

STONE WAY II DEVELOPMENT

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DPD LAND USE #3009828 | DPD PERMIT #6197474 | 4301 STONE WAY NORTH | EARLY DESIGN GUIDANCE SUBMITTAL | 4.22.2009

Zoning Requirements Overview. NC2-40

23.47A.005 STREET LEVEL USES

- C In NC Zones in new structures, street level parking must be separated from the street level, street facing façade by another permitted use
- D.1 Residential Uses are generally permitted anywhere in a structure in NC1, NC2, NC3, and C1 zones, except as provided in subsection D2 and D3.
- D.3 Residential uses may not exceed, in aggregate, 20% of the street level street facing façade when facing an arterial.

23.47A.008 STREET LEVEL DEVELOPMENT STANDARDS

- A.3 Setbacks. Street Level street facing facades must be located within ten feet of the street lot line, unless wider sidewalks, plazas, or other approved landscaped open spaces are provided.
- B.3 Height and Depth of Non-residential space. Nonresidential uses must extend an average of at least thirty feet and a minimum of fifteen feet in depth from the street-level street facing façade except that if the street facing façade and depth requirements result in a space greater than fifty percent of the structure's footprint, the director shall modify the street facing facade or depth requirements, or both, to reduce the space to fifty percent of the structure's footprint.
- B.3.b Nonresidential uses at the street-level must have a floor to floor height of at least thirteen feet
- D. Residential Street-Level Requirements. Residential uses may be limited to 20% of the street-level street-facing façade under section 23.47.005. When a residential use is located on a street-level street-facing façade, the provisions of Subsection A and the following apply:
 - D.1 At Least on of the street-level street-facing facades containing a residential use must have a visually prominent pedestrian entry
 - D.2 Either the first floor of the structure at or above grade shall be at least four (4) feet above sidewalk grade or the street-level façade shall be set back at least ten (10) feet from the sidewalk.

23.47A.012 STRUCTURE HEIGHT

- A Maximum Height. The height limit for structures in NC zones or C zones is forty feet as designated on the official Land Use Map.
- A.1 In zones with a thirty foot or forty foot mapped height limit, except in the south lake union urban center:
 - A.1.a The height of a structure may exceed the otherwise applicable limit by up to four feet, subject to subsection A1c of this section, provided the following conditions are met:
 - A.1.a.(1)(a) a floor to floor height of thirteen feet or more is provided for nonresidential uses at street-level
 - A.1.a(2) The additional height allowed for the structure will not allow an additional story beyond the number that could be built under the otherwise applicable height limit The director shall reduce or deny the additional structure height permitted by this subsection A1 if the additional height otherwise would significantly block views from neighboring residential structures of any of the following: Mt. Rainier, the Olympic and Cascade Mountains, the downtown skyline, Green Lake or Puget Sound

23.47A.013 FLOOR AREA RATIO

- A. Floor area ratio (FAR) limits apply to all structures and lots in all NC zones and C zones
- Chart A. For structures containing both residential and nonresidential uses in the 40' height overlay, the FAR is 3.25

23.47A.014 SETBACK REQUIREMENTS adjacent to residential zones

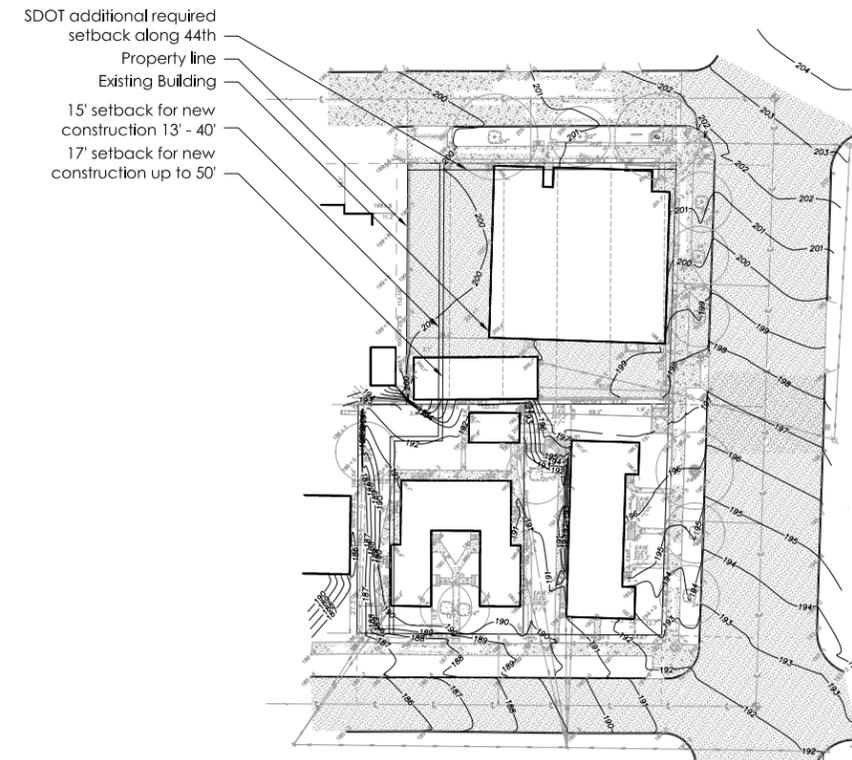
- B.3.a Fifteen (15) feet for portions of the structures above thirteen feet in height to a maximum of forty (40) feet; and
- B.3.b for each portion of a structure above forty (40) feet in height, additional setback at the rate of two (2) feet of setback for every ten (10) feet by which the height of such portion exceeds forty (40) feet.
- B.5 No entrance, window, or other opening is permitted closer than five(5) feet to a residential zone.
- C A minimum five (5) foot landscaping setback may be required under certain conditions and for certain uses according to Section 23.47A.016
- E Structures in required Setbacks
 - E.1 Decks and Balconies
 - E.1.a Decks with open railings may extend into the required setback, but are not [permitted within five (5) feet of a lot in a residential zone, except as provided in Subsection E1b
 - E.2 Eaves, Cornices, and gutters projecting no more than eighteen (18) inches from the structure façade are permitted in required setbacks

23.47A.024 RESIDENTIAL AMENITY AREAS

- A Residential amenity areas, including but not limited to decks, balconies, terraces, roof gardens, plazas, courtyards, play areas, or sport courts, are required in an amount equal to five (5) percent of the total gross floor area in residential use, except as otherwise specifically provided in this chapter. Gross floor area for the purposes of this subsection, excludes areas used for mechanical equipment, accessory parking and residential amenity areas.

23.54.015 REQUIRED PARKING

- Chart A.D In all other commercial zones and in pedestrian designated zones for uses not listed in Chart D, no parking is required for the first one thousand five hundred (1,500) square feet of each business establishment.
- Chart A.D LIVE-WORK UNITS require 1 space for each unit, plus if the unit exceeds 2,500 square feet, the parking requirement for the use most similar to the nonresidential space
- Chart B.L Residential uses in commercial zones require 1 space for each dwelling unit
- Chart D.A General sales and service uses; Medical service uses; Lodging uses; and Entertainment uses, except motion picture theaters NC1 zones - Parking waived for first 4,000 square feet of each business establishment



Survey of Existing Site with required setbacks

Site Analysis Summary

STONE WAY N FEATURES

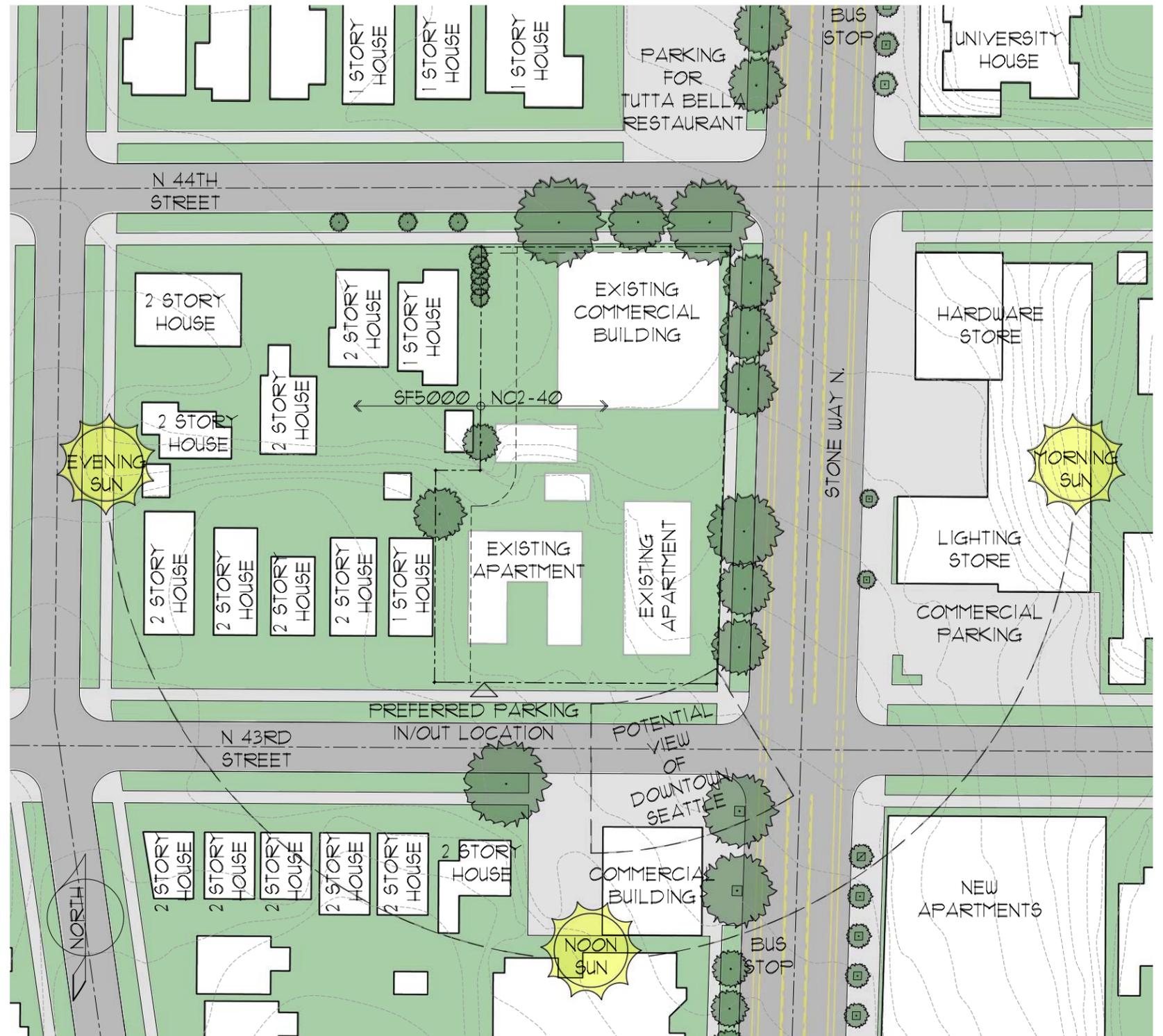
- The street trees will remain as they are in good condition, and add to the overall ambiance of the area. There is a natural break in the tree-line at mid-block that offers an opportunity for the main entrance. The trees will however block some low solar access as well as some view opportunities toward downtown.
- Grade is reasonable to walk or ride. It slopes to the south towards N 43rd St. and can be easily traversed which should help the commercial components.
- This is a "minor arterial" and offers the most dominant commercial viability.
- Several parallel parking stalls exist on the street and will be kept.
- This street offers a bike lane that is utilized frequently.
- A Northbound bus stop can be found across the street and half a block north, while a southbound bus stop can be found on the site side of the street and half a block south.

N 43RD STREET FEATURES

- This is a highly residential road save for the corner at Stone Way.
- The site abuts a SF5000 zone, in which the majority of the homes are 2+ stories (30'-35').
- This street corner will offer the best opportunity for a view of downtown Seattle.
- There are no street trees along this street.
- This is the lowest street and moderately flat. Because of this, it offers a great opportunity to access the garage.
- Being the south street, this facade will offer great mid-day light and substantial light all day. Additionally, the grade slopes away from the property and so the light should not be blocked by anything.
- There are no street trees that abut the site, but a level of planting should be used here to bring the sidewalk scene up to city standards.

N 44TH STREET FEATURES

- The existing street trees look as though they have been topped several time previously. While the hope would be that the trees are still in good condition, there is a possibility that these might need to be replaced.
- This is a highly residential road save for the corner at Stone Way.
- The site abuts a SF5000 zone, in which the majority of the homes are 2+ stories (30'-35').
- This is the highest street and moderately flat. Because of this and the fact that this is a highly residential street, Live/Work or Residential units at grade are proposed. This will offer privacy to existing houses as well as quiet.



Existing Site and Surroundings



Stone Way N Street scene looking East



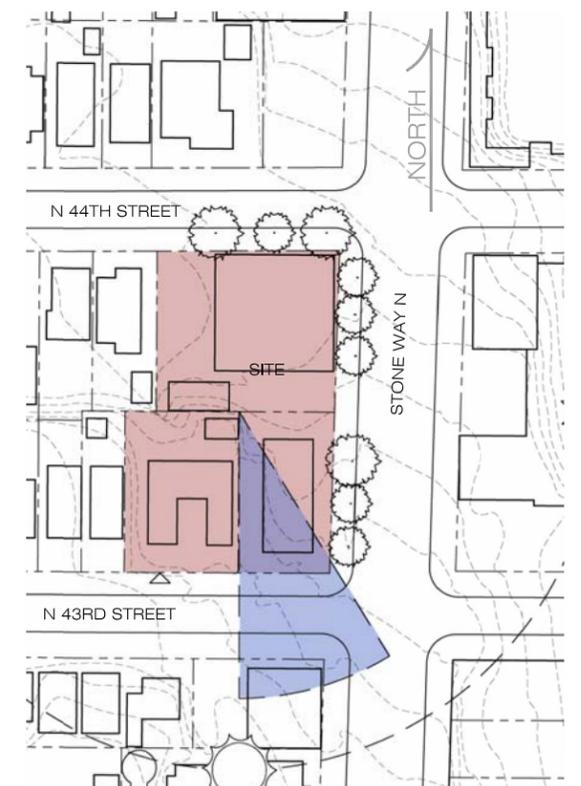
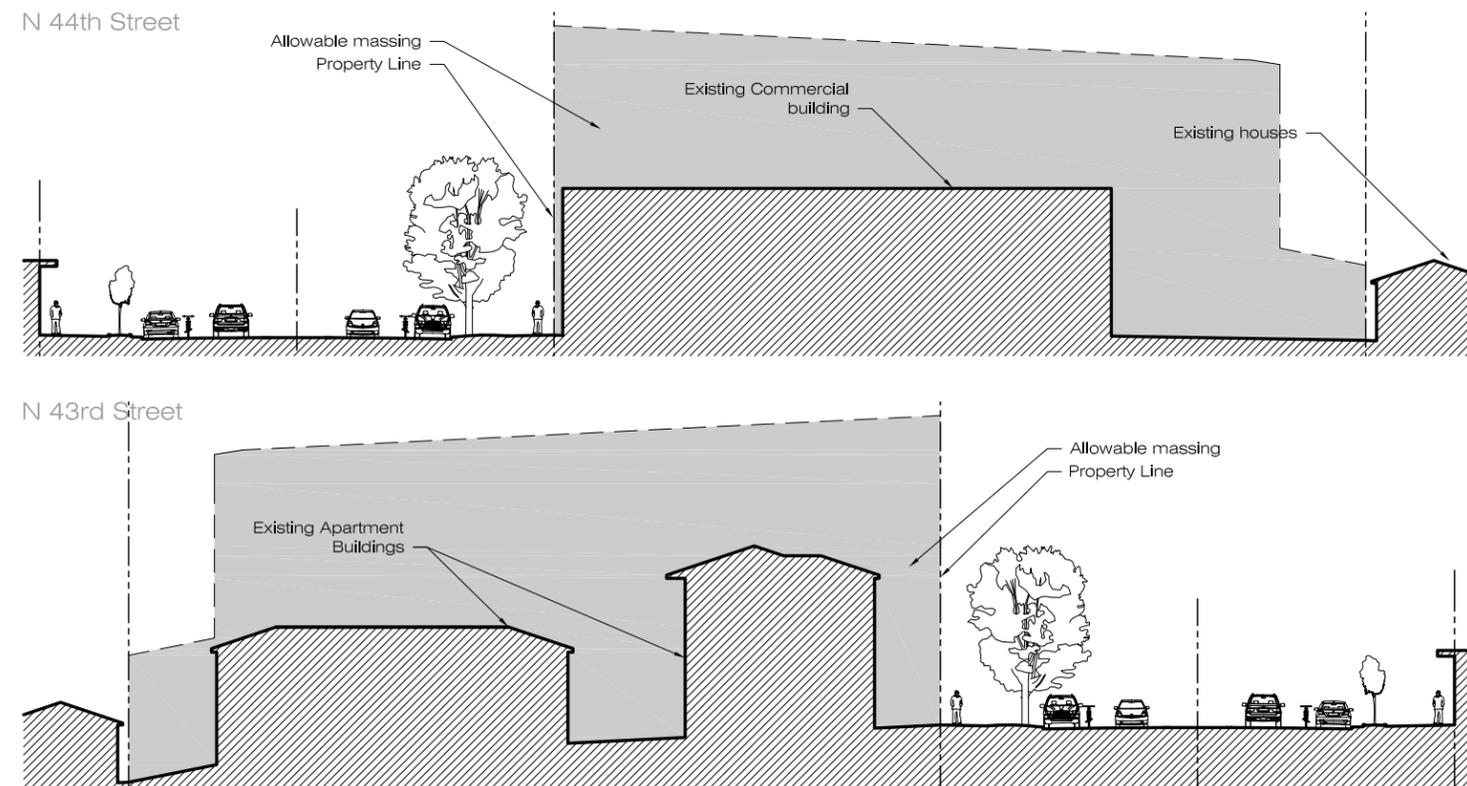
Stone Way N Street scene looking West

STONE WAY N- EAST SIDE FEATURES

- The existing street trees are all recently planted due to the construction along this side of the street. Both north and south of the site are newer buildings that have young tree life.
- Directly across from the site at the hardware store and lighting store, there exist no street trees at all leaving a fairly barren walk and street scene.
- Behind all the commercial and multifamily buildings, single family residences can be seen.

STONE WAY N- WEST SIDE FEATURES (site side)

- Virtually none of the existing street trees have been removed for new construction.
- Behind all the commercial and multifamily buildings, single family residences can be seen.
- Directly north of the site is a parking lot with a garbage dumpster area. This is used for the restaurant at the north side of the parking lot (Tutta Bella).
- Directly South of the site is a single story commercial building. It is also downhill of the site so anything above the first floor will have a reasonable view south, and good sunlight.



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Existing Single Family Residence abutting the Site along 43rd Street



Existing Apartment Buildings along 43rd Street



South Facade of the Existing Apartment Building at the intersection of 43rd and Stone way N



View Looking North along Stone Way N at the existing apartment buildings



Existing Apartment Building along Stone Way



Open Area between Existing Commercial building and existing apartment buildings on apartment lot



Open Area between Existing Commercial building and existing apartment buildings on commercial lot



View South @Existing Commercial Building



Existing Commercial Building along Stone Way



Existing Commercial Building from the North



Existing Parking for Commercial Building on site



Single Family House on 44th next to the site

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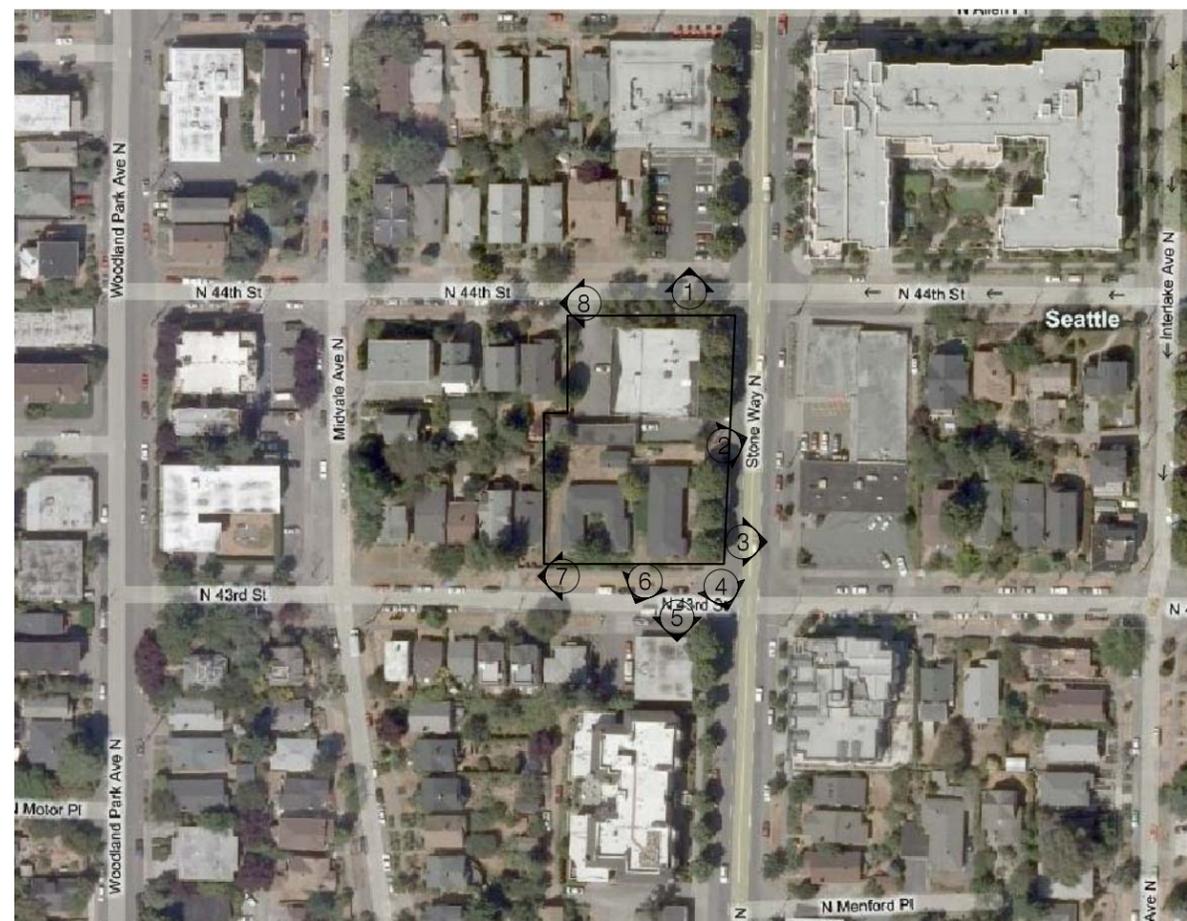
View looking West along N 44th Street ⑧



View looking West along N 43rd Street ⑦



Potential view of Queen Anne and downtown ⑥



AREA MAP ⑩



North view of Commercial Building ①



View northeast across Stone Way ②



View South along sidewalk ⑤



View South toward downtown Seattle ④

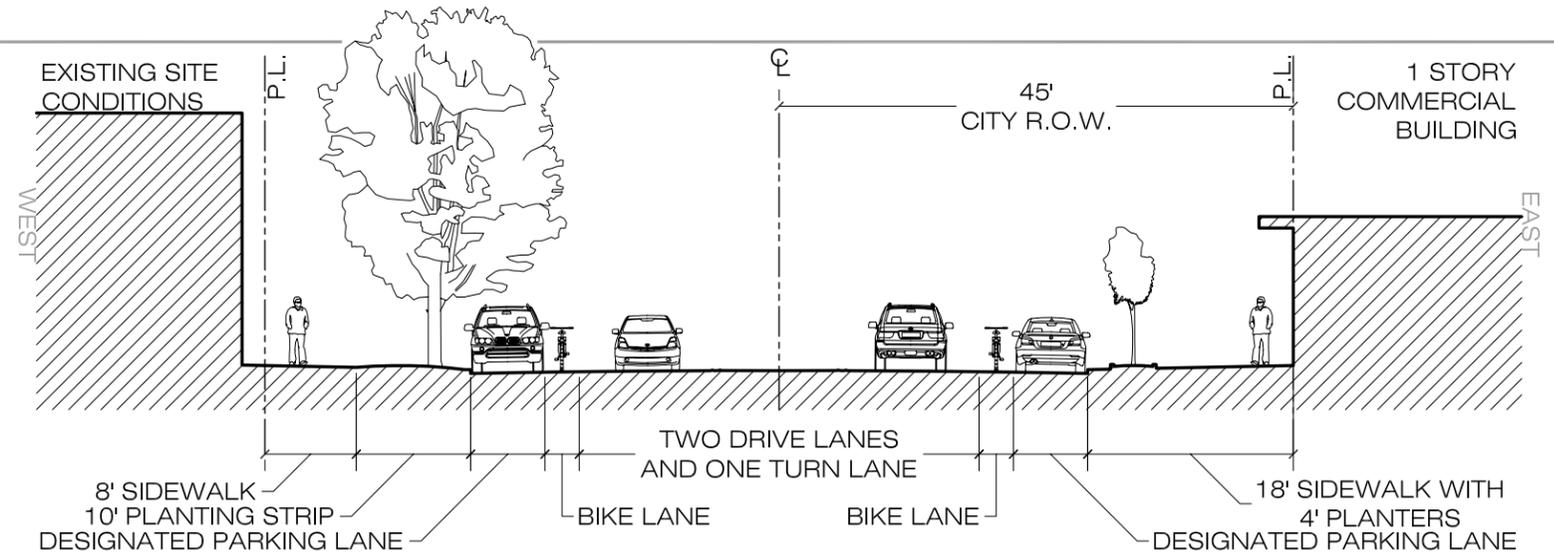


View East up N 43rd Street ③

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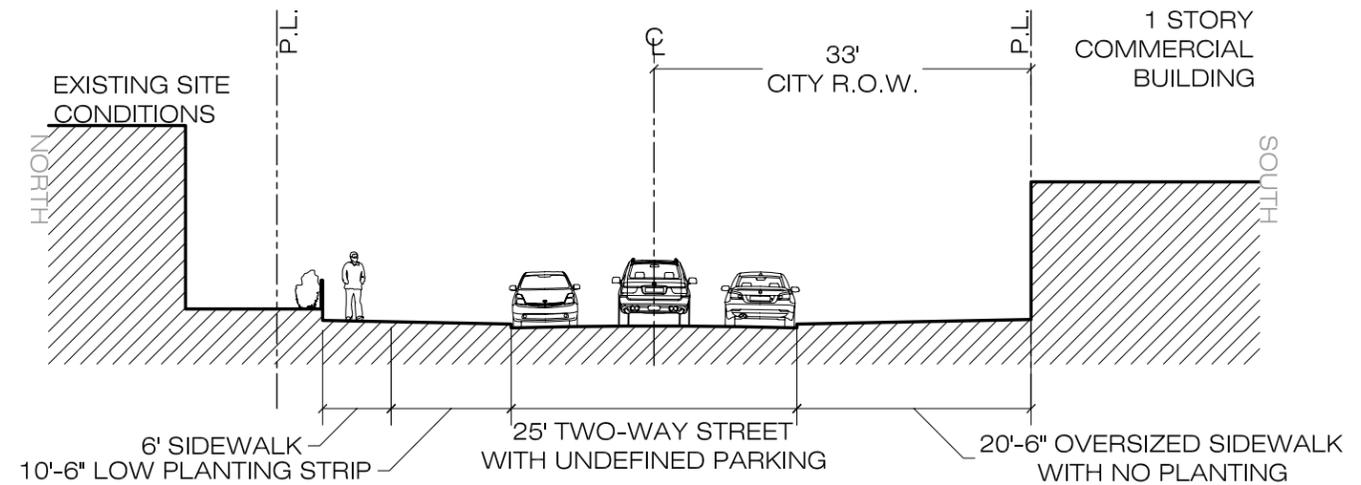
STONE WAY N - SECTION AND ANALYSIS

- On the site side of the street, the existing street trees are mature and in good health. Additionally the existing planting strip is adequate for the street trees as well as additional planting.
- The east side of the street has individual planters for young trees. Each planter measures 4' x 4' and separated from the rest of the sidewalk by a 4" step.
- This is the only major street that abuts the site. Stone way is a three lane road (center lane for turning) flanked by a bike lane and parking lane on each side. The easy street parking makes commercial access easy and the bike lane promotes foot/cycle traffic in the area.
- No setback is required along this street, and building to the property line will still allow for an adequate sidewalk.
- There are two bus stops along this street. One along the opposite side of the street half a block north and the other on the site side of the street half a block south.



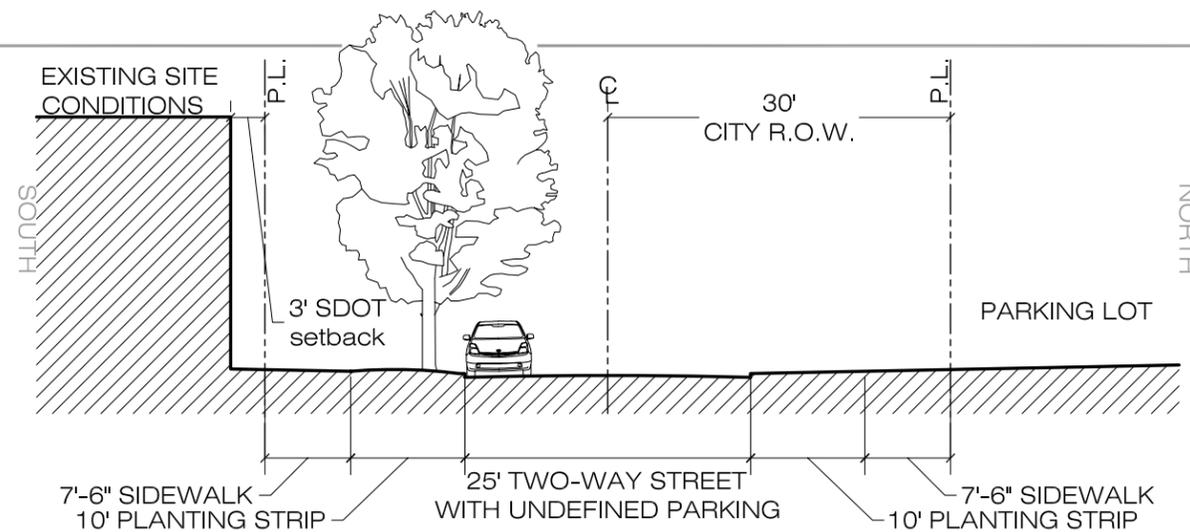
NORTH 43RD STREET - SECTION AND ANALYSIS

- There is no street tree planting along this side street. There is some low grass along the north side of the street, but the south side of the street is an extra wide sidewalk for the length of the property.
- The residential property to the west of the site sets back the required "front yard" set-back.
- The street itself has parking on both sides which allows only one car to traverse it at a time, though it is a two-way street and is used as such. The traffic is low enough that cars rarely encounter each other. The street parking seems to be well utilized by existing commercial and residential building.



NORTH 44TH STREET - SECTION AND ANALYSIS

- Existing street trees are mature and their health needs to be verified with an arborist.
- The existing Planting strip is adequate for the street trees as well as additional planting.
- The existing building, on site, is set back from the property line a varying amount. As requested by SDOT, an additional 3' setback from the property line is required to meet the street improvement requirements. This will bring the city R.O.W. to 33'.
- There is undefined parking along the south side of the street but no parking is allowed on the north side as it is an access point to the commercial building using this parking lot.
- Beyond the site there are single family houses and the area is zoned SF 5000 for the rest of the block.
- This street has a moderate amount of traffic due to the restaurant across the street, especially in the evening hours.



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Site Opportunities

- The Street trees along Stone Way N are in good, healthy condition and should be kept.
- The street trees along N 44th Street are mature but their health needs to be verified.
- There is an opportunity to add new street trees along N 43rd Street.
- There is a natural mid-block break in the street trees along Stone Way, offering a prime location for a building feature such as main entrance and/or commercial frontage.
- This Natural mid-block break also offers an opportunity to set the building back and create a pedestrian plaza
- Potential views to the south will not be blocked by existing structures as they are short and the terrain slopes away to the south.
- At the West of the site there is a potential location for a plaza or deck for the residents of the building.
- At both corners of Stone Way N there are opportunities to create a building feature to articulate these locations. This can be handled in various ways.
- The slope will require the building to be stepped to take advantage of the full height possibilities. This will create an opportunity to have a roof top deck that should have a view toward downtown as well as toward Queen Anne.

Site Challenges and limitations

- The site slopes 15+ from high point to low point. This will create some issues in creating pleasant access points along the perimeter of the buildings.
- The Site slope forces the garage access point to the south of the site on N 43rd Street. The location is not a limitation, but rather the fact that there is only one reasonable location for garage access. Code requirement restrict having garage access along Stone Way N and access along N 44th Street is unavailable due to site conditions (slope and existing parking lot across the street from this location)
- The street trees along Stone Way N, while very healthy and in good condition will block views toward downtown to the south, and to keep them healthy requires setting the new building back in certain areas to protect their root structures.
- At the West of the site there is a 15' setback above a height of 13'. Additionally, there will be a setback of 2' for every 10' above 40' of height. This will limit where the structure can be.
- An additional Landscape buffer might create more of a setback than is presently required along the west side of the site adjacent to the existing single family residences.
- The Seattle Department of Transportation (SDOT) will be requiring an additional 3' setback for road widening along N 44th Street.



Massing Option 1- "E-Shaped"



Arial View Looking Northwest

DESCRIPTION

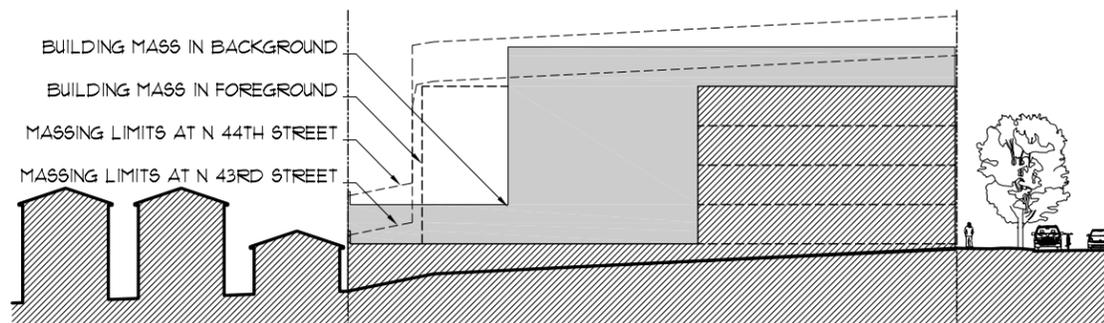
The "E" shaped option shows the ability to maximize the usage of the property. This scheme follows a double loaded corridor through three "wings" of the building. The common deck at the West of the structure can offer an amenity area to the tenants. It has also been scaled to the allowable 13' height to increase the sense of security and privacy. From the private courtyard, the building steps back the required 15' and at the top, a half floor at the North end of the building does well to add to the diversity of the structure as well as maximize the view potential using added height. Honoring the requests of the Wallingford Design Standard, the corners at the streets have been cut away and a courtyard has been placed along Stone way.

ADVANTAGES

- The bulk maximizes FAR
- The large common courtyard will have good solar access at the Western edges.
- The courtyard at Stone Way will add life and amenity space to the street scene.
- There is a potential roof deck option with excellent South and West Sunlight and views.

CHALLENGES

- The thin courtyards at the West of the building will have poor light; Sound will reverberate, and visual privacy will be at a minimum.
- The 13' above grade deck will offer a harsh transition to the Single Family zoned Residences if placed close to the west property line.
- The Stone Way building edge could endanger the existing street trees.



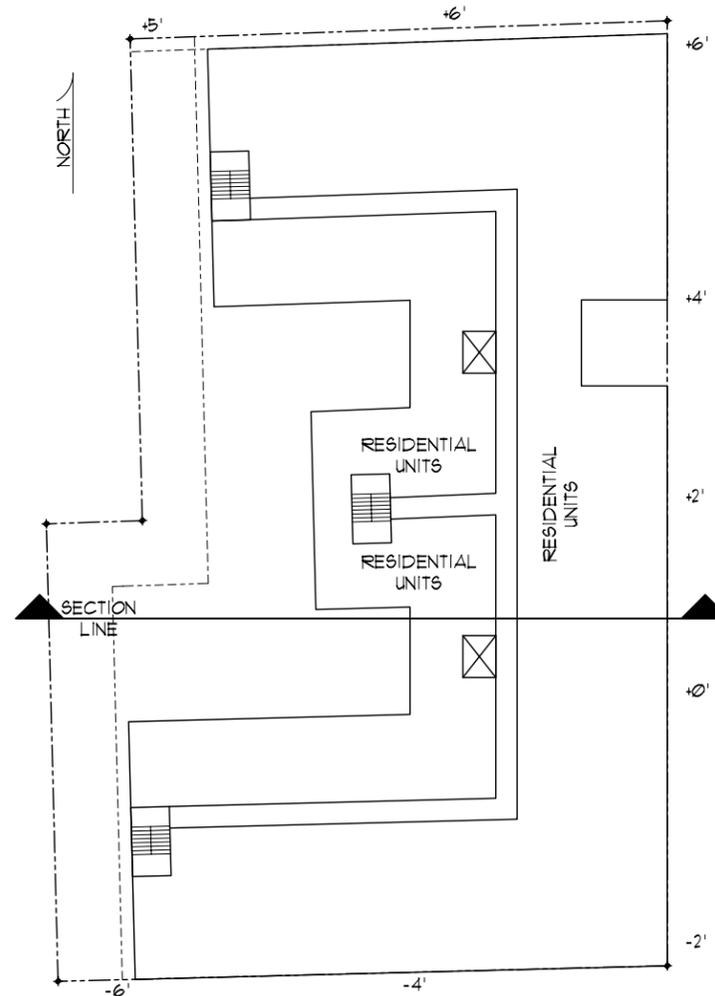
Massing Section



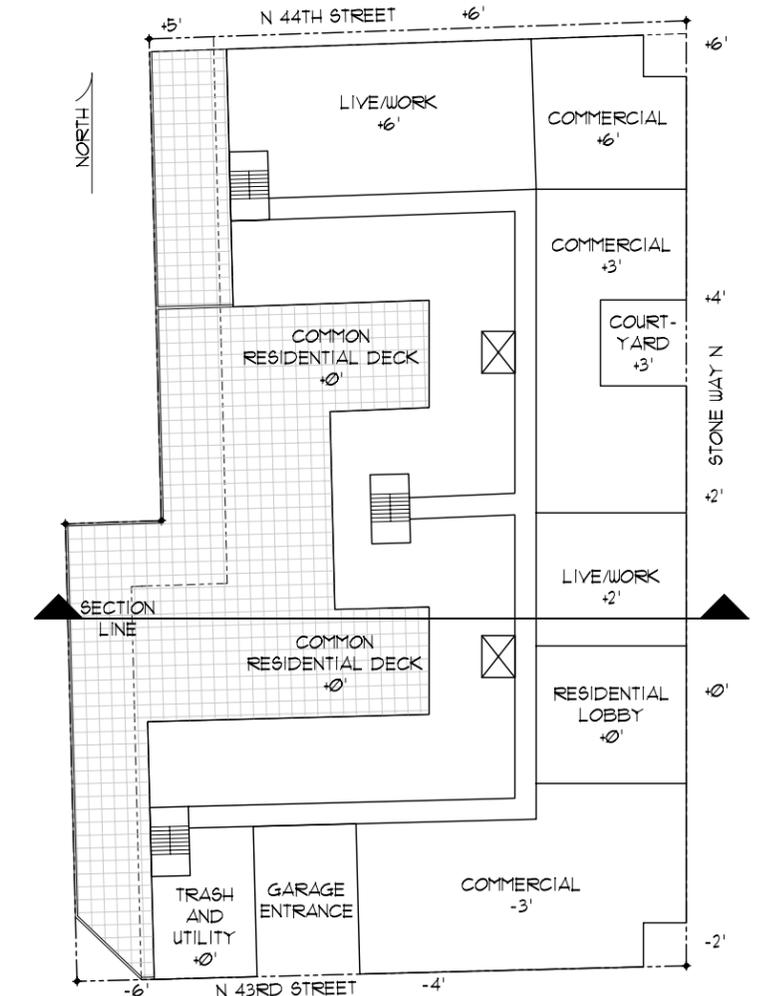
Arial View Looking Northeast



Arial View Looking Southwest



Typical Residential Floor Plan



Street Level Plan



Massing Option 2- "U-Shaped" option



Arial View Looking Northwest

DESCRIPTION

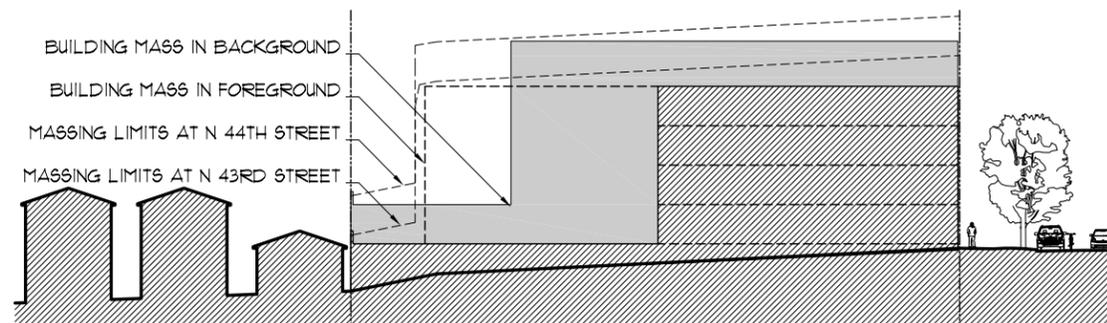
The "U" shaped option shows how to maximize the usage of the property. The common deck at the West of the structure has been maximized to give the most amenity area to the tenants. It has also been scaled to the allowable 13' height to increase the sense of security and privacy. From the common deck, the building steps back the required 15' and at the top, a half floor at the North end of the building does well to add to the diversity of the structure as well as maximize the view potential using added height. Honoring the requests of the Wallingford Design Standard, the building street corners have been cut away to articulate them and a courtyard has been placed along Stone way because of the length of the property.

ADVANTAGES

- The bulk maximizes the FAR
- The large common deck will have good solar access and will provide good privacy for the tenants.
- The courtyard at Stone Way will add life and amenity space to the street scene.

CHALLENGES

- The deep units created by the corners will create dark units.
- The 13' deck will offer a harsh transition to the Single Family zoned Residences.
- The Stone Way courtyard does not offer much relief and the building edge could endanger the existing trees



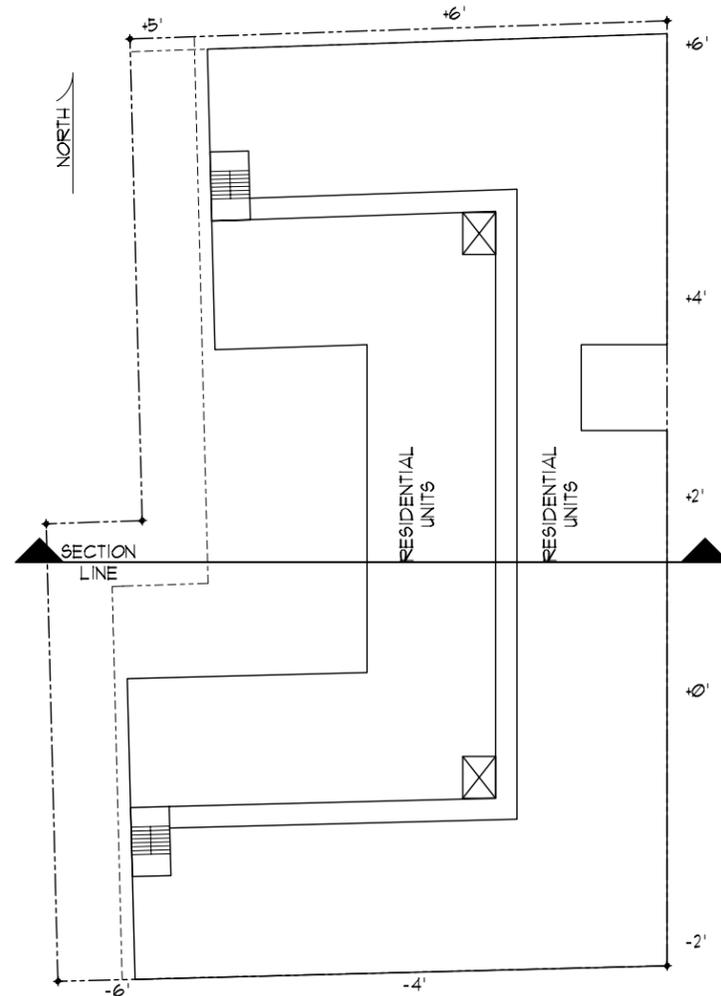
Massing Section



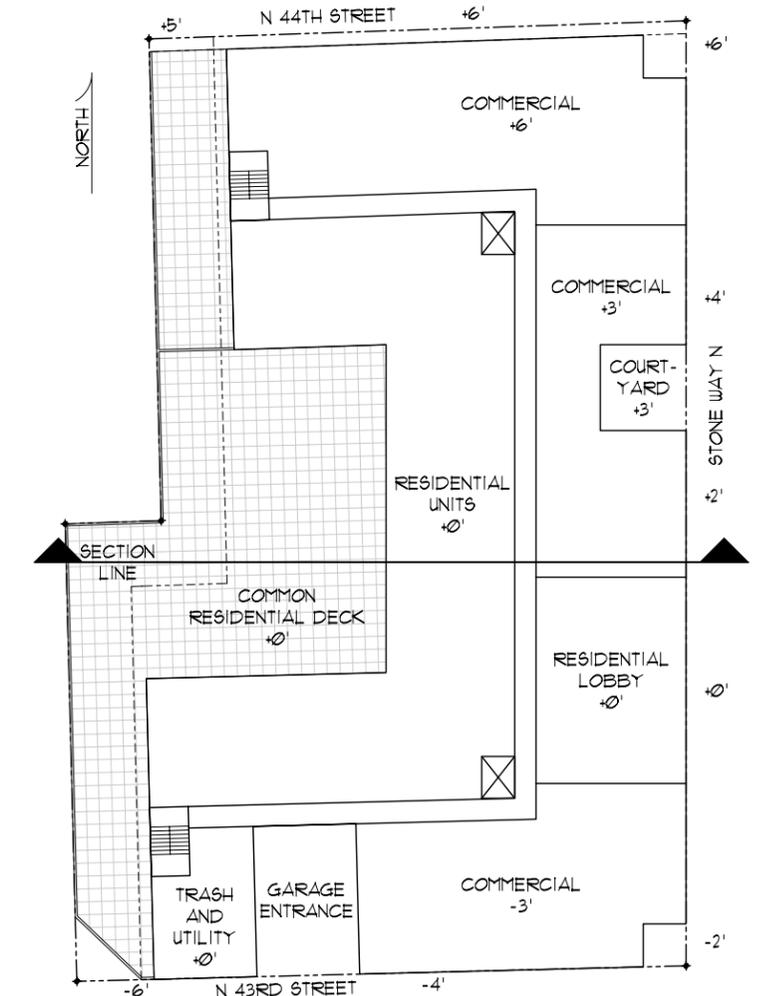
Arial View Looking Northeast



Arial View Looking Southwest



Typical Residential Floor Plan



Street Level Plan

Massing Option 3- "Barbell" With Courtyard- Preferred



Arial View Looking Northwest

DESCRIPTION

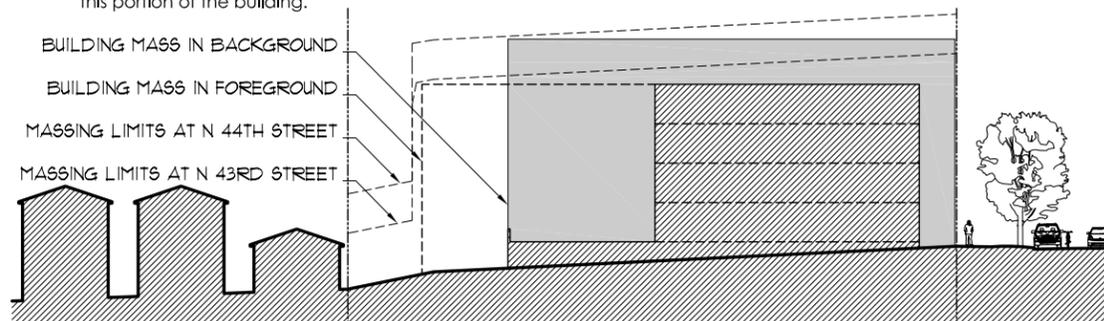
The "Barbell" option shows the last step in the progression of the usability of the site. Compared to the other alternatives this solution minimizes the "pedestal look". This Solution also reduces the overall mass of the building and offers a better scale relative to the Residential houses nearby. The street corners and center along Stone Way N have been setback. This setback at the center of the building allows for a pedestrian courtyard and access to commercial or live/work units at this location. At the north end of the structure, the height allows for a partial level that should add some more diversity to the mass, as well as take advantage of the potential views at that height. Additionally a rooftop deck is a possibility to take further advantage of this usable space.

ADVANTAGES

- The west common deck is setback from the single family properties and will offer a good transition to the residential.
- The elongated courtyard along Stone Way will save the existing trees and give some variety to the facade as well as off the opportunity to enhance the existing sidewalk with additional planting.
- The full cut-away at the corners will help articulate this portion of the building.

CHALLENGES

- This version has a smaller common deck than the other alternatives at the west (residential) side of the building, but is enhanced by a landscape buffer separating site from existing single family.



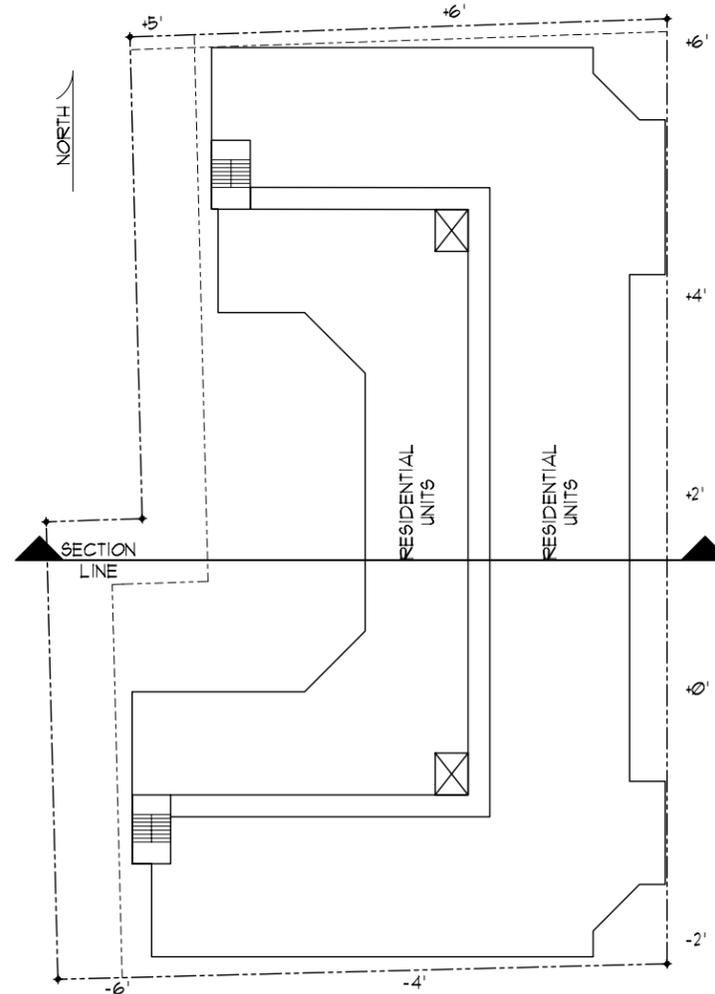
Massing Section



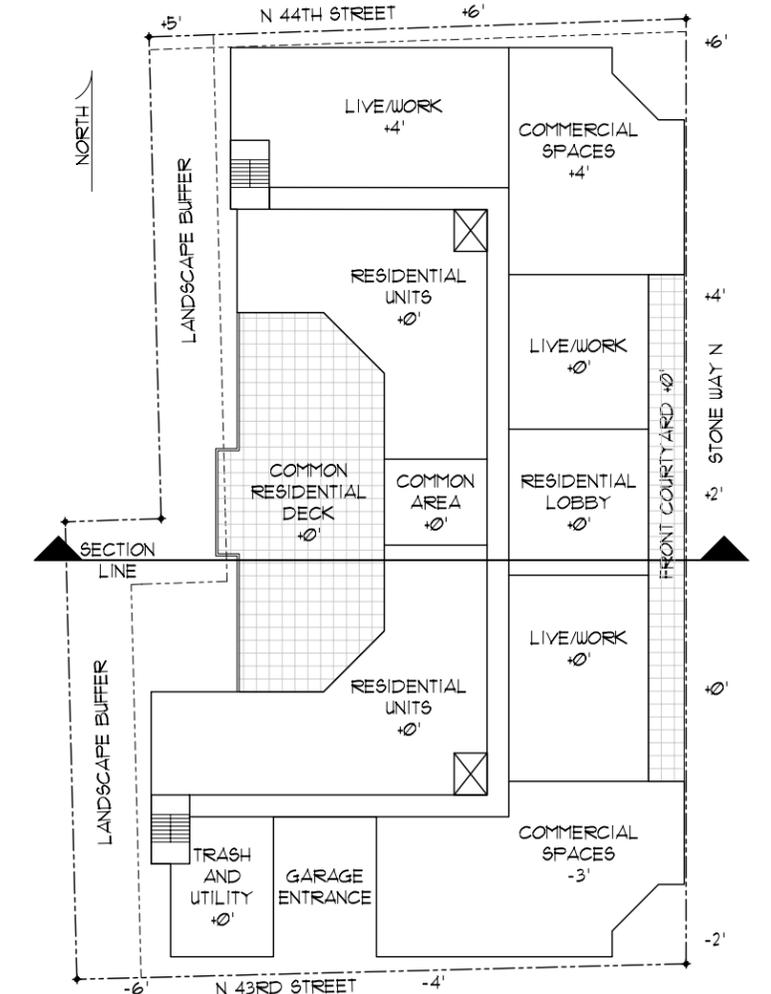
Arial View Looking Northeast



Arial View Looking Southwest



Typical Residential Floor Plan



Street Level Plan

MERRILL GARDENS @QUEEN ANNE

Merrill Gardens at Queen Anne is located in Lower Queen Anne near shopping, restaurants, the arts and medical services. The apartment-style community offers 194 units and all of the amenities of a home without the work.



MAIN PERSPECTIVE



RESIDENTIAL COURTYARD

MERRILL GARDENS @UNIVERSITY

Merrill Gardens at the University will be located in Seattle, Washington near the University Village shopping center and the University of Washington campus. The project provides 123 independent retirement and assisted living apartments with a combination of studios, one bedroom and two bedroom apartments. It also has 103 market rate apartments and over 24,000s.f. over commercial space.



RESIDENTIAL COURTYARD



RESIDENTIAL STREET FACADE

KIRKLAND DEVELOPMENT

The mixed use development is located at the corner of Lake and Kirkland street in the heart of downtown Kirkland. It offers 66 market-rate apartments and 12,300 square feet of retail over underground parking. Construction will begin in June 2009.



PROPOSED AERIAL VIEW



PROPOSED MAIN ENTRANCE VIEW



103 BELLEUVE AVENUE, SEATTLE - The Marq

This project consists of six stories, including 48 residential units and ground floor commercial. It is located at the corner of Bellevue Ave, and Denny way in downtown Seattle. The site's steep slopes and excellent view opportunities, combined with the extremely eclectic neighborhood make it a great portal to downtown. The steel edgy, industrial feel is in keeping with the more modern buildings of the area, while the mosaic bus stop offers remembrance to the social life of the site.



PEDESTRIAN FRIENDLY BUS STOP/COUCH



MAIN ENTRANCE

2901 S JACKSON STREET, SEATTLE - CityView

This 24 unit project was spread over 5 stories with the ground floor occupied by commercial spaces. The garage was separated due to the drastic site variation.



MAIN PERSPECTIVE



COMMON COURTYARD

159 DENNY WAY, SEATTLE - The Matae

This building was designed as a seven story, 78 unit, mixed use project. It is located at the corner of 2nd Ave and Denny Way in Belltown. The existing neighborhood was mainly commercial structures, but this cornerstone represented one of the "first kids on the block" in what is now a bustling urban residential area. The ground floor commercial and Live/Work Units add a great life to the busy street and the rusticated concrete and metallic finishes create an honest architectural expression with a refined and modern feel.



NORTHWEST FACADE FROM DENNY WAY



PEDESTRIAN FRIENDLY SIDEWALK

MARKET TOWNHOMES, KIRKLAND

A six unit complex in the heart of Kirkland



Main Facade



Street Access