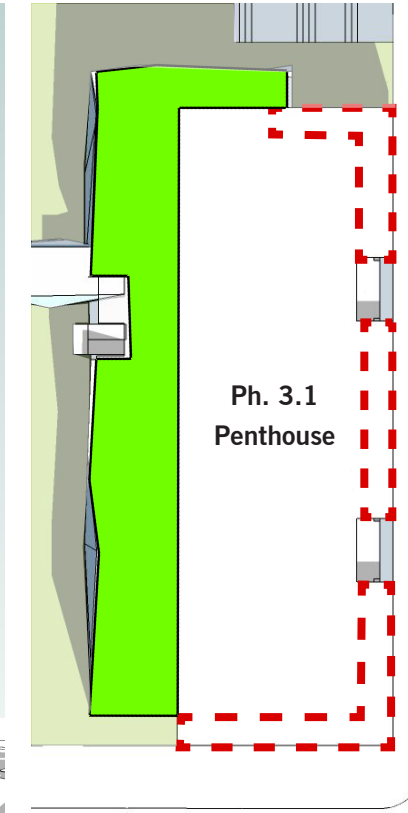
*No rooftop features may be located closer than 10 feet to the roof edge.*

In order to maintain our architectural concept and prevent the mechanical penthouse from feeling like an 'applied piece' on the building's roof, we are proposing that portions of the penthouse are brought out to the building edge. This will allow them to read as part of the building volume. Grouping the penthouse space on one side of the roof also allows us more usable space for a green roof (having to plant a green roof in a 10-foot wide zone around the penthouse perimeter would be difficult). Given building height and sight lines, this does not negatively impact the neighborhood. Note that a similar approach was allowed at the adjacent UW Medicine Phase 2 site.

The increased building height limit (from 85' to 125') is currently being handled via the text amendment process.



Phase 3.1 Preferred Alternative



- - - Denotes portion of the mechanical penthouse that would not step back 10' from building edge.
- Denotes potential green roof area.



UW Medicine Lake Union Phase 2

- - - Areas of the Phase 2 penthouse were allowed to come out to the building edge.