

# Early Design Guidance

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119 15th Avenue  
Seattle, WA 98122



p. 1

EARLY DESIGN GUIDANCE

15TH AVENUE LOFTS

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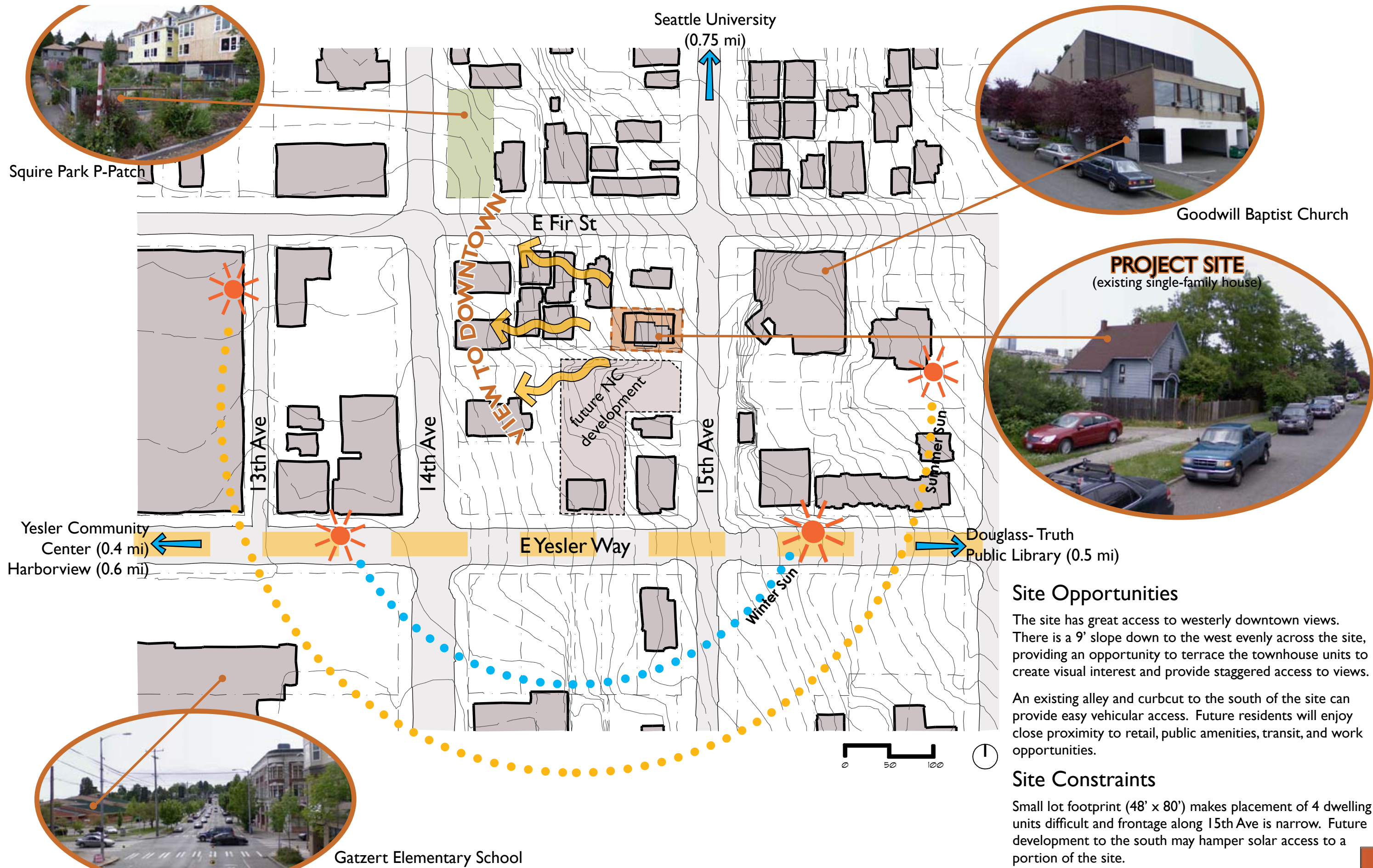






# 15TH AVENUE LOFTS





### Site Opportunities

The site has great access to westerly downtown views. There is a 9' slope down to the west evenly across the site, providing an opportunity to terrace the townhouse units to create visual interest and provide staggered access to views.

An existing alley and curbcut to the south of the site can provide easy vehicular access. Future residents will enjoy close proximity to retail, public amenities, transit, and work opportunities.

### Site Constraints

Small lot footprint (48' x 80') makes placement of 4 dwelling units difficult and frontage along 15th Ave is narrow. Future development to the south may hamper solar access to a portion of the site.





Zoning Key

Lowrise	Neighborhood Commercial	Commercial
<div>L-1</div>	<div>NCI-40</div>	<div>C2-65</div>
<div>L-3</div>	<div>NC2-40</div>	
	<div>NC3-65</div>	

<b>Site</b>	3,840sf (48' x 80')
<b>Zoning</b>	Lowrise 3 (L-3)
<b>SEPA Review</b> (SMC 25.05.800)	Exempt (8 dwelling unit threshold)
<b>Design Review</b> (CAM 238)	Exempt (8 dwelling unit threshold)
<b>Height</b> (SMC 23.45.010)	30' (+5' for greater than 4:12 pitch) +10' for stair penthouses (<15% roof area)
<b>Lot Coverage</b> (SMC 23.45.010)	50% $3840/2 = 1920$ sf max bldg area
<b>Density</b> (SMC 23.45.009)	1 dwelling unit per 800sf lot area $3840/800 = 4.8$ units allowed
<b>FAR</b> (SMC 23.47.012)	Does not apply (less than 65' ht)
<b>Setbacks</b> (SMC 23.45.014)	Front: Average of adjacent buildings (max 15') Neighbor to N: 13'-11" Neighbor to S: 8'-9" Avg: 11'-4" req'd Rear: 15% of lot depth (min 15') $80' \times .15 = 12'$ (15' req'd) Side: Average 6' (not less than 5') if side facade is 30' high or less (7' avg req'd if 31'-35' high)
<b>Landscaping</b> (SMC 23.47.016)	3' x length of property lines $3 \times [2(48) + 2(80)] = 768$ sf Provide street trees in planting strip
<b>Parking Access</b> (SMC 23.45.018)	Must be from alley
<b>Parking</b> (SMC 23.54.015)	1 space per dwelling unit 4 units = 4 spaces
<b>Open Space</b> (SMC 23.45.015)	300sf per unit (average); No unit can have less than 200sf 10' minimum dimension
<b>Width and Depth</b> (SMC 23.45.11)	30' max width w/o modulation 40' if street-facing entry provided 65% of lot depth ( $80' \times .65 = 52'$ )

15TH AVENUE LOFTS

## Existing Site Plan

A 2-story 1,170 square foot single-family residence (vacant) currently occupies the site.

Four deciduous trees with trunk diameters ranging from 10"-12" are located within the lot area.

An unimproved gravel alley of substandard width borders the site to the south.

The lot is surrounded by a duplex to the north, alley and vacant lot to the south (zoned Neighborhood Commercial 2), a single-family residence to the west, and 15th Avenue to the east.



North Neighbor

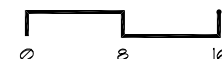


South Neighbor  
(vacant lot)

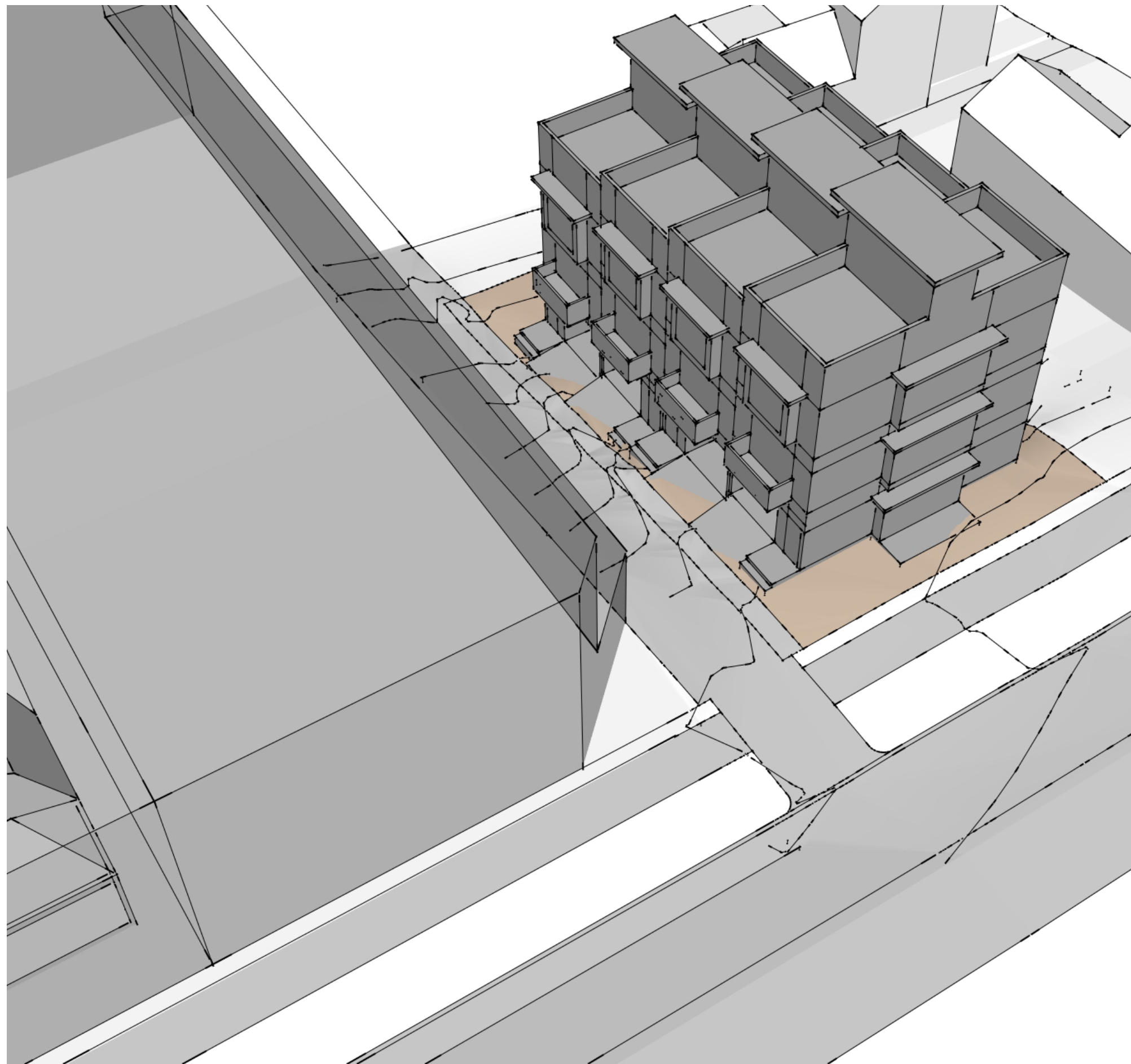


South Neighbor

SITE PLAN 1







## Proposed Development

<b>Height</b>	30' height proposed (30' allowed) +10' stair penthouses (10' allowed) Penthouses = 23% roof area (15% allowed)
<b>Lot Coverage</b>	1914 sf proposed (1920 sf allowed)
<b>Density</b>	4 units (4.8 allowed)
<b>Setbacks</b>	Front: 9'-0" proposed (11'-4" allowed) Rear: 13' proposed (15' allowed) Side: Average 6'-0" (6'-0" allowed)
<b>Landscaping</b>	1356 sf proposed (768sf min req'd) Street trees provided in planting strip
<b>Parking Access</b>	From alley (as required)
<b>Parking</b>	4 spaces proposed (4 spaces min req'd)
<b>Open Space</b>	340 sf per unit (on roof) 300 sf required (on ground)
<b>Width and Depth</b>	33' front and rear width (with entry) (40' width allowed) 58' depth proposed (52' max allowed)

## Summary of Requested Departures

Relief from the required front and rear setbacks is requested to increase the living unit width to provide both a livable dwelling and to allow an east-west oriented switchback stair to enhance the interior planning beyond the current townhouse status quo. The front setback is determined in Lowrise zones by averaging the front yards of the 2 adjacent streetfront buildings. The lot to the south is currently vacant, but is zoned Neighborhood Commercial--future development will likely have a 0' front yard to accommodate street-oriented retail. The future front setback for our lot will then average 6'-11 1/2".

Relief from the 65% maximum allowable structure depth is requested to increase the width of individual dwelling units to an appropriate dimension. The 52' depth required would provide less than 12' interior dimension in each unit, making space planning and habitation difficult.

Required open space is proposed as private roof gardens rather than ground-related area due to the tight lot conditions and will allow residents to take advantage of spectacular downtown views to the west. Because of the small unit footprint, stair penthouses required for roof access exceed the allowable coverage of rooftop features.

## Site and Roof Landscaping

Vehicular access to the site is from an improved alley off of 15th Avenue. Each unit has one parking space at grade largely concealed from the street by the east townhome's front facade. Pedestrian access to all units is from the alley (south). The east and west units also feature a secondary entry at the front and rear of the lot.

Each home has an 89 square foot patio and small garden area at ground-level, accessed by the primary ground floor space. Additionally, the east and west units have access to a larger yard at the front (400 square feet) and rear (600 square feet) of the lot, respectively.

While ground-level site space is limited on the tight lot, each residence has access to a private 340 square foot roof garden and patio with sweeping views to downtown Seattle.



PROPOSED SITE PLAN





## South (Alley) Elevation

This elevation features access to unit parking spaces and front entries along the improved alley. Balconies and bay windows modulate the facade and punctuate individual living spaces.

The primary massing is 3 stories, totalling 30 feet above existing grade. Stair penthouses--set back approximately 12' from the primary north and south facades--allow access to private roof gardens above each home while maintaining solar access to the northern neighbor. Each of the 4 homes step down to the west to mirror the existing grade and allow good westerly views from each roofdeck.





## Projections into Required Setbacks (SMC 23.45.014)

Eaves, Gutters, and Sunshades:

- > can project 18" max into any setback

Bay Windows:

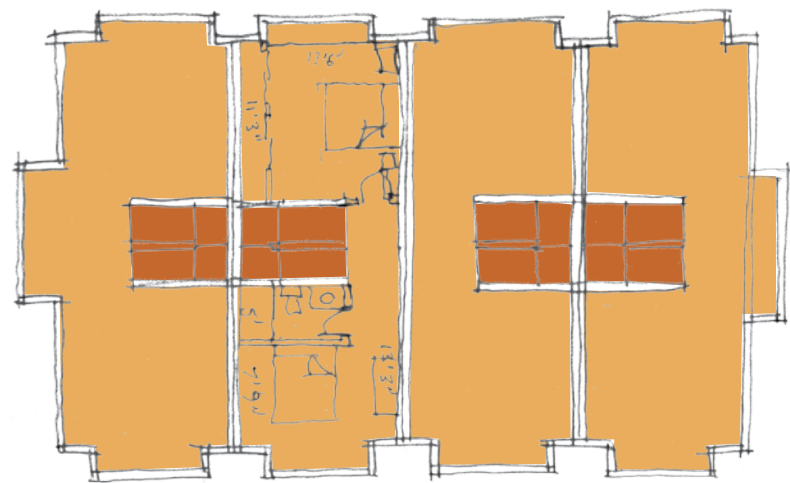
- > can project into front and rear yards 2'-0" x 8'-0" wide

Other projections containing interior space:

- > can project 18" max x 8'-0" wide x 6'-0" tall
- > must start 30" min above finish floor
- > combined area of bay windows and other interior projections cannot exceed 30% of the facade area.

Balconies:

- > can project 4'-0" max into front setback (must be 8'-0" min from front property line)
- > can project into side and rear setbacks (must be 5'-0" min from property lines)
- > must be separated by a distance equal to 1/2 the width of the projection
- > projections must be at least 8'-0" above grade

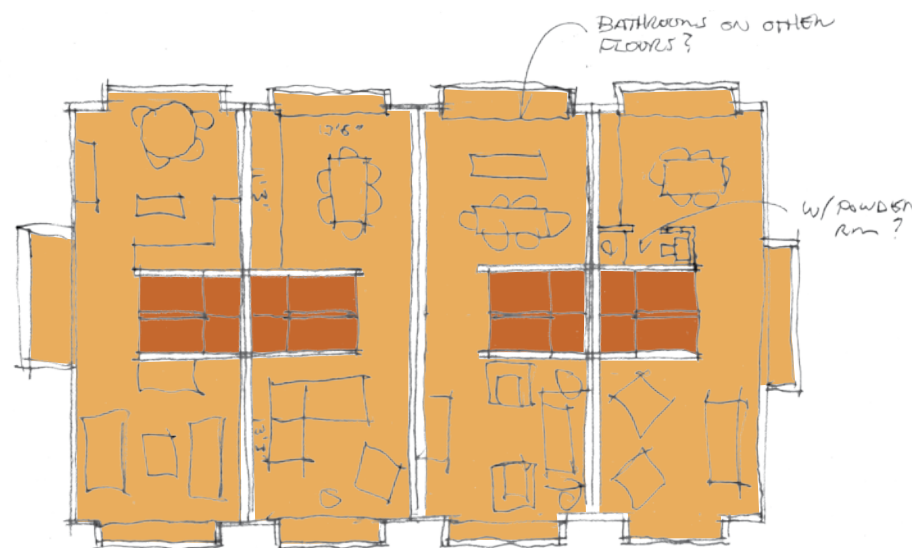


3

### Conceptual Third Floor Plan

2 bedrooms + 1 bathroom

Bay windows



2

### Conceptual Second Floor Plan

Kitchen/dining/living

Balconies and bay windows

Considering powder room option



1

### Conceptual First Floor Plan

1 parking space per unit

Private ground-level entry

Bedroom/den/office with ground-related patio access