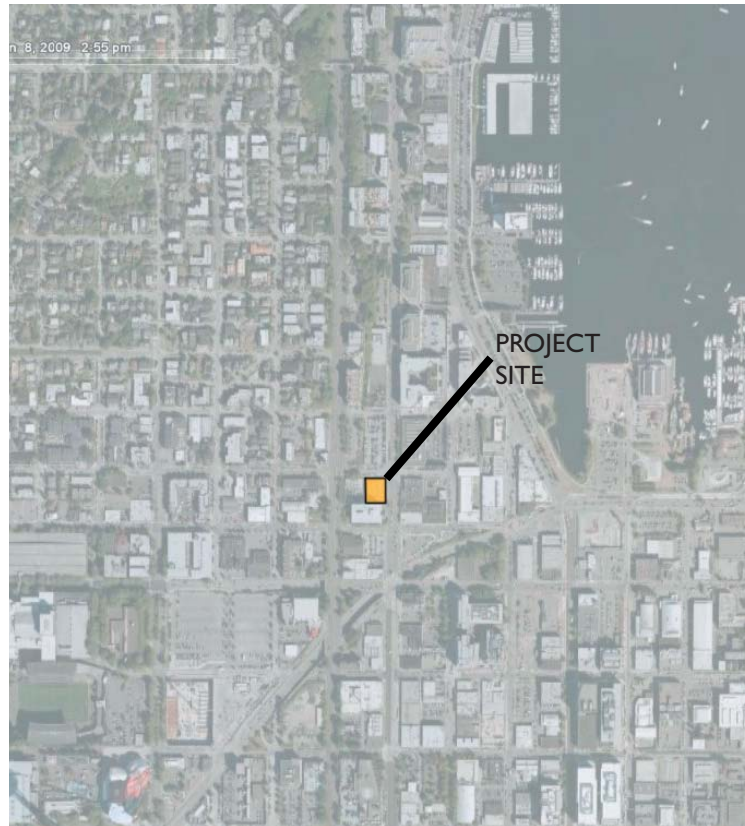


# The Europa

717 Dexter Avenue North

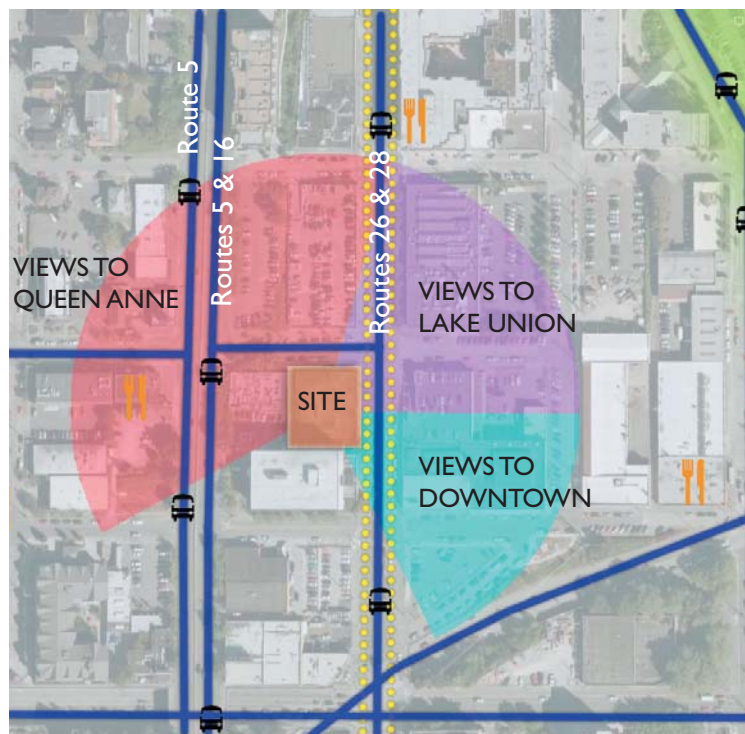




AERIAL PHOTOGRAPH



COMMERCIAL SINGLE FAMILY INSTITUTION MULTI-FAMILY  
ADJACENT USE DISTRIBUTION



SITE OPPORTUNITIES



SITE RESTRICTIONS

## GENERAL ZONING / BUILDING INFORMATION

Parcel Number: 224900-0255  
 Zoning: SM-65  
 Lot Size: 14,520 s.f.  
 Overlay: South Lake Union - Urban Center  
 South Lake Union - Design Guideline I  
 Magnolia / Queen Anne Neighborhood District (guidelines)  
 Archeological Buffer  
 Mapped ECA: None  
 Streets: Dexter - Class 2 street per 23.48.018  
 Codes: Seattle Land Use Code (current edition), 2006 Seattle Building Code (SBC)

## ZONING ANALYSIS (SEATTLE LAND USE CODE, current edition)




### SEATTLE MIXED ZONING (23.48)

- 23.48.004 Drinking establishments, restaurants, office, retail and general sales and services, live/work units, light manufacturing, and residential uses are all allowed outright
- 23.48.010 65' height limit, pitched roofs may extend above limit per 23.48.010D, rooftop elements such as solar collectors, solariums, etc may extend above limit per 23.48.010E
- 23.48.012 No upper-level setbacks required
- 23.48.014 Min. façade height of 25' along Dexter, min 15' height along Valley, max setback from Dexter Avenue with landscaping is 12' per 23.48.014D
- 23.48.016 No FAR restrictions in SM-65
- 23.48.018 Blank / transparent façade req'd = 60% transparency of façade width along Dexter Avenue. Valley street façade may contain a maximum of 70% blank facades
- 23.48.019 Minimum of 75% of all street level uses are required to be any of the following: a) general sales and services, b) eating and drinking establishments, c) entertainment uses, d) public libraries, and/or e) public parks.
- 23.48.020 Residential amenity area req'd = 5% of gross resid. floor area, at or above ground level, max 50% may be enclosed (solariums, greenhouse, etc), min 15' sq, 225sf, exterior spaces must take solar advantage
- 23.48.024 Screening req'd at street-level (or above) parking along Dexter (min 3' high, see code section), street trees required
- 23.48.026 Subject to noise standards of 23.47A.018
- 23.48.028 Subject to odor standards of 23.47A.020
- 23.48.030 Min 200 sf recyclables / solid waste storage
- 23.48.032 Parking stall sizes, etc required per 23.54.015
- 23.48.034 Parking curb cuts subject to DPD Director's decision re: placement on Dexter

### PARKING (23.54)

- 23.54.015B2 No required parking for Non-Residential uses
- Chart B (K) No required parking for Residential uses
- Chart E (A,B) Bicycle parking for Non-Residential uses required (varies)
- Chart E (D) Bicycle parking required: 1 stall / 4 units for Residential uses
- 23.54.030G Sight triangle (10'x10') required at two way driveway (**DEPARTURE**)

# DEPARTURE REQUEST MATRIX

DEPARTURE NUMBER		LAND USE CODE SECTION	ITEM	CODE REQUIREMENT	DEPARTURE REQUESTED	DESIGN RATIONALE
1		SMC 23.54.030 G	SIGHT TRIANGLE	A 10' x 10' triangular setback, located between the sidewalk and the right side of the exit lane.	No triangular setback / sight triangle proposed at driveway exit along Dexter Avenue.	Location of driveway access at southeast corner of project pushes project against existing building to south, making sight triangle impossible to provide. Proposed design will consolidate retail and maintain existing site conditions per DRB request.
2		SMC 23.53.035 A4e	BAY WINDOW SEPARATION	A minimum of 8'-0" separation is required between bay windows at a point 3' from the line establishing open area	6'-9 1/2" is proposed in order to integrate proposed bay windows into façade modulation on a per-unit basis.	Bay windows have been added to the northern façade along Valley Street in order to both break up the uphill façade as well as increase living area. The width of the unit and modulation design dictates the reduces spacing. The bay windows are allowed to be 9'-0" max width but are proposed at 7'-2 1/2" for the same modulation reasons stated above.
3		SMC 23.53.035 A4c	BAY WINDOW WIDTH	A maximum of 9'-0" width at a point 3' from the line establishing open area is allowed.	15'-5" is proposed in order to integrate proposed bay window into façade modulation on a per-unit basis.	Bay window width, combined with flanking decks (not subject to SMC size regulation), create primary easternmost façade modulation as shown in concept sketches.



**OPTION 3**

**DISTINGUISHING FEATURES**

Strong podium with retail  
Upper level "L" massing

**PROS**

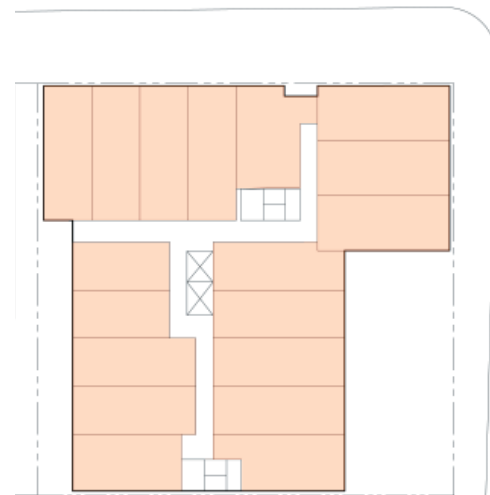
- Strong, solid massing at corner
- No units face south to protect privacy
- Retail fronts directly on Dexter and reinforces existing neighborhood context
- Floor 3 deck above retail provides mid-building recreation space amenity / landscaping opportunity

**CONS**

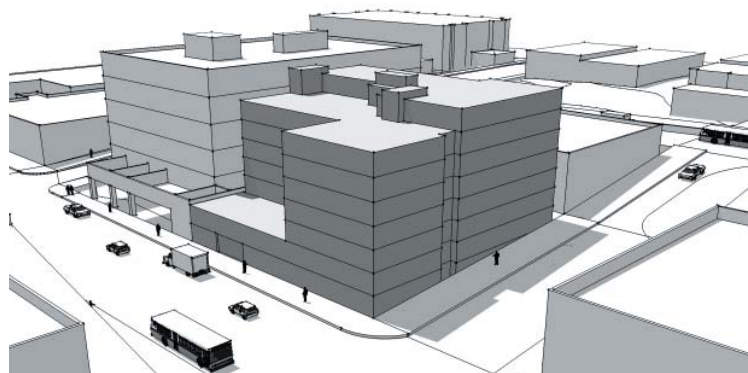
- Long retail façade provides no pedestrian relief at street-level
- Driveway is sizeable part of south retail façade along Dexter
- Residential entry is relegated to Valley and not prominent along Dexter
- Floor 2 units at west façade will look at ground level at adjacent west office building and retaining wall
- Bulk and scale and blank walls are maximized, and view preservation minimized due to massing along south property line
- Residential entry at Valley works best only if reciprocated in future development of north property

**DESIGN REVIEW BOARD COMMENTS**

Retail base strong, needs add'l enhancement at pedestrian level  
Upper level "L" massing is architecturally strongest of all options  
Massing respectful of south neighbor at corner but large blank wall is concern to be addressed



TYPICAL UPPER LEVEL PLAN



MASSING MODEL LOOKING SOUTHWEST

**PREFERRED OPTION**

**DISTINGUISHING FEATURES**

Strong podium with retail  
Stepped massing along Dexter (east) facade  
Recessed modulation at south facade

**PROS**

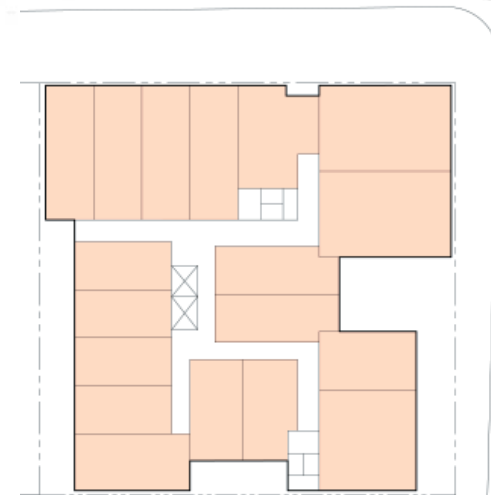
- Strong, solid massing at corner
- Stepped tower massing transitions to adjacent office building
- Retail podium references datum of adjacent office building
- Retail along Dexter reinforces existing neighborhood context
- Width of retail allows for variety of sizes & spatial configuration
- Floor 3 open space above retail provides mid-building recreation space amenity / landscaping opportunity

**CONS**

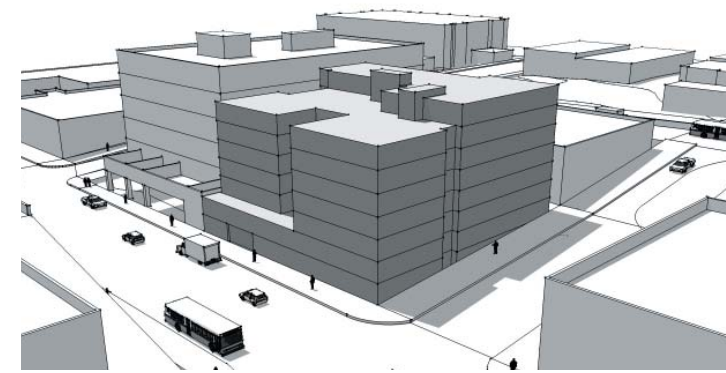
- Long retail façade provides no pedestrian relief at street-level
- Residential entry is relegated to Valley, not prominent along Dexter
- Floor 2 units at west façade will look at ground level at adjacent west office building and retaining wall
- Bulk blank walls are strong, and view preservation minimized due to massing along south property line
- Residential entry at Valley works best only if reciprocated in future development of north property
- Residential entry potentially less secure due to side street location (less eyes on street)

**DESIGN REVIEW BOARD COMMENTS**

Retail base strong, needs add'l enhancement at pedestrian level  
Upper level massing is strong but bulkier than #3



TYPICAL UPPER LEVEL PLAN



MASSING MODEL LOOKING SOUTHWEST



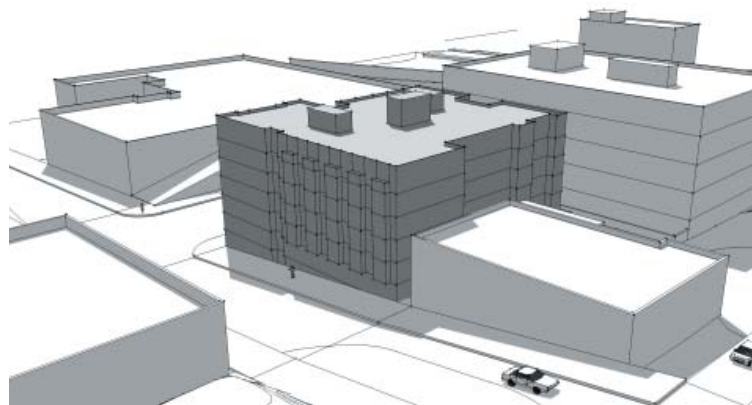
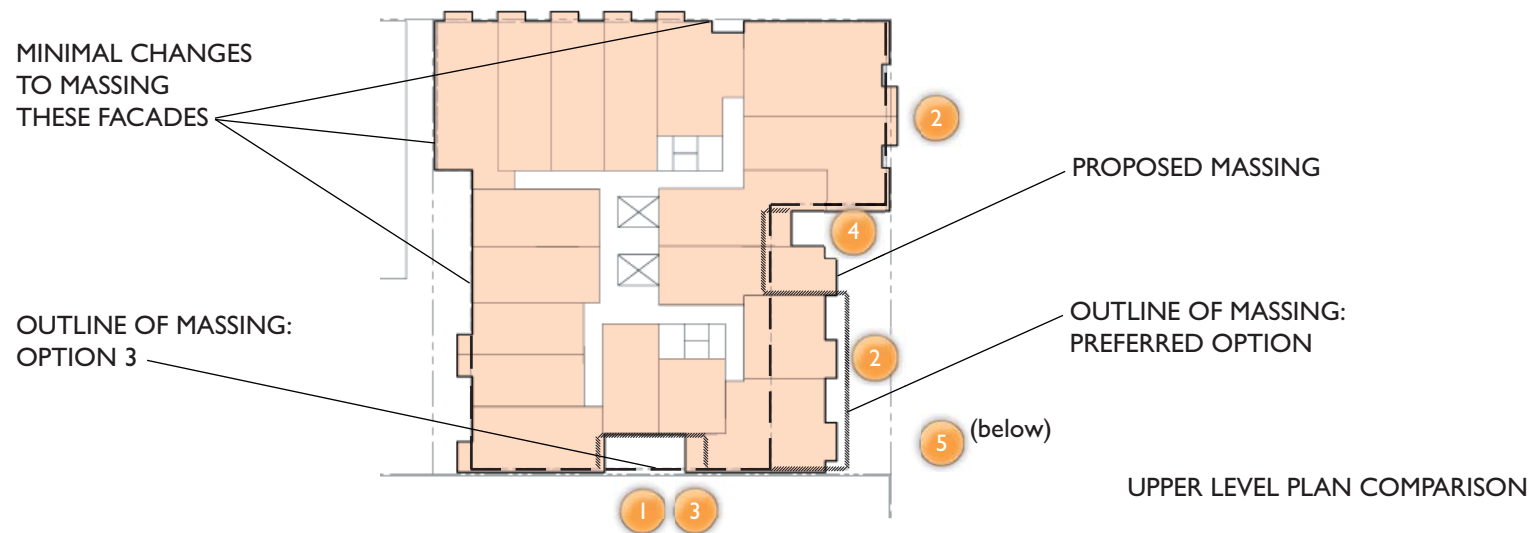
DESIGN EVOLUTION

The DRB noted aspects of both Options 3 and Preferred that were desirable in the final design proposal. We took away from the meeting a similar understanding that while the Preferred Option had worthwhile upperstory massing, Option 3 had the simplest, most architecturally preferred massing. Further, the retail level along Dexter should if possible consolidate all retail into one strip and relocate the driveway entrance to the southeast corner of the project. We understood that the DRB identified the relocation of the driveway and retail consolidation as a high priority, while maintaining a clean architectural massing as shown in Option 3 was a preference.

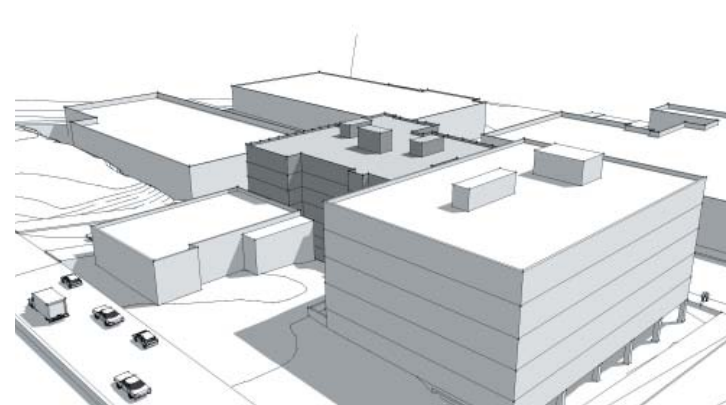
The proposed project represents a combination of both Options 3 and Preferred in response to the comments and guidance given at the August 5th, 2009 DRB meeting. The relocation of the driveway to the south, while successful in consolidating the retail, incurred substantial internal organization challenges due to the requirements for discharge of an interior exit stairway. Upon final location of the stair within the typical residential floor plate, the floor plan schematic substantially changed. A hybrid version which combined aspects of both Options 3 and Preferred was therefore required to both achieve the development objectives as well as mitigating impacts to the existing office building to the south. No substantial changes were required for facades on the west or north as a result of these organizational challenges.

SUMMARY OF CHANGES 1

1. South-facing courtyard (Preferred Option) was retained to maintain unit count. Additional fenestration and deck railings were utilized to add visual interest and maximize daylighting.
2. Bay window and deck massing on east-facing facades (Option 3) were retained to emphasize residential unit separation and provide massing modulation.
3. Building massing for the southern half of the building on the east façade was increased to the east in excess of Option 3, but not as extensively as shown in the Preferred Option. Bay windows (described above) were utilized in lieu of additional substantial massing as shown in the Preferred Option, thereby mitigating impact to the office building to the south.
4. Building mass separation, while reduced in MUP proposal, was maintained (Preferred Option) at east-facing façade.
5. Ground-level retail modulation was increased from both options 3 and Preferred by utilizing live-work units in place of approx. 40% of the newly consolidated retail, increasing pedestrian scale elements and providing additional landscaping along the sidewalk.



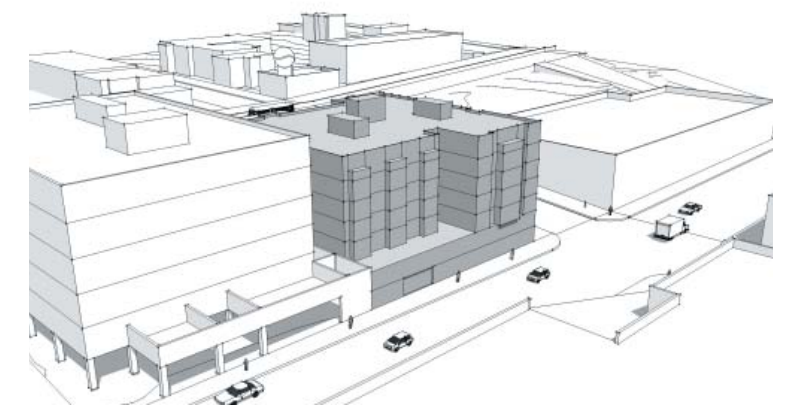
LOOKING SOUTHEAST



LOOKING NORTHEAST



LOOKING SOUTHWEST



LOOKING NORTHWEST

## DESIGN GUIDANCE RESPONSES

**R1: Commercial / Retail on Dexter, Residential Access on Valley** - The retail storefront character along Dexter Avenue has been consolidated to unify the retail presence as much as possible as previously proposed in Options 3 and Preferred. The residential entry remains on the north façade as previously proposed.

**R2: Landscape Bulk Reduction at Residential Entry** - Landscaping along Valley Street has been reduced in height / bulk where it would visually obscure the residential entry or otherwise discourage pedestrian use.

**R3: Consolidation of Retail on Dexter:** The retail storefronts along Dexter were modulated by anchoring the northeast corner retail (aligned with the tower massing above) and the newly relocated parking garage entry to the southeast. This allowed the middle portion of the easterly façade to step back from the sidewalk to reduce the apparent bulk / massing to pedestrians while still allowing retail uses for the length of the façade. The middle portion was further modified to create two live-work units, both with primary entries, which face the street and provide additional recessed landscaping and pedestrian scale elements such as residential entry awnings, articulated entry paving, and landscaping islands.

**R4: Relocation of Driveway / Garage Access:** The driveway has been relocated to the southern-most location at the ground level. This allowed the driveway to remain essentially in the same location as the existing curbcut as well as allowing the retail portions along Dexter to become consolidated into one mass, but this relocation of both driveway and retail required a reorganization of interior components. This reorganization had significant impacts upon the upper building massing as described later in this response document.

**R5: Massing and Setbacks at Western Property Line** - The project's massing was adjusted slightly eastward from the location originally proposed in Option 3 in response to organizational changes on the interior of the building. As a result, bay windows were utilized to help reduce the apparent impact on the office building to the south by withdrawing the southeastern edge of the building. The facades facing the western neighbor building have been reduced in size where possible at the western property line, while the residential units facing west have been outfitted with window railings instead of deck projections in order to maximize building separation along the southwestern-most portions of the project's boundary. Additionally, pulling the building away from the property line in this area increases daylighting as much as possible, despite the immediate and imposing solar impedance of the southern office building. Since no known plans for development of the western property exist, it remains speculation as to how this project can best respond. We therefore have anticipated that any proposed project for this site would seek to place massing towards the north and west to both maximize solar potential as well as withdraw from adjacent structure to maintain light and air. Based upon this assumption, our proposal will positively reinforce these gestures and allow both buildings to better coexist in the future.

**R6: Building Articulation along Dexter Avenue** - Building articulation along Dexter was maintained as shown in the design concepts presented during EDG. Additionally, accent colors in recessed portions of the façade on all elevations will help increase apparent massing distinctions regardless of setback / façade stepping dimensions.

**R7: Exterior Colors and Materials** - Material changes were kept to a minimum by keeping material selection limited to two primary materials, metal siding and painted cement board panel. The cornice line was added and the bay windows shortened to reinforce the "top" of the building in lieu of the upper-story material change depicted in Option 3. This approach better integrated with the simplified material selections as well. Color changes were limited to areas where massing separation / articulation was best served with a darker color than adjacent siding.

**R8: Residential Entry & Pedestrian Environment** - The residential entry as proposed along Valley Street will contain a combination of pedestrian-scale elements and visual cues such as the overhead awnings and the cascading fountain to reinforce its programmatic use as well as pedestrian safety and visual interest. The landscaping has been carefully situated to reduce scale where necessary to maximize visibility of the residential entry from Dexter Avenue.

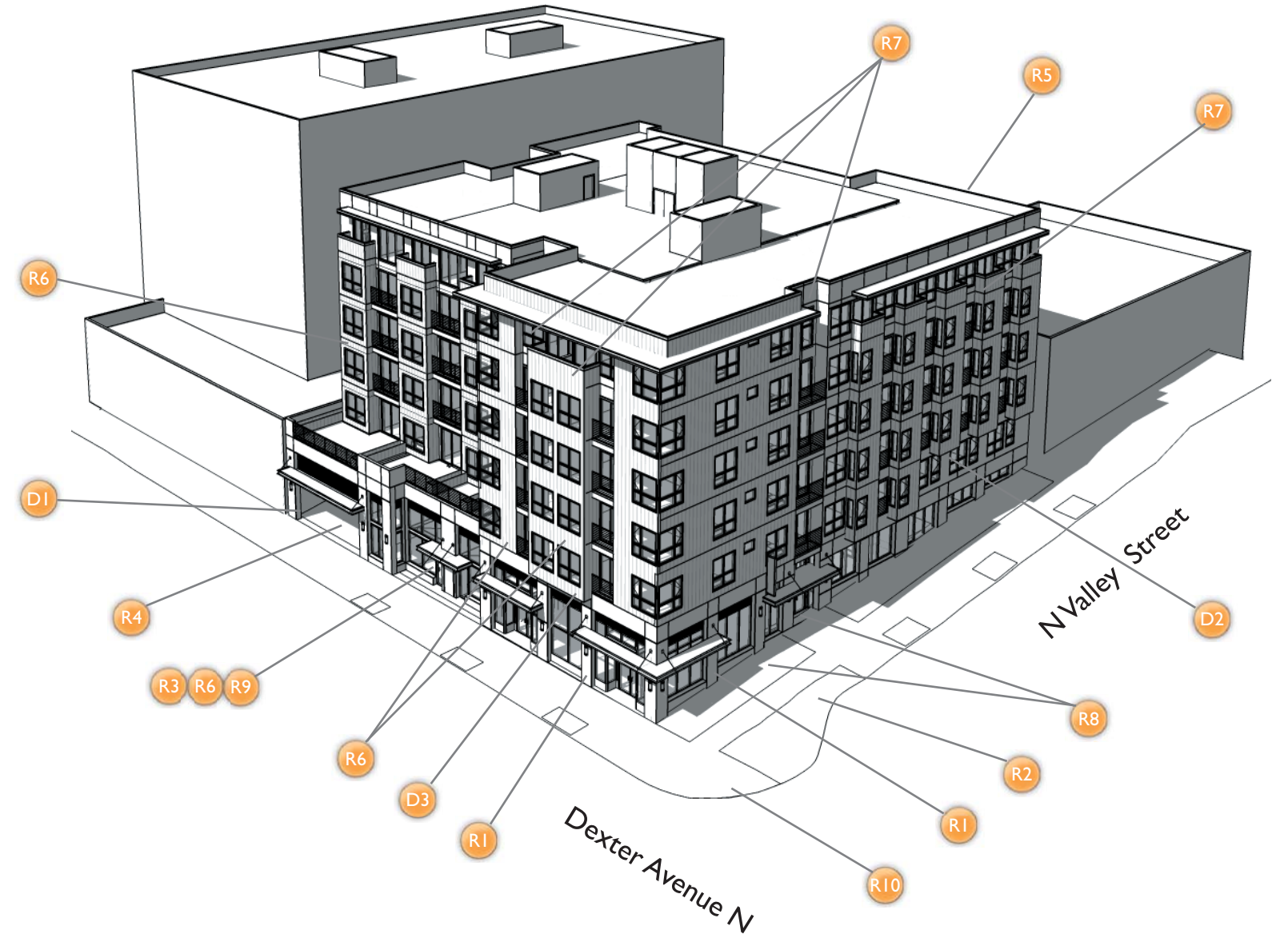
**R9: Articulation of Pedestrian Environment along Dexter** - The retail storefront along Dexter has been modulated in massing and pedestrian-scale elements such as the awnings and light fixtures have been located to enhance the pedestrian interest and experience along this façade at street level. Additionally, the live-work uses will provide varying scales of business opportunities for residents, customers, and proprietors alike.

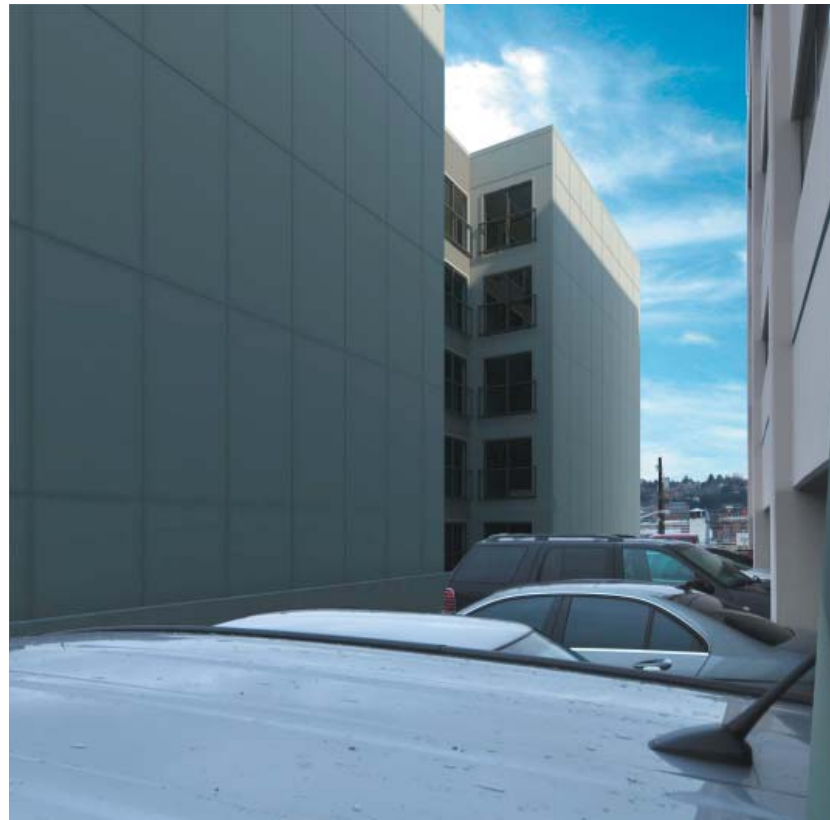
**R10: Curb Bulb** - The proposed curb bulb has been provided at the intersection of Dexter and Valley. See civil drawings for ROW design and landscape drawings for proposed pedestrian and landscaping improvements.

## RESPONSES TO DESIGN GUIDANCE

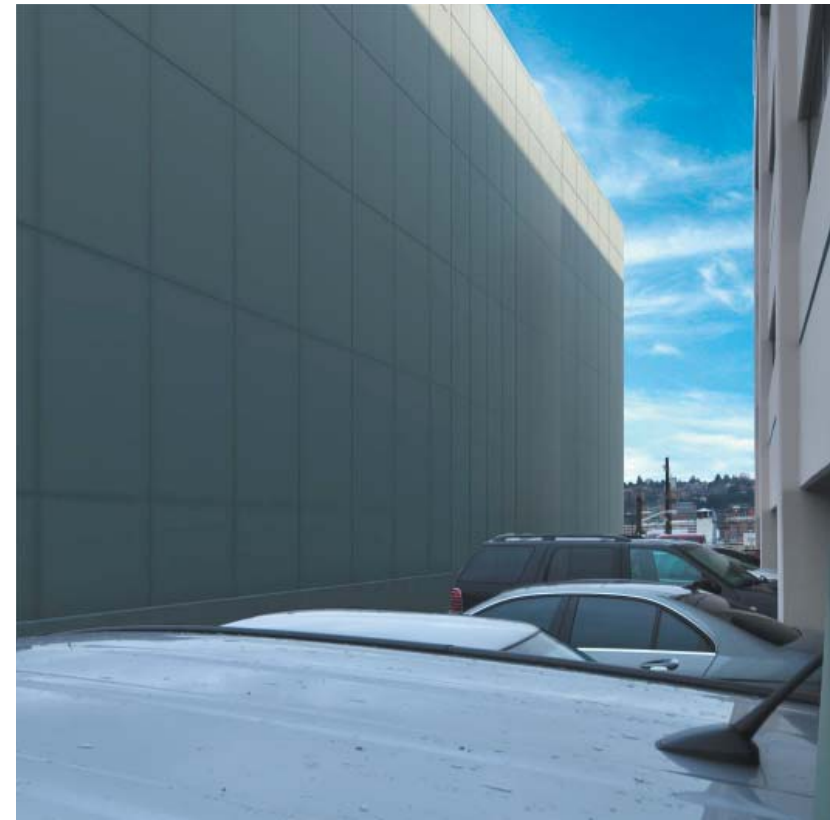
RESPONSE TO DESIGN GUIDANCE **R1**

DEPARTURE REQUEST (SEE MATRIX) **D1**





EUROPA PROJECT FROM 701 DEXTER - **PROPOSED**



EUROPA PROJECT FROM 701 DEXTER - **OPTION 3 (REFERENCE ONLY)**

### West Property Line (Fulcrum Technologies):

No development of the western property neighbor is anticipated at this time. While it is speculative to predict what project type or size would be planned, we expect that a project similar to those along Highway 99 would be built. Our studies assumed the massing of a 65' tall, mixed use project which responded to the hard edge of Highway 99, and the creation of an interior courtyard for light, air, and building separation was considered a primary element. Based on these assumptions, a comparison was made between impacts from all three buildings based on the existing, proposed, and anticipated conditions described above. The results showed that the western property, impacted mainly to views and light from the west under the current proposal, would be more likely to place massing along the western (Hwy 99) and northern (Valley) streets in order to create the desired interior courtyard to the southeast. This massing reduces building separation where all three properties are joined, and coincidentally mimics the recessed western facade of the Europa project.

### South Property Line (701 Dexter Avenue North):

Studies of the southern property line comparing Option 3 and Preferred from the EDG proposal resulted in a massing hybrid of the two options. The view studies at left of the impact of the proposed project included the following observations:

1. Existing building separation between 701 and Europa can be maintained with the proposed massing due to 701's tower placement on site.
2. Europa's project feasibility depends upon creating a "zero-lot-line" condition along southern boundary
3. View studies (shown here) indicate that breaking up the southern wall(s) of Europa provides a more pleasing visual environment for the occupants of 701 Dexter.
4. The extents of Europa's southern facade are extended only slightly eastward (as proposed) past the boundary of the blank wall created in Option 3 (shown here).
5. Only party which substantially benefits from previous Option 3 vs. current proposal would be the occupants of the NE corner offices of 701 Dexter. (approximately 10-15% of northern facade per floor).



AERIAL SITE MASSING STUDY - **EUROPA PROPOSAL w/ EXISTING WEST PROPERTY CONDITIONS**



AERIAL SITE MASSING STUDY - **INCLUDES MASSING FOR WEST PROPERTY BUILDOUT**











# EXTERIOR MATERIALS



## 1 ACCENT TRIM, FLASHING, & AWNINGS

Sheet metal flashing at cornices and openings. Color to match window and door units exterior color.

## 2 METAL SIDING

Metal Siding by AEP-Span, color "Cool Zactique II", profile "Prestige R-1". A modern siding profile chosen for a distinguished, refined appearance.

## 3 CEMENT PANEL SIDING - ACCENT

Cement board panel siding with prefabricated flashing reveals and a closed-joint rainscreen system. Accent paint color is "Dovetail", SW-7018 by Sherwin Williams.

## 4 RESIDENTIAL WINDOWS

Fiberglass windows, color to be "dark bronze".

## 5 ARCHITECTURAL CONCRETE

Exposed concrete to be a patched and ground finish with clear surface sealer (no paint).

## 6 STOREFRONT WINDOWS & DOORS

Aluminum storefront system, color to be "dark bronze" to match the residential windows and accent trim.

## 7 STOREFRONT/MECHANICAL LOUVERS

Aluminum louvers, prefinished to match storefront color.

## 8 CEMENT PANEL SIDING - BODY

Cement board panel siding with prefabricated flashing reveals and a closed-joint rainscreen system. Body paint color is "Mindful Gray", SW-7016 by Sherwin Williams.



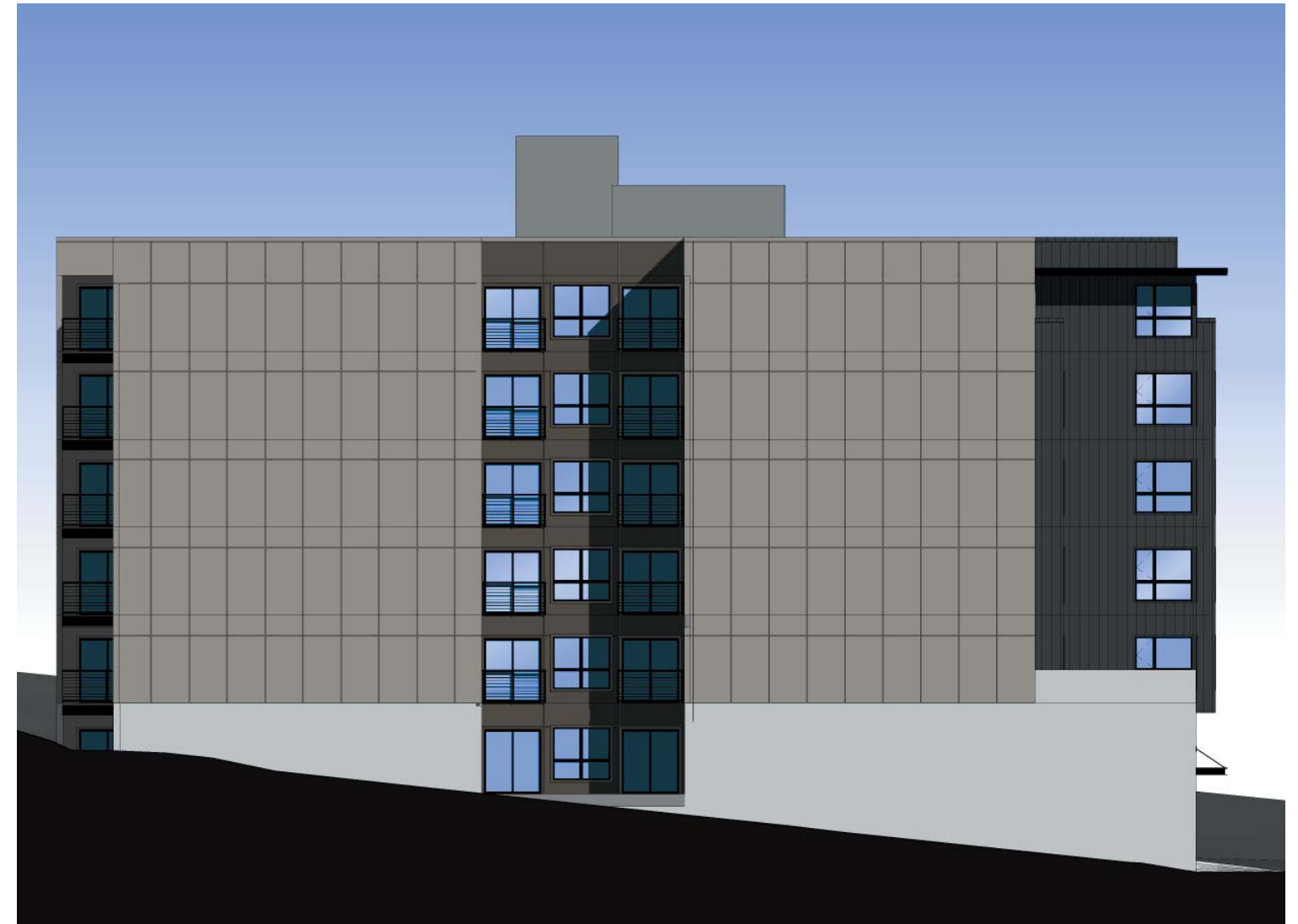
EAST ELEVATION (DEXTER AVENUE NORTH)



NORTH ELEVATION (NORTH VALLEY STREET)



WEST ELEVATION



SOUTH ELEVATION

# COMPOSITE GROUND FLOOR PLAN



- COMMON / LOBBY
- RESIDENTIAL
- AMENITY
- LIVE-WORK
- RETAIL
- PARKING

# TYPICAL RESIDENTIAL FLOOR









- COMMON / LOBBY
- RESIDENTIAL
- AMENITY





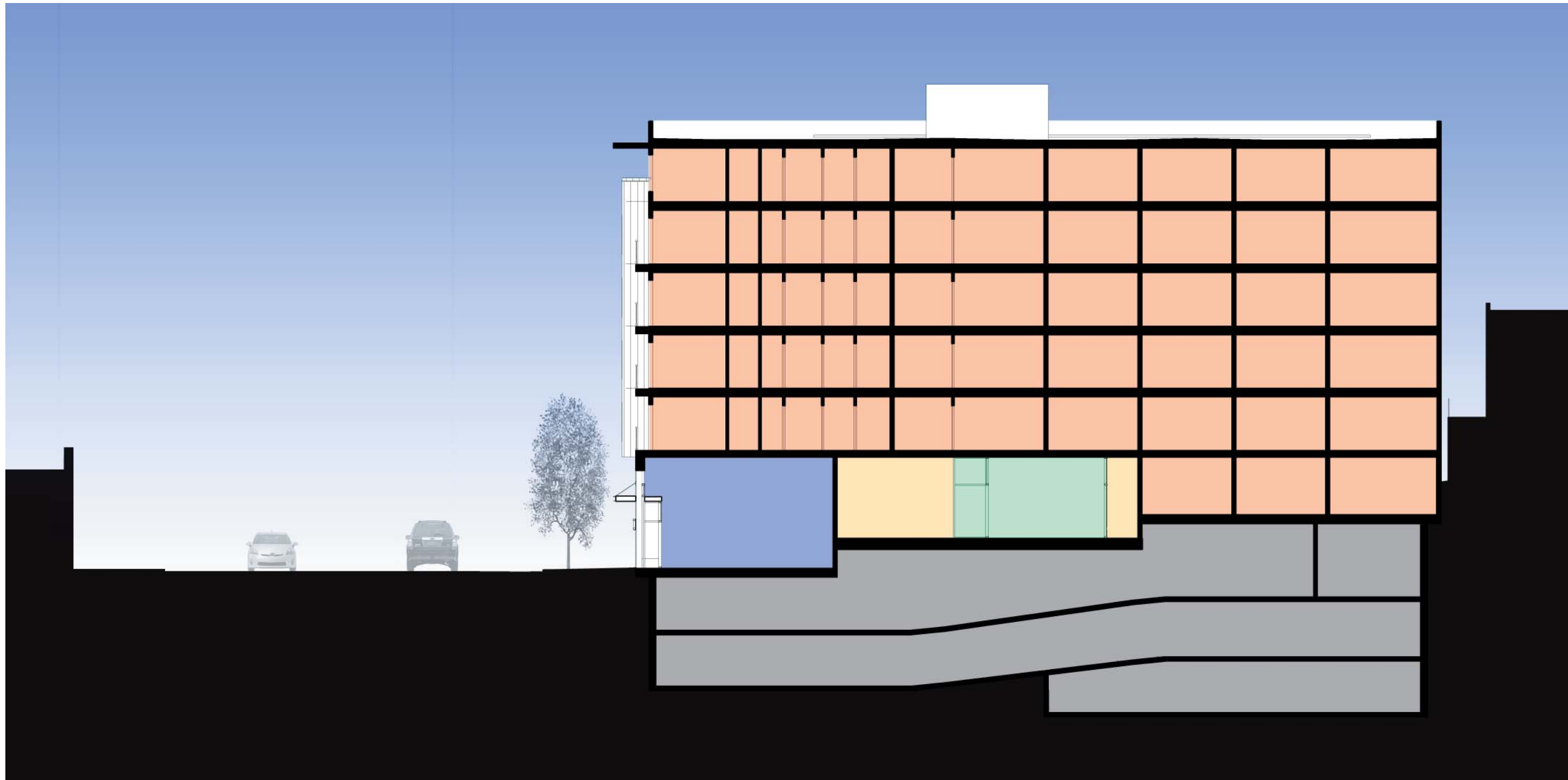
# BUILDING SECTION A

- COMMON / LOBBY 
- RESIDENTIAL 
- AMENITY 
- LIVE-WORK 
- RETAIL 
- PARKING 

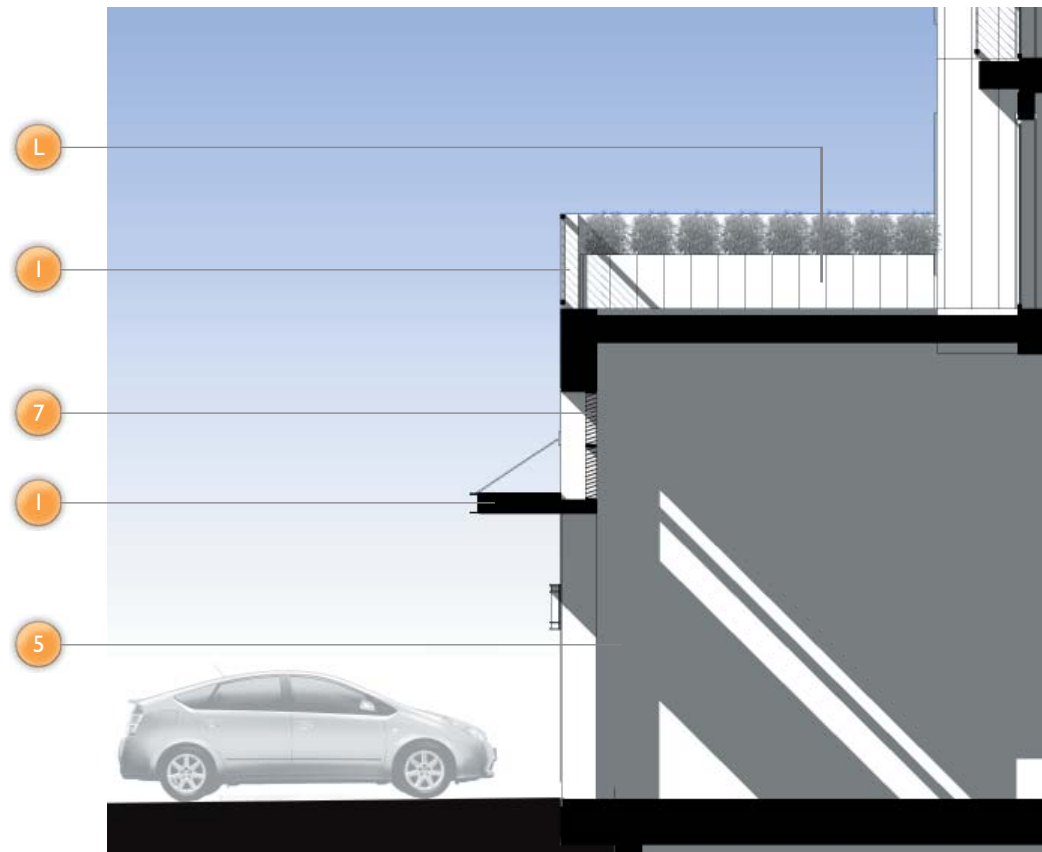


# BUILDING SECTION B

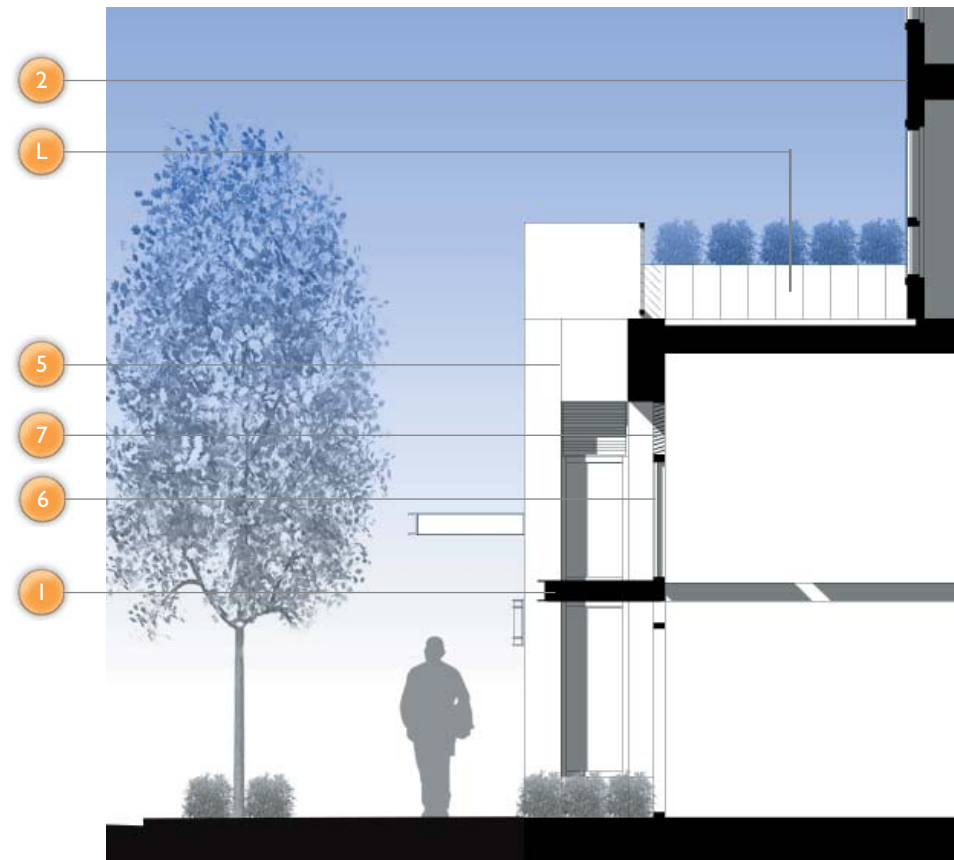
- COMMON / LOBBY
- RESIDENTIAL
- AMENITY
- LIVE-WORK
- RETAIL
- PARKING



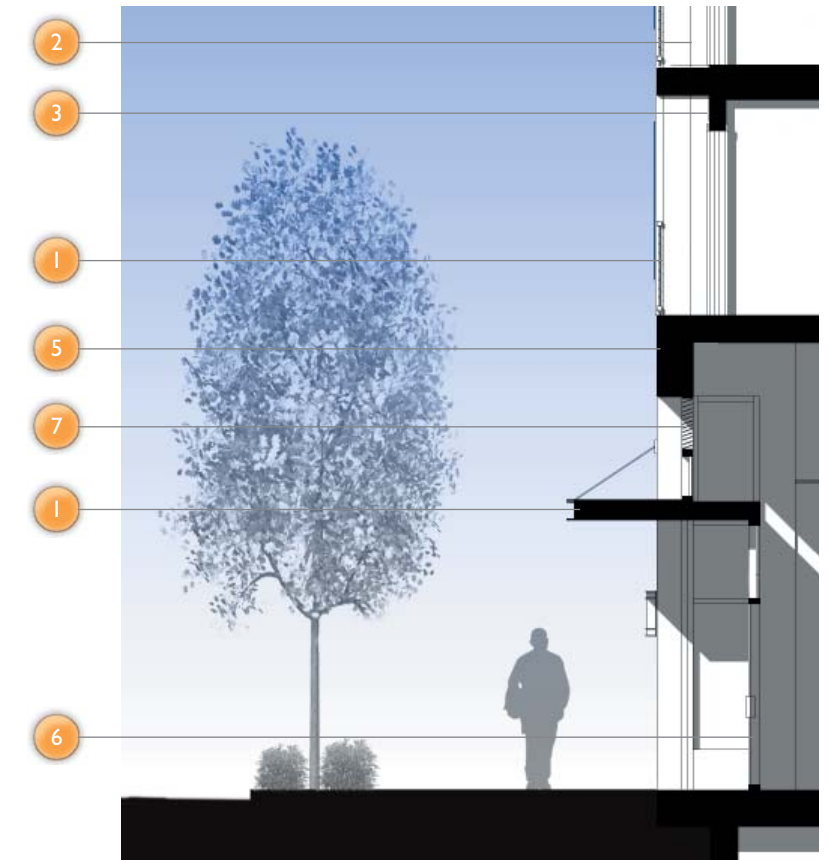
# STREETSCAPE AT DEXTER



SECTION - PARKING ENTRY



SECTION - LIVE / WORK ENTRY



SECTION - RETAIL ENTRY

- 1 ACCENT TRIM, FLASHING, AND AWNINGS
- 2 METAL SIDING
- 3 CEMENT PANEL SIDING - ACCENT
- 4 RESIDENTIAL WINDOWS
- 5 ARCHITECTURAL CONCRETE
- 6 STOREFRONT WINDOWS & DOORS
- 7 STOREFRONT/MECHANICAL LOUVERS
- 8 CEMENT PANEL SIDING - BODY
- L LANDSCAPING / PATIO PER PLANS

← PARKING      ← LIVE-WORK      ← RETAIL      RESIDENTIAL ENTRY →



STREETSCAPE / RESIDENTIAL ENTRY AT VALLEY



RESIDENTIAL ENTRY FROM STREET CORNER

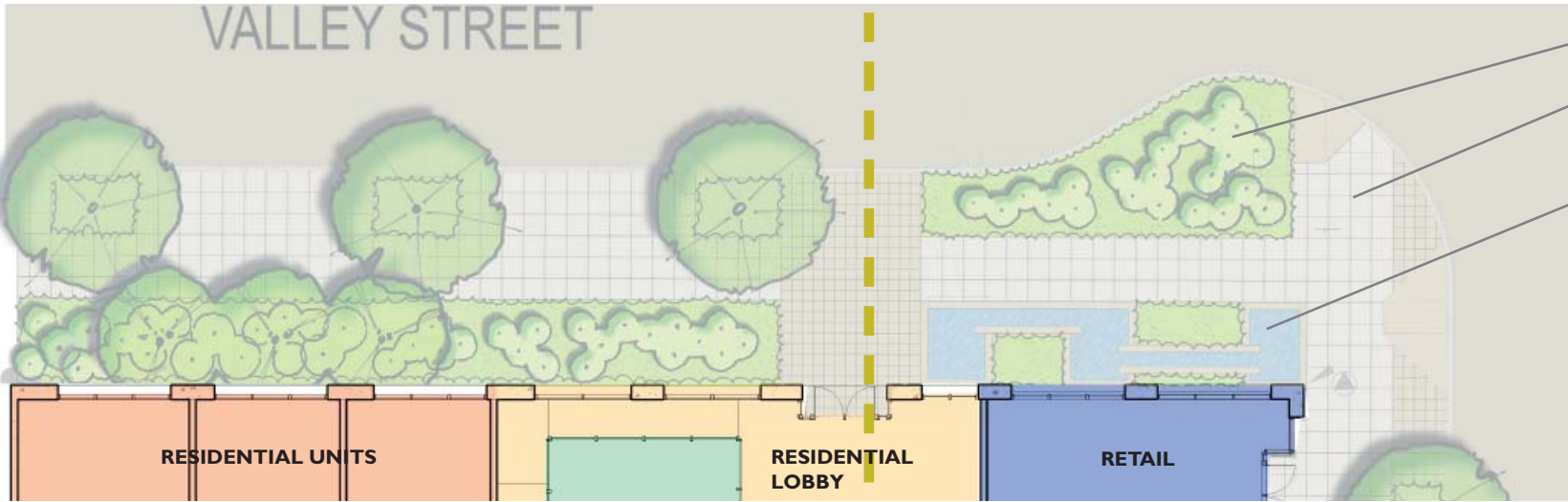


BLADE SIGN



RESIDENTIAL ENTRY & AWNING

RESIDENTIAL ENTRY



- NEW CURB BULB
- ACCENT PAVING AT CURB AND RESIDENTIAL ENTRY
- FOUNTAIN



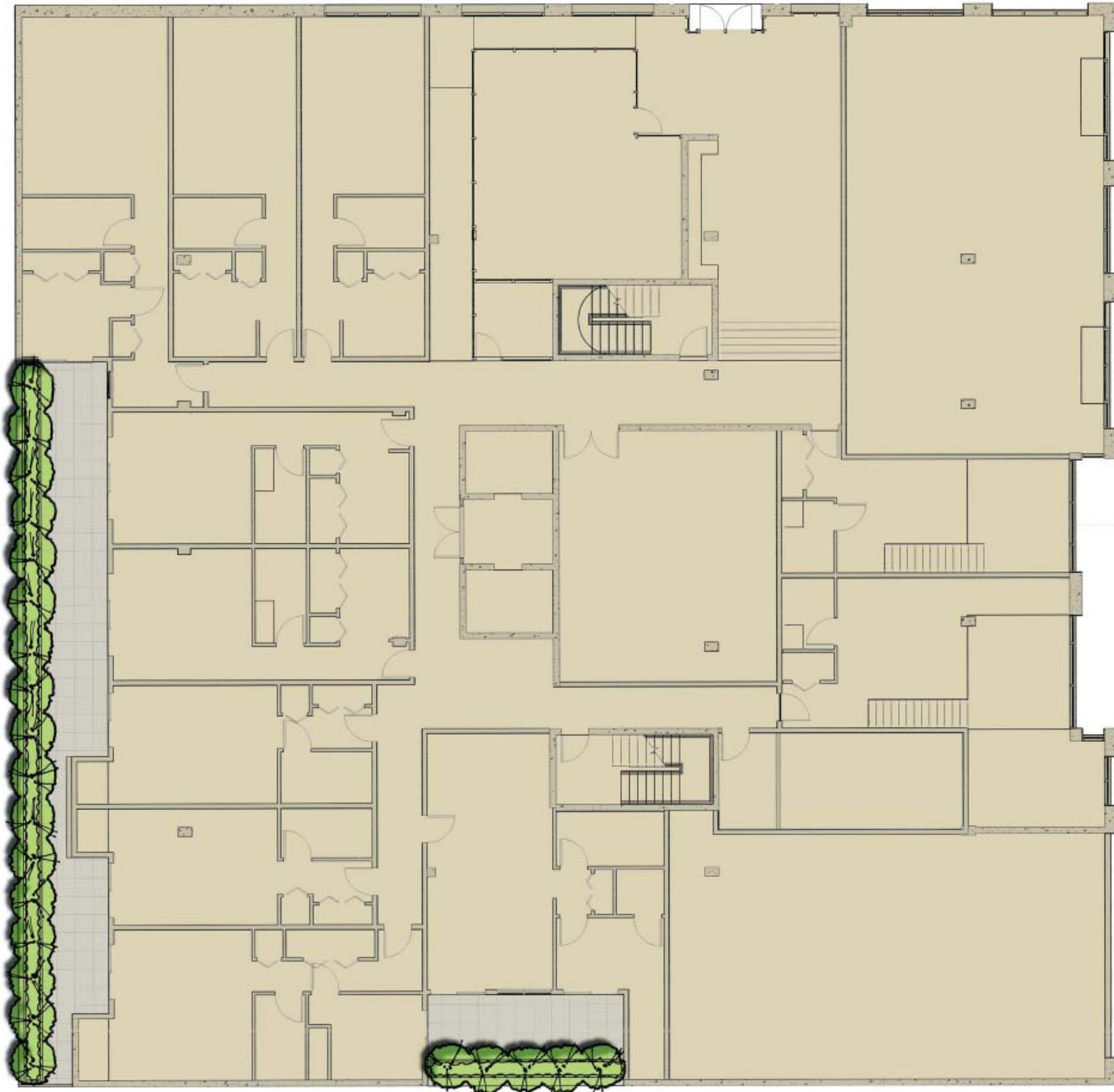
PLAN - VALLEY STREET R.O.W. IMPROVEMENTS



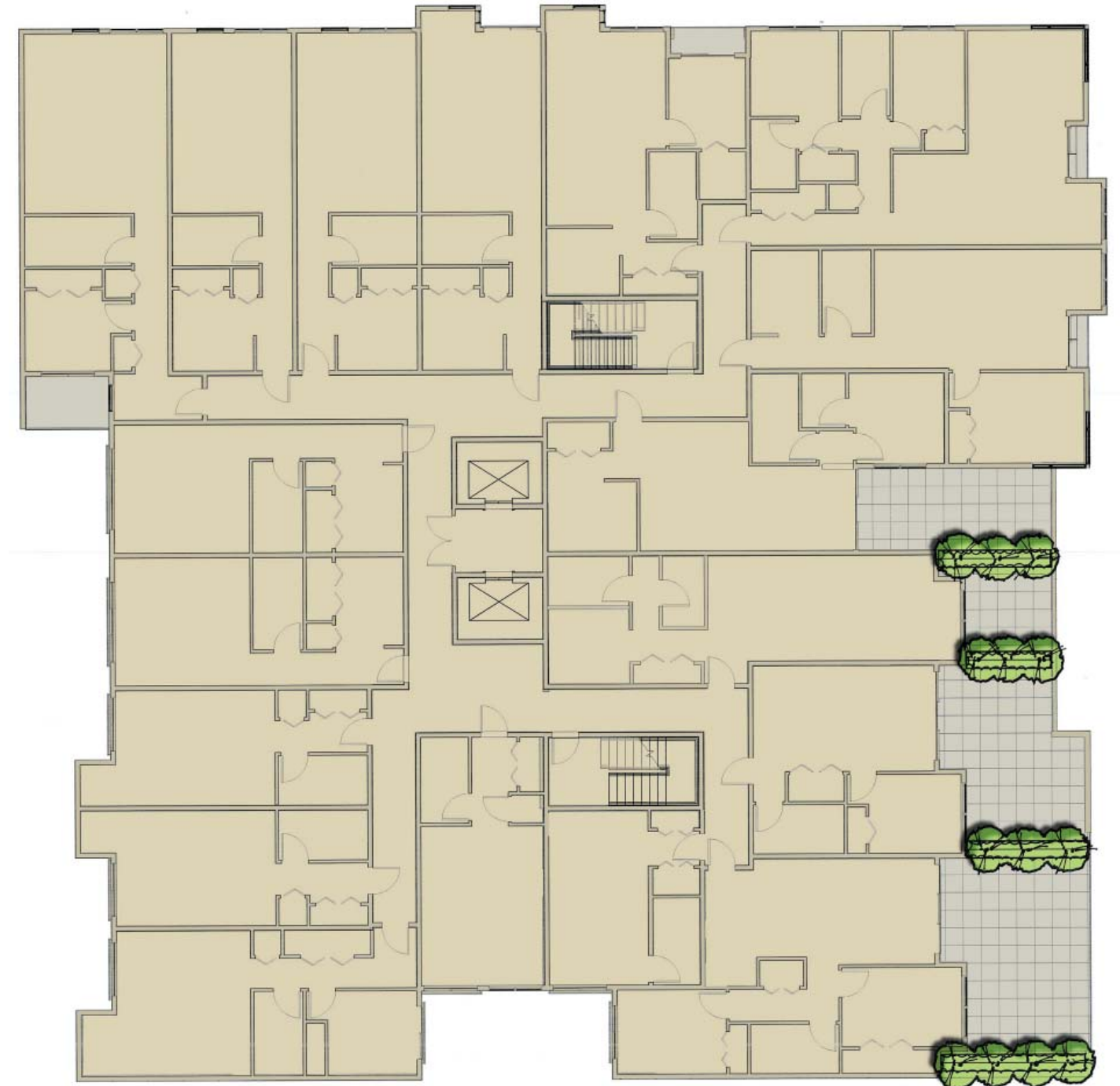
SECTION - RESIDENTIAL ENTRY & SIDEWALK

LANDSCAPE PLAN - GROUND LEVEL

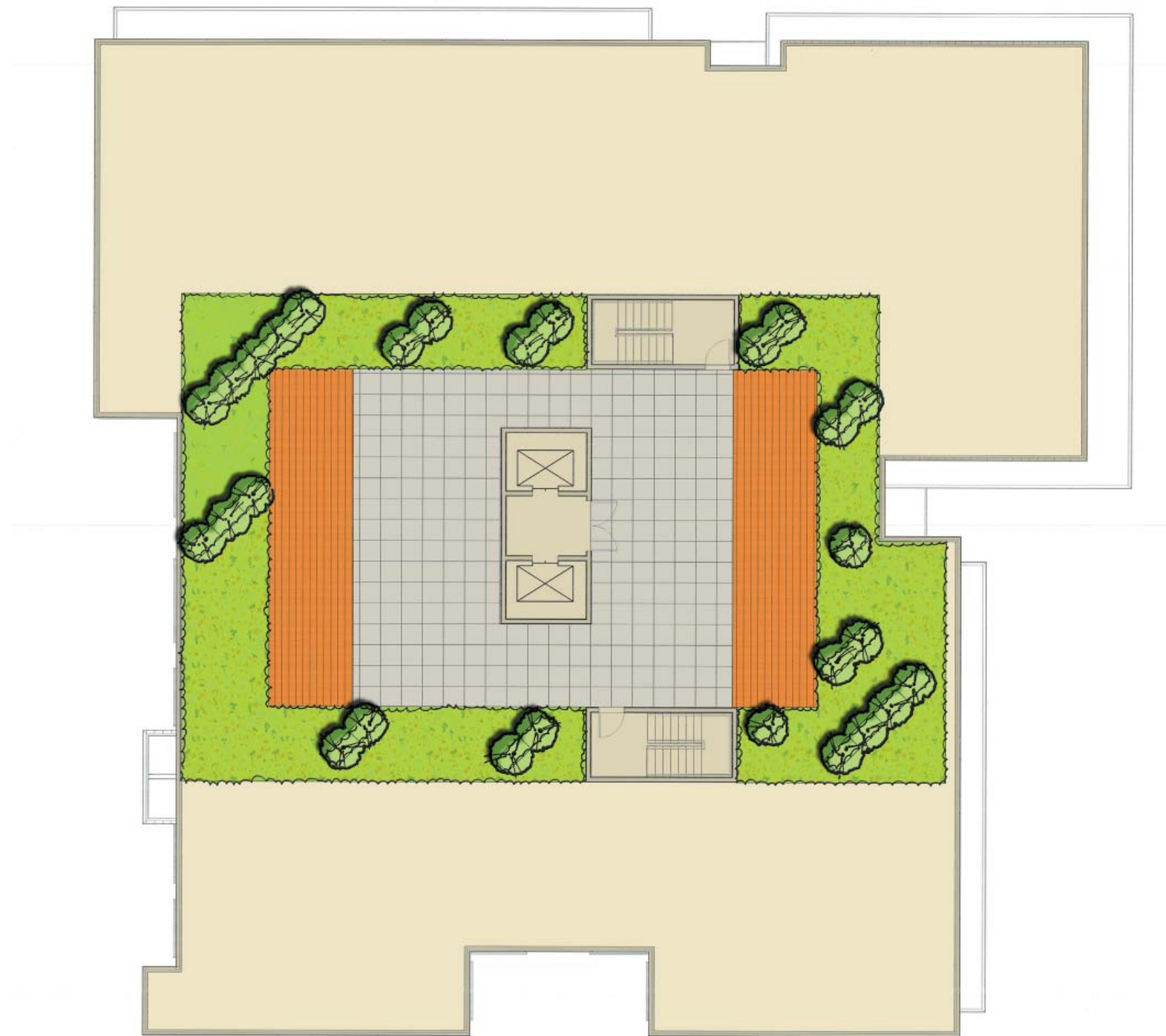




LANDSCAPE PLAN - PATIOS - LEVEL 2



LANDSCAPE PLAN - PATIOS - LEVEL 3



LANDSCAPE PLAN - ROOFTOP GARDEN



ANTHONY WATERER SPIRAEA



BRESSINGHAM RUBY BERGENIA



PINK CALLA LILY



CREEPING MAHONIA



STELLA D'ORO DAYLILY



LUCIFER CROCOSMIA



KELSEY DOGWOOD



HARBOR DWARF HEAVENLY BAMBOO



BARREN STRAWBERRY



SNOWBERRY

SITE LANDSCAPE MATERIALS





JAPANESE SNOWBELL



ORANGE SEDGE



MAGIC CARPET SPIRAEA



KARL FOERSTER REED GRASS

SITE LANDSCAPE MATERIALS



YELLOW GROVE BAMBOO



GREEN ROOF - SEDUM

ROOFTOP AND PRIVATE PATIO LANDSCAPE MATERIALS