

1 SITE CONTEXT



2 VICINITY MAP



3 AERIAL PHOTO

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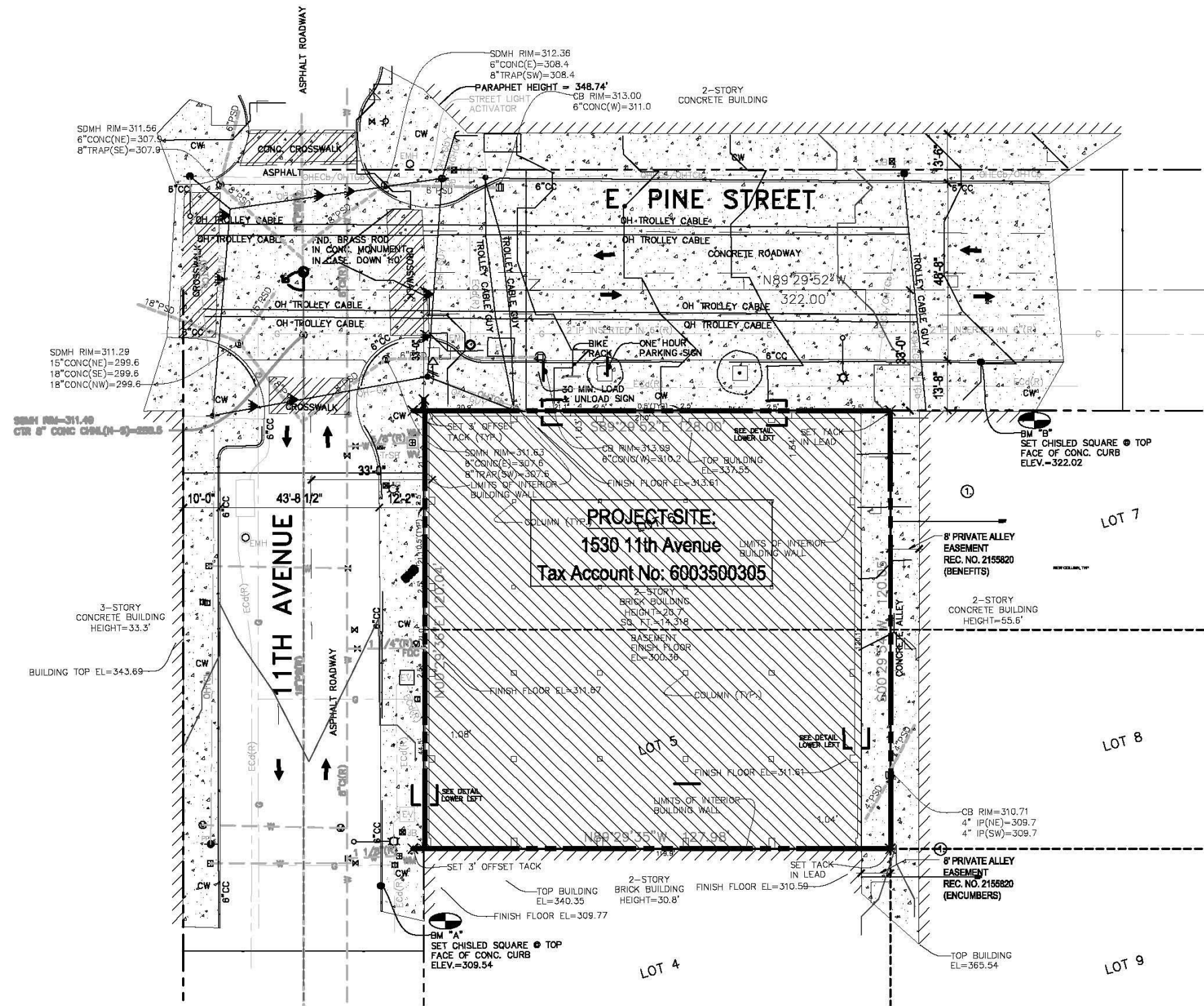
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11-4-09 EDG-2  
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SHEET TITLE **COVER SHEET**  
PROJECT **ELEVENTH & E. PINE (Sunset Electric)**  
DPD PROJECT NO: 3010451 ADDRESS: 1530 11th Ave.

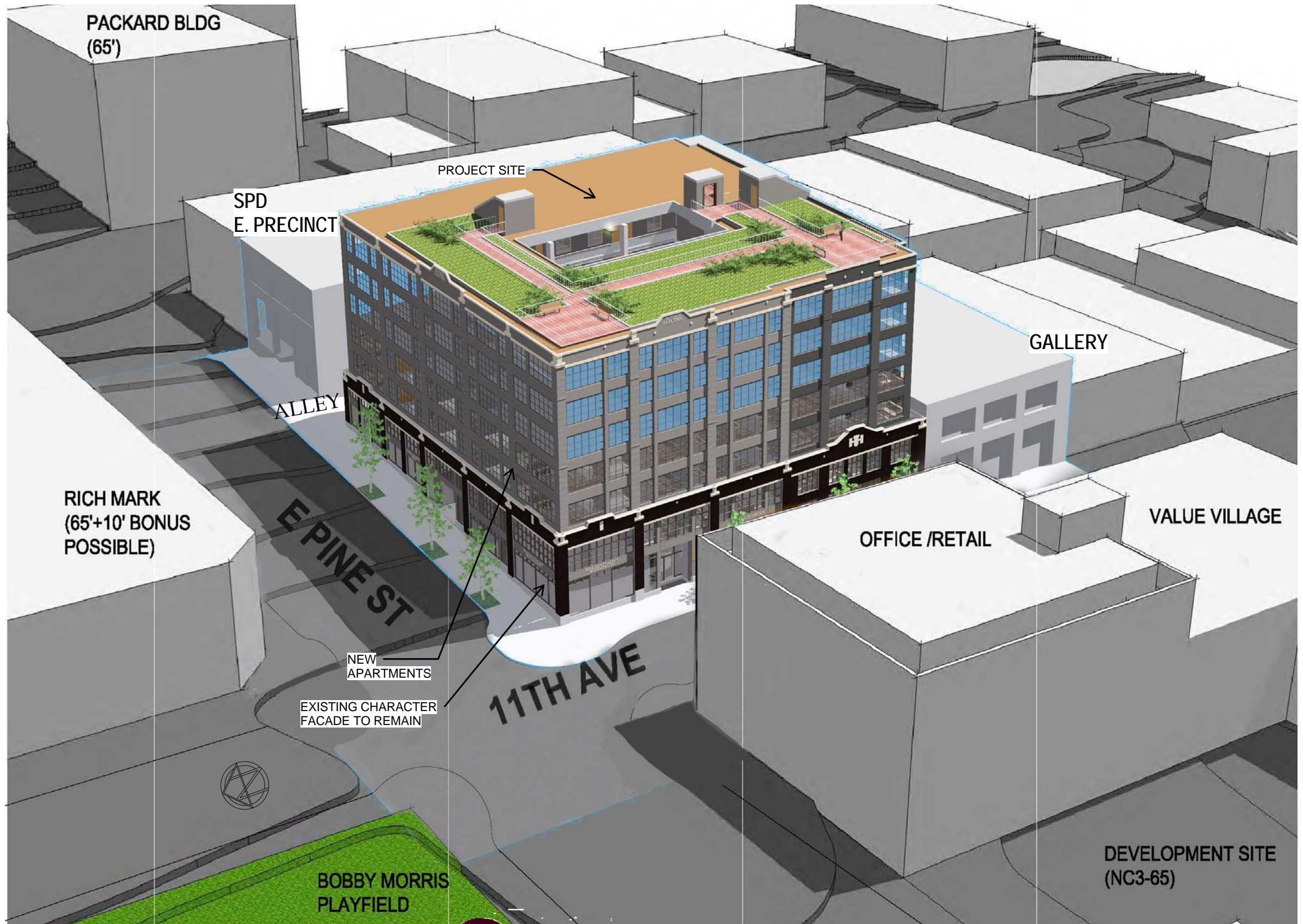




11-4-09 EDG-2  
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SHEET TITLE **EXISTING SITE PLAN (SURVEY)**  
 PROJECT **ELEVENTH & E. PINE (Sunset Electric)**  
 DPD PROJECT NO: 3010451 ADDRESS: 1530 11th Ave.







# ZONING NOTES

1530 11th Avenue

Amended sections shown underlined

## Site Zoning Designation:

NC3-65 PN on principal pedestrian street per the Land Use Map in SMC 23.32.016 and 23.73.004 (Amended in Ordinance 123020)

Site is located in the Pike/Pine Conservation Overlay District (passed 6/29/2009), and the Pike/Pine Urban Center Village

## Applicable Code:

-Seattle Municipal Code, Title 23 Land Use Code

## Applicable DPD Design Guidelines:

-Guidelines for Multifamily and Commercial Buildings, 1998 (amended 2006)  
-Pike/Pine Urban Center Village Design Guidelines, 10/15/2000

## Adjacent Zones:

NC3-65 with pedestrian overlay north of E. Pine Street and west of 11th Avenue.

## Site Area:

120.045' N/S x 127.99'E/W = 15364 sf.  
8 x 120.05 Alley easement impact results in 960 sf site reduction resulting in buildable site area of 14,404 sf

## Applicable Requirements from SMC, Title 23

### 23.47A.005 Street level uses

- D.1 Along designated principal pedestrian streets, 80% of the street-level street facing façade must be occupied by commercial uses specified in this section (arts facilities & automotive retail sales uses added in Ordinance #123020)
- E.2. The following are principal pedestrian streets when located within a pedestrian-designated zone: 11th Avenue & East Pine Street (Amended in Map A 23.73.008)

### 23.47A.008 Street level development standards:

meet standards in this Chapter unless noted otherwise.

- B.3.b. Non-residential uses at street level shall have a floor-to-floor height of at least 13 feet.
- C. Pedestrian Designations. In pedestrian designated zones, 80% of structures street level façade must be occupied by uses listed in .005(E).

### 23.47A.012 Structure height:

**A 65 feet**

**A.7.** In zones with a 65 foot height limit that are located within the Pike/Pine Conservation Overlay District, the Provisions of 23.73.010 (F) apply. New structure may exceed the height limit by 10 ft, if the lot includes a character structure that is to be saved.

**B** **On sloped lots, additional height is permitted along the lower elevation of the structure footprint, at the rate of 1 foot for each 6% of slope, to a maximum additional height of 5 feet. (per 23.47.012, Exhibit B).**

### 23.47A.013 Floor Area ratio:

Chart A Maximum FAR for 65 foot height limit:  
4.75 for structures containing both residential and non-residential uses. (Amended in 23.73.009)

**D.1** All gross floor area below existing or finished grade is exempt from FAR limits.

### 23.47A.014 Setback requirements

Provisions not applicable. No setbacks required under this section

## 23.47A016 Landscaping and screening standards

### A.2. Green Area Factor Requirement.

Landscaping to achieve a green factor score of .30 or greater per 23.84A.014

**B.1** Street trees are required and existing street trees shall be retained unless SDOT approves their removal. (Note street trees have been reviewed by Bill Ames, City Arborist)

### 23.47A.024 Residential Amenity Areas

None required per amendment. (See 23.73.010.G)

Landscapes amenity spaces are proposed on second floor residential court and roof top deck.

### 23.54.015 Required parking:

**B.2 Chart B:** No minimum requirement for parking residential uses in commercial zones within urban centers

**D.1. Chart D:** In pedestrian-designated NC3 zones, parking is waived for the first 5,000 sf of each business establishment for most commercial uses. For eating and drinking establishments, the first 2,500 sf is waived

**G** Up to 20 required parking spaces are waived for new non-residential uses in existing in commercial zones. (No nonresidential parking required)

Approximately 36 stalls for residential use are proposed in the existing basement.  
Access is off the private alley.

### 23.54.030 Parking space standards

**D.1.e** The minimum width of residential driveways for two (2) way traffic serving more than 30 stalls shall be 20 feet (See Departures)

## Chapter 23.73

Pike/Pine Conservation Overlay District

### 23.73.002 Purpose and intent:

**A.** Purpose of District is "to preserve and enhance the balance of residential and commercial uses, by encouraging residential development and discouraging large, single-purpose commercial development. In addition, a purpose of this chapter is to promote the conservation of Pike/Pine's existing historic character by limiting development to a scale that is compatible with the established development pattern, accommodating arts facilities and small businesses at street level and encouraging the retention of the existing structures and their architectural features that establish the District's architectural character.

### 23.73.008 Uses at street level:

**A.** Street level uses on principal pedestrian streets are per 23.47A, except as modified by this section.

**B.** All new structures with >5,000 sf of commercial uses at street level, excluding arts theaters, arts facilities, and parking and access, shall include commercial spaces at street level that average 2,000 sf or less in size per Table A in 23.73.008.

(Project exempt from this provision proposed street level is a renovation of An existing character structure and not a 'new' structure)

**C.** **Maximum length of street frontage for an individual business within a new structure on East Pine is 50 feet. (Project exempt from this provision-proposed street level is a renovation of an existing character structure and not a 'new' structure)**

### 23.73.009 Floor Area Ratio

**A.** FAR limits of the underlying zones for residential use apply. (See 23.47A.013)

**C.1 Non-residential use located in a character structure is exempt from FAR.**



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## ZONING NOTES

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**3**  
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**23.73.010 Development Standards from Pine/Pike Conservation Overlay District**  
**A.** Floor size limit: Max. gross floor area of any single story above 35 feet is 15,000 sf on lots greater than 15,000 sf.. (Lot area including private alley is 15,364 sf.

**Existing character structure footprint is approximately 14400 sf. Proposed floor area above 35 feet is less than 15000 sf.)**

**C.** A 25% increase in the floor size limit above 35 feet in height is permitted for projects that incorporate a character structure.

N.A.-No increase in floor size is feasible due to size of site and existing character structure footprint of approximately 14400 sf No increase in floor size limit above 35 ft. is proposed. Since lot building area is less than 15000 sf, C.2..b 15' setback does not apply.

**D.2.c** The limit on width shall not apply to the following: Portions of a new structure separated from a street property line by a character structure.

**F.** Height exception for lots that include a character structure: In 65 foot zones, the Director may permit the height of a structure to exceed the height limit of the zone by 10 feet. Must retain character structure and additional height must be residential use. Must also comply with 23.73.010.C if increase in floor size limit above 35 ft is proposed, does not apply as building area is less than 15,000 sf.

**G.** Residential Amenity Space.  
**I.** Residential Amenity space is not required for structures existing as of April 1, 2000, that are repaired, renovated or structurally altered... provided that street facing facades are retained and 50% or more of the gross floor area is retained.

Landscaped amenity space is proposed at second floor court and roof top deck.

**H.** Location of parking: Parking provided as accessory parking for any permitted use may be located on the lot, or built into or under the structure. (Note parking not required per 23.54.015)

**Approximately 36 stalls for residential use are proposed in existing basement.**

### 23.84A.006 "C"

**"Character structure" means a structure on a lot within the boundaries of the Pike/Pine Conservation Overlay District that has been in existence for at least 75 years, thereby contributing to the established scale, development pattern, and architectural character of the area.**

### 23.86.019 Green Factor:

Proposed green factor to be a minimum of 0.3.

Project proposes to comply via street trees and tree pits in the ROW, a private landscaped courtyard on Level 2, and a partial green roof.

Bonus strategies include drought-tolerant or native plant species, harvested rainwater, and landscaping visible from the ROW

## PROPOSED DEPARTURE

### 23.54.030 Parking space standards:

**D.1.e** Project requests departure from 20 foot minimum driveway width requirement to allow parking access from the existing 16 foot wide private access easement, in order to retain the existing character structure.

Proposed parking consists of approx 36 stalls accessed via private alley. Parking Stalls will be used for employee and resident parking.

Benefit: Approval of this driveway width departure allows reuse of the existing character structure.

# Response to Design Guidance Priorities

## A. Site Planning

### A.1 Responding to Site Characteristics

#### Existing Base (2 story facade):

Maintain existing historic brick base walls on 11th Ave, E. Pine and one Bay in Alley which is currently brick faced. Concrete base wall beyond the alley brick bay will be removed and replaced with new construction. Existing masonry will be restored. Windows will be replaced with new storefront frames and clear glass. Window divisions will be spaced to emulate industrial sash common to neighborhood and era of original building. Existing Terra Cotta trim and accents will be retained integrally with the masonry and repaired as required. Interior Floors will be replaced with new construction.

Use wise, the entire two story existing facade along E. Pine street, the corner bay at E. Pine and 11th and the corner bay at Pine and the alley is committed to commercial with the possibility of mezzanines depending on actual tenant requirements. The remaining portion of the east (alley side) and west (11th) second floor is residential units behind the commercial scaled storefront so perception of the commercial base is still maintained

#### Floors 3-7:

The features below are employed to be simple and understated allowing the base existing structure to express its history with minimal competition from the upper structure; and, and also the features of the new residential are selected to reinforce the bays and glazing divisions typical of that era.

On 11th Ave the building has two distinct characters (“A” and “B”). The southern portion (3 bays) is distinctly different than the bays to the north of it on 11th Ave. The upper portion (floors 3-7) of the southern 3 bays on 11th is set back behind the base wall approx 3'-6"; and the upper portion (floors 3-7) for bays north of that and around the corner and up E. Pine Street are set back from the base wall approx 1'-6". The setting back of the upper portions of the building emphasizes the base; and the differential in the upper level setbacks reinforces the two distinct characters of the base facade on 11th Ave.

Color is also used to reinforce this “A” / “B” condition. The color of approx 2'-8" wide pilasters, 1'-0" wide window bay dividers, and spandrels between upper floors (3-7) of the 3 southern bays on 11th (“A”) are slightly darker than the color of the upper floors (3-7) for the bays north of them and around the corner and up E. Pine Street (“B”)

The upper stories vertical pilasters (approx 2'-8" wide & aligned above the brick pilasters on the first two stories of brick) are clad with vertical metal with light fluting. The approx 1'-0" wide vertical glazing dividers between pilasters are clad with metal with a flat surface. The spandrels will have relatively flat metal which may have some minor divisions for strength and character. Windows will be vinyl or fiberglass with divisions (in the spirit of the base) spaced to emulate industrial sash common to neighborhood. The parapet is treated simply with minimal trim to recall the history of the base but in a quiet manner to allow the base masonry to capture the viewer's attention. Accent trim shown on the upper building is limited and will be either simple metal pieces or foam covered with a durable finish. Trim will be colored to match the base terra cotta trim. It is in the spirit of art deco but underplayed. The coping covering the parapet will be colored to match the trim found in the base of the building and the upper building accent pieces.

The east wall first bay closest to E. Pine will be like the E. Pine street treatment. The remaining east wall bays to the south above the newly constructed two story base will be simple metal siding similar to the Pine street side but with smaller windows and a somewhat greater amount of wall surface. The new 2 story alley concrete base will be painted darker to reinforce the existing strength of the existing base

The south wall is has two re-entrant corners in it to allow glazing in the south wall next to 11th Ave and next to the alley. This feature along with differential color treatment of this concrete block wall will soften this facade which eventually will be covered when property owners to the south eventually fulfill the zoning potential for their site. The advantage of locating these south window as proposed is to give the living rooms of the units at the SE and SW corners of the building windows on two walls which make a delightfully bright living space while it also gives that facade animation. To reinforce the “A” building on 11th Ave the south wall will take the “A” coloring from 11th Ave.

### A-4 Human Activity

The proposed design should encourage pedestrian activity at the sidewalk with full height transparent glazing with an industrial pattern that wraps into the corner of the alley. Potential recessed shop entries, proposed roll up glazed garage door for on street presence of a shop or cafe are provided in the design. The garage door element is located at an existing garage door reinforcing the auto use history. Larger landscaped tree pits are provided allowing for pleasant plantings at the pedestrian sidewalks. The design allows for potential small business entry off the alley. The residential lobby is at the south end of the building and faces 11th Ave.

### A-8 Parking and Vehicle Access

Approximately 36 parking stalls for residential use are proposed to be located in the existing basement with access by the private alley of E. Pine St. This will help to minimize the automobile impact on the pedestrian environment.

### A-10 Corner Lots

The 2 story commercial space is being maintained along E. Pine including the NW & NE corner bays (approx 24 feet wide) at 11th & E. and at 11th and the alley respectively. The remaining portion of the east facade (alley side) and west facade (11th) second floor is residential units behind the commercial scaled storefront so perception of the commercial base is still maintained. The new structure above is set back slightly from the existing facade to preserve the original symmetrical character and alignment with the existing facade. The industrial sash window pattern is repeated in the new structure above.

## B. Height Bulk And Scale

### B-1 Height bulk and scale compatibility

The 11th avenue facade was designed to respond to the two different building appearances of the existing building on that avenue. The southern 3 bays we identify as the “A” building and the remaining bays to the north including the E Pine street facade we identify as the “B” building. The new upper stories of the “A” building are set 3'-6" behind the existing 2 story brick base and are proposed to be colored a warm gray slightly darker than medium. The new upper stories of the “B” building are set 1'-6" behind the existing 2 story brick base and are proposed to be colored a warm medium gray. In all the new upper stories, the vertical pilasters align with the brick pilasters in the existing 2 story brick base below. This integrates the scale of the existing and new building elements. Further by using large areas of glazing in the upper portion of the building, between the approx 2'-8" wide pilasters and approx 1'-0" wide intermediate vertical dividers and dividing the glass in an industrial sash like character, the existing facade is recognized in patterning above and compatibility with existing is reinforced.

The recognition of “A” and “B” character, the pilaster alignment, the window divisions recalling industrial sash, and the color differentials all contribute to breaking down the building bulk and creating scale and character compatibility.

## C. Architectural Elements

### C-1 Architectural Context

**The design elements and decisions explained in B1 above are consistent with the surrounding buildings. The setbacks, coloring, pilasters, window divisions and scale elements are contextual within the neighborhood.**

**The design decisions pay respect to the existing building colors, pilaster arrangement, character differential (“A” and “B” appearance, see B1 above), windows, and detail. The new structure set back slightly from the existing facade to allow the existing renovated base masonry to predominate the viewers attention. New windows in the base will be of industrial sash character in keeping with the existing neighborhood. The new building above is understated with columns spandrels, and glazing divisions selected to reinforce the industrial character of the existing building.**

### C-2 Architectural Concept and Consistency

In keeping with the existing neighborhood character the full height of the existing facade including brick, pilasters and terra cotta trim along the entire frontage at E. Pine and 11th Avenue and the most northern bay (approx 23 feet) at alley, will be retained. The windows will be replaced with a system divided to represent the appearance of industrial sash found in the neighborhood. The ground floor will have commercial uses and the apartment entry lobby.

In addition to the E Pine street frontage, including the northern most bay on the alley and the northern most bay on 11th Avenue the second floor will be used as commercial. Within the extent of this described space, a potential mezzanine could be constructed if desired by a future tenant. This provides two story commercial all along Pine including each building corner (approx 23 foot bay) adjacent to Pine.

Apartments are proposed on the second floor behind the existing facade along the remaining part of the west elevation along 11th Avenue and remaining part of the east elevation. The first floor commercial space will have a minimum floor to floor height of 14ft. A design departure will not be required for this element.

The new building is integrated with the existing facade with new vertical pilasters in alignment with the existing brick, window spacing and divisions in character with the existing base.

The 15' setback referenced in 23.73.10(c) 2b does not apply to this site as the building area is less than 15,000 sf and no increase in floor size is requested.

### C-4 Exterior Finish Materials

The existing masonry base will be restored. The new building above is proposed to be finished with metal panels with light fluting at pilasters with relatively flat 12" w glazing dividers and spandrels. The parapet metal is treated simply with minimal trim to recall the history of the existing base. Subtle color variation will be used to reinforce the two distinct (“A” and “B”) characters of the 11th Avenue side of the existing base.

## D. Pedestrian Environment.

### D-2 Blank Walls

The new building has window divisions on the alley side in character with the street sides and minimizes blank walls. The ground level alley side has the potential for commercial entry if desired by future tenant.

The south elevation of the building is activated with windows at the east and west edges setback from the south property line. This notch in the building and related glass will break down the scale of the wall from the street and provide a second window to give the SE and SW views to the south out of their living rooms where they are above the adjacent property roof top

### D-8 Treatment of Alleys

The existing base street facade wraps into the alley approx 24' and will be renovated with restored masonry and new glazing. The new building above reinforces the alley corner with column and window massing in character with the existing base.

### D-11 Commercial Transparency

Commercial store fronts will engage with pedestrians at the sidewalk with full height transparent glazing providing good visual connection with the sidewalks.

## E. Landscaping

### E-2 Landscaping to Enhance the Building and Site

The proposal includes a landscape court at the second floor and roof top deck with drought tolerant landscaping to achieve a green factor score of .30 or better. Larger landscaped tree pits in the sidewalks will bring the green factor to the street right-of-way, to help activate and enliven the site.



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## RESPONSE TO DESIGN GUIDANCE PRIORITIES

SHEET TITLE

ELEVENTH & E. PINE (Sunset Electric)

PROJECT NAME

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200 N.E. Pacific Street  
Suite 103  
Seattle, WA 98105  
TEL 206.675.9100  
FAX 206.675.1083  
www.kohlerassociates.com

# 3.1

SHEET NUMBER





E PINE STREET

11th AVENUE

E PINE STREET

11th AVENUE



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IEWS LOOKING NORTH ON 11th AVE.

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**4**  
SHEET NUMBER





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**VIEW LOOKING SOUTHEAST**  
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**4.1**  
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VIEW LOOKING S.E. ON E. PINE ST.  
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**4.2**

SHEET NUMBER





PRIVATE ALLEY

E PINE STREET



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VIEW LOOKING SOUTH ON E PINE ST  
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4.3  
SHEET NUMBER



SPD EAST PRECINCT



PRIVATE ALLEY

E PINE STREET



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VIEW LOOKING AT ALLEY

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4.4

SHEET NUMBER





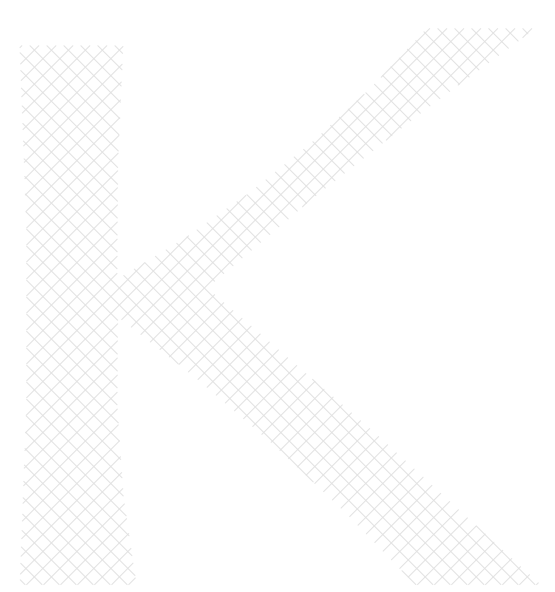
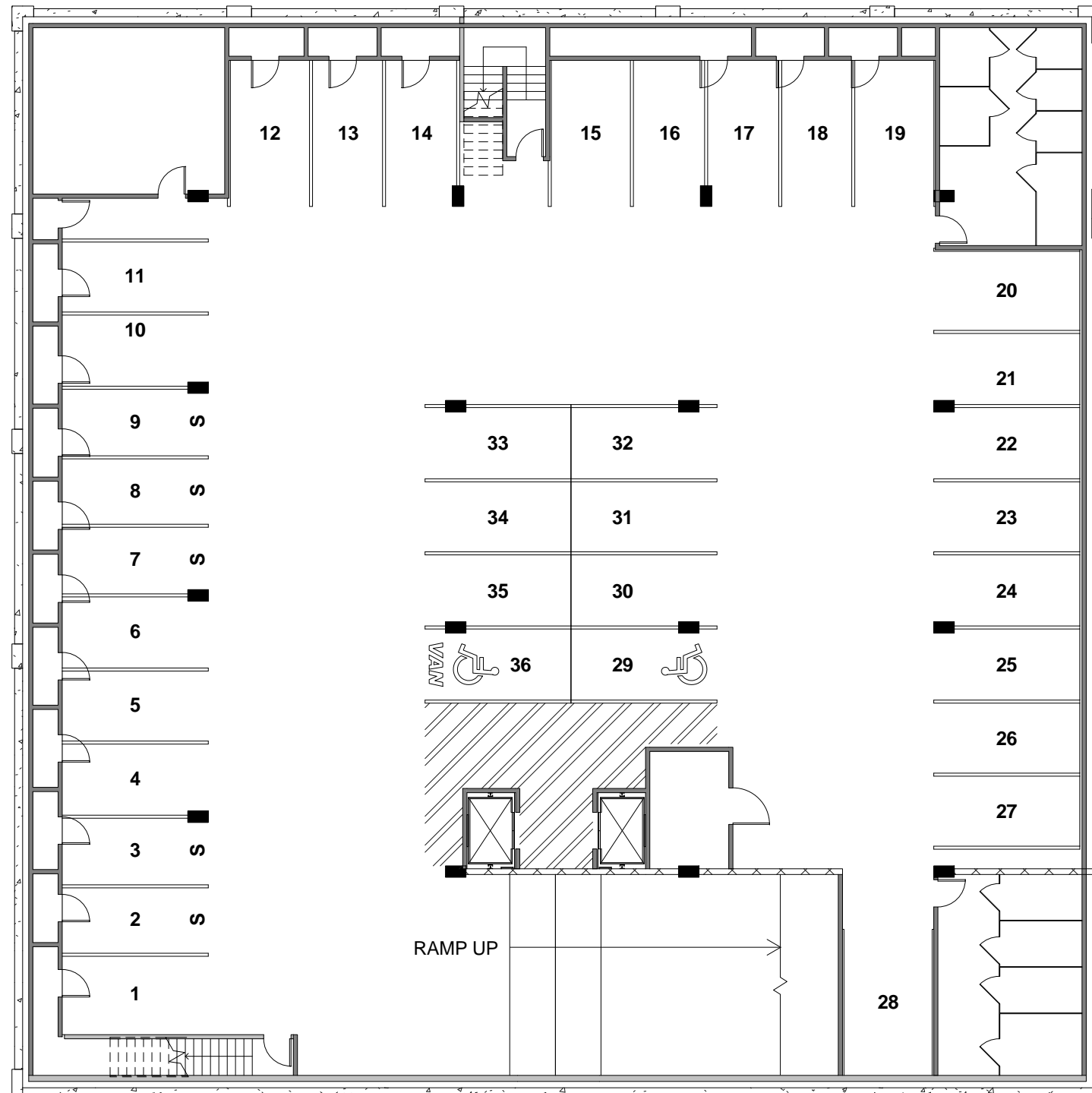
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**VIEWES IN COURTYARD**  
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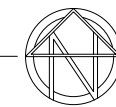
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# FLOOR PLAN - BASEMENT / GARAGE

SCALE: 1/16" = 1'-0"



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BASEMENT / GARAGE

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**5**

SHEET NUMBER





# FLOOR PLAN - STREET LEVEL

SCALE: 1" = 20'-0"



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7-15-09

## STREET LEVEL

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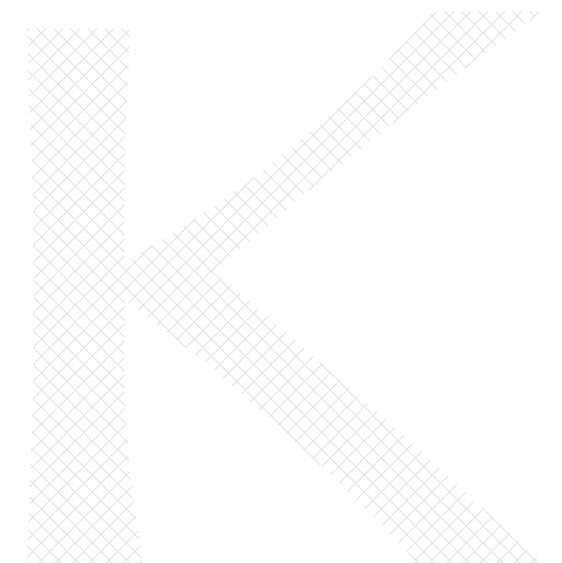
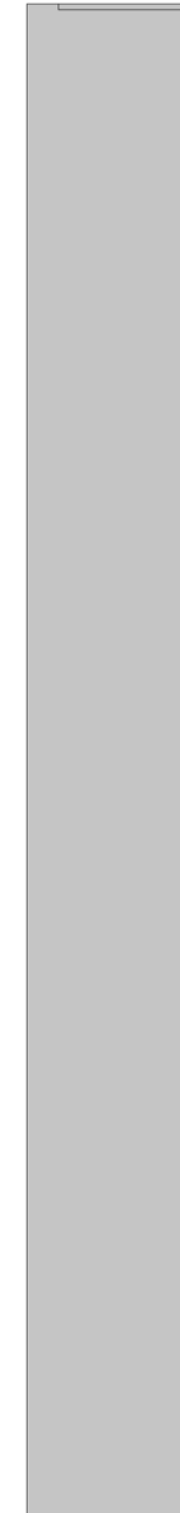
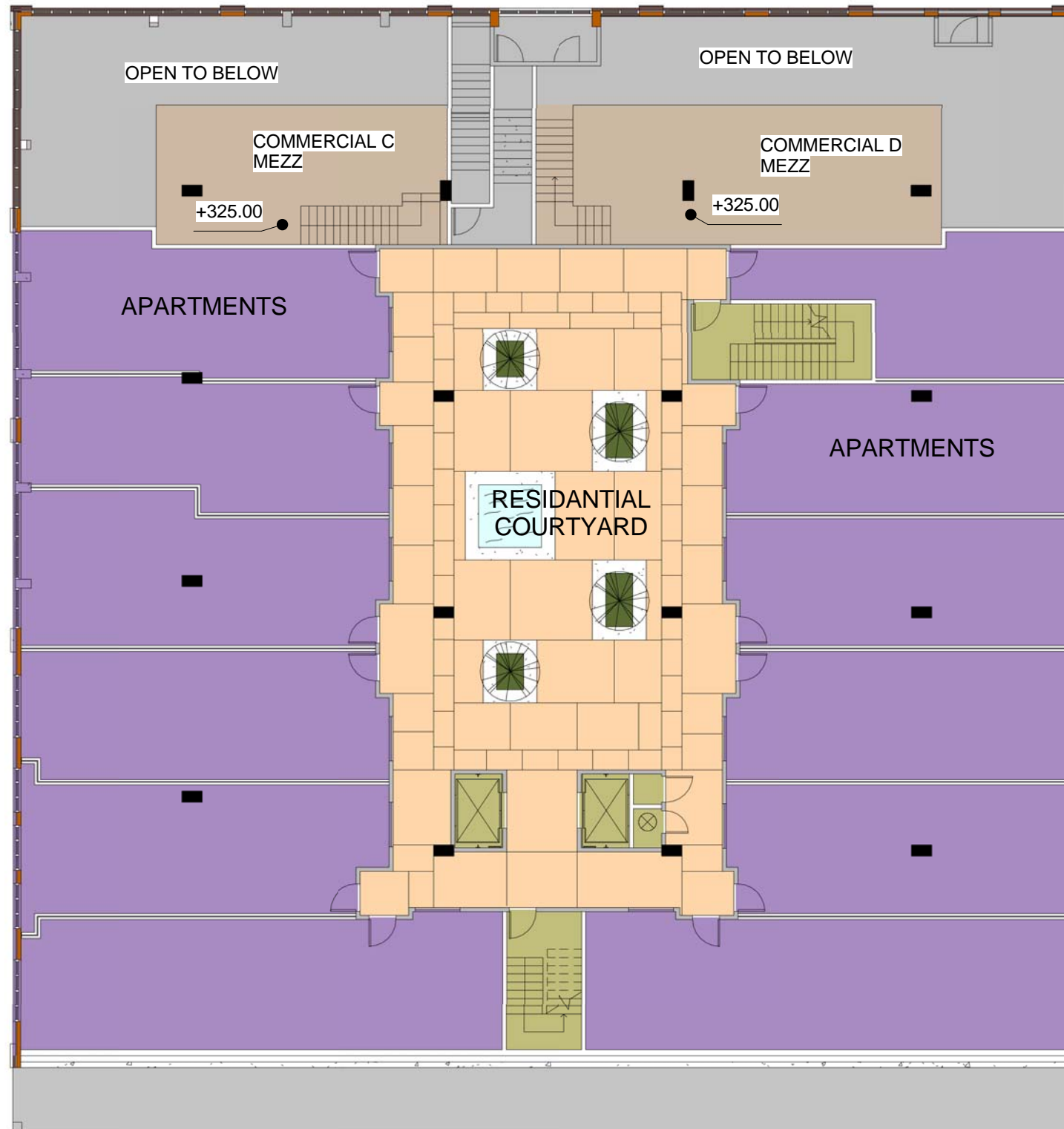


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# 5.1

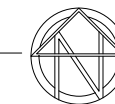
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# FLOOR PLAN - LEVEL 2 (COURTYARD)

SCALE: 1/16" = 1'-0"



11-4-09 EDG-2  
8-19-09 EDG  
7-15-09

**LEVEL 2 (COURTYARD)**  
SHEET TITLE  
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PROJECT NAME

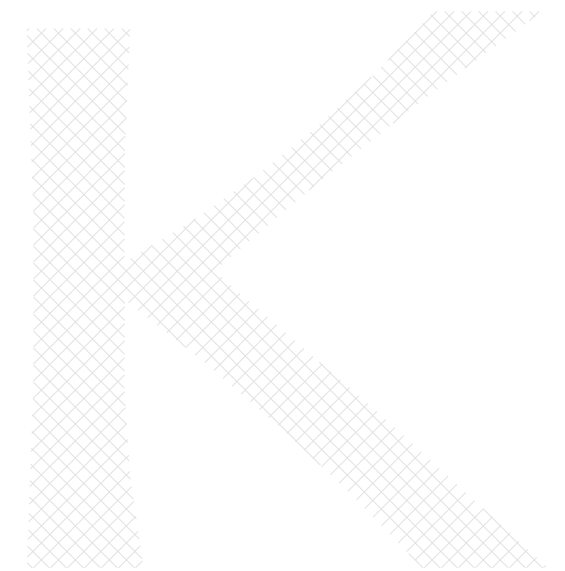
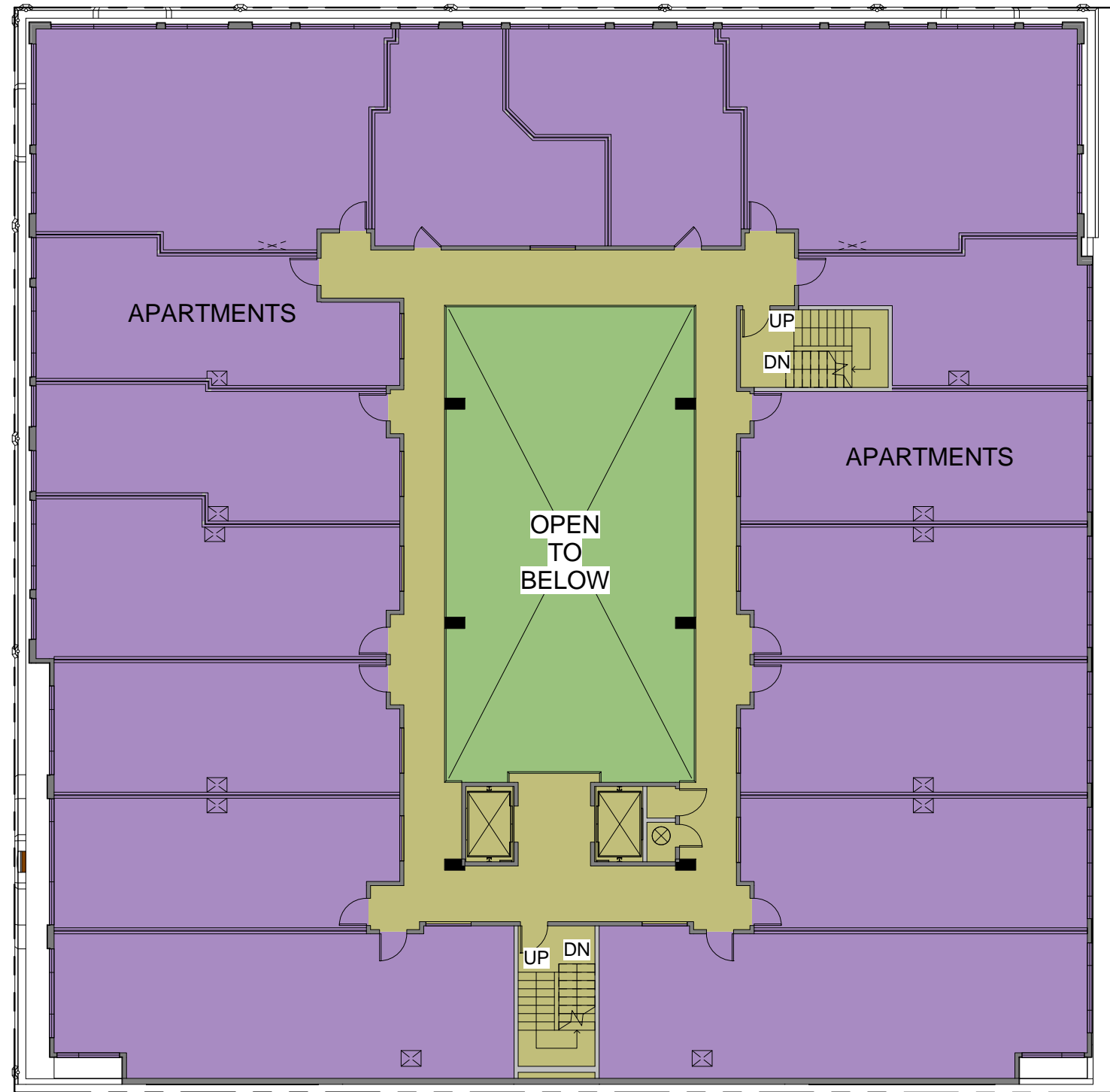
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# 5.2

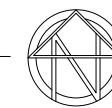
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# FLOOR PLAN - LEVELS 3-7

SCALE: 1/16" = 1'-0"



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7-15-09

**LEVELS 3-7**  
SHEET TITLE  
**ELEVENTH & E. PINE (Sunset Electric)**  
PROJECT NAME  
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# 5.3

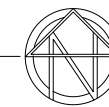
SHEET NUMBER





# ROOF PLAN

SCALE: 1/16" = 1'-0"



11-4-09 EDG-2  
8-19-09 EDG  
7-15-09

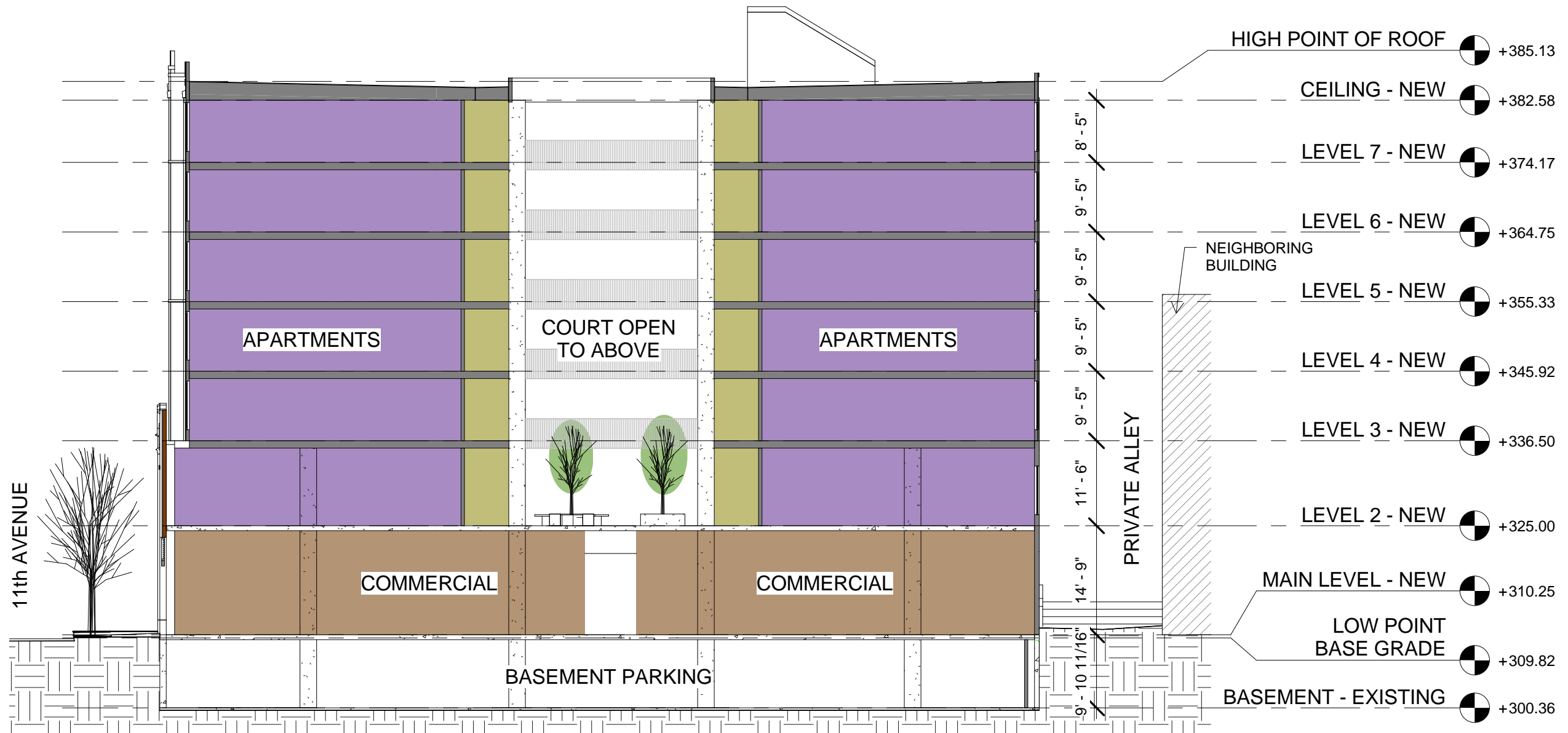
**ROOF PLAN**  
SHEET TITLE  
**ELEVENTH & E. PINE (Sunset Electric)**  
PROJECT NAME  
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# 5.4

SHEET NUMBER





# BUILDING SECTION LOOKING NORTH

SCALE: 1/16" = 1'-0"



11-4-09 EDG-2  
8-19-09 EDG  
7-15-09

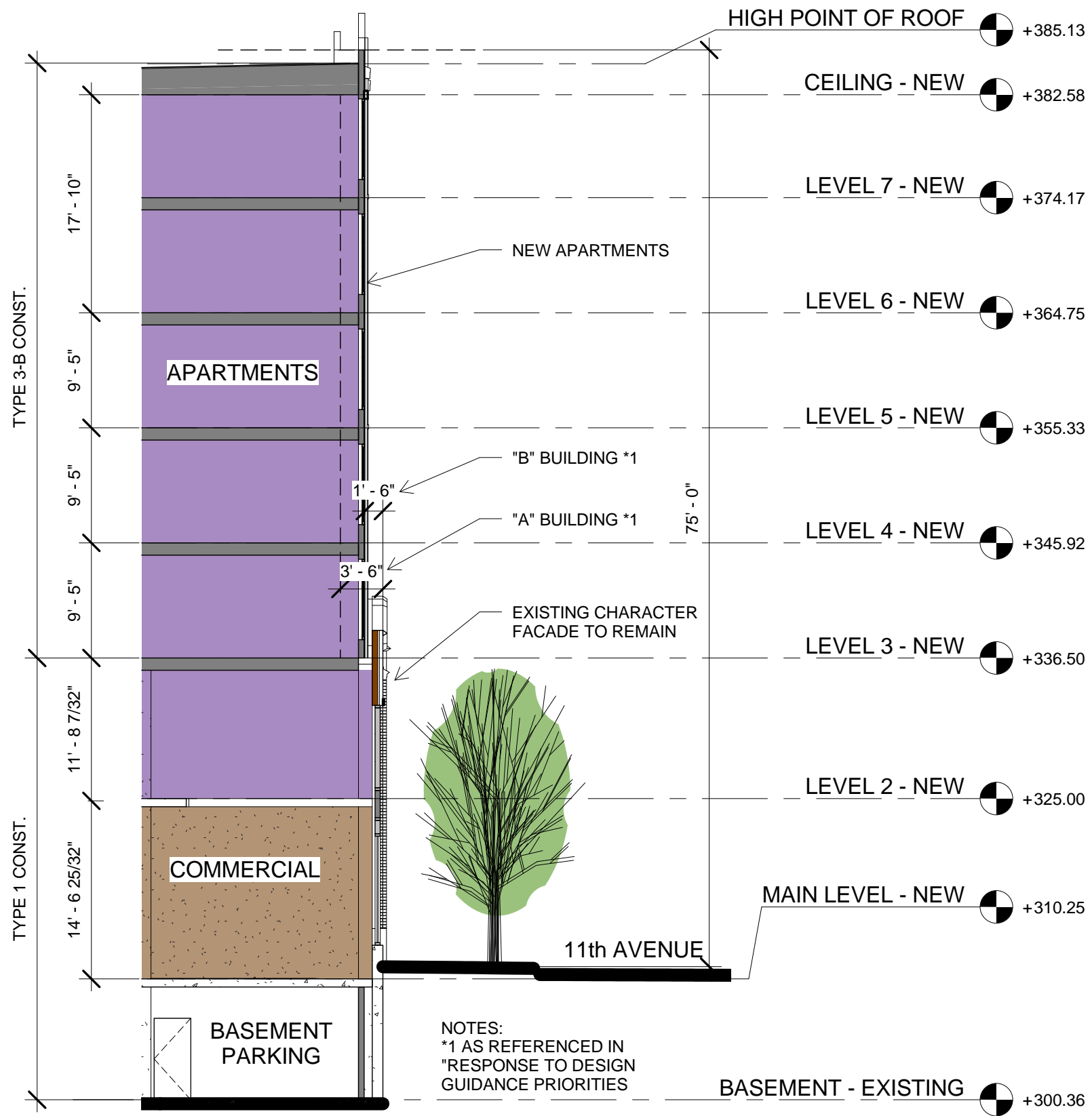
**BUILDING SECTION**  
SHEET TITLE  
**ELEVENTH & E. PINE (Sunset Electric)**  
PROJECT NAME  
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**5.5**

SHEET NUMBER





# WEST WALL SECTION

SCALE: 3/32" = 1'-0"



11-4-09 EDG-2  
8-19-09 EDG  
7-15-09

## WEST WALL SECTION

SHEET TITLE  
ELEVENTH & E. PINE (Sunset Electric)  
PROJECT NAME

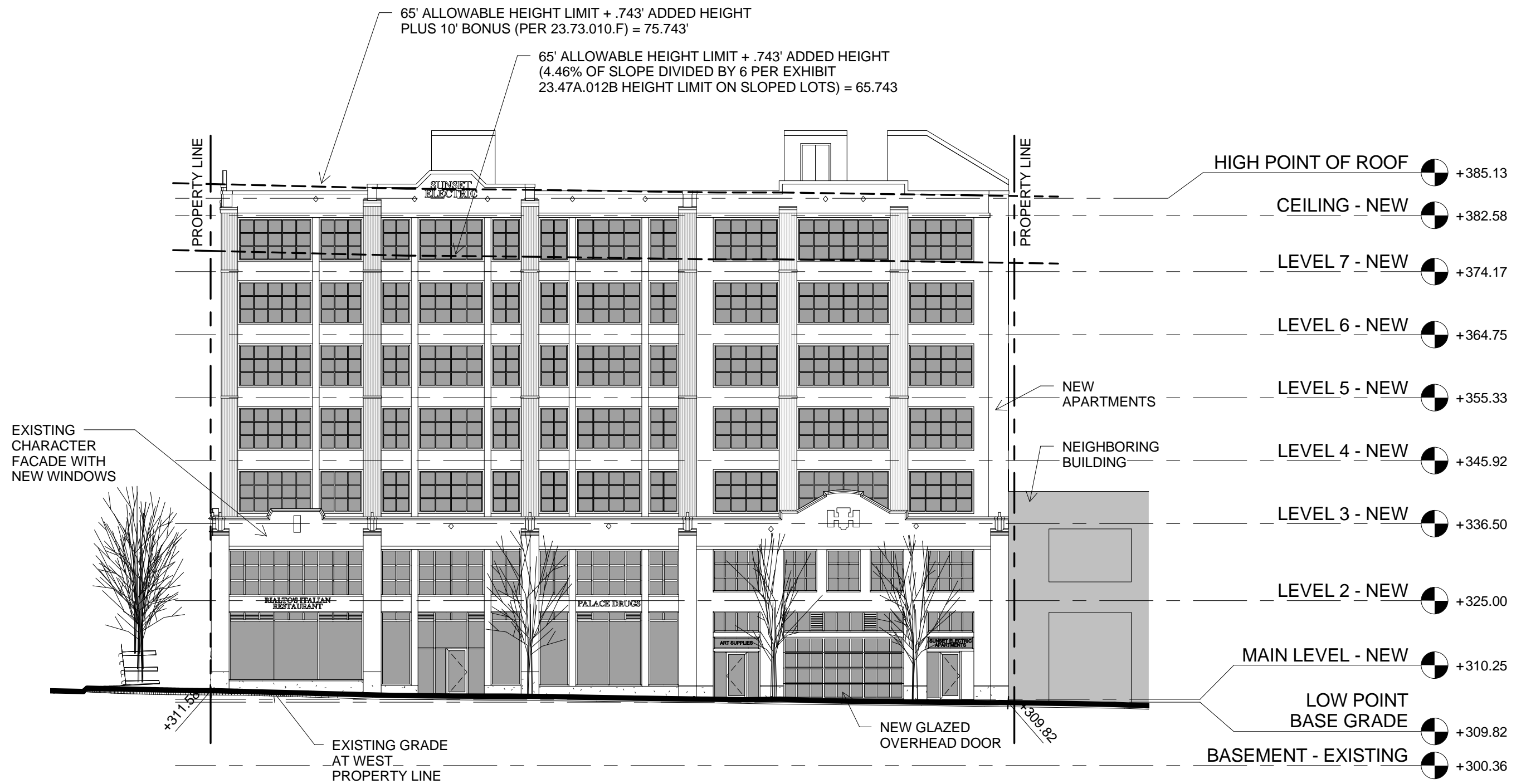
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# 5.6

SHEET NUMBER





# WEST ELEVATION (11th AVENUE)

SCALE: 1/16" = 1'-0"



11-4-09 EDG-2  
8-19-09 EDG  
7-15-09

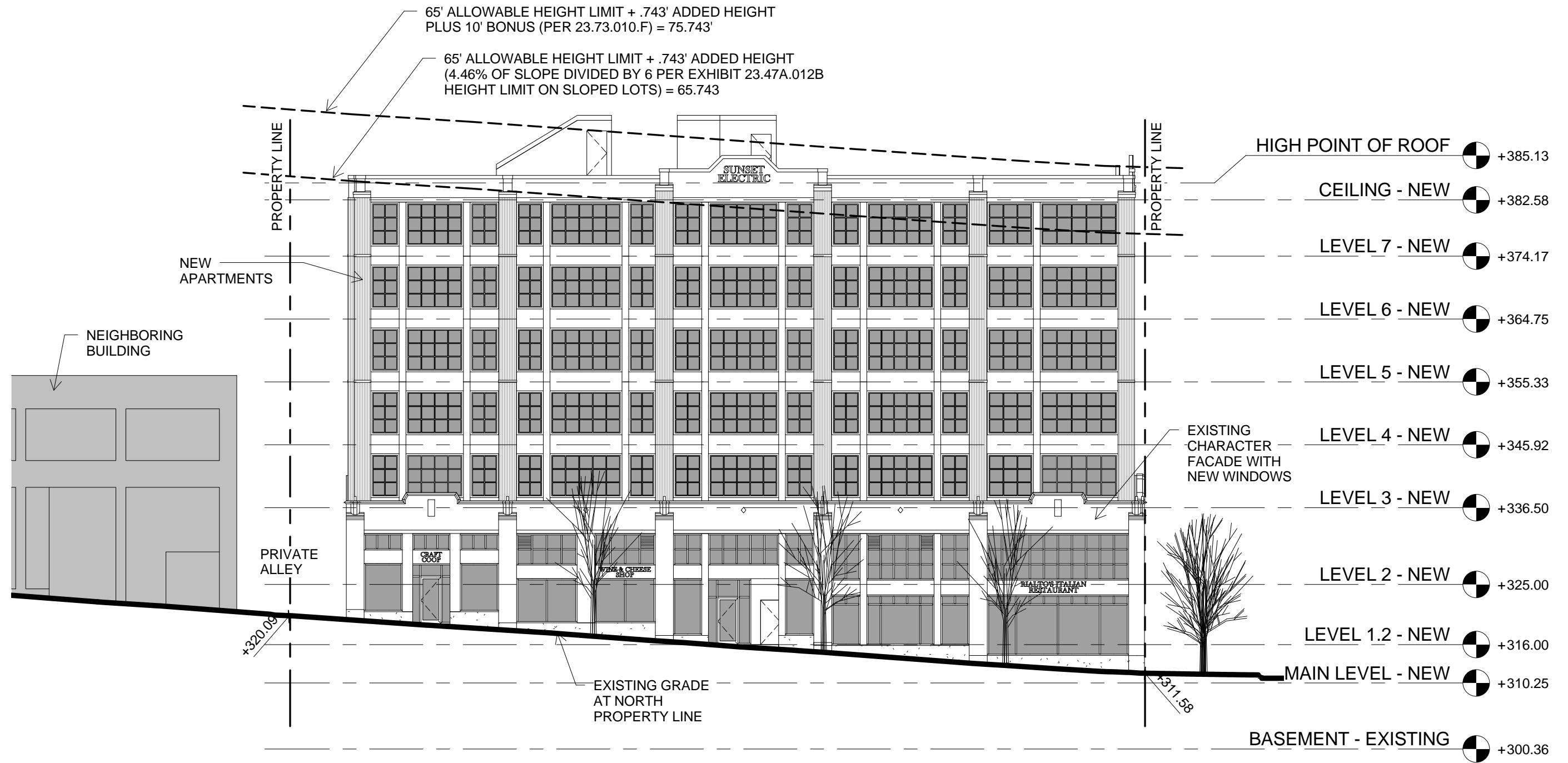
## WEST ELEVATION

SHEET TITLE  
**ELEVENTH & E. PINE (Sunset Electric)**  
PROJECT NAME

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# NORTH ELEVATION (E PINE STREET)

SCALE: 1/16" = 1'-0"



11-4-09 EDG-2  
8-19-09 EDG  
7-15-09

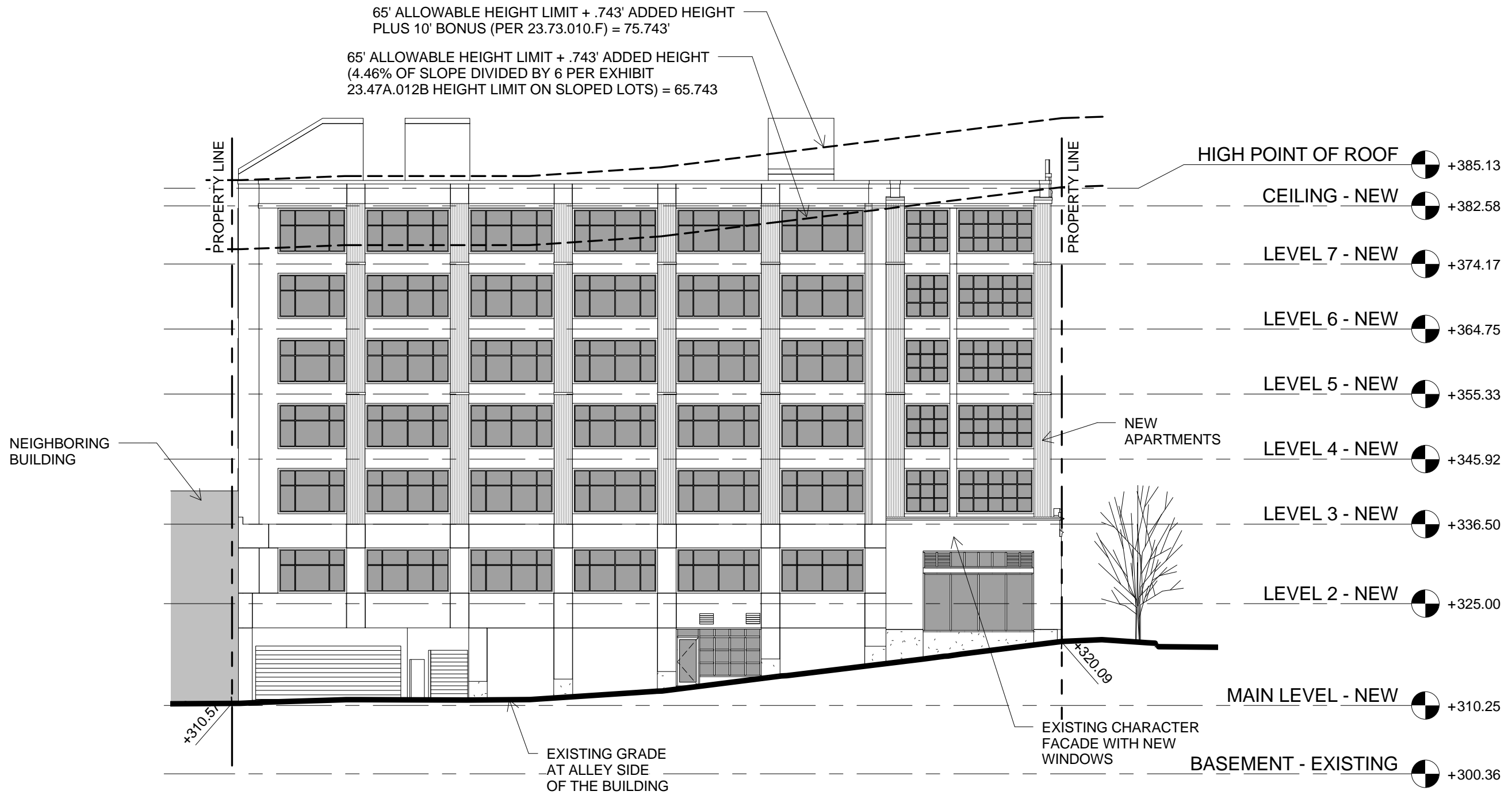
**NORTH ELEVATION**  
SHEET TITLE  
**ELEVENTH & E. PINE (Sunset Electric)**  
PROJECT NAME  
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# 6.1

SHEET NUMBER





# EAST ELEVATION (ALLEY)

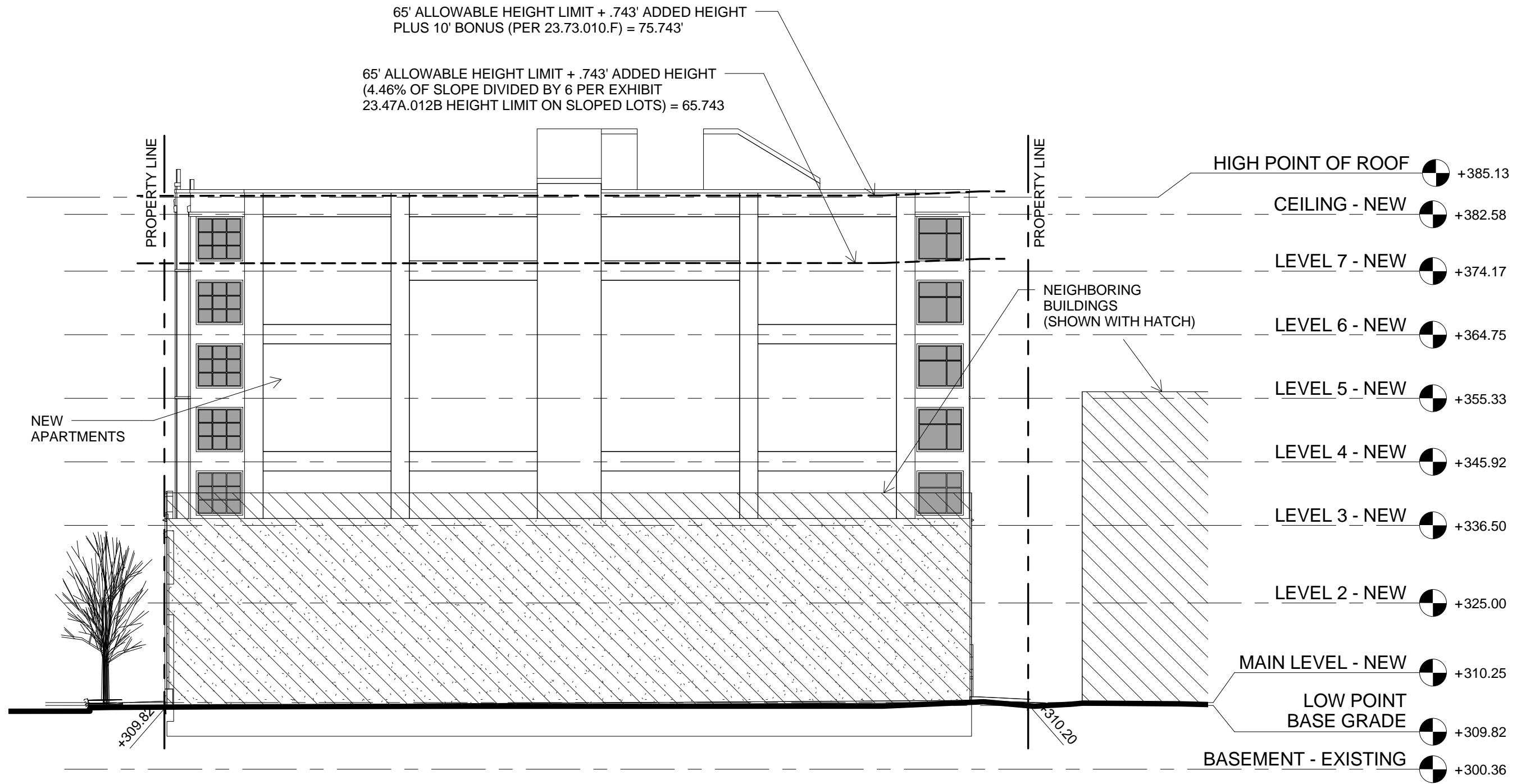
SCALE: 1/16" = 1'-0"



11-4-09 EDG-2  
8-19-09 EDG  
7-15-09

**EAST ELEVATION**  
SHEET TITLE  
**ELEVENTH & E. PINE (Sunset Electric)**  
PROJECT NAME  
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# SOUTH ELEVATION

SCALE: 1/16" = 1'-0"



11-4-09 EDG-2  
8-19-09 EDG  
7-15-09

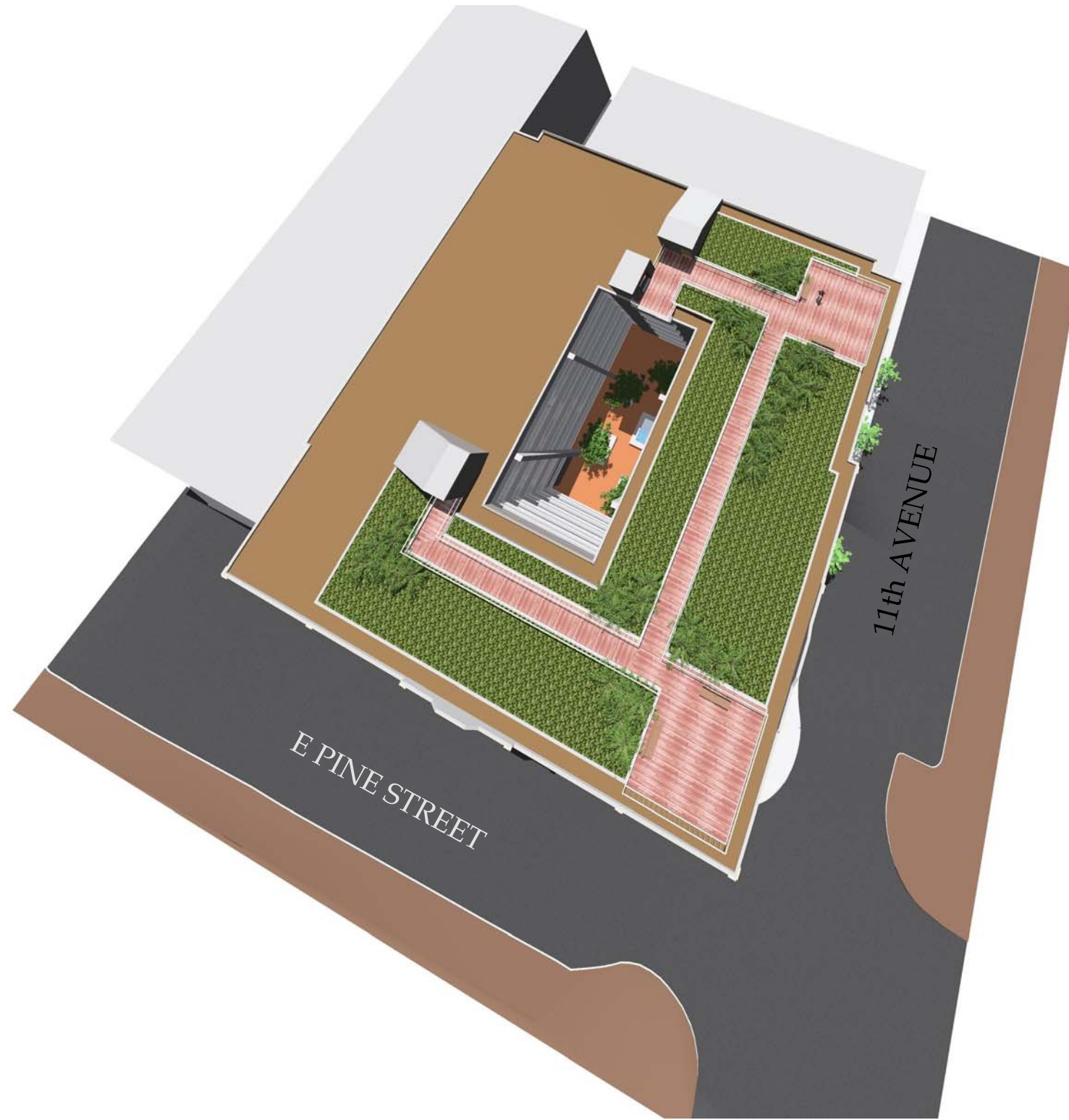
**SOUTH ELEVATION**  
SHEET TITLE  
**ELEVENTH & E. PINE (Sunset Electric)**  
PROJECT NAME  
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# 6.3

SHEET NUMBER

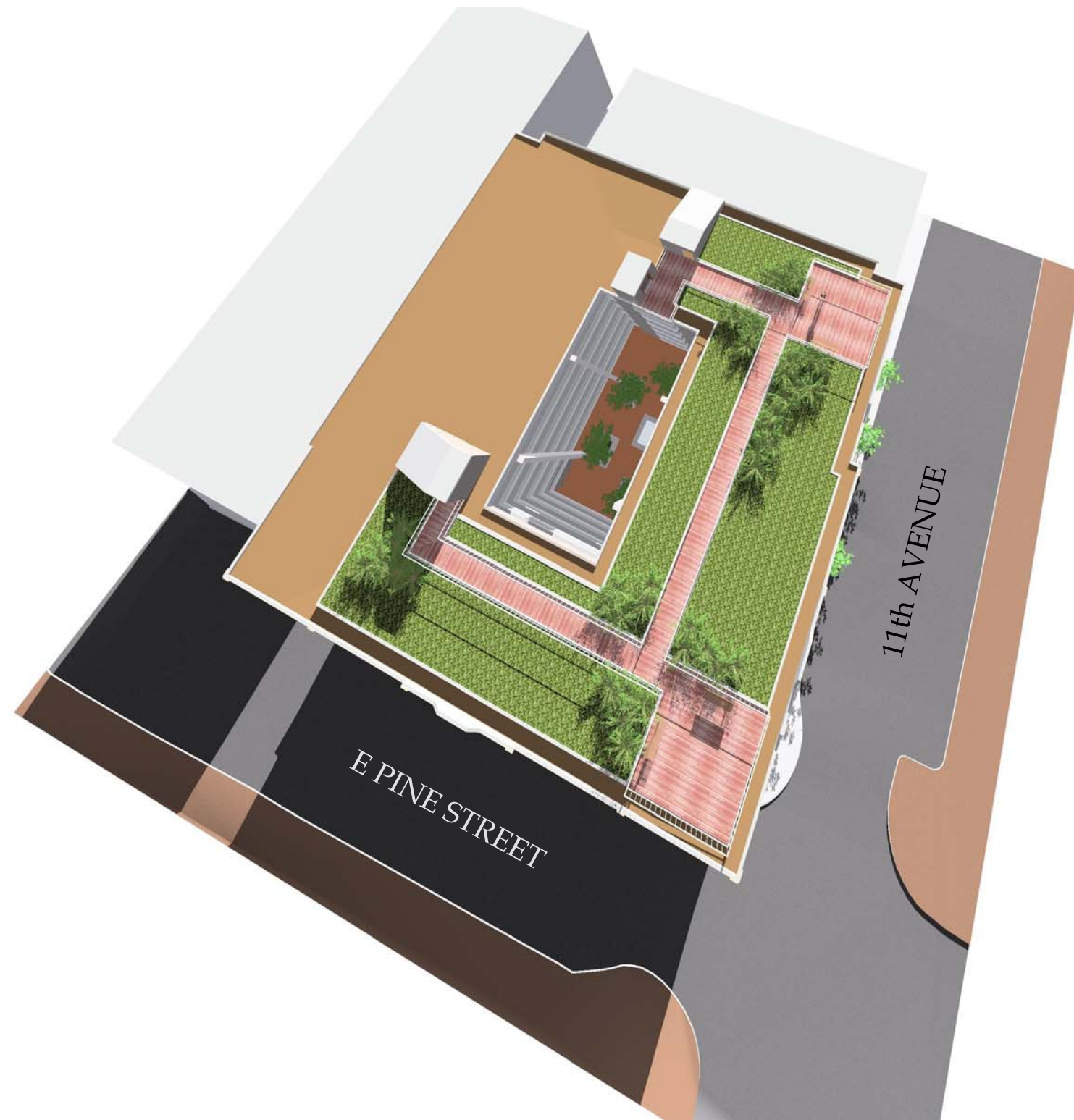




11-4-09 EDG-2

SHADOW STUDY JUNE 21 (NOON)  
SHEET TITLE  
ELEVENTH & E. PINE (Sunset Electric)  
PROJECT NAME  
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11-4-09 EDG-2

SHADOW STUDY DEC. 21 (NOON)  
SHEET TITLE  
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PROJECT NAME

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7.1

SHEET NUMBER



11th AVE and E PINE. LLC (SUNSET ELECTRIC) - EARLY DESIGN GUIDANCE

PRELIMINARY PROJECT DATA SUMMARY											
Level Number	Commercial Gross SF	Residential Gross SF	Residential NSF	Parking Gross SF	Common / Trash / Recycle	Building Gross SF	Parking Stalls	Studio Count	1 Bdrm Count	2 Bdrm Count	Unit Total
Basement				14400		14400	± 36				
1	9214				2975	13248					
	1060 MEZZ										
R-2		10859	7744			10859		1	11		12
R-3		12172	10405			12172		1	13	2	16
R-4		12123	10356			12123		1	13	2	16
R-5		12123	10356			12123		1	13	2	16
R-6		12123	10356			12123		1	13	2	16
R-7		12123	10356			12123		1	13	2	16
TOTAL	10274	71523	59573	14400	2975	99171	± 36	6	76	10	92

% of TOTAL: 6.5% 82.6% 10.8%

ACRES	UNITS	UNITS / ACRE
0.35	92	263

\*SITE AREA = 15,364 SF, Existing ground floor area 14,400 SF  
 \*All areas and statistics are preliminary subject to design  
 \*L/W unit at street level no longer part of application

**FLOOR AREA RATIO CALCS.**

PER 23.47A.013

Chart A Maximum FAR for 65 foot height limit:  
 4.75 for structures containing both residential and non-residential uses. (Amended in 23.73.009)  
 D.1 All gross floor area below existing or finished grade is exempt from FAR limits.

PER 23.73.009.C.1  
 Non-residential use located in character structure is exempt.  
 Site area = 15,364      16364 (4.75) = 72979  
 72979 > 71523



11-4-09 EDG-2  
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 7-15-09

**PROJECT DATA**

SHEET TITLE  
**ELEVENTH & E. PINE (Sunset Electric)**  
 PROJECT NAME

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	GOAL	STRATEGY
1	Maintain history and conserve material and labor intrinsic in existing construction	Save Two Storey Existing Façade
2	Use local materials	Make effort to utilize materials from local area including masonry, concrete and steel
3	Increase Indoor Environmental quality with Natural Ventilation, Daylighting, and Healthy finishes	Courtyard scheme allows thru ventilation and windows on both sides of most units to enhance natural ventilation and day-lighting. Specify adhesives, carpets, paints accordingly
4	Maximize Waste Stream for minimal environmental impact	Manage for maximizing Demolition Material & Construction Waste to recycling. Minimize materials sent to landfill. Provide tenants with good recycling program for waste that they generate
5	Encourage transportation alternatives to auto	Provide bicycle storage, inform tenants of carpooling and transit opportunities and schedules, provide for flex car parking
6	Minimize heat from surfaces	Provide green roof plantings (includes "P" patch and worm bin for tenants for growing food and flowers) Provide street trees Provide interior courtyard landscaping.
7	Minimize light pollution	Shield exterior lights to minimize off site intrusions
8	Manage water use to minimize	Use drip irrigation for landscaping Use low flush plumbing fixtures Use rain water to irrigate where possible
9	Technology Advantages	Do testing, reporting and management of Mechanical and Electrical systems for best outcome of performance and conservation. Use energy baseline and show impact of strategy on reduced use of energy
10	Incorporate recycled materials	Specify steel, concrete and wallboard to contain portion of recycled material
11	Include rapidly renewable materials	Include bamboo and cork finishes
12	Education	Inform users of sustainable features and operation, display resource consumption information



11-4-09 EDG-2  
 8-19-09 EDG  
 7-15-09

**SUSTAINABLE DESIGN**  
 SHEET TITLE  
**ELEVENTH & E. PINE (Sunset Electric)**  
 PROJECT NAME  
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