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DPD LAND USE #3009828 | DPD PERMIT #6197474 | 4301 STONE WAY NORTH | DESIGN REVIEW BOARD SUBMITTAL | 10.8.2010



Zoning Requirements Overview. NC2-40

23.47A.005 STREET LEVEL USES

C.3 Residential uses may not exceed, in the aggregate, 20 percent of the street-level street-facing facade when facing an arterial or within a zone that has a height limit of 85 feet or higher, except that there is no limit on residential uses in the following circumstances or locations:

23.47A.008 STREET LEVEL DEVELOPMENT STANDARDS

A.3 Setbacks. Street Level street facing facades must be located within ten feet of the street lot line, unless wider sidewalks, plazas, or other approved landscaped open spaces are provided.

B.2.a Sixty percent of the street-facing facade between 2 feet and 8 feet above the sidewalk shall be transparent.

B.3.a Nonresidential uses shall extend an average of at least 30 feet and a minimum of 15 feet in depth from the street-level street-facing facade. If the combination of the street-facing facade requirement of subsection 23.47A.008.D.1 and this depth requirement would result in a requirement that an area greater than 50 percent of the structure's footprint be dedicated to nonresidential use, the Director may modify the street-facing facade or depth requirements, or both, so that no more than 50 percent of the structure's footprint is required to be nonresidential.

B.3.b Nonresidential uses at street level shall have a floor-to-floor height of at least 13 feet.

C.1 A minimum of 80 percent of the width of a structure's street-level street-facing facade that faces a principal pedestrian street shall be occupied by uses listed in 23.47A.005.D.1. The remaining 20 percent of the street frontage may contain other permitted uses and/or pedestrian entrances (see Exhibit A for 23.47A.008).

23.47A.012 STRUCTURE HEIGHT

A The height limit for structures in NC zones or C zones is 30 feet, 40 feet, 65 feet, 85 feet, 125 feet, or 160 feet, as designated on the Official Land Use Map, Chapter 23.32. Structures may not exceed the applicable height limit, except as otherwise provided in this section.

A.1 In zones with a 30 foot or 40 foot mapped height limit:

A.1.a the height of a structure may exceed the otherwise applicable limit by up to 4 feet, subject to subsection 23.47A.012.A.1.c, provided the following conditions are met:

A.1.a.1.ia floor to floor height of thirteen feet or more is provided for nonresidential uses at street-level and,

A.1.a.2 The additional height allowed for the structure will not allow an additional story beyond the number that could be built under the otherwise applicable height limit

D.2 Open railings, planters, skylights, clerestories, greenhouses, parapets and firewalls may extend as high as the highest ridge of a pitched roof permitted by subsection 23.47A.012.C or up to 4 feet above the otherwise applicable height limit, whichever is higher.

D.4 Except as provided below, the following rooftop features may extend up to 15 feet above the otherwise applicable height limit, as long as the combined total coverage of all features gaining additional height listed in this subsection does not exceed 20 percent of the roof area or 25 percent of the roof area if the total includes stair or elevator penthouses or screened mechanical equipment:

D.4.b Mechanical equipment;

D.4.f Stair and elevator penthouses may extend above the applicable height limit up to 16 feet.

23.47A.013 FLOOR AREA RATIO

A. Floor area ratio (FAR) limits apply to all structures and lots in all NC zones and C zones

Chart A For structures containing both residential and nonresidential uses in the 40' height overlay, the FAR is 3.25

23.47A.014 SETBACK REQUIREMENTS

B.3.a Fifteen (15) feet for portions of the structures above thirteen feet in height to a maximum of forty (40) feet; and

B.3.b for each portion of a structure above forty (40) feet in height, additional setback at the rate of two (2) feet of setback for every ten (10) feet by which the height of such portion exceeds forty (40) feet.

B.5 No entrance, window, or other opening is permitted closer than five(5) feet to a residential zone.

E Structures in required Setbacks

E.1 Decks and Balconies

E.1.a Decks with open railings may extend into the required setback, but are not permitted within five (5) feet of a lot in a residential zone, except as provided in Subsection E1 b

E.2 Eaves, Cornices, and gutters projecting no more than eighteen (18) inches from the structure façade are permitted in required setbacks

E.5 Fences, bulkheads, freestanding walls and other similar structures.

E.6 Setback requirements do not limit underground structures.

23.47A.016 LANDSCAPING AND SCREENING STANDARDS

A.2 Landscaping that achieves a Green Factor score of .30 or greater, pursuant to the procedures set forth in Section 23.86.019, is required for any lot with:

- a. development containing more than four new dwelling units; or
- b. development containing more than 4,000 new square feet of nonresidential uses; or
- c. any parking lot containing more than 20 new parking spaces for automobiles.

B.1 Street trees are required when any development is proposed, except as provided in subsection 23.47A.016.B.2 and Section 23.53.015. Existing street trees shall be retained unless the Director of Transportation approves their removal. The Director, in consultation with the Director of Transportation, will determine the number, type and placement of street trees to be provided:

23.47A.018 NOISE STANDARDS

A In an NC1, NC2 or NC3 zone, all manufacturing, fabricating, repairing, refuse compacting and recycling activities shall be conducted wholly within an enclosed structure.

A.2 Exterior heat exchangers and other similar devices (e.g., ventilation, air-conditioning, refrigeration) are considered major noise generators.

A.3 When a major noise generator is proposed, or when an existing major noise generator is proposed to be expanded, a report from an acoustical consultant shall be required to describe the measures to be taken by the applicant in order to meet noise standards for the area. Such measures may include, for example, the provision of buffers, reduction in hours of operation, relocation of mechanical equipment, increased setbacks and use of specified construction techniques or building materials. Measures to be used shall be specified on the plans. After a permit has been issued, any measures that were required by the permit to limit noise shall be maintained.

23.47A.020 ODOR STANDARDS

A The venting of odors, vapors, smoke, cinders, dust, gas and fumes shall be at least ten (10) feet above finished sidewalk grade, and directed away to the extent possible from residential uses within fifty (50) feet of the vent.

23.47A.024 RESIDENTIAL AMENITY AREAS

A Residential amenity areas, including but not limited to decks, balconies, terraces, roof gardens, plazas, courtyards, play areas, or sport courts, are required in an amount equal to five (5) percent of the total gross floor area in residential use, except as otherwise specifically provided in this chapter. Gross floor area for the purposes of this subsection, excludes areas used for mechanical equipment, accessory parking and residential amenity areas.

B Required residential amenity areas must meet the following conditions, as applicable:

B.1 All residents must have access to at least one residential amenity area;

B.2 Residential amenity areas may not be enclosed

B.3 Parking areas, driveways, and pedestrian access to building entrances, except for pedestrian access meeting the Seattle building code, chapter 11 -- accessibility, do not count as residential amenity areas.

B.4 Common recreational areas must have a minimum horizontal dimension of at least ten (10) feet, and no common recreational area can be less than two hundred and fifty (250) square feet;

B.6 Rooftop areas excluded pursuant to Section 23.57.012 do not qualify as residential amenity areas.

23.54.015 REQUIRED PARKING

Chart A.D In all other commercial zones and in pedestrian designated zones for uses not listed in Chart D, no parking is required for the first one thousand five hundred (1,500) square feet of each business establishment.

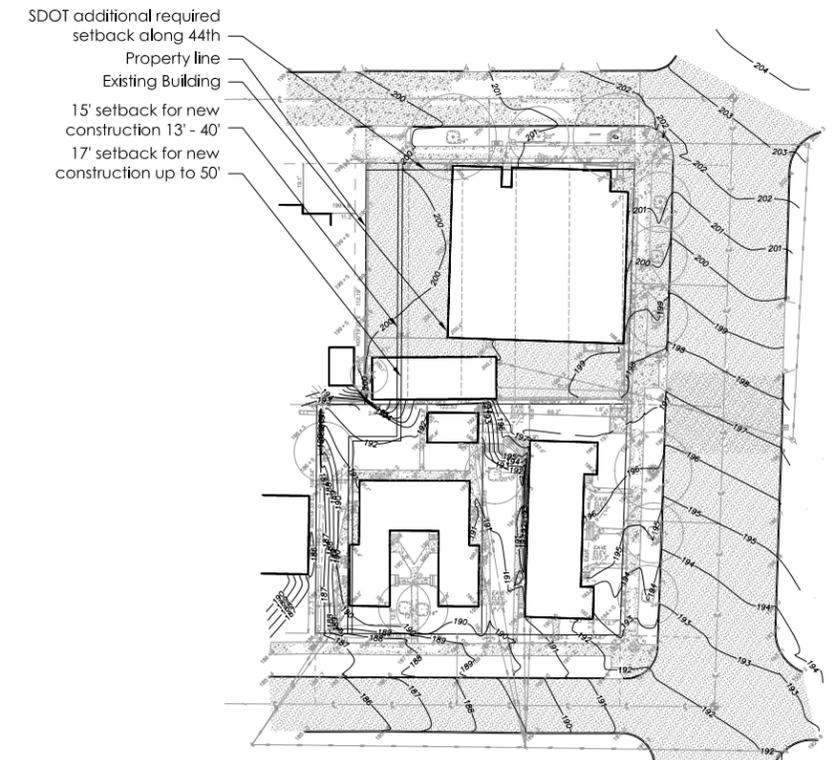
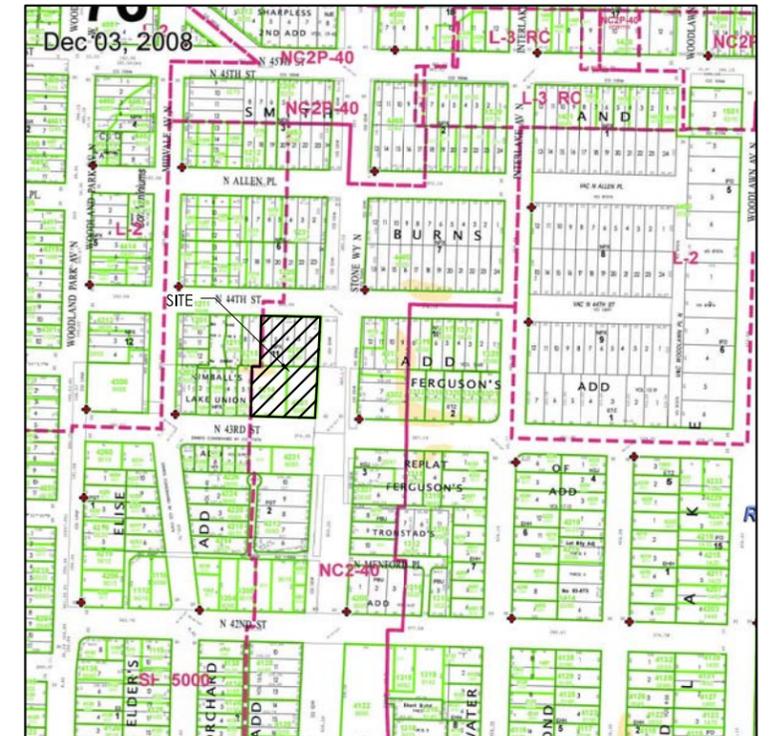
Chart B.L Residential uses in commercial zones require 1 space for each dwelling unit

Chart A B.2 "Eating and Drinking establishments" require 1 car per 250 square feet.

Chart A B.10 "General Sales and Services" require 1 car per 500 square feet.

23.54.035 LOADING BERTH AND SPACE STANDARDS

B.1 For uses with less than sixteen thousand (10,000) square feet of gross floor area which provide a loading space on a street or alley, the loading berth requirements may be waived by the Director following a review by the Seattle Department of Transportation which finds that the street or alley berth is adequate.



Survey of Existing Site with required setbacks

A Site Planning

A-1 Responding to Site Characteristics.

The siting of buildings should respond to specific site conditions and opportunities such as non-rectangular lots, location on prominent intersections, unusual topography, significant vegetation and views or other natural features.

Upper level building setbacks and setbacks along the building base are encouraged to help minimize shadow impacts on public sidewalks. Design public and private outdoor spaces to take advantage of sun exposure. Development along Stone Way North south of N. 40th St. with water, mountain and skyline views should use setbacks to complement and preserve such views from public rights-of-way.

Response:

Upper level and building base setbacks have been incorporated into the design.

Private and public outdoor spaces are part of the design. A public courtyard having eastern and southern sun exposure is designed along Stone Way N., a common area roof deck is provided for the residences with full sun exposure, a private courtyard is designed on the west side of the building within the building "U" with south and west sun exposure. Due to the size of the existing street trees along Stone Way N., surrounding buildings and terrain views of the City and Lake Union may occur only at the top floor of the south residential units and from the roof deck.

A-2 Reinforce Streetscape Characteristics.

The siting of buildings should acknowledge and reinforce the existing desirable spatial characteristics of the right-of-way.

Visually reinforce the existing street storefronts by placing horizontal or vertical elements in a line corresponding with the setbacks and façade elements of adjacent building fronts. These could include trees, columns, windows, planters, benches, overhead weather protection, cornices or other building features. Visually reinforce the existing street wall by using paving materials that differentiate the setback area from the sidewalk.

Recognizing the eclectic quality of the Stone Way N. streetscape, the Board encouraged the applicant to find shared motifs among the structures and develop a language for the proposed building that fits comfortably into both the commercial corridor and the residential neighborhood. Stone Way N. has become increasingly pedestrian oriented as more residential and mixed use structures have been constructed.

Response:

Proposed shared motifs include brick at the commercial levels with a horizontal transition band between brick and siding above, bays, overhead weather protection, upper floor exterior surfaces of horizontal beveled siding, hardy board panels with reveals, with variable heights for parapets, and roof overhangs.

The upper floors have varying wall materials and colors. Existing street trees on Stone Way N. and N. 44th will be joined by the planting of new street trees on N. 43rd. The 3 birch street trees on N. 44th are healthy and will be maintained. There are 6 existing maple street trees along Stone Way N. of which the northern 3 are diseased and SDOT has recommended replacement.

The sidewalk along Stone Way N. is proposed to be widened with pervious paving. Benches, a kiosk, plantings, and bike racks are incorporated into the design along Stone Way N.

Marquees for weather protection have been provided at the commercial storefronts wrapping the two street corners and within the Stone Way N. courtyard. Free standing brick columns with covered marquee at the main residential entry, areas of the store front windows exceed minimum requirements, and planters are some of the elements used in the design to visually reinforce the street scene along Stone Way N.

The Stone Way N. courtyard has a different paving pattern and color distinct from the public sidewalk. We have proposed color bands within the courtyards paving. The courtyard will have permanent planters and will have containers for seasonal plantings.

A-3 Entrances Visible from the Street.

Entries should be clearly identifiable and visible from the street.

Primary business and residential entrances should be oriented to the commercial street (for development along ...Stone Way North).

See Board guidance for A-4 and D-1.

Response:

Main commercial entries occur at the building corners on N. 43rd and N. 44th intersecting Stone Way N. Main residential entry, pedestrian entry to garage, and one or two commercial entries occur off the courtyard paralleling Stone Way N. All entries are visible from the street. The marquee at the residential entry is distinct from those of the commercial entries. It is longer and continues out and over the public sidewalk. The marquee also has two brick columns at the entry from sidewalk to draw visual attention and provide a sense of entry.

A-4 Human Activity.

New development should be sited and designed to encourage human activity on the street.

If not already required by code for new development, applicants are encouraged to increase the ground level setback in order to accommodate pedestrian traffic and amenity features, where existing sidewalks tend to be too narrow. Outdoor dining, indoor-outdoor commercial/ retail space, balconies, public plazas and outdoor seating are particularly encouraged on lots located on Stone Way North.

A gracious entry plaza/court, a high degree of transparency

for commercial spaces, and a maximum amount of space devoted to commercial uses along Stone Way N. are preferred by the Board. See guidance for A-10, C-2, and D-1. None of the entry court options provided by the architect satisfied the Board's preference for a spacious entry plaza to be shared by the commercial and residential tenants.

Response:

Maintaining and adding street trees, adding low level landscaping, widening the sidewalk, providing benches, bike racks, overhead protection, and a kiosk are elements incorporated into the design to enhance human activity. We are providing a Stone Way N. courtyard for commercial entries and activities, areas for outdoor seating, and the main residential entry. The entries and adjacent useable spaces plus balconies above will enhance the potential liveliness of the courtyard and sidewalk scene.

The courtyard has been more than doubled in size and in portions 3 times the depth from what was presented at the EDG meeting. The courtyard for the Stone Way Village at 3920 Stone Way North DPD project # 3008142 was given to us as an example of a courtyard of adequate size. We have superimposed the Safeway courtyard over our proposed courtyard (see our enclosed courtyard drawing). Comparing our proposal to the Safeway courtyard we have more useable space, increased stop and go pedestrian activity, and have more functional space for outdoor display, tables, and chairs.

The proposal includes permeable paving from street curb to public sidewalk that is distinct in design from the existing public concrete sidewalk. The permeable paving area visually and physically widens the existing too narrow public sidewalk. To further enhance this area for public participation we have proposed bike racks, benches, Wallingford standard pole lights, and a kiosk. We have proposed there to be permeable paving between the existing sidewalk and the commercial frontage on 43rd, 44th, and Stone Way, hence further widening the existing sidewalk.

Instead of creating a long rectilinear courtyard we opted for a modulated courtyard that would allow for "outdoor rooms" for the individual commercial tenants and to allow for a distinct (but part of the courtyard) main covered residential entrance. The modulation allowed us to develop a design language that is consistent with the other exterior facades and have a scale that allows us to transition to the single family homes to the west.

A-5 Respect for Adjacent Sites.

Buildings should respect adjacent properties by being located on their sites to minimize disruption of the privacy and outdoor activities of residents in adjacent buildings.

The spatial relationship of the proposed building to the residential neighbors to the west is an important consideration for the Board. The placement of balconies, trash/recycling areas, common open spaces and parking should respect their privacy and desire for a quiet neighborhood.

Response:

The proposed design will respect the privacy of the adjacent single family homes. The design includes a varied in height and width landscape buffer between the proposed building and the single family homes.

Common open space for the buildings residences is provided by an upper roof deck. The upper roof deck is distanced from the buildings west façade to minimize noise and "eyes on the neighbors" privacy.

Trash/recycling area occurs within the building and access to trash pick up occurs off N. 43rd.

Common use of the landscape buffer between building and single family to the west is not contemplated except for emergency egress and maintenance activities.

A west courtyard is proposed within the "U" of the building. The courtyard will have small paved areas to accommodate individual units at deck level with the great majority of the courtyard covered in landscaping. The individual unit decks on the west courtyard surface are screened from the neighbors by new and existing landscaping. Except for the individual unit decks on the courtyard surface there are no upper level unit decks or balconies within the west courtyard or on the two west facades facing the single family housing, therefore minimizing noise and increasing visual privacy for the neighbors to the west. The two most westerly elevations have been designed to minimize the "eyes on the neighbors" by locating the exit stairs and bedrooms such that there are minimal windows facing the adjacent single family homes.

See response for A-8 concerning the parking garage entrance.

A-7 Residential Open Space.

Residential projects should be sited to maximize opportunities for creating usable, attractive, well-integrated open space.

Maximize open space opportunity at grade (residential or mixed-use projects):

Terraces on sloping land that create level yard space, courtyards and front and/or rear yards are all encouraged residential open space techniques.

Make use of the building setbacks to create public open space at grade. Open spaces at grade that are 20 x 20 feet or larger and include significant trees are encouraged in exchange for landscape departures.

At the Recommendation meeting, the Board expects that all of the proposed open spaces, especially the west facing residential patio, will have accompanying shadow studies to determine the amount and quality of daylight to be received. The existing trees near the west property lines should be integrated into the open space design.

Response:

Shadow studies are enclosed and the two existing evergreens near the west property line will be protected during construction.

A-8 Parking and Vehicle Access.

Siting should minimize the impact of automobile parking and driveways on the pedestrian environment, adjacent properties and pedestrian safety.

Structured parking entrances should be located on side streets or alleys.

By the Recommendation meeting, the development team should have studied access issues on N. 43rd St. and determined the safest means of ingress and egress for vehicles. The Board prefers the location of the garage entrance on N. 43rd.

Response:

The ingress/egress to the parking garage is located on N. 43rd. Traffic study recommends no parking on north side of N. 43rd between Stone Way N. and the parking garage driveway with short term parking an option. SDOT decision will govern.

A-10 Corner Lots.

Buildings on corner lots should be oriented to the corner and public street fronts. Parking and automobile access should be located away from corners.

Buildings on corner lots should be oriented to the corner. Parking and vehicle access should be located away from the corner.

Response:

Parking access is located away from the corner on N 43rd.

Provide definition at main gateways to Wallingford (Stone Way North and Bridge Way North). Redevelopment of lots at these intersections should include special features that signal and enhance the entrance to the Wallingford neighborhood including a tower, fountain, statue or other expression of local creativity that provides a physical transition for motorists and pedestrians and communicates "Welcome to Wallingford."

Provide definition at other main intersections.

Developers are encouraged to propose larger setbacks to provide for wider sidewalks or plazas and to enhance view corridors at gateway intersections in consideration for departures from lot coverage or landscaping requirements.

Typical corner developments should provide: 1) a main building entrance located at corner; 2) an entrance set back to soften corner and enhance pedestrian environment; and 3) use of a hinge, bevel, notch, open bay or setback in the massing to reflect the special nature of the corner and draw attention to it. (Example: Julia's open bay with bevel.)

Response:

The two corner commercial spaces have entries with a beveled setback and fan shaped marquees for weather protection and reflecting the special nature of the corner.

At this location on Stone Way, the proposed building mass did not warrant the attention to the corners that the architect's presented in Option #3. The Board prefers that the two

corners of the structure are pulled closer to the N. 43rd and N. 44th intersections. Chamfering or depressing the corners at the street level, similar to what is shown in Options # 2 and 3, and allowing the upper levels to approach the street makes for a potentially more subtle and elegant building.

Response:

Main entries to the two street corner commercial spaces at the intersections of N 43rd and N 44th and Stone Way N. are beveled back from the building corners. The bevels allow for ramp (ADA) and stair access to the southeast corner and ramp (ADA) access to the northeast entry. The entries are weather protected with fan shaped marquees.

B Height, Bulk and ScaleB-1 Height, Bulk and Scale Compatibility.

Projects should be compatible with the scale of development anticipated by the applicable Land Use Policies for the surrounding area and should be sited and designed to provide a sensitive transition to near-by, less-intensive zones. Projects on zone edges should be developed in a manner that creates a step in perceived height, bulk and scale between the anticipated development potential of the adjacent zones.

Cornice and roof lines should respect the heights of surrounding structures.

Traditional architectural features such as pitched roofs and gables are encouraged on residential project sites adjacent to single-family and low-rise zones.

To protect single-family zones, consider providing upper level setbacks to limit the visibility of floors that are above 30 feet.

Consider dividing building into small masses with variation of building setbacks and heights in order to preserve views, sun and privacy of adjacent residential structures and sun exposure of public spaces, including streets and sidewalks.

For developments exceeding 180 feet in length, consider creating multiple structures with separate circulation cores.

Color schemes should help reduce apparent size and bulk of buildings and provide visual interest. White, off-white and pinky-beige buff on portions of buildings over 24 feet tall is discouraged.

Consider additional setbacks, modulation and screening to reduce the bulk where there are abrupt changes which increase the relative height above grade along the street or between zones.

Be sensitive to public views on Stone Way North:

Consider stepping back floors five feet per floor.

Notching or setbacks at corners of buildings or ground floors are encouraged.

The Board advised the development team to reduce the proposed structure's bulk as it approaches the change in zone classification from Neighborhood Commercial to Single Family

5000. Suggestions include stepping down or terracing the upper floors along N. 44th and N. 43rd streets as the structure approaches the west property lines and cutting back or chamfering the building's corners closest to the west property lines.

Response:

The proposed design has setbacks in plan and landscape terraces at grade changes as the building approaches the west property line. Upper level setbacks and setbacks in plan occur in the two west elevations of the west wings adjacent to the single family. The lower building face average setback from the property line is 20 feet and 22 feet for the upper building face of the southern wing. The lower building face average setback from the property line is 17 feet and 18 feet 8 inches for the upper building face of the northern wing. The building face within the west courtyard is 48' and 70'.

Set backs in plan with terraced plantings at grade along N. 43rd and N. 44th enhance and break down the massing of the building to enhance the lower scale transition from the commercial frontage on Stone Way N. to the single family zone.

C Architectural Elements and MaterialsC-1 Architectural Context.

New buildings proposed for existing neighborhoods with a well-defined and desirable character should be compatible with or complement the architectural character and siting pattern of neighboring buildings.

Complement positive existing character and/or respond to nearby pre-World War II structures. Traditional early 20th

Century commercial structures are primarily one story high and include:

solid kick panels below windows

large storefront windows

multi-pane or double hung windows with transoms or clerestories lights

high level of fine grained detailing and trim

high quality materials, such as brick and terra-cotta

canopies

variable parapets

cornices

New buildings should strive for a contextual approach to design. A contextual design approach is not intended to dictate a historicist approach, but rather one that is sensitive to surrounding noteworthy buildings and style elements.

Base

Ground floors or bases immediately next to pedestrians should

reflect a higher level of detail refinement and high quality materials.

Encourage transparent, open facades for commercial uses at street level (as an example, windows that cover between 50-80 percent of the ground floor façade area and begin approximately 24 to 30 inches above the sidewalk rather than continuing down to street level).

Response:

The commercial uses along Stone Way N. and wrapping the corners at N 43rd and N 44th are articulated with brick walls, painted storefront trim, and have over 62% of the facades open for transparency.

The residential uses along N 43rd and N 44th are set back from the property line with raised concrete planters articulated with reveals making a landscaped transition from building face to public sidewalk.

Middle

Mid-level building façade elements should be articulated to provide visual interest on a bay-by-bay scale. Architectural features should include: belt courses or horizontal bands to distinguish individual floors; change in materials and color and/or texture that enhance specific form elements or vertical elements of the building; a pattern of windows; and/or bay windows to give scale to the structure.

Consider using detail elements such as a cast stone, tile or brick pattern that respond to architectural features on existing buildings.

Consider using spacing and width of bays or pavilions to provide intervals in the façade to create scale elements similar to surrounding buildings.

Response:

A horizontal transition band occurs between top of brick walls to siding above. Changes in materials, color, and texture are used to enhance form and vertical/horizontal elements of the building.

Brick is used at the base of the structure articulating the commercial uses and main residential entry. Intervals in the façade creating vertical bays are included in the design to create a scale similar to surrounding buildings.

Top

Clearly distinguish tops of buildings from the façade walls by including detail elements consistent with the traditional neighborhood buildings such as steep gables with overhangs, parapets and cornices.

Response:

A combination of roof overhangs and parapets are used in the design at variable heights around the building.

Following the Wallingford Guidelines above should provide a clear indication of what the neighborhood and the Board expect from the proposal at the Recommendation meeting.



C-2 Architectural Concept and Consistency.

Building design elements, details and massing should create a well-proportioned and unified building form and exhibit an overall architectural concept. Buildings should exhibit form and features identifying the functions within the building. In general, the roofline or top of the structure should be clearly distinguished from its façade walls.

The massing of large buildings should reflect the functions of the building and respond to the scale of traditional buildings by including major façade elements, which help to break the building into smaller pieces with distinctive appearances.

Response:

The design includes design elements that help break the building into smaller elements. The elements include modulation resulting in a series of bays with variety and repetition of forms. Typically, the form and features are expressed by the function within the building.

Rooftop building systems (i.e., mechanical and electrical equipment, antennas) should be screened from all key observation points by integrating them into the building design with parapets, screens or other methods.

Response:

Mechanical equipment is screened at the roof and held back from roof edges.

Illuminate distinctive features of the building, including entries, signage, canopies, and areas of architectural detail and interest. Encourage pedestrian scale pole lights along streets and walks.

Response:

See lighting plan.

The Board expressed a strong preference for locating all of the live/work units on the two side streets rather than Stone Way N. Just as the Board requested that the upper levels of the building step down as the structure approaches the single family zone, the live/work, due to their residential characteristics, provide a transition between the commercially oriented Stone Way N. and the single family neighborhood to the west.

Response:

Live/work units have been deleted from the two side streets and substituted with apartments. The apartment portion of the building has been stepped back from the property line and modulated along N. 43rd and N. 44th. The apartments closest to grade are raised 4' plus above grade and have a terraced and landscaped planter between building face and property line. The two west wings of the building are stepped back in plan along the two streets at the transition to the single family homes. The west elevation of the two west wings also are modulated, have varying heights, and have landscaped terraces between building face and west property line.

In recent reviews of large scale projects, the Northeast Board advised the applicants to use strategies to reduce the structures' mass by suggesting that the façades have the appearance of two or more buildings. The Board stated, in this case, its comfort with the appearance of a single structure.

However, the Board does prefer the use of modulation, setbacks and terraces to reduce the overall mass of the volume as it approaches the neighboring residences. By using these techniques to reduce the mass, the architect has an opportunity to provide a further sense of scale at the transitions between the volumes by using materials or ornament that emphasize these shifts or changes.

Response:

Modulation, setbacks in plan and upper levels, and landscaped terraces have been incorporated into the design.

C-3 Human Scale.

The design of new buildings should incorporate architectural features, elements and details to achieve a good human scale.

Transom or clerestory windows above entrances, display windows and projected bay windows are encouraged. Multiple paned windows that divide large areas of glass into smaller parts are preferred because they add human scale. Use durable, attractive and well-detailed finish materials: Finish materials that are susceptible to staining, fading or other discoloration are strongly discouraged. Encourage the use of brick. Discourage aluminum and vinyl siding, and siding with narrow trim.

In order to create a pleasant pedestrian streetscape, the concentration of architectural details should occur on the façades along the three rights-of-way. The architect should include features such as overhead weather protection, operable windows, interesting paving and attractive landscaping among others. The Board prefers traditional storefronts with copious glazing, chamfered entries, transom windows and rich materials.

Response:

Overhead weather protection is provided made of steel with glass roofs.

Large areas of glazing are divided into smaller parts with transom windows, chamfered entries at the two commercial corner spaces, are provided in the design. Brick walls are provided for the commercial frontage along Stone Way N. and wrapping the commercial corners at N 43rd and N 44th. Store fronts will be colored baked enamel aluminum. Paving patterns and paving color bands are proposed along with landscaping, kiosk, benches, and bike racks.

C-4 Exterior Finish Materials.

Building exteriors should be constructed of durable and maintainable materials that are attractive even when viewed up close. Materials that have texture, pattern, or lend themselves to a high quality of detailing are encouraged.

The Board encourages the use of brick, particularly along Stone Way N., to tie visually into the commercial and residential brick buildings along the corridor. Use of different hues, banding, coursing and corbelling ensure that the masonry will meet guidance C-3.

Response:

Different hues of brick will be used and the brick walls will be capped with a horizontal band transition between brick and siding materials above.

C-5 Structured Parking Entrances.

The presence and appearance of garage entrances should be minimized so that they do not dominate the street frontage of a building.

The width of the parking garage door and the curb cut should be minimized as much as possible.

Response:

Curb cut is 22 feet which is the City required minimum. The proposed garage door is a metal grilled door for allowing fresh air intake to garage. The door is also set back from the building face 6 feet. Over the opening to the garage is a metal lattice work for an evergreen vine. On both sides of the driveway, which will slope down into the garage, are terraced planting areas. The door being set back from building face, the metal lattice work with vine above, and both sides of driveway being terraced and landscaped will soften and visually minimize the door opening.

D Pedestrian EnvironmentD-1 Pedestrian Open Spaces and Entrances.

Convenient and attractive access to the building's entry should be provided. To ensure comfort and security, paths and entry areas should be sufficiently lighted and entry areas should be protected from the weather.

Provide convenient, attractive and protected pedestrian entry for both business and upper story residential uses.

Entries for residential uses on the street (rather than from the rear of the property) add to the activity on the street and allow for visual surveillance for personal safety.

Continuous, well-lighted, overhead weather protection is strongly encouraged to improve pedestrian comfort and to promote a sense of security.

Overhead weather protection should be designed with consideration of: a. the overall architectural concept of the building; b. uses occurring within the building (such as entries and retail spaces) or in the adjacent streetscape environment (such as bus stops and intersections); c. minimizing gaps in coverage, except to accommodate street trees; d. a drainage strategy that keeps rain water off the street-level façade and sidewalk; e. relationship to architectural features and elements on adjacent development, especially if abutting a building of historic or noteworthy character; f. the scale of the space defined by the height and depth of the weather protection; g. the illumination of light colored undersides to increase security after dark.

The Board members disliked the proposed long, shallow open space at the front of the building, requesting instead a much deeper and gracious front court with entrances for the commercial spaces and the residential lobby directly accessing it. This same plaza should be well landscaped and

possess adequate space for potential café seating. Recent MUP proposals (the former Safeway site and the Union View site) with block long façades have provided considerably more open space than the subject proposal. The proposed chamfers accentuating the corner conditions should also be changed. The Board stated that the two intersections lacked prominence and did not warrant the attention for so little open space. One possibility is to leave the storefront level chamfered and bring the upper volume to the right of way.

Response:

See A-10 response.

D-2 Blank Walls.

Buildings should avoid large blank walls facing the street, especially near sidewalks. Where blank walls are unavoidable, they should receive design treatment to increase pedestrian comfort and interest.

Long, undifferentiated surfaces, façades or store frontages are strongly discouraged.

In situations where blank walls are necessary, encourage their enhancement with decorative patterns, murals or other treatment.

Locate and design ground floor windows to maximize transparency of commercial façade and attract pedestrian interest.

Large windows that open to facilitate indoor-outdoor interaction with street are encouraged.

Windows on walls perpendicular to the street are encouraged.

Response:

Store frontages are differentiated by modulation. Where blank walls occur they are softened by terracing and landscaping.

Transparency of the commercial façade exceeds zoning requirements.

The Board wants the architect to avoid placing blank walls at the trash and utility room. The south and west walls will be exposed to pedestrians and drivers along N. 43rd St.

Response: See D-6 for response.

D-3 Retaining Walls.

Retaining walls near a public sidewalk that extend higher than eye level should be avoided where possible. Where high retaining walls are unavoidable, they should be designed to reduce their impact on pedestrian comfort and to increase the visual interest along the streetscape.

Where retaining walls are unavoidable, a textured surface, inlaid materials and/or sensitively designed reveal lines are encouraged.

Response: See E-2 response.

D-5 Visual Impacts of Parking Structures.

The visibility of all at-grade parking structures or accessory parking garages should be minimized. The parking portion of a structure should be architecturally compatible with the rest of the structure and streetscape. Open parking spaces and carports should be screened from the street and adjacent properties.

The Board supported the parking garage's entrance on N. 43rd St and its separation from the neighboring residences. Scheme #3, with its absence of an above grade parking plinth, eliminates the potential for a large blank wall near the adjacent homes. Careful consideration of the location of the garage intake and exhaust opening will be needed before the Recommendation meeting.

Response:

There are portions of the garage walls on the west elevation that are above grade. The above grade walls will be screened from the neighbors with property line fences, evergreen fence, and terraced planting. Garage air intake occurs through the garage doors. Exhaust will be carried through a shaft to the roof.

D-6 Screening of Dumpsters, Utilities and Service Areas.

Building sites should locate service elements like trash, dumpster, loading docks and mechanical equipment away from the street front where possible. When elements such as dumpsters, utility meters, mechanical units and service areas cannot be located away from the street front, they should be situated and screened from view and should not be located in the pedestrian right-of-way.

The Board will review how the trash and recycling area is accessed and configured at the Recommendation meeting. How will this area, with its proximity to neighbors, respect their quality of life?

Response:

Trash and recycling area is within the building. A roll up door to the outside will allow dumpsters to be pushed to the curb for pickup. Utility meters and mechanical equipment will be screened. The door and sidewalk to curb is visually minimized by landscape elements on both sides and a metal trellis with evergreen vine above.

D-7 Personal Safety and Security.

Project design should consider opportunities for enhancing personal safety and security in the environment under review.

In residential projects, discourage solid fences that reduce security and visual access from streets.

Lighting:

Encourage pedestrian-scale lighting, such as a 12- to 15-foot-high pole or bollard fixtures.

Fixtures that produce glare or that spill light to adjoining sites, such as "wallpacks," are discouraged.

Installation of pedestrian light fixtures as part of a development's sidewalk improvements is strongly encouraged. The style of light fixture should be consistent with the preference identified by Wallingford through Seattle City Light's pedestrian lighting program.

The design of the residential open space and the landscape buffers adjacent to the neighboring residences should address personal safety and security concerns. The design should provide effective fencing, planting and lighting to screen this area since this an important consideration.

Response:

A see through from the street security fence with gate is provided perpendicular to the west property line to the building on N. 43rd and N. 44th. Low height pathway lighting for the two emergency exits is proposed. At the two exit doors will be wall mounted and shielded lights. Existing trees, fences, vine panels (green screen) and plantings will buffer the area from the neighbors.

Use street lighting fixtures recommended by the Wallingford neighborhood council for the Stone Way N. corridor. The Land Use Planner has information on the type of lighting.

Response:

Three of the recommended fixtures are proposed for the southern portion of the Stone Way N. frontage. An existing light standard is located at N. 44th and Stone Way N.

D-9 Commercial Signage.

Signs should add interest to the street front environment and should be appropriate for the scale and character desired in the area.

Signage design will be an important part of the discussion at the Recommendation meeting. The architect will need to develop a signage concept.

Response:

See drawings.

D-10 Commercial Lighting.

Appropriate levels of lighting should be provided in order to promote visual interest and a sense of security for people in commercial districts evening hours.

This guideline will be an important point of discussion at the Recommendation meeting. The architect will need to submit a conceptual lighting plan. Reduction of spillover lighting into adjacent residential properties is paramount.

Response:

See drawings.

D-11 Commercial Transparent.

Commercial store-fronts should be transparent, allowing for a direct visual connection between pedestrians on the sidewalk and the activities occurring on the interior of a building. Blank walls should be avoided.

Due to the site's slope, the architect should focus in particular on providing as much transparency into the commercial spaces as possible on Stone Way N. The architect will need to evidence a clear understanding of grade along the site's perimeter in order to keep the commercial uses close to the sidewalk grade level.

Response:

Proposed design exceeds minimums outlined for transparency

in the zoning code and falls within the Wallingford guidelines.

The two corner commercial spaces entries are at grade. The Stone Way N. courtyard is on one level, some of the level is above sidewalk, some at grade, and some below grade. Stairs, shallow ramp (ADA), site furniture, and landscaping make the transition from sidewalk to courtyard level. The existing grade/sidewalk change from the North corner of the building to the South corner (courtyard between) is 9 feet and the proposed design has 4 different levels for pedestrian access along Stone Way N.

E LandscapingE-1 Landscaping to Reinforce Design Continuity with Adjacent Sites.

Where possible, and where there is not another overriding concern, landscaping should reinforce the character of neighboring properties and abutting streetscape.

The design of the proposed residential open space landscaping within the "U" on the terrace should provide privacy for the neighbors. The Board endorsed the concept of providing a 15 foot landscape buffer along the west property line.

Response:

A landscape buffer is provided in the design along the west property line. The proposed courtyard within the "U" of the building is designed to minimize "eyes" on the neighbors. A planter is provided along the west edge of the courtyard with sufficient soil depth to support trees. The proposed trees will screen views into neighboring properties. At deck level of the courtyard 6 units of the 10 will have private patios and the rest of the terrace is in landscaping. The 6 patios are screened from view of the neighbors. The lower area of the west buffer is planted with shrubs and ground cover to meet Crime Prevention through Environmental Design (CPTED) requirements, in addition, free standing, vine panels (green screen) is provided as an additional privacy barrier.

Analyze the health of the cedar tree near the property line; its preservation is an important consideration.

Response:

According to the arborist's report the cedar tree is in good health and will be preserved. The existing cedar tree just off the property line of the north single family home will be protected during construction.

E-2 Landscaping to Enhance the Building and/or Site.

Landscaping including living plant material, special pavements, trellises, screen walls, planters, site furniture and similar features should be appropriately incorporated into the design to enhance the project.

Response:

Living plant materials, special pavements, landscaped screen walls (green screen panels), trellised green walls, trellises, planters, and site furniture are provided in the design. See drawings.

Thick evergreen hedges, non-invasive vines on fencing or low walls, and other substantial landscaping should be used to visually and physically buffer sidewalks and adjacent buildings

from parking areas; camouflage exposed concrete walls; and buffer adjacent single-family houses and residential developments.

Response:

The elements listed in E-2 are incorporated into the design. Landscape planting will occur along the west property line to buffer adjacent residents and provide a visual landscape amenity for the residents in the building. Portions of the west and southwest façade of the building will include trellised green walls.

The design of the various plazas and open spaces at grade ranks as a high priority. The courts both on the east and west sides of the structure should function like outdoor rooms. The entry court off Stone Way N. should have greater utility---access from the commercial uses, space for outdoor seating.

Response:

The west court in the "U" has 6 individual unit decks that will function as outdoor rooms. The courtyard on Stone Way N. has the major residential entry and two commercial entries. The building modulation within the courtyard creates "outdoor rooms" that allow for landscaping, seating, and other functions such as outdoor dining and retail activities.

The landscaping may require retaining walls along the west property line. The design of them should exhibit a consideration for quality detail. See Wallingford specific guideline D-3.

Response:

Retaining walls along the west property line and at N. 43rd and N. 44th will be concrete with a reveal cap. Landscaping, including shrubs and vines occur below and above the retaining walls to soften and partially screen the surface of the walls. The height of the retaining walls has been minimized and will be obscured by planting.

E-3 Landscape Design to Address Special Site Conditions.

The landscape design should take advantage of special on-site conditions such as high-bank front yards, steep slopes, view corridors, or existing significant trees and off-site conditions such as greenbelts, ravines, natural areas, and boulevards.

Response:

The existing street trees are to be preserved (City arborist has recommended replacement of the 3 northern most diseased maple trees on Stone Way N.). The existing cedar close to the west property line is to be preserved. Construction methods will be utilized to also protect the existing cedar on the neighbor's west property line off of N. 44th. New street trees will be planted on N. 43rd per SDOT standards.

View corridors of Lake Union and the City are blocked by the existing street trees on Stone Way N. and N. 44th. There may be some views from the south units on the upper floor and from the roof top deck of the City, Lake Union, and territorial views.

An arborist should provide a report to the applicant, SDOT and DPD on the health of the street trees. Retention of them is an important consideration.

Response:

An arborist's report has been submitted to SDOT and DPD.

Site Analysis Summary

STONE WAY N FEATURES

- The southern most 3 trees are in good condition. Seattle Department of Transportation (SDOT) has recommended the replacement of the 3 northern trees with disease as the reason.
- The street trees will remain as they are in good condition, and add to the overall ambiance of the area. There is a natural break in the tree-line at mid-block that offers an opportunity for the courtyard entrance. The trees will however block some low solar access as well as some view opportunities toward downtown.
- Grade is reasonable to walk or ride. It slopes to the south towards N 43rd St. and can be traversed which should help the commercial components.
- This is a "minor arterial" and offers the most dominant commercial viability.
- Several parallel parking stall exist on the street and will be kept.
- This street offers a bike lane that is utilized frequently.
- A Northbound bus stop can be found across the street and half a block north, while a southbound bus stop can be found on the site side of the street and half a block south.
- The street allows for a pedestrian plaza or courtyard.
- A natural break in the existing trees offers a potential place for the pedestrian courtyard as well as entrances.

N 43RD STREET FEATURES

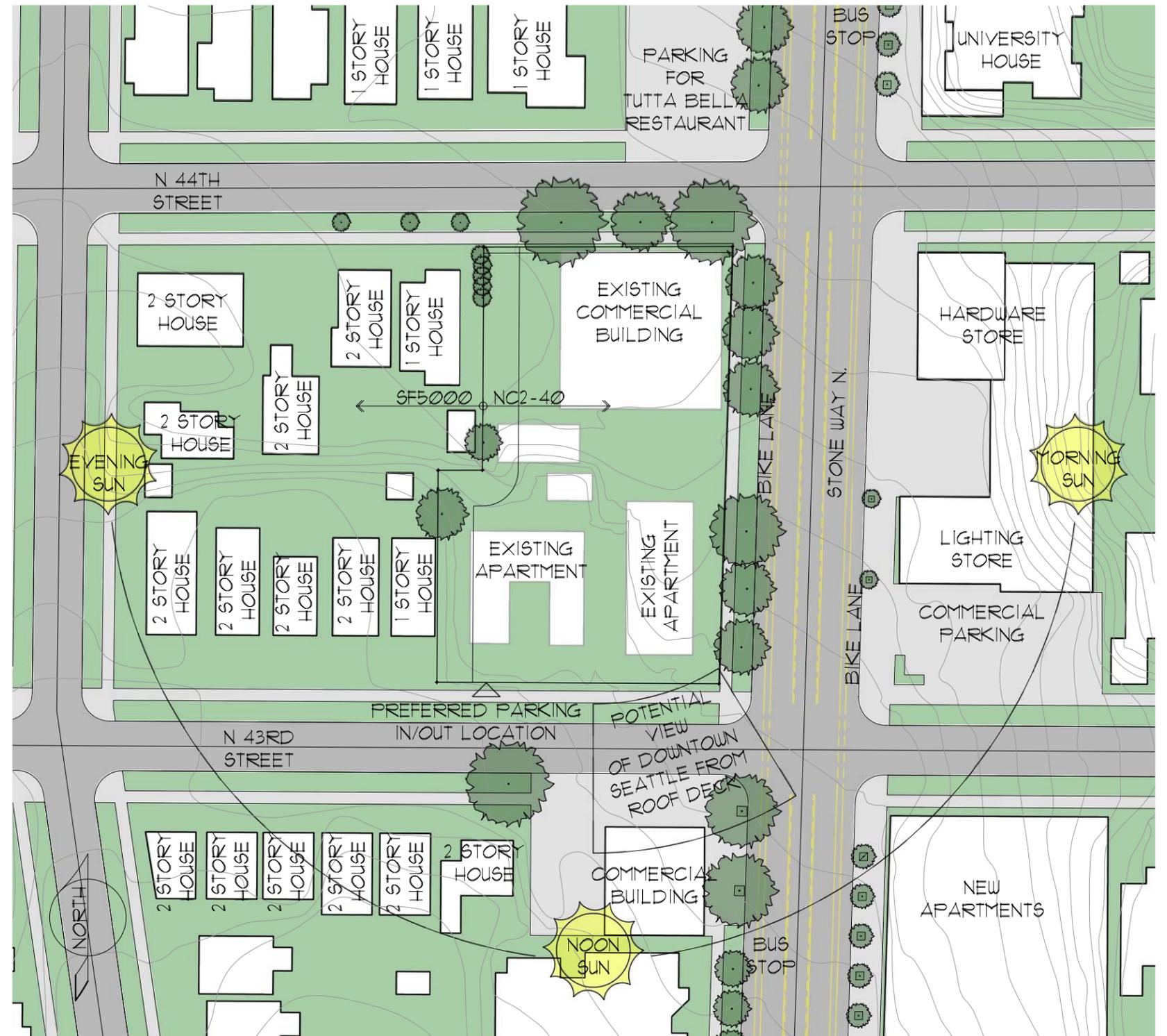
- This is a highly residential road save for the corner at Stone Way.
- The site abuts a SF5000 zone, in which the majority of the homes are 2+ stories (30'-35').
- This street corner will offer the best opportunity for a view of downtown Seattle from the upper roof deck as well as the possibility from the upper most residential units.
- There are no street trees along this street.
- This is the lowest street and slopes away from the commercial corner. The slope offers a great opportunity to access the garage.
- Being the south street, this facade will offer great mid-day light and substantial light all day. Additionally, the grade slopes away from the property and so the light should not be blocked by anything.
- There are no street trees that abut the site, but a level of planting should be used here to bring the sidewalk scene up to city standards.

N 44TH STREET FEATURES

- The existing street trees look as though they have been topped several time previously. The trees are still in good condition but will need significant maintenance to insure their health continues.
- This is a highly residential road save for the corner at Stone Way.
- The site abuts a SF5000 zone, in which the majority of the homes are 2+ stories (30'-35').
- This is the highest street and moderately flat.
- Seattle Department of Transportation is requiring an additional 3' setback along this street for future road improvement and widening.

REAR YARD

- There is a minimum 15' setback above 13' along the entirety of the rear yard. Above 40' there is an additional setback of 2' per additional 10' of height.
- Two existing cedar trees both on and off the the property along this buffer will remain.
- Additional landscape buffer will be provided to soften the impact of the proposed building on the existing single family residences.



Existing Site and Surroundings



Stone Way N Street scene looking East



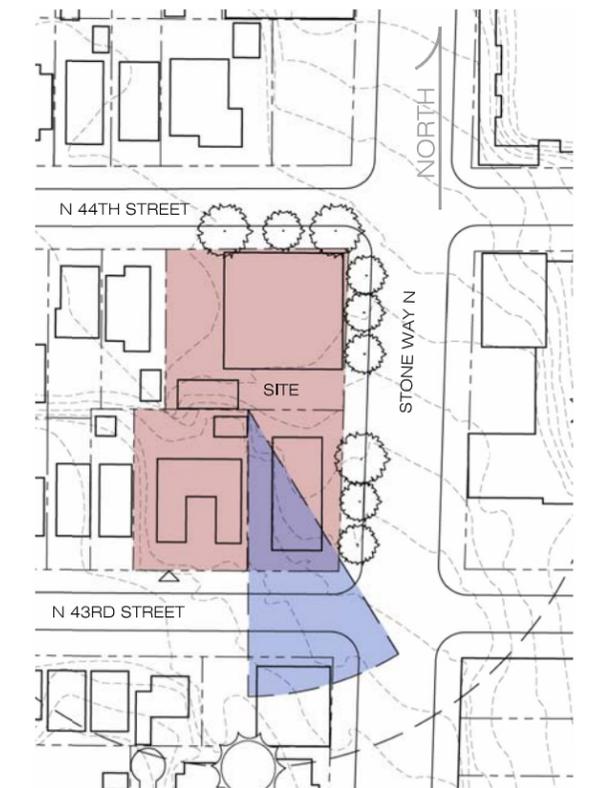
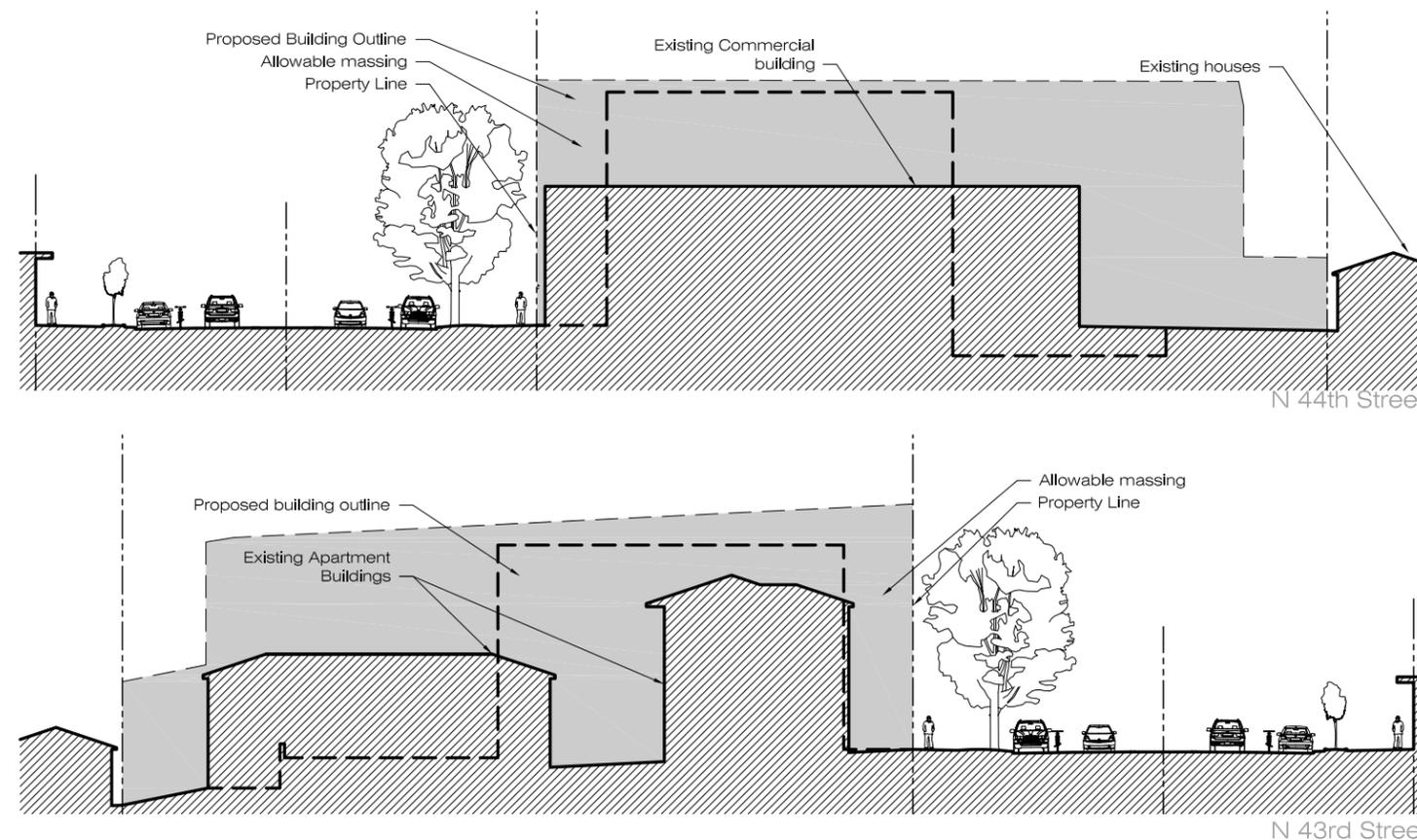
Stone Way N Street scene looking West

STONE WAY N- EAST SIDE FEATURES

- The existing street trees are all recently planted due to the construction along this side of the street. Both north and south of the site are newer buildings that have young tree life.
- Directly across from the site at the hardware store and lighting store, there exist no street trees at all leaving a fairly barren walk and street scene.
- Behind all the commercial and multifamily buildings, single family residences can be seen.

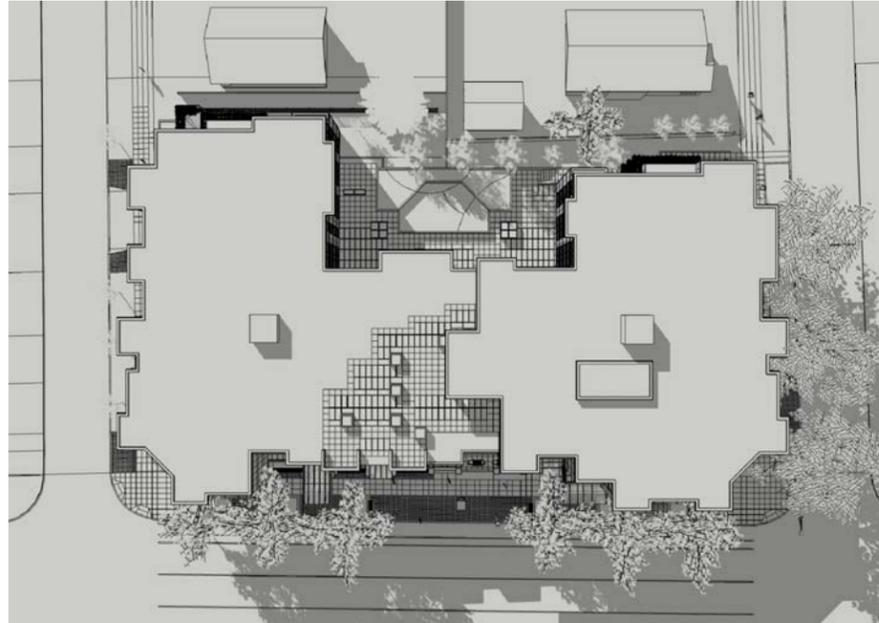
STONE WAY N- WEST SIDE FEATURES (site side)

- Virtually none of the existing street trees have been removed for new construction.
- Behind all the commercial and multifamily buildings, single family residences can be seen.
- Directly north of the site is a parking lot with a garbage dumpster area. This is used for the restaurant at the north side of the parking lot (Tutta Bella).
- Directly South of the site is a single story commercial building.

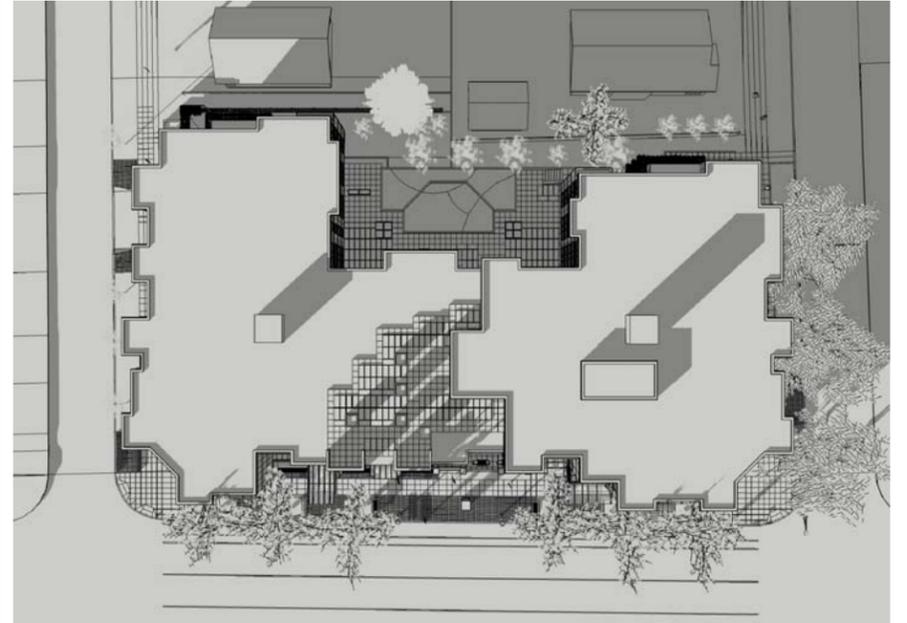




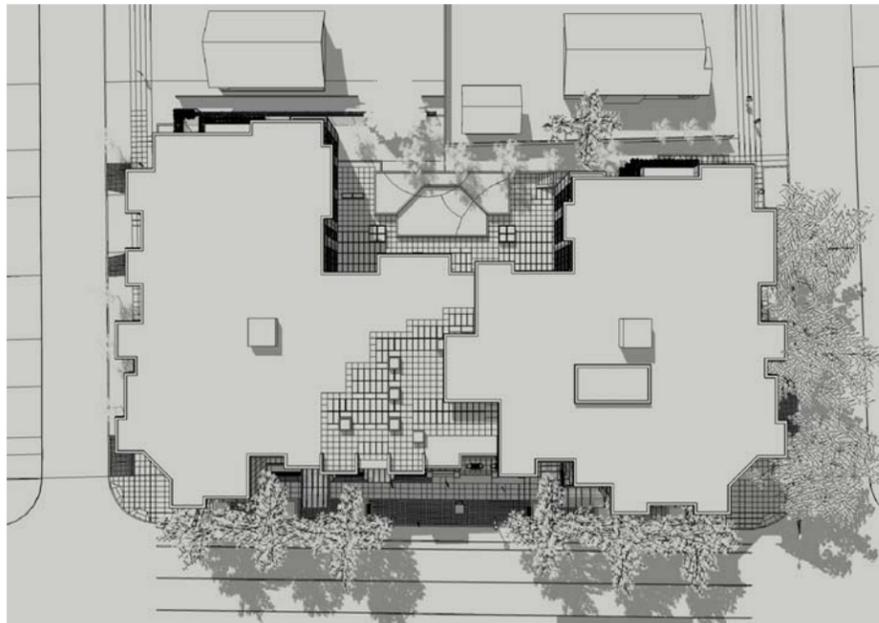
june 21. 9:00 am



september 21. 9:00 am



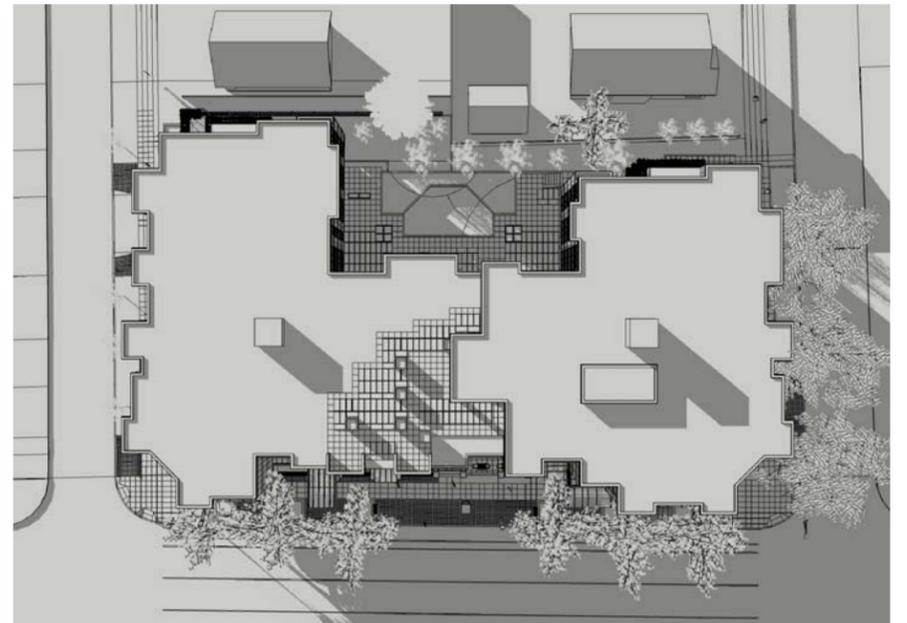
december 21. 9:00 am



june 21. 3:00 pm



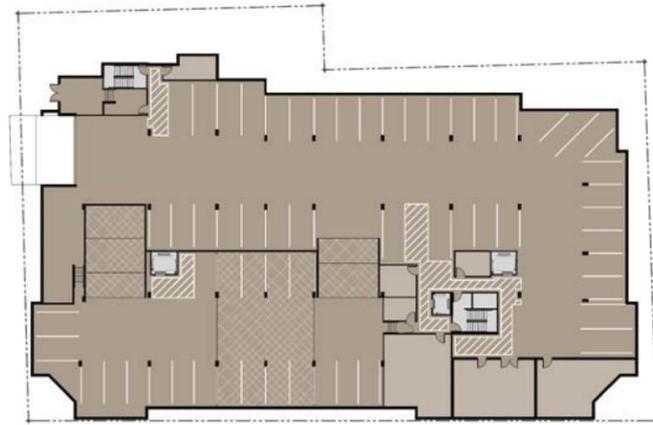
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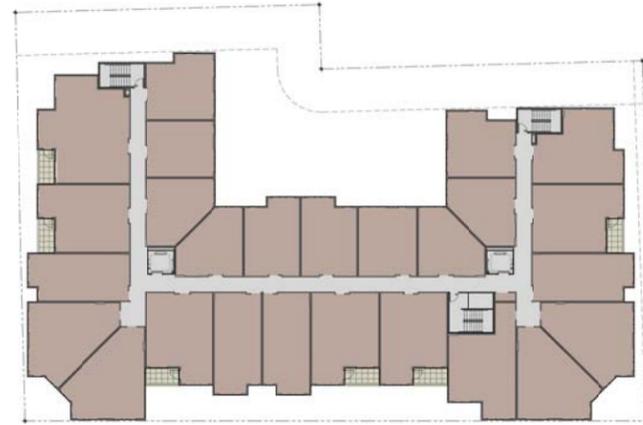
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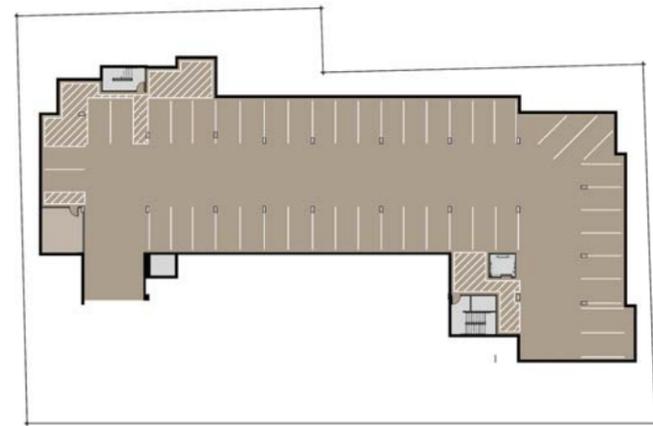
residential and commercial parking level. P1



residential level. L3



roof plan. R



residential parking level. P2



residential level. L2



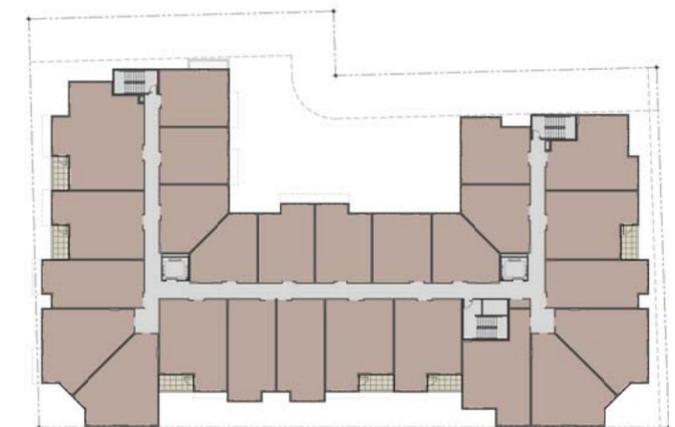
residential level. L5

LEGEND

- parking garage
- common space
- commercial
- residential
- corridor
- paving
- bushes
- green grid



residential and commercial level. L1



residential level. L4

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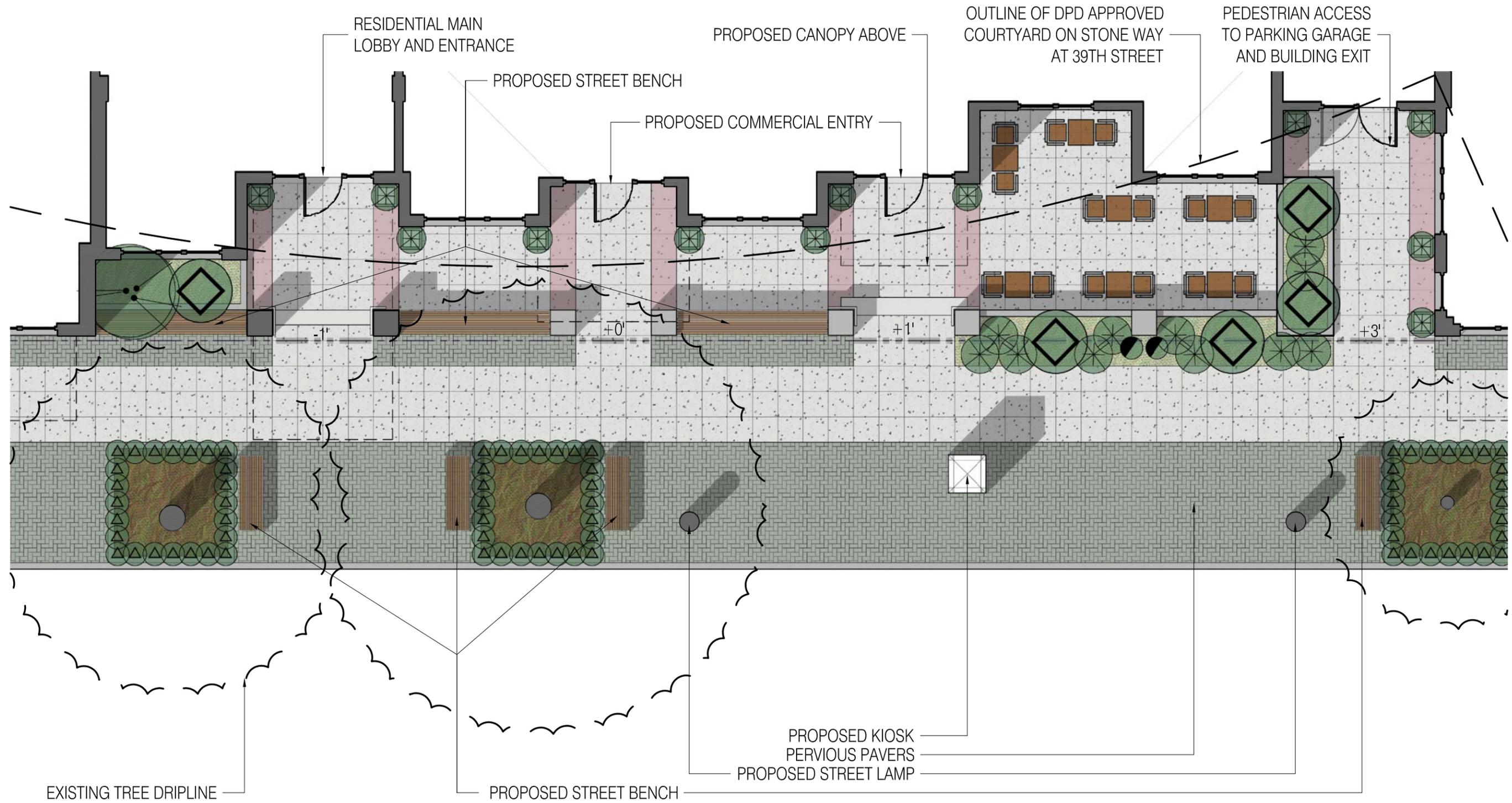
LEGEND

- common area
- commercial
- residential
- corridor
- paving
- green screen
- landscaping
- ground cover
- green grid
- grasses
- trees - existing and proposed
- commercial entry
- residential entry
- emergency egress
- garage entry / exit



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SCALE: 1/8" = 1'

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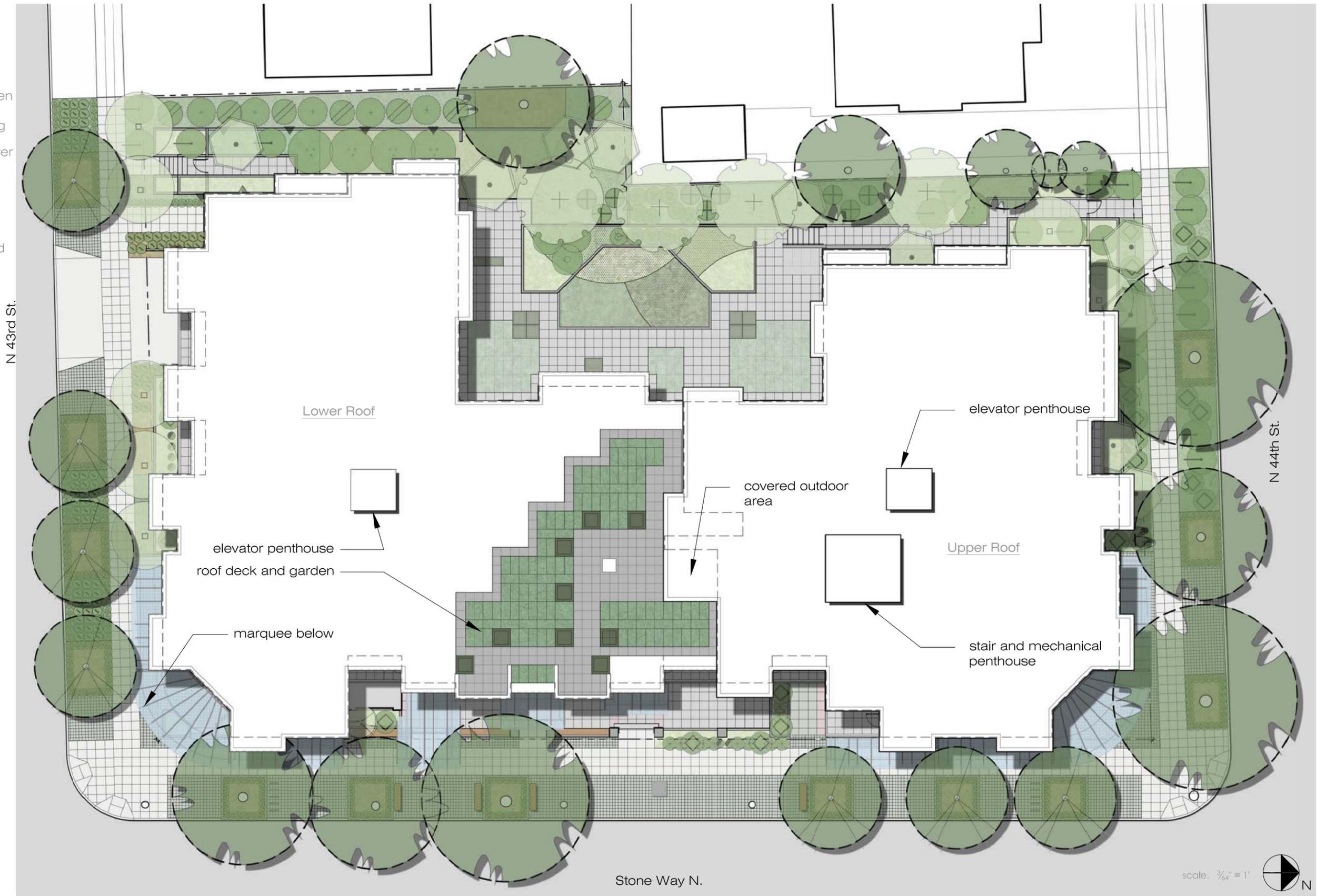


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SITE LEGEND

-  paving
-  green screen
-  landscaping
-  ground cover
-  green grid
-  grasses
-  trees - existing and proposed



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northeast corner aerial



northwest corner aerial



southeast corner aerial



southwest corner aerial

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east facade. stone way north



south facade. north 43rd street

stone way north facade.

As the main commercial frontage, the Stone Way facing portion of the proposed building must pay special attention to both the human scale as well as the commercial scale required by its use. There are several areas in which one might enter or exit along this street frontage. They are located at both the north and south corners as well as the through the pedestrian courtyard located at the center of the building. Through this pedestrian courtyard, one is able to access the commercial space(s) as well as the the residential entrance. Benches and planting have been incorporated to transition to the main pedestrian courtyard from the sidewalk. Existing street trees have been removed from this view to show the entire facade.

north 43rd street facade.

This street turns the south commercial corner and then must transition from that to a smaller single family scale. To do this the brick is kept only at the commercial storefront as it turns the corner and a new horizontal material is introduced. This street also acts as the vehicular access to the building while keeping its scale as human as possible. The impact of the garage entrance and trash access was reduced in two ways. First the entrance has been set back. Second, planting has been provided above and surrounding the entrance to buffer visually. Additionally, there are no planted trees along 43rd and we propose to plant three in accordance with the city standards. Further planting is proposed to buffer the open space between the Single Family lots and the proposed building edge.





west facade. transition to single family zone



north facade. north 44th street

west facade facing single family zone.

The sensitivity of the proposed building as it transitions to the single family zone is an issue of utmost importance. First the issue of privacy was taken into consideration. In doing so it was decided that all windows with intrusive views would be small and positioned so to minimize this intrusion. Additionally, the small windows limit the amount of residential light that might affect the neighbors. The transition from the building to the Single Family neighbors is made by setback from the property line, vertical and horizontal modulation, differing roof heights, fences, green walls, planting, and the use of two significant existing cedars as visual screens.

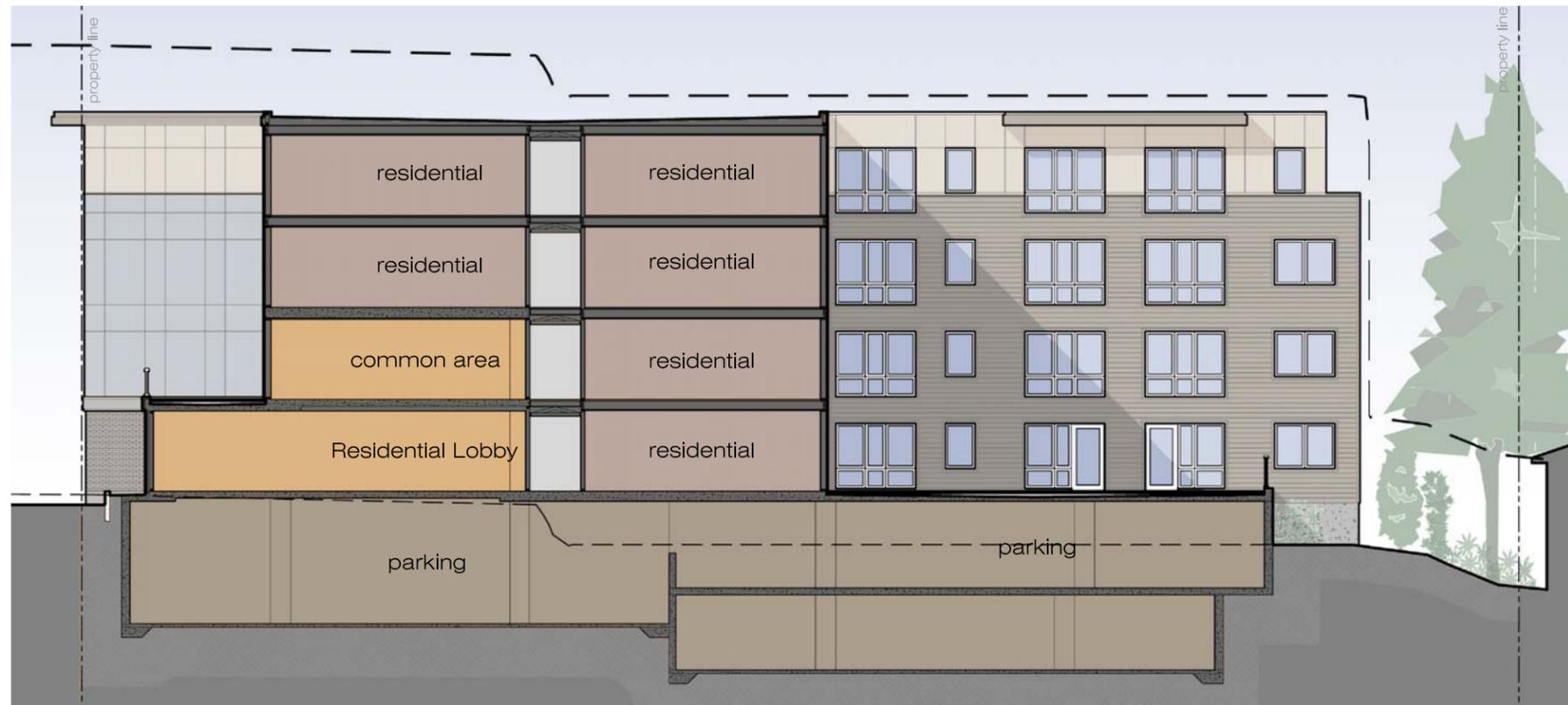
north 44th street facade.

This street much like 43rd was a study in transition. The commercial frontage, designated by the first floor brick and marques, wraps around the corner just enough to enclose the storefront without imposing on the Single Family. There are three large birch trees that line the sidewalk along this facade. They are in good condition save for some topping that can be attributed to clearing for power lines. These will be maintained and all efforts will be made to keep them healthy. Helping with this is a setback required by SDOT for future street widening. This along with low planter offers a significant setback from the street as the building transitions to the Single Family residences.



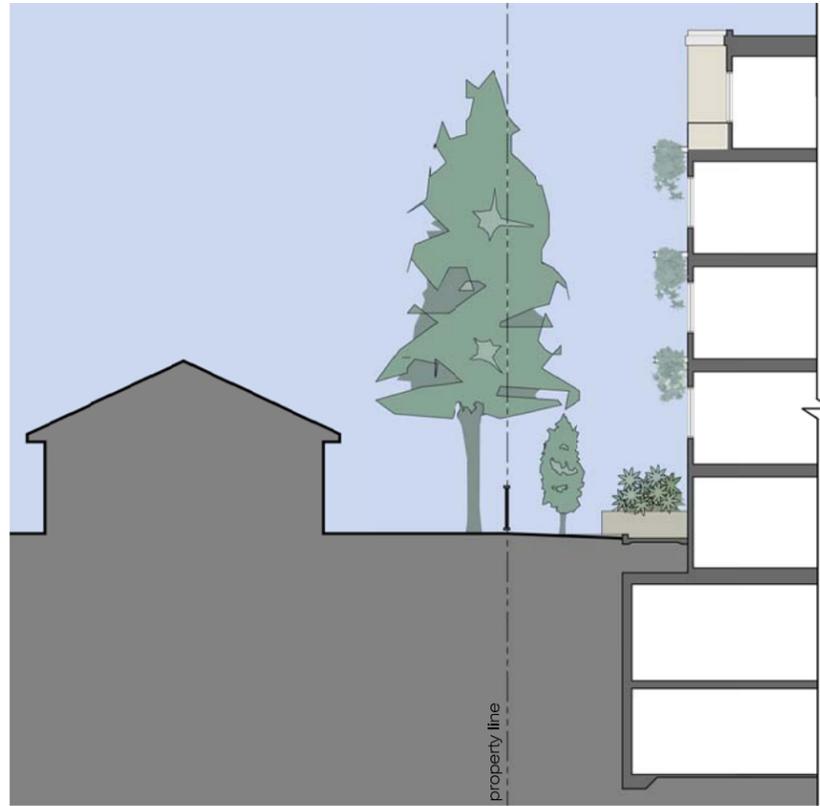


section 1. north - south. 1/8"=1'-0"



section 2. east - west. 1/8"=1'-0"

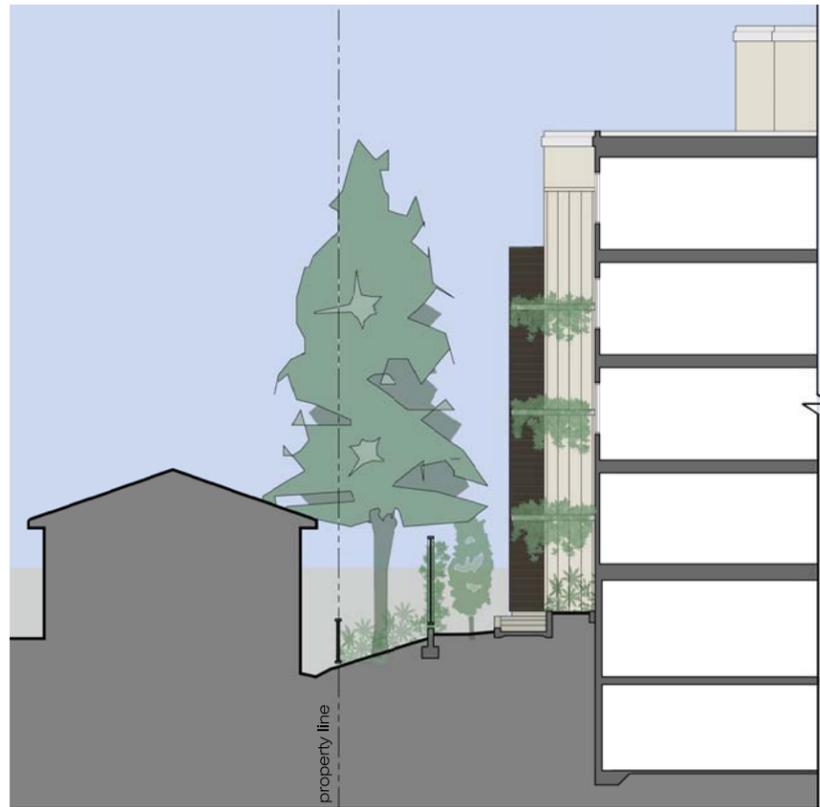




section 1



view from 44th street



section 2



view from 43 street

description

While the proposed structure is within a NC2-40 zone it lies directly adjacent to a SF5000 without a transitional buffer zone. This proposal helps alleviate the difficult transition between the two zones by turning the courtyard toward the single family neighbors, and by meeting or exceeding the setbacks in all areas. The building is also terraced at its upper levels and landscape screening between the properties is proposed. By turning the west courtyard toward the single family neighbors and by terracing the upper levels, the structure provides more light and shared overhead space to the neighbors. Proposed landscaping, fencing, and changes in level at the courtyard will help to provide privacy to the neighbors.

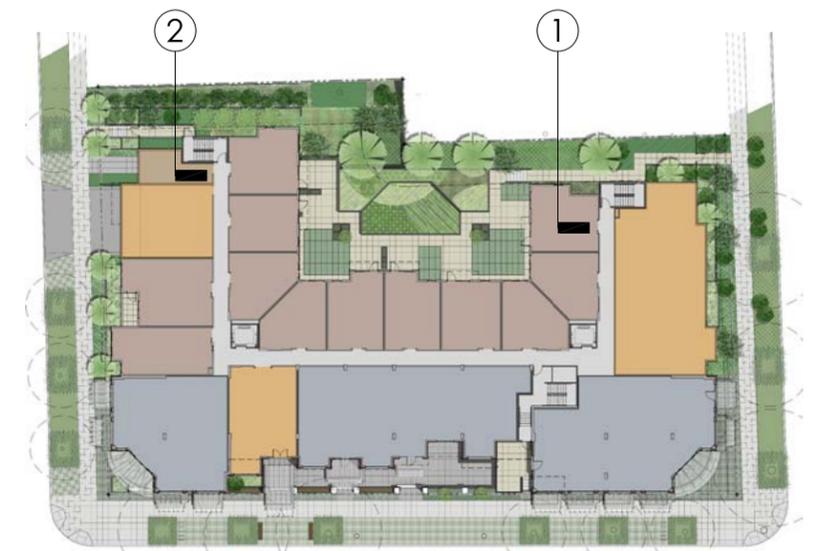
Section 1:

Here you can see that the house on 44th Street is nearly at the same level as the sidewalk and exit pathway. Existing trees will be complimented with landscaping to maintain visual separation between the properties.

Section 2:

At this location, the grade slopes away from the proposed building toward the neighboring residence. A retaining wall is proposed in addition to a green wall and dense landscaping. Planters on the wall of the building will help to soften the building above the first level.

The existing house is 3 feet from the property line and we have located a 4 foot tall fence on the property that will minimize any visual losses and maximize sun for the house. A green screen is then set back off of the property to offer a visual barrier as well as a security wall for the property.



key plan. 1/4"=1'-0"





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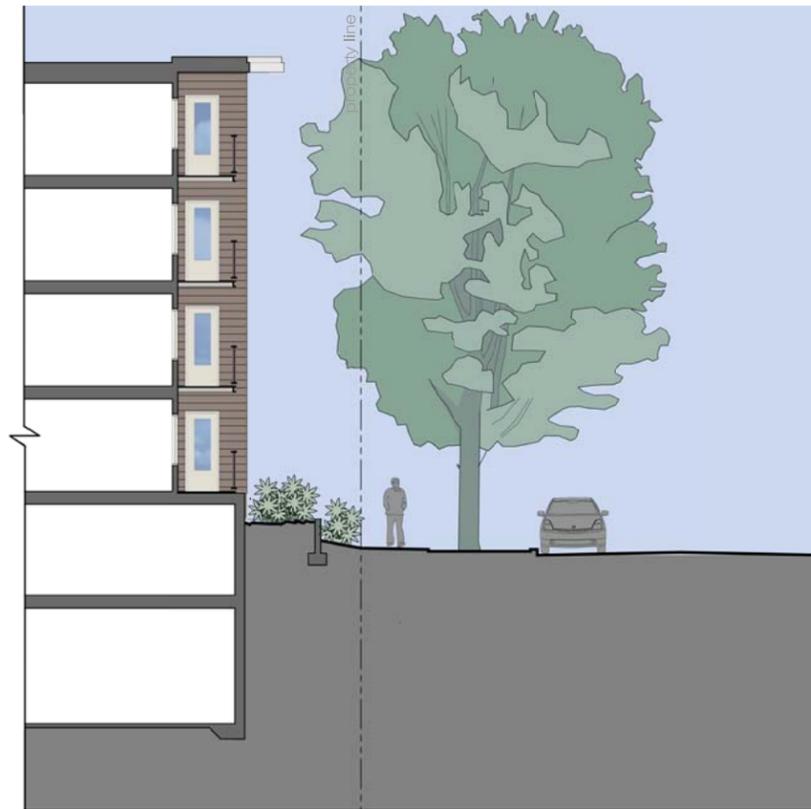
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wall section 3



view of courtyard along stone way



wall section 4



view of transition at 44th street

description

Stone Way is an active street that is further enhanced by the proposal...Commercial spaces that wrap the corners ...beveled corners that create public space. Varied spaces at entry, including different scales and different levels.

Section 3 and view of center courtyard along Stone Way N:

The courtyard is modulated and allows for entries to either one or two commercial spaces as well as the main residential entrance and the public parking access. A combination of stairs, ramps, planting and benches help to make the transition from the sloping sidewalk to the courtyard.

Section 4 and view of transition space between the building and sidewalk along N 44th Street:

Shows potential restaurant location at the commercial corner with the opportunity for outdoor sidewalk seating. West of the commercial space, the view indicates the terraced landscaping and multiple setbacks between the building and sidewalk, which has also been planted to provide further buffer.



PLANTER, WALKWAY, AND STAIR LIGHTING

Designed as stair and planter lighting. This fixture will keep areas illuminated for safety, but should not impose excess light to surrounding areas.

Designated by: ▲



RESIDENTIAL DECK AND EXIT LIGHTING

This light has been chosen for its ability to offer down and side lighting without intruding on the Single Family Residences. This should limit any issues with excess light while offering appropriate security lighting.

Designated by: ●



STONE WAY COMMERCIAL LIGHTING

This commercial front lighting is designed to offer broad lighting along Stone Way N to properly illuminate the commercial frontages.

Designated by: ■



WALLINGFORD STREET LIGHTING STANDARD

Street Light Fixtures as determined by Wallingford Standards and approved by SDOT.

Designated by: ⊕





LAP SIDING MAROON



LAP SIDING DARK



FIBER CEMENT PANEL LIGHT



FIBER CEMENT PANEL DARK



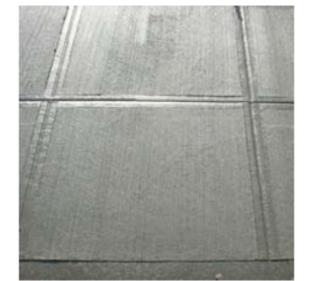
FIBER CEMENT PANEL GREY



BRICK



STEEL CANOPIES



CONCRETE SIDEWALK



PERVIOUS PAVERS



CONCRETE PAVERS TYPICAL



CONCRETE PAVERS COLORED

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