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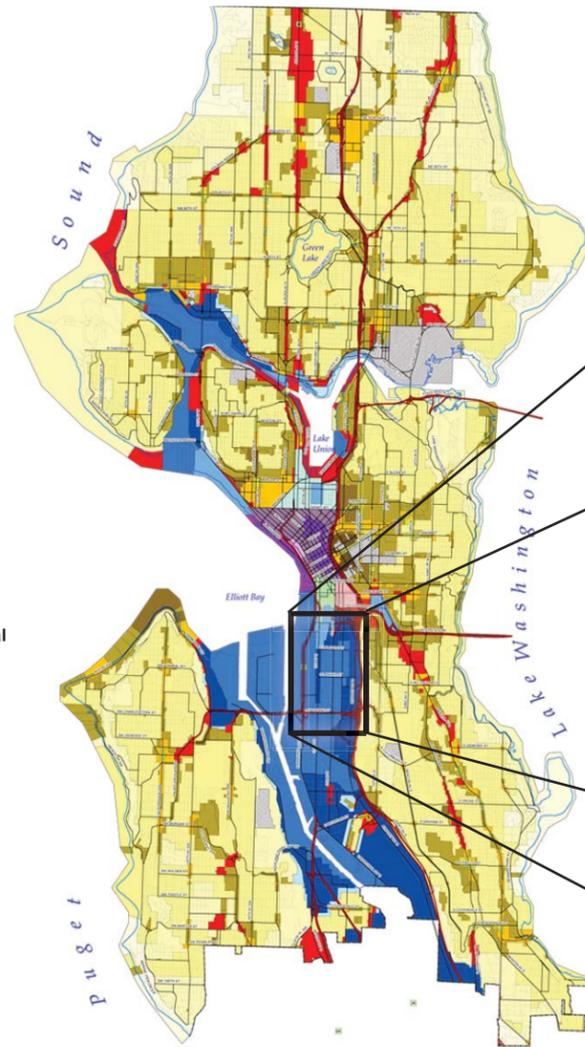
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PROJECT NUMBER: 3009470



Legend

- Single Family 5000
- Single Family 7200
- Single Family 9600
- Residential Small Lot
- Lowrise
- Midrise
- Highrise
- Seattle Mixed
- Neighborhood Commercial
- Commercial
- Downtown Office Core
- Downtown Harborfront
- Downtown Mixed
- International District
- Pike Market Mixed
- Pioneer Square Mixed
- Industrial Buffer
- Industrial Commercial
- Industrial General 1
- Industrial General 2
- Major Institution
- Pedestrian Areas

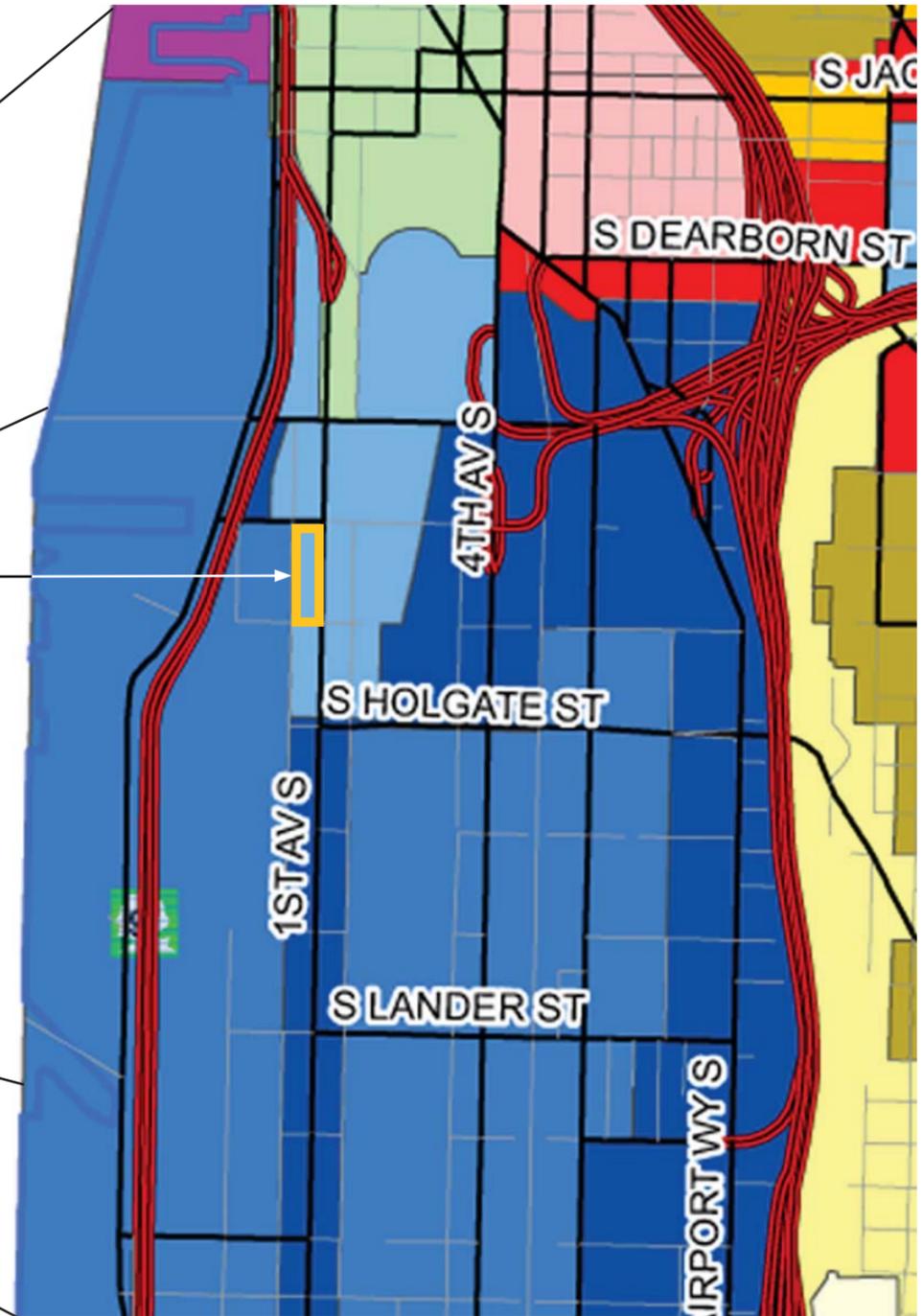


City Zoning Map

Home Plate Center Site →

Zoning / Overlays:

- Industrial Commercial - 85'
- Stadium Transition District
- Urban Village Overlay
- Liquefaction Prone Soils



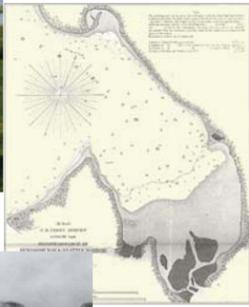
Vicinity Zoning Map







Dwamish Estuary



Denny Regrade



Starbucks Headquarters



505 Union Station



Port of Seattle



Coast Guard Museum



Shipping Containers



SIG Railyard



Safeco Field



King Dome Demolition



Qwest Field - View Toward City





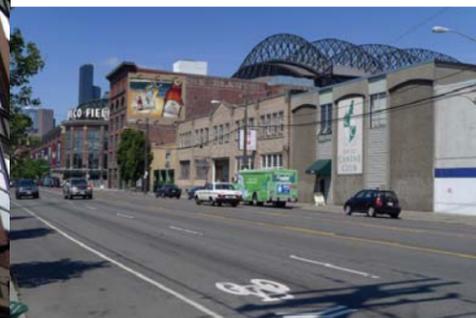
First Avenue Streetscape



Safeco Field



Safeco Field



First Avenue



Bemis Building



Stadium Technology Center Building



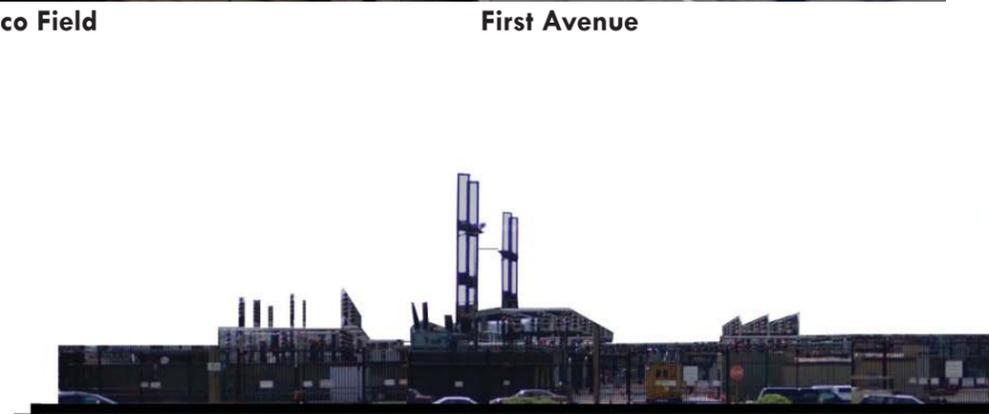
Utilitarian Building



Port 46

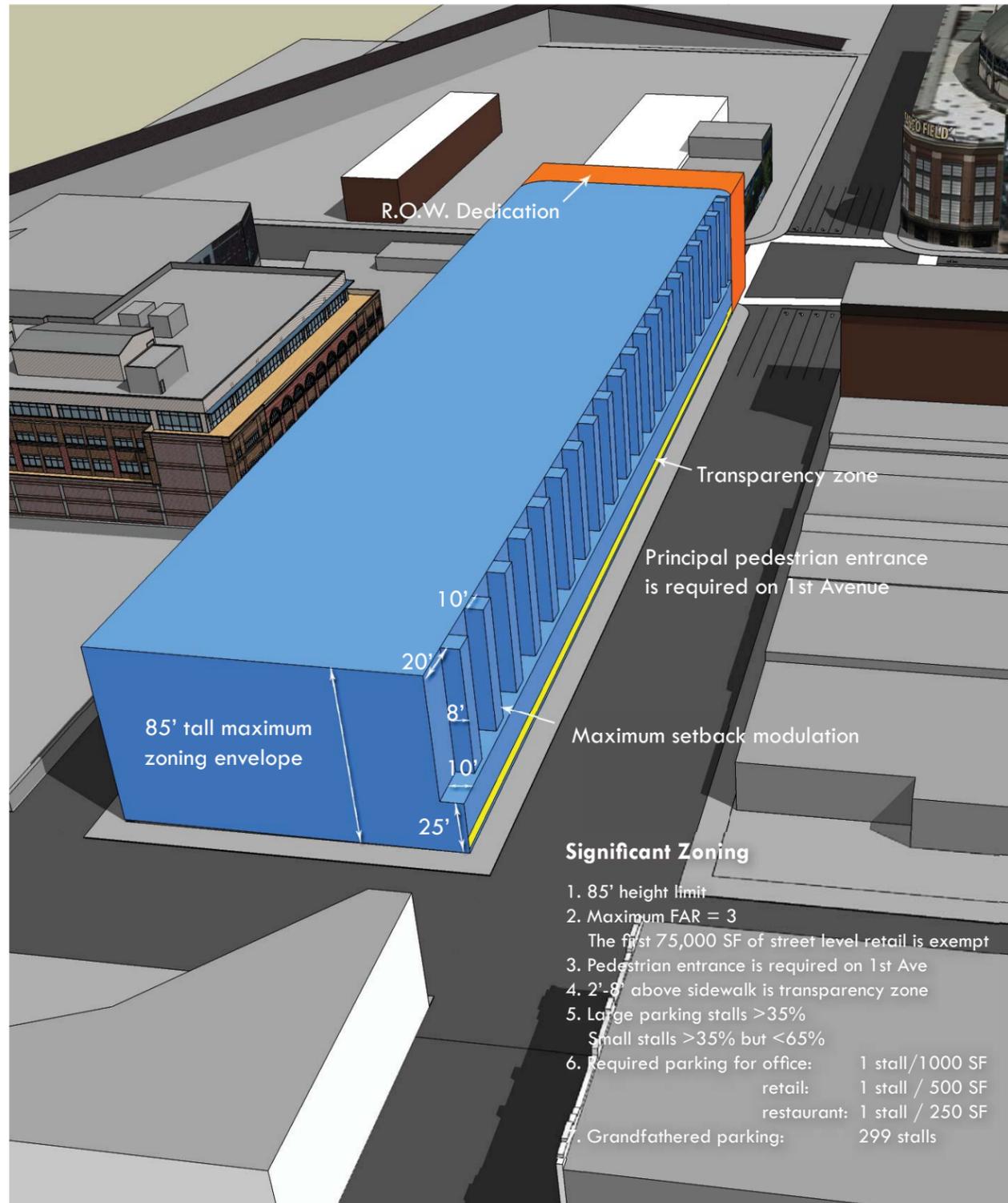


SIG Yard



Utah Avenue Streetscape





Zoning Code Envelope Without Departures

A. Site Planning And Massing

A-1 Respond to the physical environment.

(Jan. 10, 2006)

Develop an architectural concept and compose the building's massing in response to geographic conditions and patterns of urban form found nearby or beyond the immediate context of the building site.

The Board approved of the direction in massing choice and scale as shown in scheme 3 and wanted to see more details at the next meeting. The big, chunky pieces of building are appropriate at this location.

(Nov. 25, 2007)

The north and south long façade lines are important façades which will need to articulate a comprehensible language of the block long development and at the same time avoid a relentless façade pattern. Architectural forms that relate to the stadium, the Utah building, solar exposure and retail exposure are expectations to be presented at the next meeting.

This design has responded to the challenge of designing a full city block by responding carefully to its immediate physical environment. Foremost, the design identifies the need to provide a mid-block street level plaza which provides the following advantages:

It provides a large public gathering space that is orientated towards the home plate entrance of Safeco Field.

This space is protected from the heavy truck traffic queuing on South Atlantic.

It provides a mid-block crossing, providing pedestrian linkages to the new mixed-use building currently under construction on the opposite side of Utah Avenue.

It provides a space that adjacent ground level retail and restaurants can spill services into.

It provides a space to organize the building entries and circulation around.

The plaza is carefully angled to provide views to and from Safeco's home plate entry. This angled orientation has the additional advantage of allowing greater afternoon sun exposure into the plaza.

It breaks up the continuous massing of the full block development and reduces its apparent scale.

The façades have been designed to create interest by hierarchically breaking down the large complex into manageable pieces. The plaza serves as the first division, breaking the composition into two separate and unique masses. Each mass is then separated vertically by providing each with a distinctive base, middle, and top. These different areas are defined by massing setbacks and changes in material. Next, each of these masses is further defined by applying distinctive fenestration patterns to each. Finally, some of the fenestration patterns are provided with staggered colored spandrel panels creating an interesting pattern that changes with perspective and creates a sense of movement.

A-2 Enhance the Skyline.

(Jan. 10, 2006)

Design the upper portion of the building to promote visual interest and variety in the downtown skyline. There is an opportunity to create a reasonable and dramatic rooftop feature and/or façade treatment which would create interest at this site.

(Nov. 25, 2008)

The long roof line should be explored to add interesting roof references, industrial language and/or a sense of place.

B. Architectural Expression

B-1 Respond to the neighborhood context.

(Jan. 10, 2006)

Develop an architectural concept and compose the major building elements to reinforce desirable urban features existing in the surrounding neighborhood. The corner plaza and its relationship to the building interior and rooftop is an opportunity and should be fully explored at this site. An iconographic image would be appropriate at this site in some form of architectural expression.

(Nov. 25, 2008)

Seek an architectural vocabulary which is appropriate to this industrial/stadium district.

The skyline of this complex has been designed to give visual interest and create a unique building identity. The uppermost story has been clearly differentiated from the body of the building by setting the glass line back to reveal the concrete column structure. This upper story is further accented by cantilevering the roof to create a heavy shadow line and strong visual top, creating a modern equivalent of a heavy cornice line.

Mechanical equipment, clerestories, light cores, stair and elevator overruns will all be located along a central spine and linked by screening to create a clean roof with a strong profile. The two main entry elements have their height accentuated with clerestories to give further interest and announce entry.

The architectural vocabulary of the design is derived from specific themes found in the neighborhood:

The neighborhood is in transition: Old urban forms are changing rapidly, with two new stadiums recently constructed, the impending replacement of the Alaskan Way viaduct, the coming of light rail and recent developments in the overall area such as 505 Union Station that set a new tone for architectural expression. The upper stories of the design take the curtain walls of downtown and infuse them with more local flavor by breaking down the scale with color patterning and exposed slab edges. This creates a hybrid that transitions between downtown and industrial, between new and old.

Surrounding industrial buildings: The design takes cues from the utilitarian nature of the surrounding industrial buildings. The concrete construction of the building is expressed by allowing slab edges to show throughout, and is expressed at the upper stories where concrete columns and roof are exposed. Massing is kept very primary suggesting industrial "aggregate" forms. Material selection is also prejudiced toward the more "raw" material palate found in the neighborhood, including the use of brick as found on many nearby façades.

Port of Seattle terminal: Much of the massing and surface articulation is inspired by the patterns found in the stacking of shipping containers at the nearby port. The basic massing is based on the stacking of simple rectilinear forms and the façade has been designed to imitate patterns suggested in groupings of freight containers.

Historic River Estuary: Water harvesting and the use of aquatic and semi aquatic plantings as a theme within the waterfall court will be used as an interpretive opportunity to convey information about the site's past and the importance of the riverine ecology.

Safeco Field: The building picks up the expression of large brick piers and continues a similar rhythm down 1st Avenue as established at the stadium. This is accentuated with building mounted banners similar in detail to those found on the stadium. Also, rolled steel shapes will be incorporated in many of the details and should be reminiscent of the steel superstructure found at the stadium. Even the team colors of the Seahawks and Mariners are reflected in the selection of spandrel glass colors. The intent is to create a festive environment that will naturally be an extension of the stadium on event days.

B-2 Create a transition in bulk & scale.

The board asked the designer to further develop ideas along the lines shown in massing and bulk models presented at this first meeting. The scale and bulk show in scheme 3 is appropriate for this site, but more design analysis is requested to generate further guidance from the Board. The Board considers the bulk and scale transition to be an issue of onsite transition. That is, there should be a transition from pedestrian scale ground floor uses and plazas to the giant parking and office structure above.

The buildings in the immediate vicinity of our site contains a wide range of scales, from the massive stadiums to the predominantly 2 or 3 story buildings along 1st Avenue. We are pursuing standard departures from maximum façade setback requirements in order to break down what would be a very long unbroken full block mass.

A large scale transitions is created by proposing a two building scheme with a mid-block plaza. This effectively reduces the bulk of what may have been a full block development. Vertically, each building has been massed with a combination of overhanging or stepped back massing volumes in order to create a two or three story base with a distinct upper mass. This massing scheme accomplishes three goals:

1. It provides a lower scale two or three story façade that is easily perceived from the street level and relates to the pedestrian scale.
2. It helps balance the street façade with the existing buildings on the opposite side of 1st Avenue.
3. It relates to the strong base element of Safeco field.

Both the base massing and upper office level massing are further refined through additional massing manipulations. The upper office mass is selectively set back to create decks, and the uppermost story is set back with and provided with a continuous marquee to create a definitive top, which has the additional benefit of echoing the top of the new building across on Utah avenue. (See Item A-2 above) At the north and south façades, a vertical element breaks this line to loosely suggest the "prow" of the project and provide counterpoint to the horizontal nature of the façades. In order to further accentuate these massing changes, the façade treatment varies at many transitions. The dominant façade treatment creates a gridded pattern of bays animated with the use of staggered spandrel glass that is derived from the stacking of shipping containers at the nearby port.

The lower mass is rendered in higher relief than the upper stories, and features the use of brick cladding on most opaque surfaces. The brick pilasters and bays relate strongly to the language and rhythm established on 1st Avenue by Safeco field.

Finally, careful attention has been paid to coordinating massing changes to the location of critical circulation items. The primary entrances to the office spaces are demarked by a pair of tall tower masses in the plaza. Opportunities for retail entrances that address the street intersections have been provided by chamfering the building masses at those locations to change the orientation while creating more depth at the right-of-way. This is especially true at the northeast corner of our project where we have set the building mass back from 1st Avenue in order to create a wider path for traffic from the stadium to enter the public plaza. Additionally, the complex has a secondary circulation system to provide access to the parking areas during stadium events. The massing of the building has been carefully crafted so that these modulations occur at locations that improve wayfinding to pedestrian and vehicular entrances used for event parking.

B-3 Reinforce the positive urban form & architectural attributes of the immediate area.

(Feb. 17, 2008)

Consider the predominant attributes of the immediate neighborhood and reinforce desirable siting patterns, massing arrangements, and streetscape characteristics of nearby development.

Study the dominant forms of the area and present siting patterns, massing and especially streetscape characteristics that should be echoed in this proposal. Again, seek an architectural vocabulary which is appropriate to this industrial/stadium district.

B-4 Design a well-proportioned & unified building.

(Nov. 25, 2006)

Compose the massing and organize the interior and exterior spaces to create a well-proportioned building that exhibits a coherent architectural concept. Design the architectural elements and finish details to create a unified building, so that all components appear integral to the whole.

This geometry of this design is carefully crafted to reflect attributes in its immediate vicinity. The plaza is carefully angled to provide direct sight lines from the home plate entry at Safeco Field and the lower stories leading from the intersection to the plaza have been held back from the sidewalk to provide greater sidewalk width for people accessing the plaza. The plaza will provide a pedestrian link to the building on Utah which is currently under construction, as well as providing a nice "forecourt" in front of its main façade. The strong three-story base of the building nicely mirrors the scale of the existing buildings across 1st Avenue, and should help prevent the new building from overwhelming the scale of the street. In general, the building massing holds a strong street line and is composed of larger mass forms appropriate to a large development.

The composition of the two buildings is organized around the central plaza. The entry and circulation elements are clearly demarcated with towers and exposed stairs and elevators. Interior spaces have been designed to maximize views of the stadium and Elliott Bay and to maximize daylight opportunities. The south building has an interior open-air courtyard, which provides further daylight and interior wayfinding cues in the larger building. Although the two buildings have a different number of stories and programs, they have been designed to be variations on the same theme, sharing similar architectural details and massing concepts. Thus the complex remains a coherent composition.

C. The Streetscape

C-1 Promote pedestrian interaction.

(Nov. 25, 2008)

Spaces for street level uses should be designed to engage pedestrians with the activities occurring within them. Sidewalk-related spaces should appear safe, welcoming, and open to the general public. The Board is especially interested in seeing quality open space for gathering and opportunities for enlivening the retail presence. Landscape features should create spaces that vary in size, width and depth.

The street level spaces are created in a variety of areas and scale, and both engage the general public in gathering and encourage use of retail facilities within the project. The spaces include:

Public right-of-way – public sidewalks proposed are a nominal 15' in width with a minimum of visual obstructions and well lit with building and landscaping planter mounted light fixtures. The sidewalk is paved in a pattern that creates predictability, and planted with street trees and understory plantings that separate pedestrian and vehicular uses. The paving, plantings, and lighting harmonize with the rhythm of the building façade and both delineate the public aspect of the space and encourage interaction and use of the retail facilities adjacent to it. If allowed within SDOT development standards, other elements may include banners and hanging planters, bench seating, recycle receptacles, and bike racks.

Esplanade – this is a linear space linking the adjacent sports facilities and public right-of-way to adjacent mixed-use developments by way of the plaza. It is essentially a "pedestrian street" which encourages activities such as strolling, stopping at the retail shops, dining at restaurants, or gathering at the plazas. Elements include decorative paving, pathway and general illumination, glazed awnings, and café seating where adjacent to restaurant establishments, and decorative plants with seasonal color for informal separation of spaces.

First Avenue Plaza – a large open space designed for gathering in large and small groups where interesting elements such as the decorative paving, varied plaza levels, broad steps for informal seating, dramatic sculptural art pieces, water features, and plantings create complex tapestry of visual, auditory, and tactile elements on axis with the dramatic Safeco Field.

Waterfall Plaza – an elevated plaza set back from First Avenue, but adjacent to the esplanade and intended for smaller, more private gatherings. Elements include amenities such as tiered planters with integrated bench seating, dramatic accent lighting, a sheer decent water wall providing "white" noise to soften the impact of traffic, vine covered walls to soften the impact of the parking structure's blank façade, and varied gardens celebrating the use of water and dappled shading of the space.

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Glazed Retail spaces front the majority of the façades that engage the pedestrian level, allowing for easy visibility to the uses within. In addition, some zones adjacent to these façades have been partially defined with landscaping planters to create areas which could be used for outdoor seating associated with the retail uses within. Furthermore, the North building has been set back from the ROW on 1st Avenue in order to provide a wider sidewalk facilitating traffic between the stadium and the plaza amenities. The building is also chamfered back from the property line at the street intersections to accommodate people queuing for the crosswalks.

The plaza has been designed to provide a variety of spaces and experiences, with subspaces defined through hardscape planters, level changes, sculpture, and plantings. (See Item D-1 below)

C-2 Promote pedestrian interaction.

(Jan. 10, 2006)

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C-3 Provide active—not blank—façades.

(Nov. 25, 2008)

Buildings should not have large blank walls facing the street, especially near sidewalks.

Retail storefront comprises the majority of street level façades. The exception to this is a portion of the Building B façade along Utah Avenue that conceals street level parking garage. This area faces a electrical substation across the street. The design mitigates this area through creative façade treatments of alternating brick pilasters and semi-transparent metal trellis screening that supports vining plants.

C-4 Reinforce building entries.

(Nov. 25, 2008)

Reinforce building entries to promote pedestrian comfort, safety, and orientation. Creative use of overhead weather protection should be presented.

The main building entries are composed around the central plaza area, and are made distinctive by being marked by vertical tower-like elements with uniquely detailed glass wall enclosures. Orientation to these entries is accomplished by these large scale indicators as well as close coordination with the plaza

C-5 Encourage overhead weather protection.

(Nov. 25, 2008)

Project applicants are encouraged to provide continuous, well-lit, overhead weather protection to improve pedestrian comfort and safety along major pedestrian routes.

Continuous steel canopies have been provided at the majority of façades that abut the street sidewalks. These canopies, which are at least 6' deep and located 10' above the sidewalk, will provide overhead weather protection for pedestrians travelling along the right-of-way. In addition, the canopies surrounding the main plaza area are augmented to a 9' depth, and are glazed to provide more light below. Wall-mounted sconce light fixtures at this level will help insure a safe environment at night.

D. Public Amenities

D-1 Provide inviting & usable open space.

(Jan. 10, 2006)

Design Public open spaces to promote a visually pleasing, safe, and active environment for workers, residents, and visitors. Views and solar access from the principal areas of the open space should be especially emphasized. The designer should take advantage of planned open space especially where sun/shade studies show that there may be a sunny spot for public plaza. The Board asks that any second story open space have an obvious invitation, that is, enough doors, seating and visibility from the sidewalk to encourage the public to use it and to know that it is a public space to enjoy.

The main plaza has been designed to take advantage of the solar access available. The angled orientation actually helps to maximize the available morning and afternoon sunshine, and plaza seating areas have been located to the north side of the plaza when possible to take advantage of this.

The plaza has been designed with two main zones. The first is a larger, more public-oriented space that relates strongly to 1st Avenue and Safeco Field. We are proposing to break the street tree rhythm at this plaza to strengthen the visual connection to the stadium. The second space is a smaller more protected space located further back along Utah Avenue. This space is meant to be a more contemplative refuge, and the interface to Utah Avenue will be controlled with raised landscaping planters and decorative fencing. A gate at this location will help keep the plaza safe during off-hours by limiting access through the plaza. The enjoyment of these spaces is augmented by the inclusion of significant water features.

D-2 Enhance the building with landscaping.

(Nov. 25, 2008)

Enhance the building and site with generous landscaping—which includes special pavements, trellises, screen walls, planters, and site furniture, as well as living plant material.

The spaces are created in part by scale and in large part by the use of interesting landscape elements as follows:

Public right-of-way – Public sidewalk improvements are nominally 15' wide and are located around the perimeter of the building. Improvements include street trees, varied plantings, pedestrian lighting, decorative paving harmonizing with the rhythm of the building façade, banners and hanging planters at the building façade, and if allowed within SDOT development standards, bench seating, recycle receptacles, and bike racks.

Esplanade – This is a linear pedestrian “street” adjacent to the retail and office spaces at its edge, and whose width varies from 12' to nearly 30'. Elements include decorative paving, lighting (pathway and general illumination), glazed awnings, bench seating, café seating where adjacent to restaurant establishments, and decorative planters with seasonal color for informal separation of spaces.

First Avenue Plaza – This central large scale space is nominally 250' wide and over 100' in depth. It is bordered by 1st Avenue to the east which has existing buildings with a variety of façade of varying heights. More importantly, the plaza is oriented to the northeast, towards the sports facilities and entry to the interstate highway system. Elements include decorative pedestal set paving, a central accent paving with a mosaic pattern, seatwalls for resting on adjacent to water features and plantings, broad steps for informal seating, dramatic sculptural art pieces which will be lit at night, water features, and plantings consisting of groves of trees and groundcover with lush bold foliage.

Contemplative Plaza – This smaller scale plaza is partly enclosed by the parking structure to the south, a dramatically scaled glazed lobby to the east, and the retail/office spaces to the north. It is partially screened and separated from Utah Avenue by raised planters and a decorative gate. Elements include a backdrop of specimen trees with an open canopy of foliage accented with architectural up lighting, a sheer decent water wall providing “white” noise to soften the impact of traffic, vine covered “Green Walls” to soften the impact of the parking structures blank façade, and a “shade” and a “rain” garden which celebrates the use of water and the dappled shade of the space.

Upper Terraces – Third level terraces are of varied scales, some with dramatic urban views to the east and north. Some terraces have waterfront views to the south and west. Elements include decorative paving, accent lighting, site furnishings and raised planters with specimen trees, shrubs, and draping vines and groundcover which can be enjoyed by occupants on many levels.

D-3 Provide elements that define the place.

(Jan. 10, 2006)

Provide special elements on the façades, within public open spaces, or on the sidewalk to create a distinct, attractive, and memorable sense of place” associated with the building. The northeast corner plaza (and possibly the building, or part of the building) should have interest or be a neighborhood icon.

The plaza provides an open space for crowds to gather before and after events, and we are proposing to activate this space with some very iconic artwork. The current pieces we are considering consist of very eye-catching fiberglass rods that sway with the wind and should prove to be quite memorable. In addition, these sculptures will be complemented with water features, including a unique three-story tall “sheer decent waterwall” element. See item D-2 above for more plaza details.

D-4 Provide appropriate signage.

(Jan. 10, 2006)

Design signage appropriate for the scale and character for the project and immediate neighborhood. All signs should be oriented to pedestrians and/or persons in vehicles on street within the immediate area. The architect should explore a bold, graphic statement.

Both types of canopies proposed for this project have been designed with the support of signage in mind. It is anticipated that future tenant signage would be constrained to channel letters located above canopies or above chamfered elevations. It is intended that any building signage, such parking signs be designed in a similar flavor to the “Safeco Field” sign on the adjacent stadium.

D-5 Provide adequate lighting.

(Jan. 10, 2006)

Building-wide, the project should provide adequate lighting. Lighting should be dramatic, but not tending toward too much light or glare. Lighting should provide a sense of security.

The sidewalk around the perimeter of the project will be well lit with light fixtures mounted to the building's pilasters. The public plaza will be provided with low landscaping lighting incorporated into the hardscape that will provide a base level of security lighting. The artwork and water features will be highlighted with integrated lighting fixtures in order to make them the focal points within the more subdued plaza. On the façade, small lights will be focused on the banners at night to give the project a more festive appearance.

1. Façade Setback Limits (23.74.010.1.b)

Standard:

Within the first twenty-five feet of height measured from sidewalk grade, all building façades must be built to within two feet of the street property line for the entire façade length.

Above twenty-five feet measured from sidewalk grade, the maximum setback is ten feet, and no single setback area that is deeper than two feet shall be wider than twenty feet measured parallel to the street property line.

The façade shall return to within two feet of the street property line for a minimum of ten feet, measured parallel to the street property line, between any two setback areas that are deeper than two feet.

Proposed:

Façades associated with the street level plaza will not abut street.

Chamfered building corners at street intersections exceed setback requirements by a maximum of 8'.

In the north building, a 15' foot setback of the lower façade below 34' will be setback 15' from 1st Avenue.

In the south building, the upper façade at heights above 34' will be setback 15' from the street property line for a maximum length of 150' at two locations where the building abuts the street.

Rationale:

We believe that original façade setback requirements as codified did not anticipate such a large scale full-block development, and allowing an increased modulation module would create a better and more appropriate aesthetic.

The desire to provide a large plaza at street level necessitates having the associated façades depart from the street property line. The design also takes advantage of the radiused property lines at the street intersections to provide some additional sidewalk width at pedestrian crossing points. This is especially true at the crossing immediately adjacent to Safeco Field in order to accommodate the large increases of pedestrian traffic that occur during stadium events. Likewise, the North building is set back from 1st Avenue in order to increase the sight lines into the plaza from the stadium, and accommodate large amounts of foot traffic during events. This additional width takes a cue from Safeco Field which is also set back from the street property line to create a wider sidewalk to accommodate event crowds. Apart from the façades that address the proposed public plaza and corner spaces, almost all of the remaining façades below 25' in height are within two feet of the property line as required. Thus the overall impression is still that each building mass holds the street line.

Above 34', we are proposing some larger scale setbacks to help modulate the overall massing as well as establish a definitive tripartite organizing scheme, with a well defined base, middle and top. Many of these modulations create opportunities for occupied decks and the addition of a little additional width allows for a landscaping border to enliven these spaces. These setbacks in the upper façade also serve as "lead-ins" to the public plaza, providing more solar access. A waiver from the requirement to return to the street line every 10' helps prevent a fussy articulation pattern that would be inappropriate.

2. Street Tree Requirement (23.50.016.A)

Standard:

Street trees shall be required along designated street frontages. Street trees shall be provided in the planting strip according to the Seattle Department of Transportation Tree Planting Standards.

Proposed:

Street trees will be waived adjacent to the central plaza area, a 200' length along 1st Avenue. Street trees would be provided for the remaining 400' of frontage.

Rationale:

In lieu of these street trees, we are extending the central plaza to the street edge. The public pedestrian zone along 1st Avenue will be defined by sculptural bollards and decorative paving. The plaza itself will include dramatic site sculpture, raised planters with lush plantings and larger scale plants such as timber bamboo and trees. The benefit of omitting street trees will be the opportunity to have a major plaza directly linked both spatially and visually to Safeco Field. Additionally, these view lines will allow the plaza to be better appreciated from passing traffic on 1st Avenue, drawing viewers in to amenities of the lushly planted rear plaza and mid-block connection to Utah Avenue.

3. Principle Pedestrian Entrances (23.74.010C5)

Standard:

A principal pedestrian entrance to a structure having a façade along 1st Avenue South shall be located on 1st Avenue South.

Proposed:

Principal pedestrian entrances to the office lobby will be located off of the central plaza which opens to 1st Avenue South. Principal retail entrances along 1st Avenue will comply with standard.

Rationale:

The building design is organized around the main plaza as a shared amenity, and it was desired to have the office lobby entries be orientated toward this common space. Since the two buildings are conceived as a complex, this allows for easier communication between buildings, and also simplifies way finding by providing one easily located entry location. The lobby entries will also create traffic in the plaza to help animate the plaza areas. As the plaza opens onto and is oriented toward 1st Avenue, the entries are readily apparent from the street. If anything, this plaza and lobby configuration builds a better entry sequence and relationship to 1st Avenue, than if separate individual on-street entries were provided.

4. Sight Triangle (23.54.030G2)

Standard:

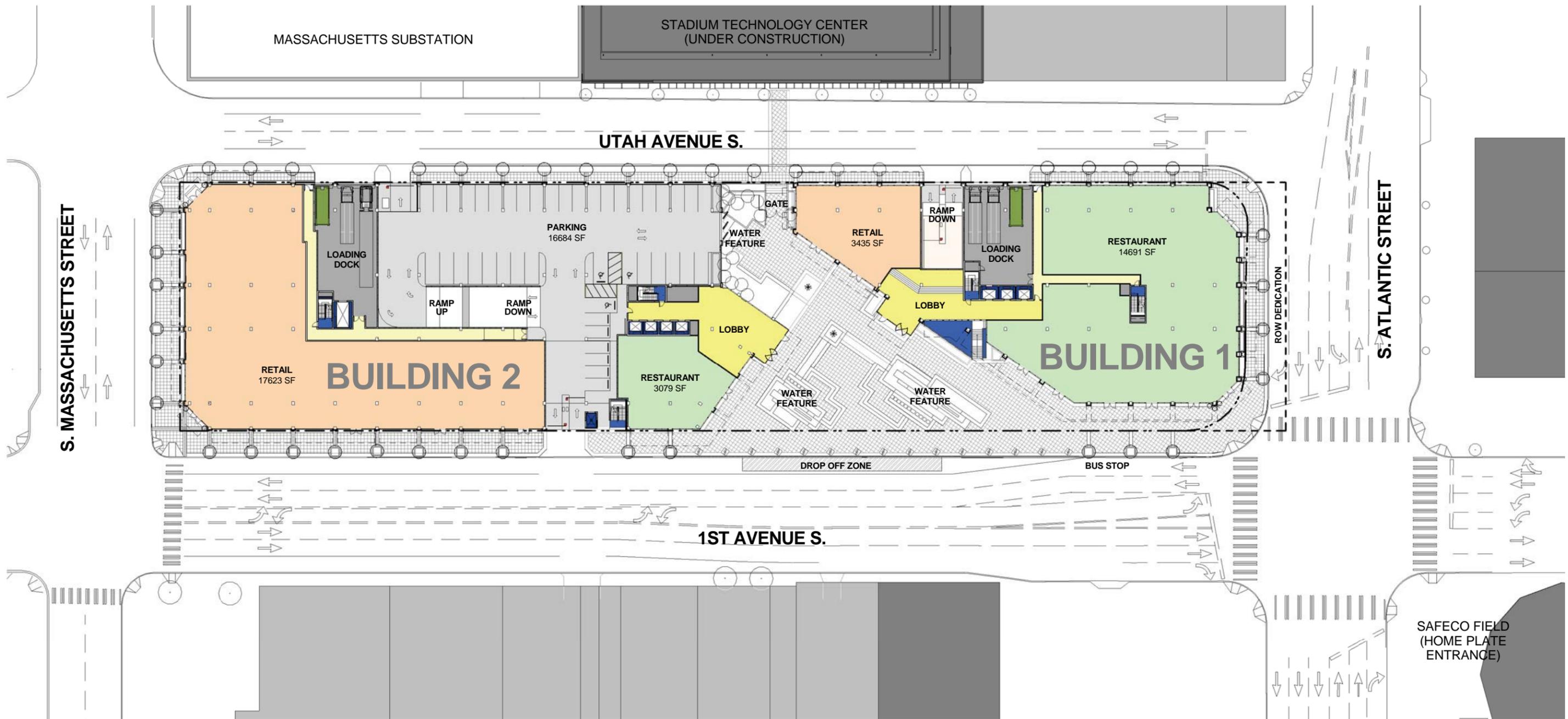
For two way driveways or easements at least twenty-two feet wide, a sight triangle on the side of the driveway used as an exit shall be provided, and shall be kept clear of any obstruction for a distance of ten feet from the intersection of the driveway or easement with a driveway, easement, sidewalk or curb intersection if there is no sidewalk. The entrance and exit lanes shall be clearly identified.

Proposed:

We are proposing to provide mirrors and audible warnings in lieu of the sight triangle requirements. (Per 23.54.030G6)

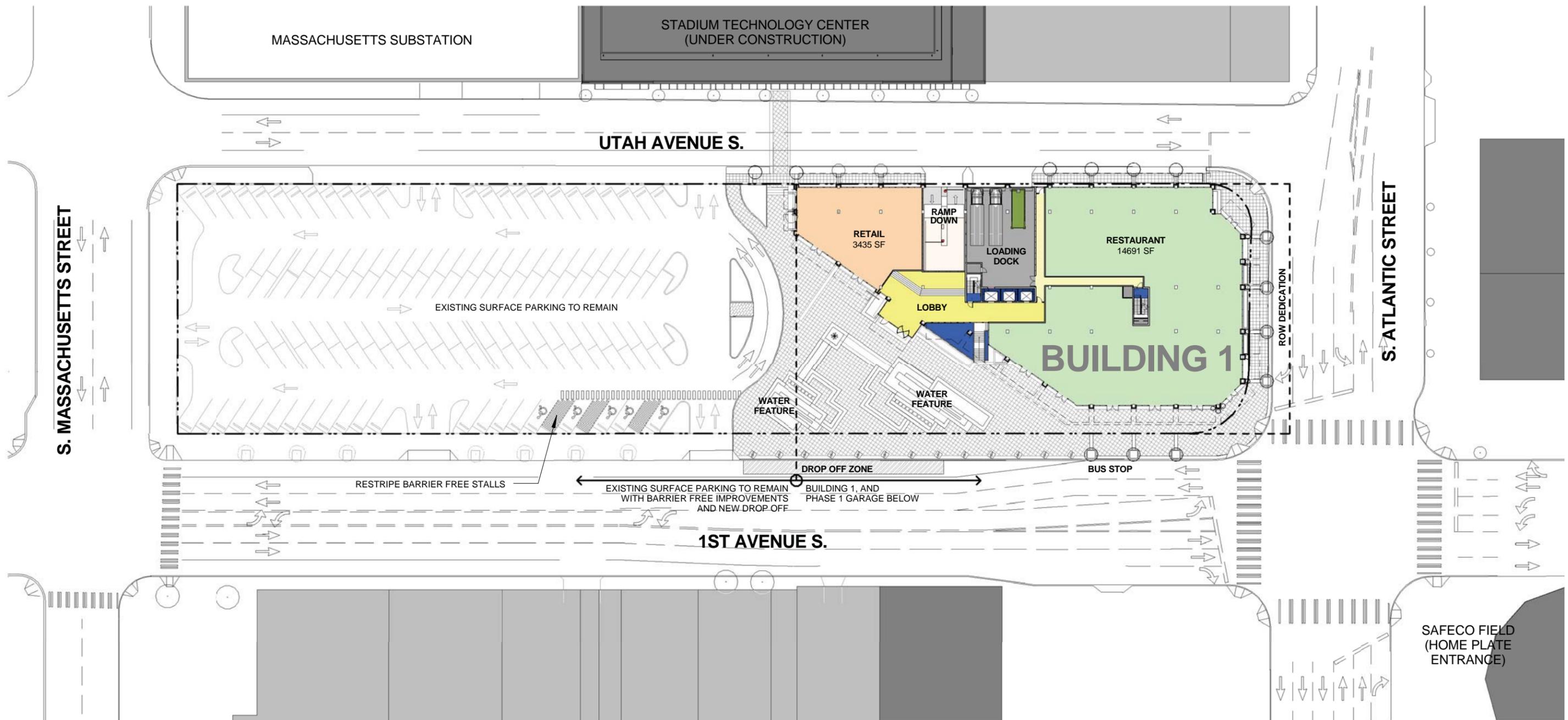
Rationale:

The site triangles required would be covered by upper stories and create areas that could shelter vagrants and become a security and maintenance problem. Eliminating them would allow for more continuous retail frontage, and allow the natural bay rhythm expressed above in the structure to continue down to street level.



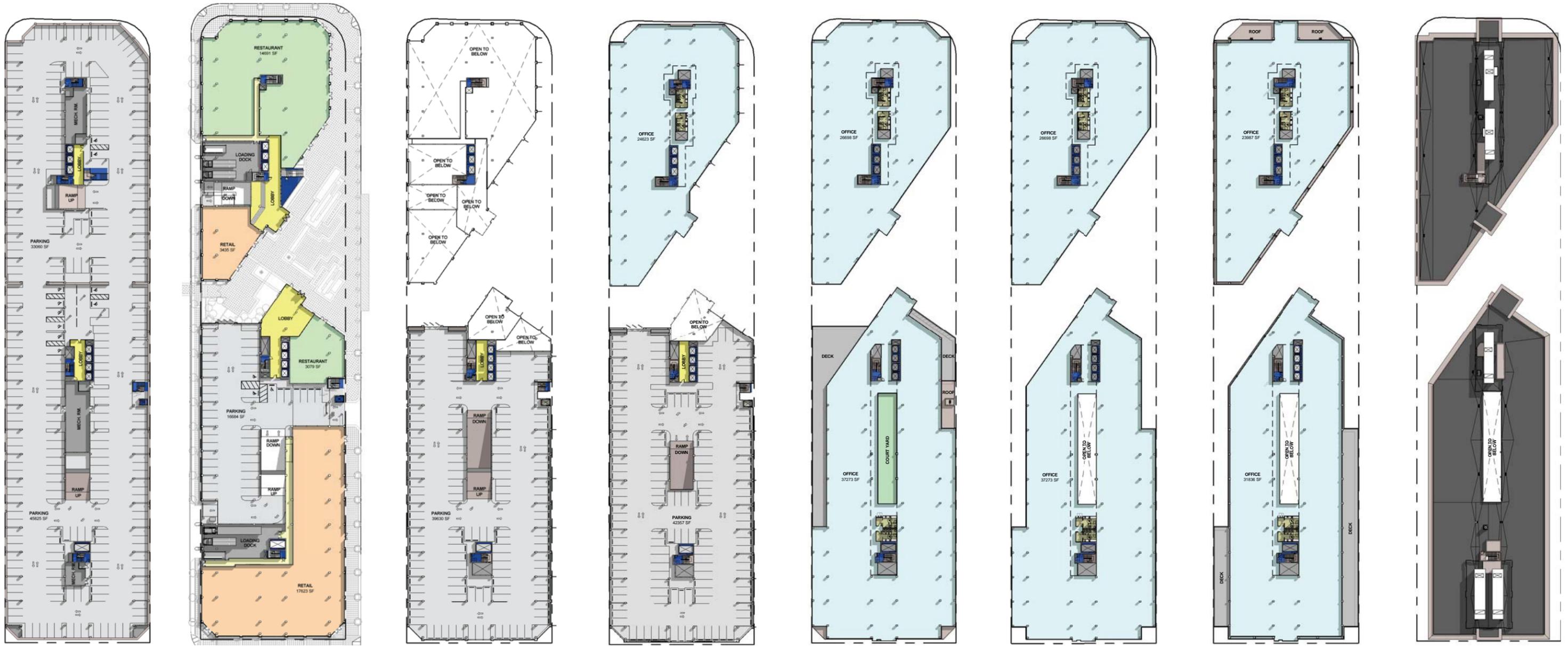
Scale: 1" = 60'





Scale: 1" = 60'





Basement

First Floor

Second Floor

Third Floor

Fourth Floor

Fifth Floor
&
Sixth Floor

Seventh Floor

Roof

Scale: 1" = 100' 





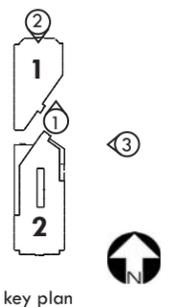
① Building 1 - Plaza Elevation
Scale: 1" = 50'



② Building 1 - Atlantic Street Elevation
Scale: 1" = 50'



③ Buildings 1 and 2 - First Avenue Elevation
Scale: 1" = 50'



key plan



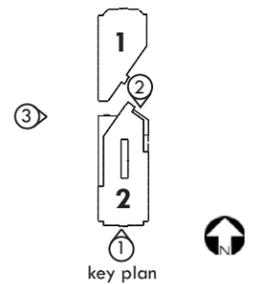
① Building 2 - Massachusetts Street Elevation
Scale: 1" = 50'

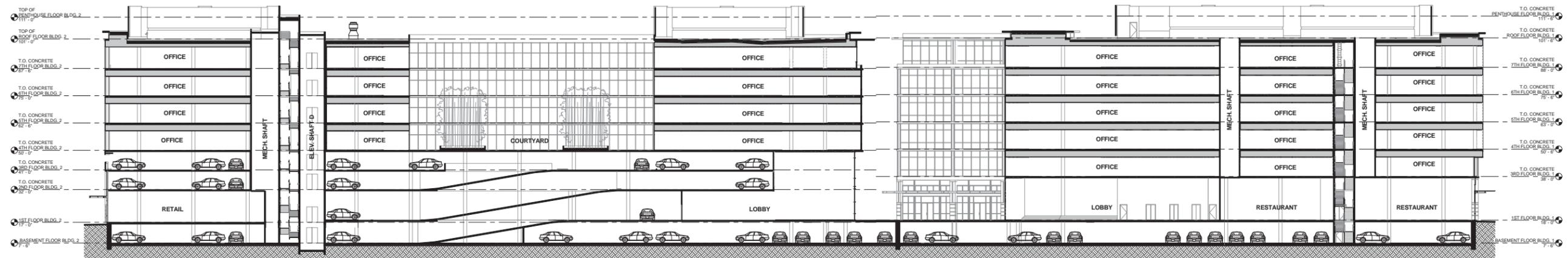


② Building 2 - Plaza Elevation
Scale: 1" = 50'

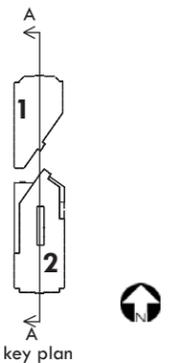


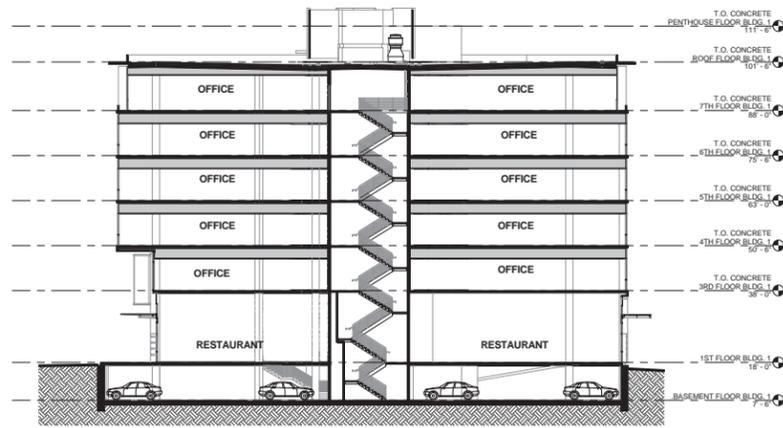
③ Buildings 1 and 2 - Utah Avenue Elevation
Scale: 1" = 50'



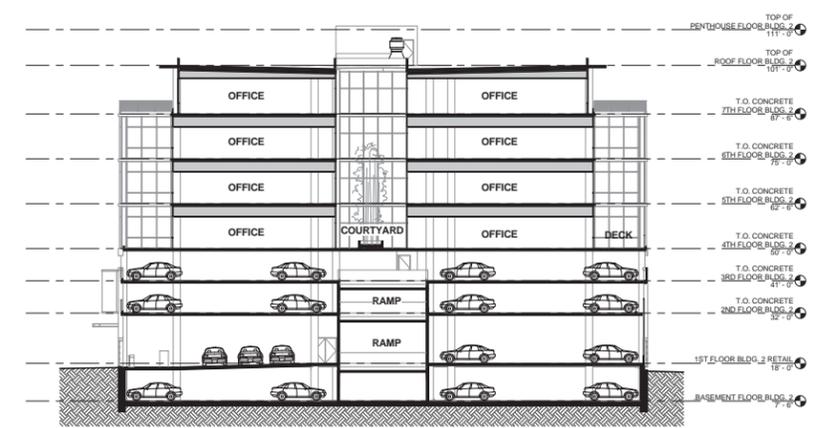


Section A-A
Scale: 1" = 50'

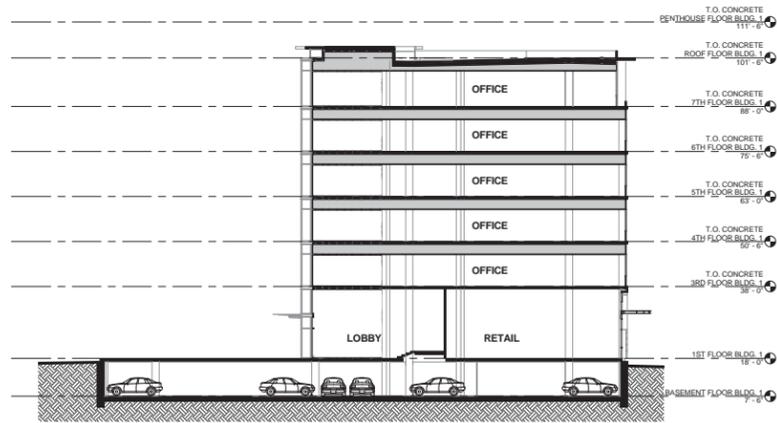




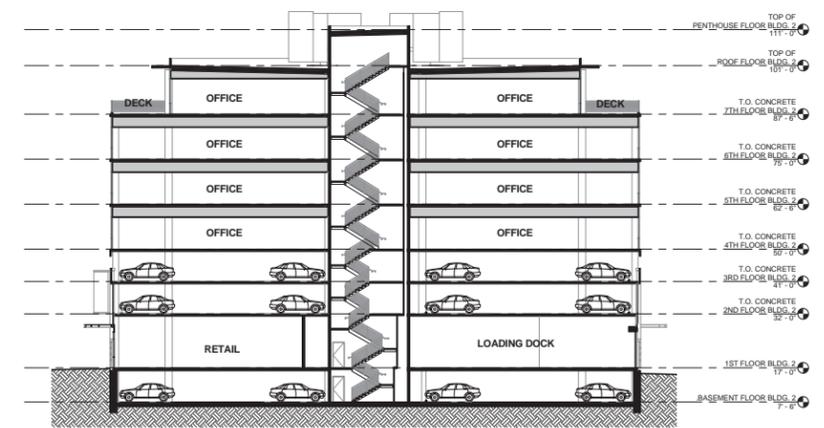
Building 1 - Section B-B
Scale: 1" = 50'



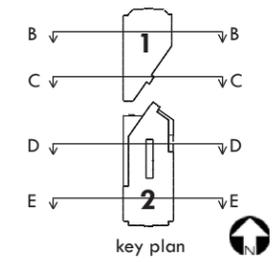
Building 2 - Section D-D
Scale: 1" = 50'



Building 1 - Section C-C
Scale: 1" = 50'



Building 2 - Section E-E
Scale: 1" = 50'





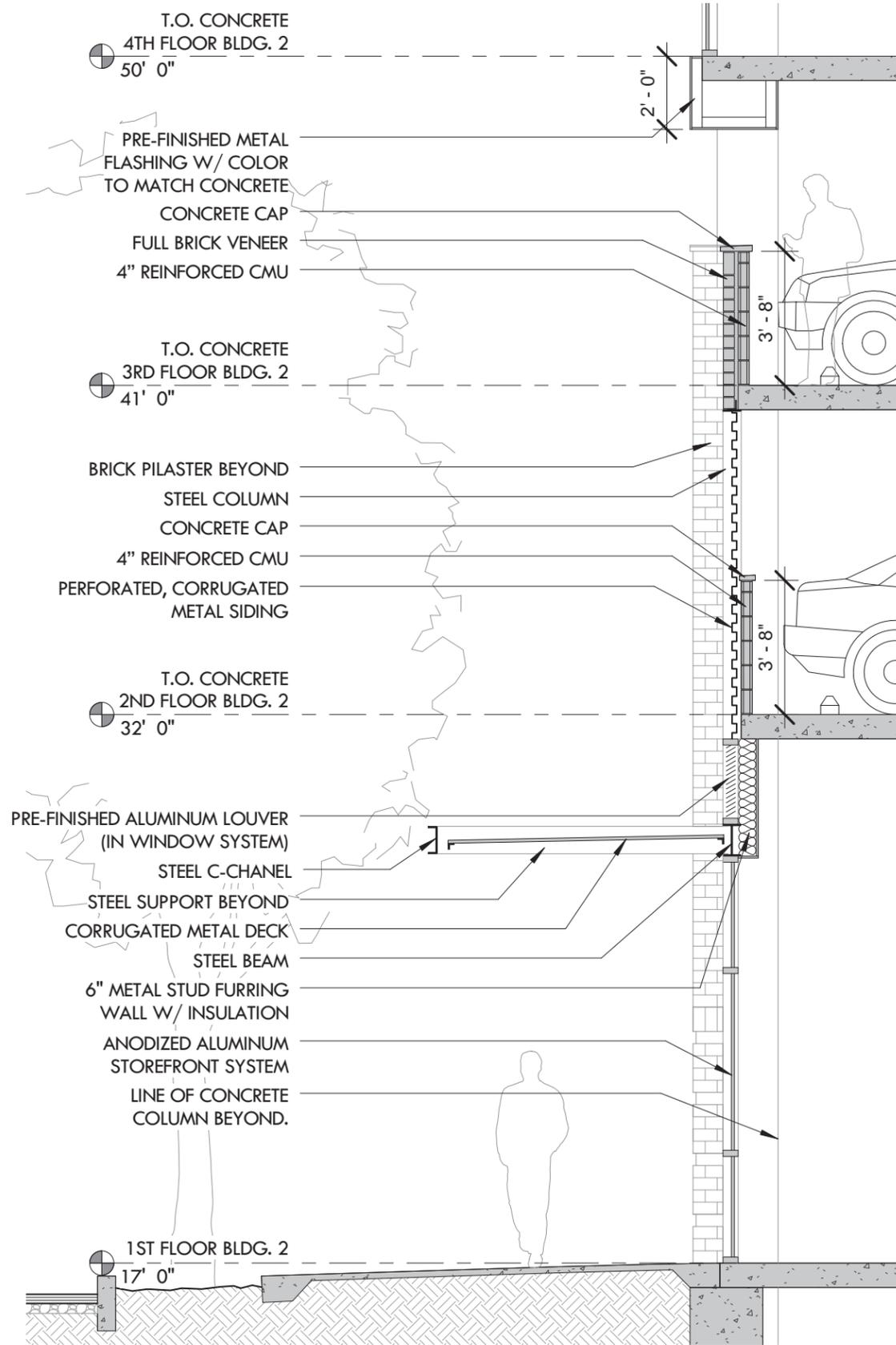




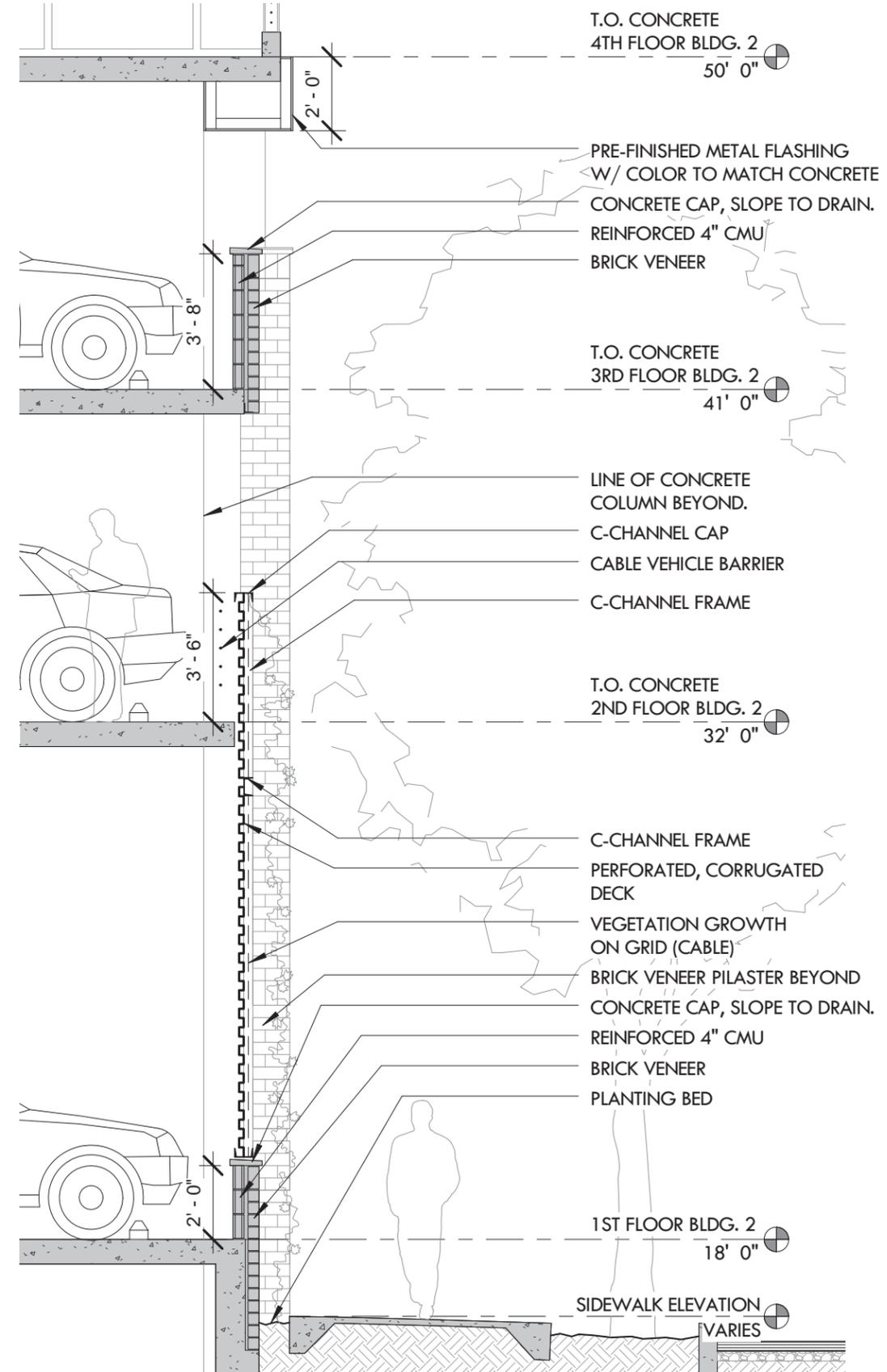




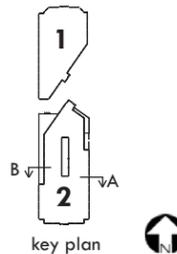




Wall Section A
Scale: 1/4" = 1'-0"



Wall Section B
Scale: 1/4" = 1'-0"





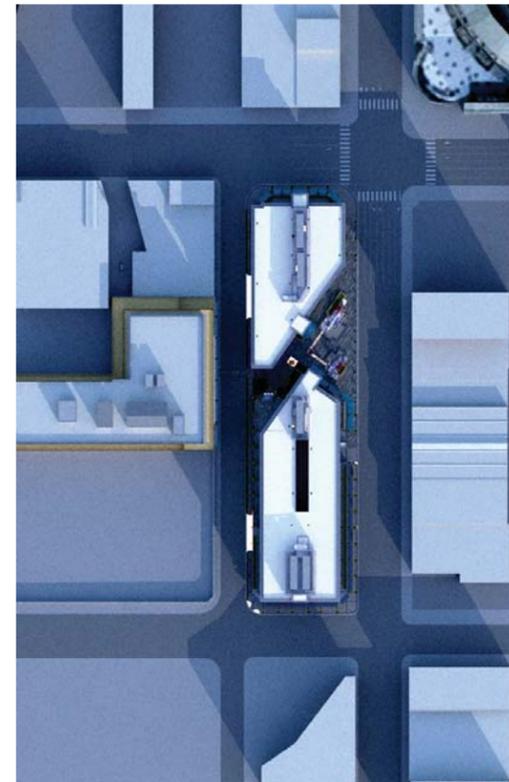
March 21



June 21



September 21



December 21

Morning (10am)



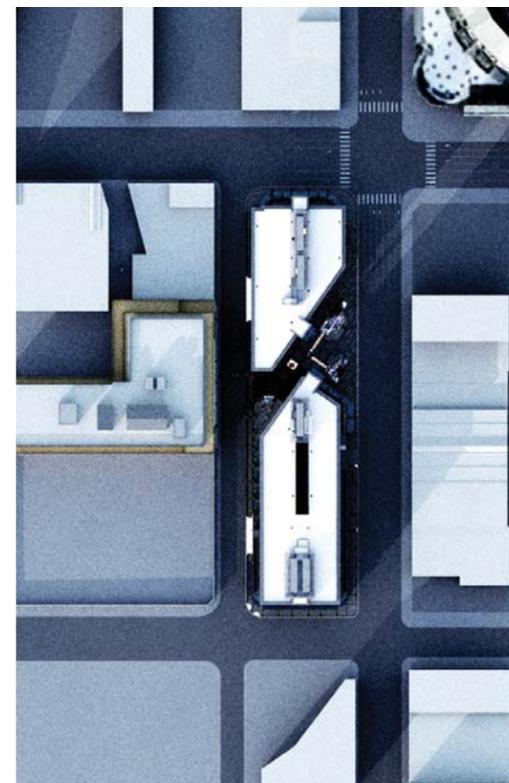
March 21



June 21



September 21



December 21

Afternoon (3pm)

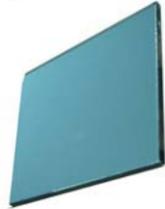
Exterior Finish Materials



Exposed concrete column, soffit, parapets



1" Insulated glass spandrel panel
 Pilkington - Rainy Lake



Tinted vision glazing
 Pilkington - Blue-Green



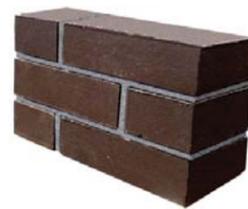
1" Insulated glass spandrel panel
 Pilkington - Ocean Mist



Anodized aluminum storefront system
 Clear finish
 With 1" insulated tinted vision glazing and
 spandrel panels



Pre-finished metal flashing w/ color to
 match concrete at copings and exposed
 slab edges



Brick pilaster w/ decorative coursework



Perforated corrugated metal mechanical
 and parking screen



Pre-finished aluminum louver



Translucent laminated glass canopy at plaza
 areas (painted steel at other areas)



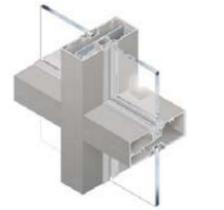
Painted rolled steel canopy, intermediate
 storefront supports, and garage screen
 frames



Clear vision glazing
 Starphire Ultra Clear Glass



Anodized aluminum storefront system
 Clear finish
 With 1" insulated clear vision glazing



UTAH AVENUE SOUTH RIGHT-OF-WAY

- PLANTING STRIP WITH STREET TREES, SHRUBS, GROUNDCOVER
- CONCRETE WALKWAY
- CIP CONCRETE ACCENT PAVING

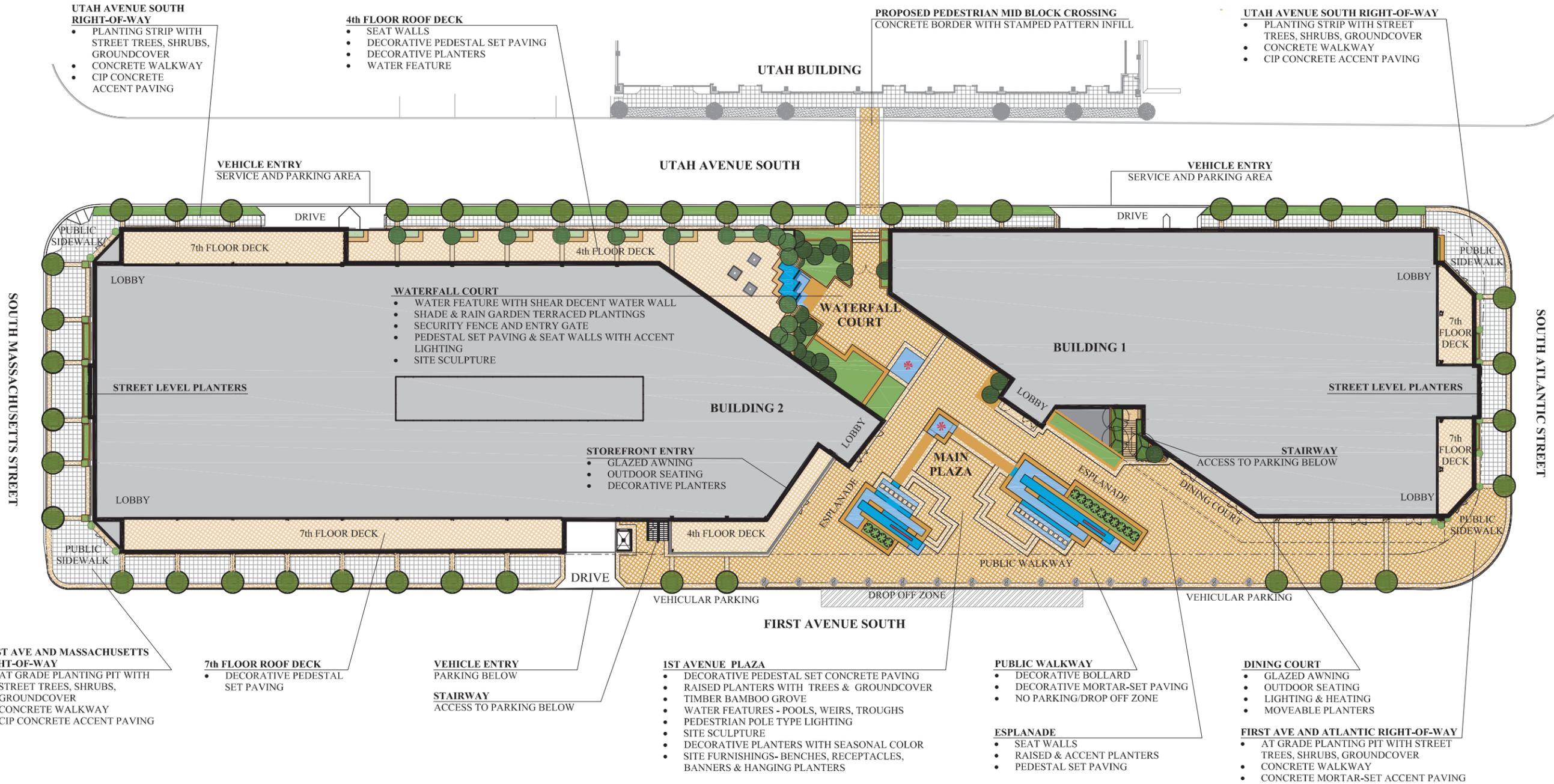
4th FLOOR ROOF DECK

- SEAT WALLS
- DECORATIVE PEDESTAL SET PAVING
- DECORATIVE PLANTERS
- WATER FEATURE

PROPOSED PEDESTRIAN MID BLOCK CROSSING
CONCRETE BORDER WITH STAMPED PATTERN INFILL

UTAH AVENUE SOUTH RIGHT-OF-WAY

- PLANTING STRIP WITH STREET TREES, SHRUBS, GROUNDCOVER
- CONCRETE WALKWAY
- CIP CONCRETE ACCENT PAVING



FIRST AVE AND MASSACHUSETTS RIGHT-OF-WAY

- AT GRADE PLANTING PIT WITH STREET TREES, SHRUBS, GROUNDCOVER
- CONCRETE WALKWAY
- CIP CONCRETE ACCENT PAVING

7th FLOOR ROOF DECK

- DECORATIVE PEDESTAL SET PAVING

VEHICLE ENTRY

PARKING BELOW

STAIRWAY

ACCESS TO PARKING BELOW

1ST AVENUE PLAZA

- DECORATIVE PEDESTAL SET CONCRETE PAVING
- RAISED PLANTERS WITH TREES & GROUNDCOVER
- TIMBER BAMBOO GROVE
- WATER FEATURES - POOLS, WEIRS, TROUGHS
- PEDESTRIAN POLE TYPE LIGHTING
- SITE SCULPTURE
- DECORATIVE PLANTERS WITH SEASONAL COLOR
- SITE FURNISHINGS- BENCHES, RECEPTACLES, BANNERS & HANGING PLANTERS

PUBLIC WALKWAY

- DECORATIVE BOLLARD
- DECORATIVE MORTAR-SET PAVING
- NO PARKING/DROP OFF ZONE

ESPLANADE

- SEAT WALLS
- RAISED & ACCENT PLANTERS
- PEDESTAL SET PAVING

DINING COURT

- GLAZED AWNING
- OUTDOOR SEATING
- LIGHTING & HEATING
- MOVEABLE PLANTERS

FIRST AVE AND ATLANTIC RIGHT-OF-WAY

- AT GRADE PLANTING PIT WITH STREET TREES, SHRUBS, GROUNDCOVER
- CONCRETE WALKWAY
- CONCRETE MORTAR-SET ACCENT PAVING

Scale: 1" = 50'-0"



SOUTH MASSACHUSETTS ROW

STREET TREE

- ACER RUBRUM 'BOWHALL'
- TREE PIT PLANTINGS**
- NANDINA DOMESTICA
- CISTUS 'CRISPUS
- MAHONIA REPENS
- EPIMEDIUM RUBRA

PLANTER PLANTINGS

- TAXUS SPP.
- CALLUNA VULGARIS
- ILEX CRENATA
- COTONEASTER DAMMERI

WATERFALL COURT

TREE

- ACER CIRCINATUM
- SHRUBS**
- POLYSTICHUM MUNITUM
- RHODODENDRON SPP.
- HOSTA SPP.
- GROUNDCOVER**
- VINCA MINOR

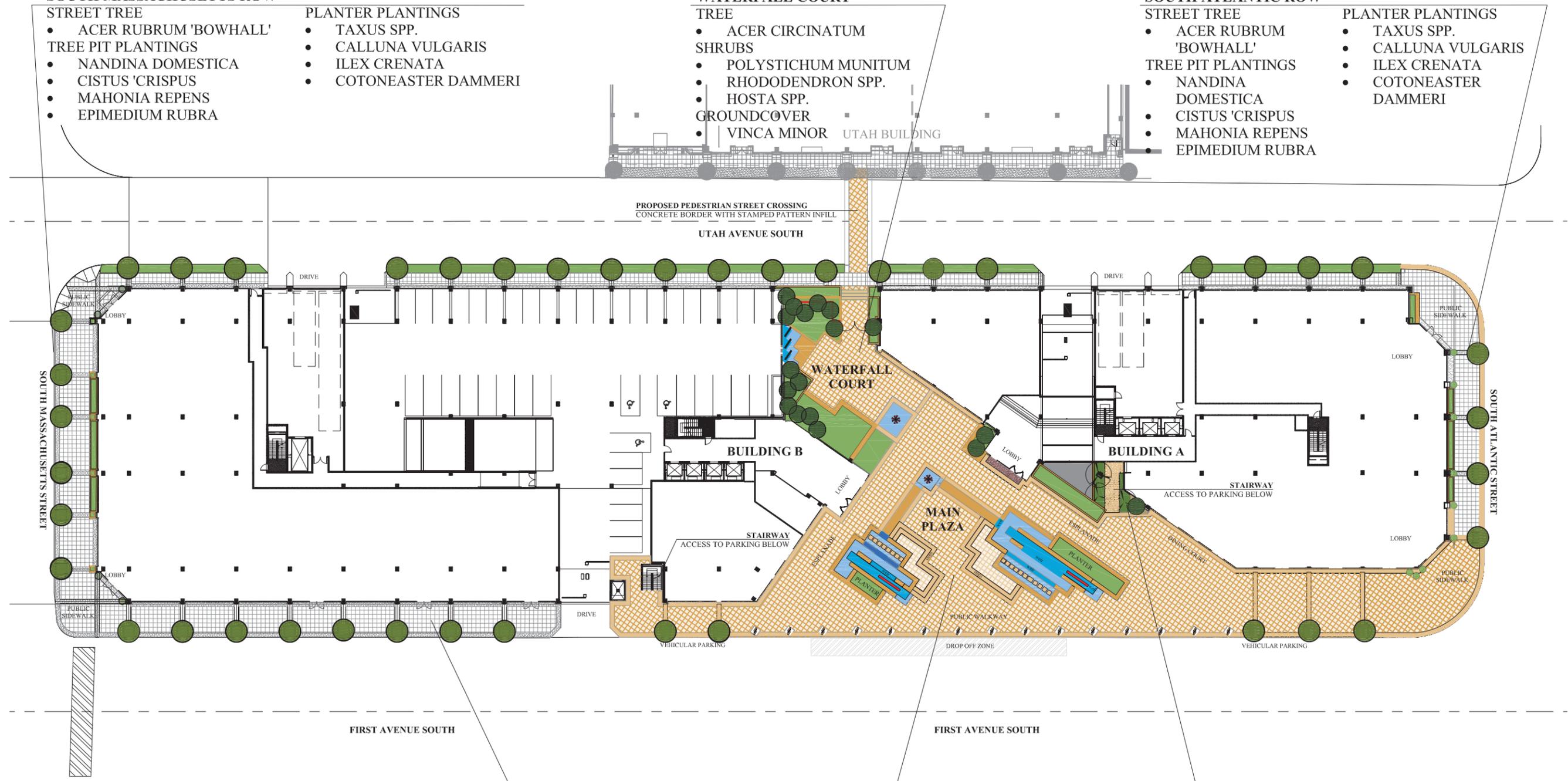
SOUTH ATLANTIC ROW

STREET TREE

- ACER RUBRUM 'BOWHALL'
- TREE PIT PLANTINGS**
- NANDINA DOMESTICA
- CISTUS 'CRISPUS
- MAHONIA REPENS
- EPIMEDIUM RUBRA

PLANTER PLANTINGS

- TAXUS SPP.
- CALLUNA VULGARIS
- ILEX CRENATA
- COTONEASTER DAMMERI



FIRST AVENUE SOUTH

STREET TREE

- POPULUS TREMULOIDES 'ERECTA'

TREE PIT/PLANTER PLANTINGS

- NANDINA DOMESTICA 'HARBOR DWARF'
- HELICTOTRICHON SEMPERVIRENS
- FRAGARIA CHILOENSIS

MAIN PLAZA

TREE

- PHYLLOSTACHYS SPP.
- GROUNDCOVER**
- LIRIOPE
- EUONYMUS FORTUNEI SPP.

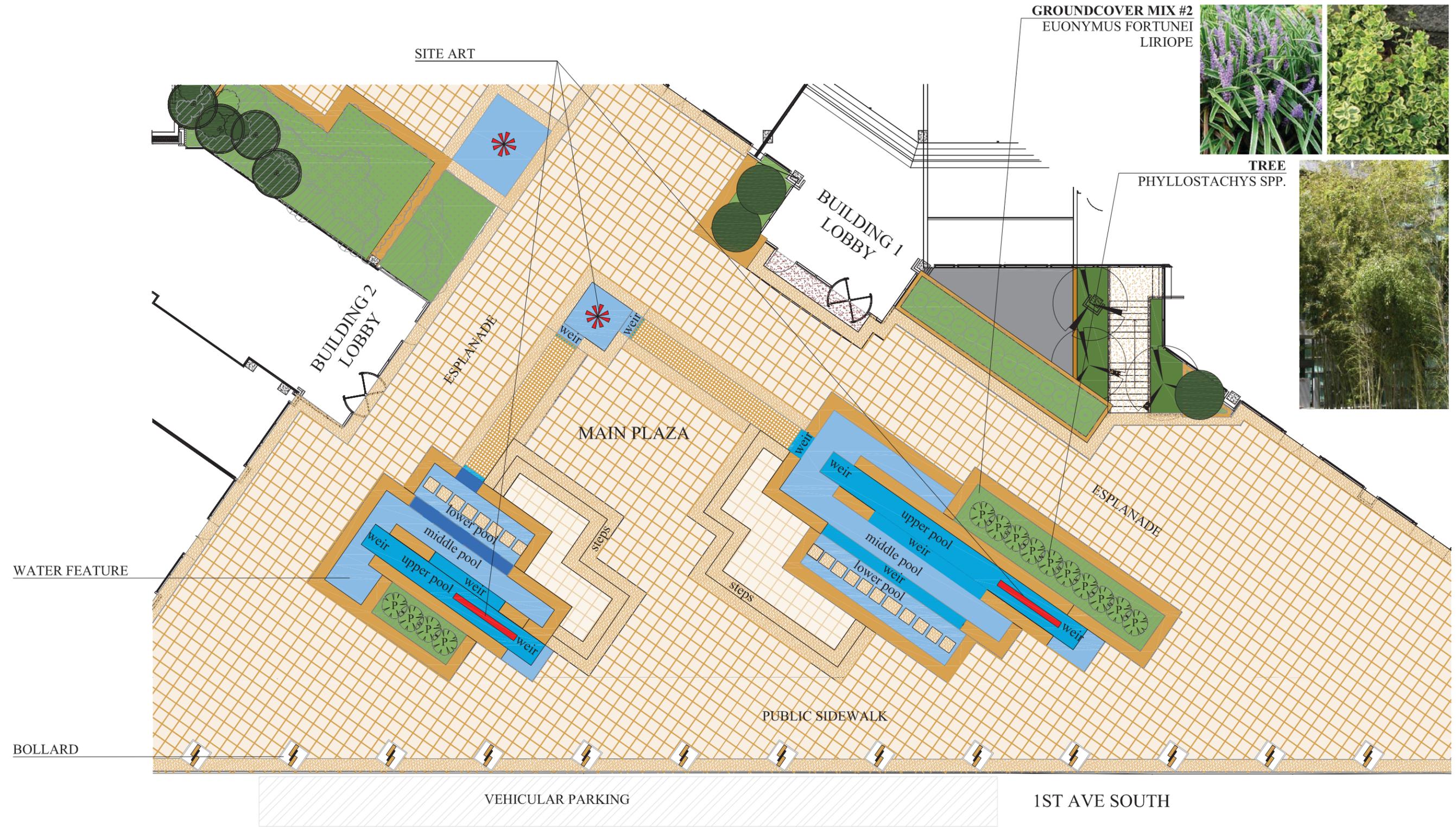
EVENT PARKING EGRESS

TREE

- ACER PALMATUM
- GROUNDCOVER**
- LIRIOPE
- EUONYMUS FORTUNEI SPP.

Scale: 1" = 50'-0"





Scale: 1/16" = 1'-0"



GREEN WALL
 GREENSCREEN® WALL
 MOUNTED SUPPORT SYSTEM
 PARTHENOCISSUS
 TRICUSPIDATA



SHRUB
 RHODODENDRON



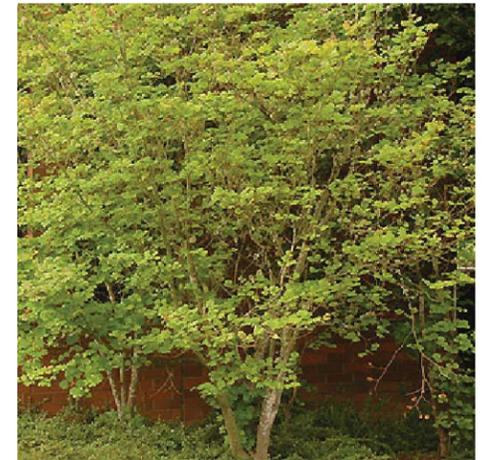
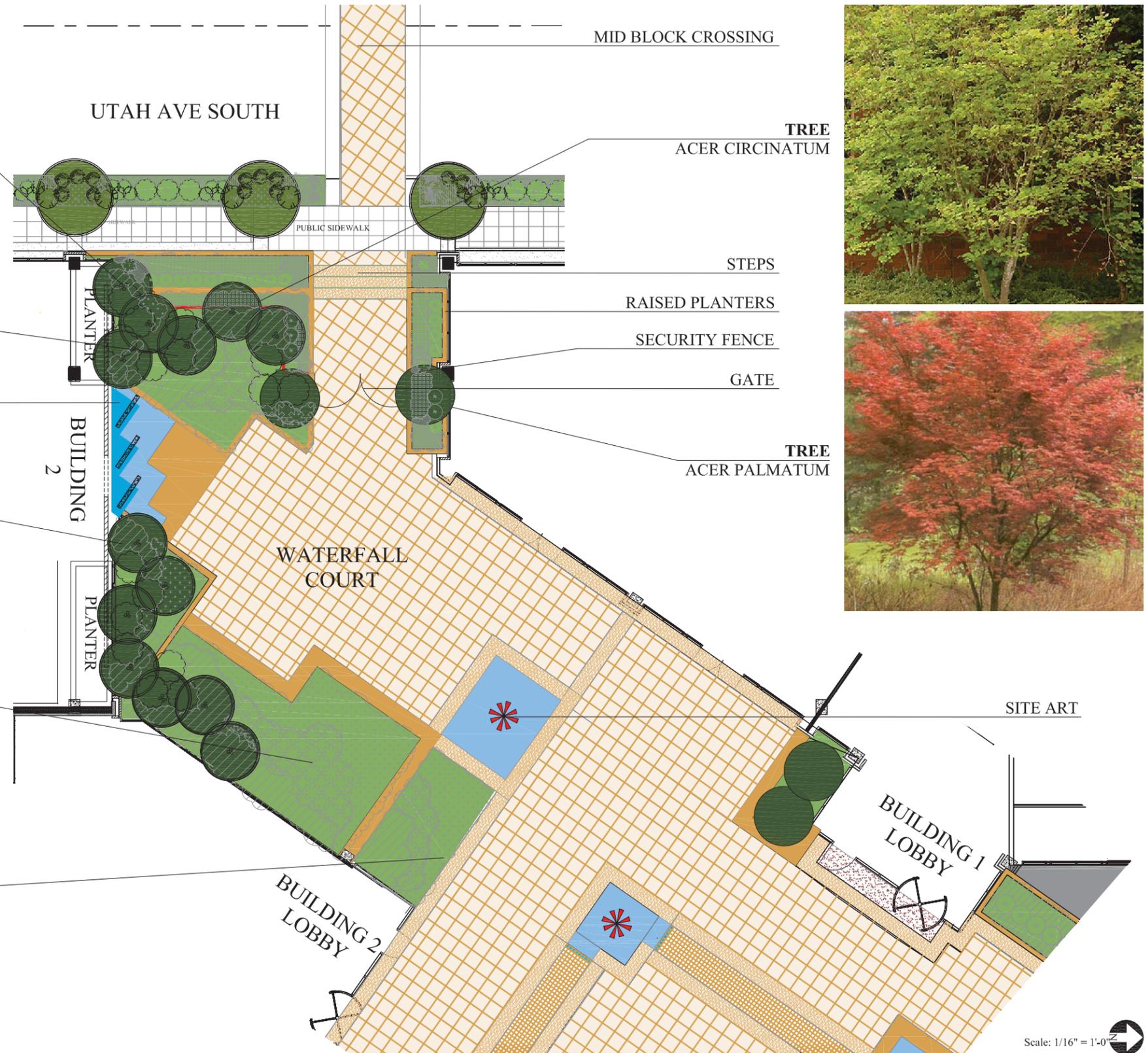
FERN
 POLYSTICHUM MUNITUM



PERENNIAL
 HOSTA SPP.



GROUNDCOVER
 VINCA MINOR



TREE
 ACER CIRCINATUM



TREE
 ACER PALMATUM

Scale: 1/16" = 1'-0"



TREE
ACER PALMATUM
JAPANESE MAPLE



LOW HEDGE
ILEX CRENATA



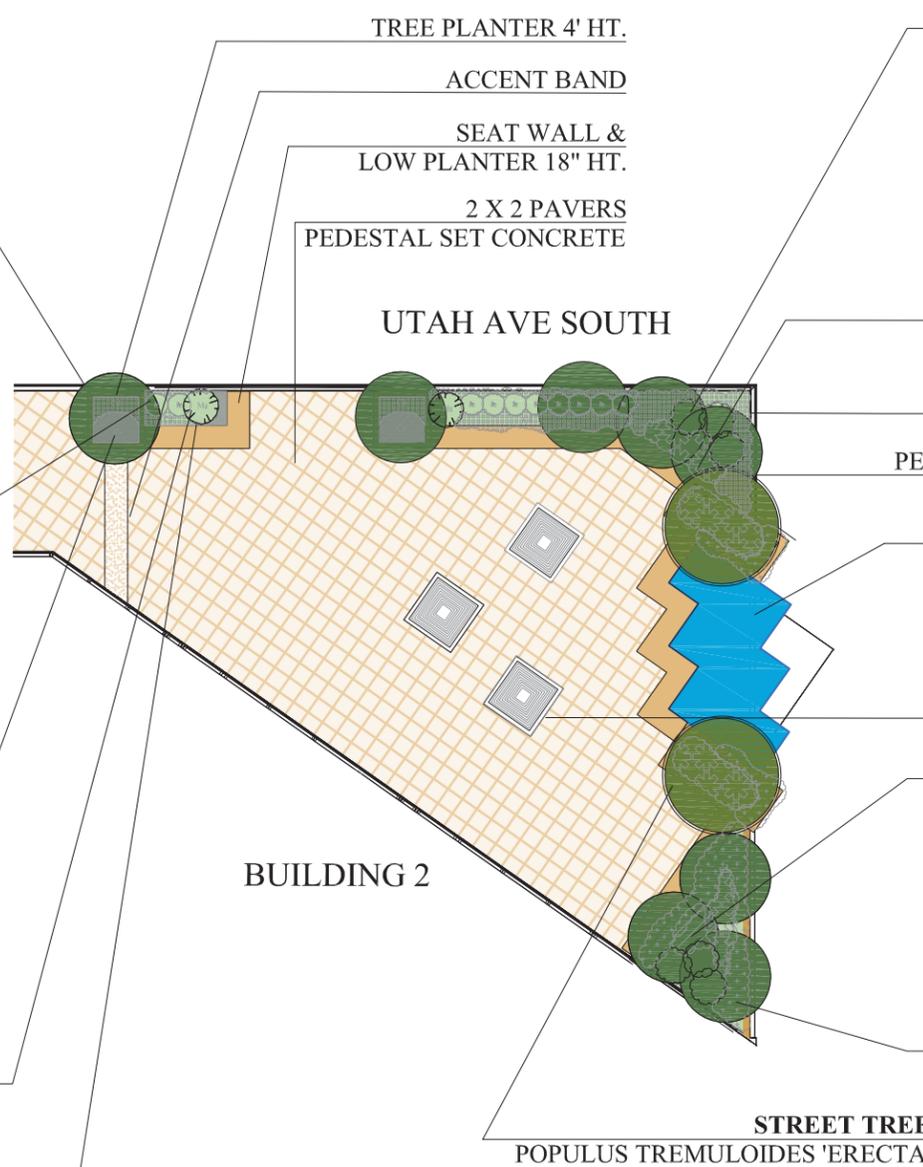
ACCENT SHRUB
CALLUNA VULGARIS



ORNAMENTAL GRASS
MISCANTHUS SINENSIS



GROUNDCOVER
COTONEASTER DAMMERII



SHRUB
RHODODENDRON



PERENNIAL
HOSTA SPP.



RAILING

PERIMETER PLANTER

WATER FEATURE
• UPPER POOL
• SHEAR DECENT WATERFALL TO POOL BELOW



FERN
POLYSTICHUM MUNITUM

GROUNDCOVER
VINCA MINOR



STREET TREE
POPULUS TREMULOIDES 'ERECTA'



Scale: 1/16" = 1'-0"



STREET TREE
POPULUS TREMULOIDES 'ERECTA'



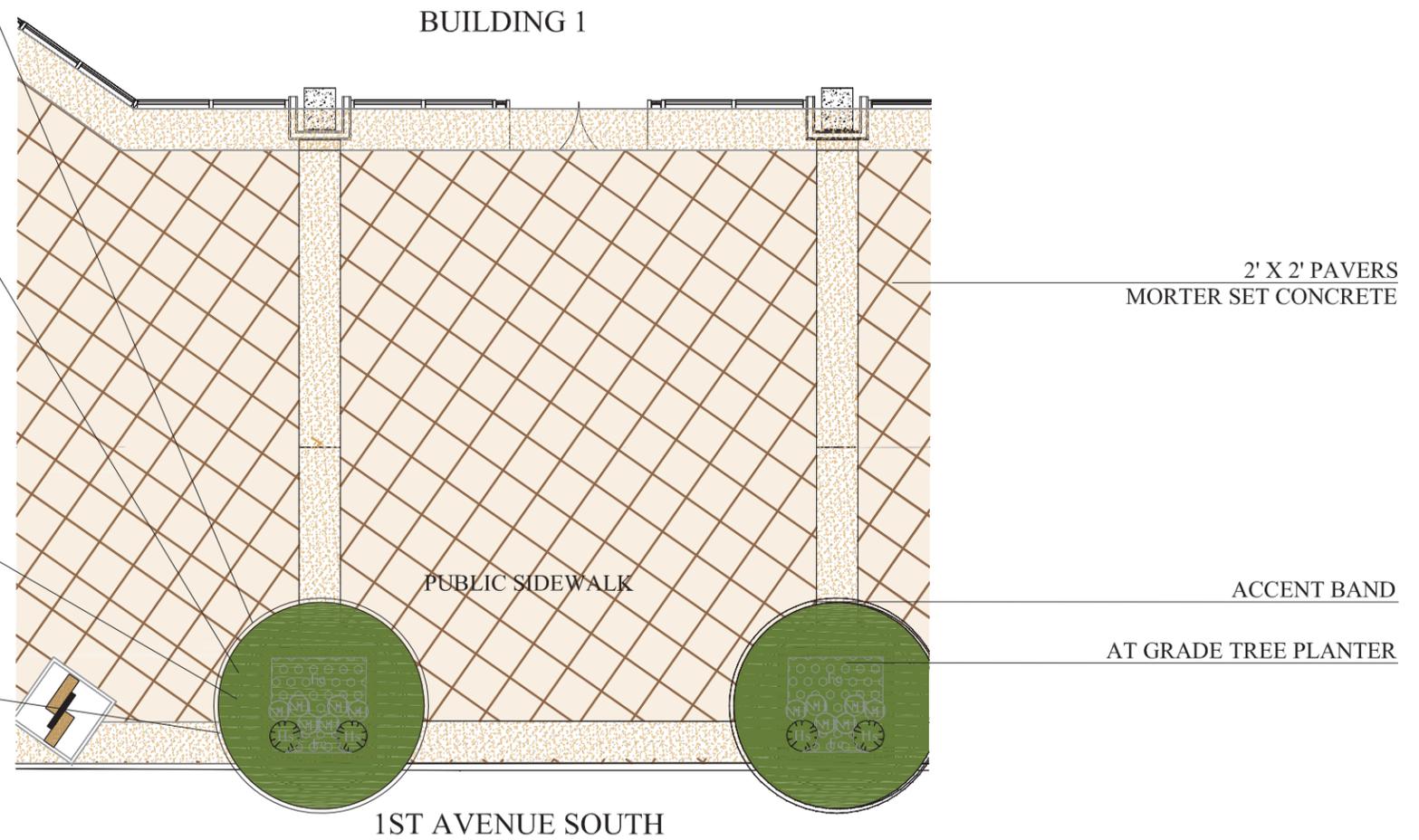
GROUNDCOVER
FRAGARIA CHILOENSIS



LOW SHRUB
NANDINA DOMESTICA
'HARBOR DWARF'



ORNAMENTAL GRASS
HELICTOTRICHON SEMPERVIRENS



Scale: 1/8" = 1'-0" 



ACCENT SHRUB
TAXUS SPP.



ACCENT SHRUB
CALLUNA VULGARIS



LOW HEDGE
ILEX CRENATA

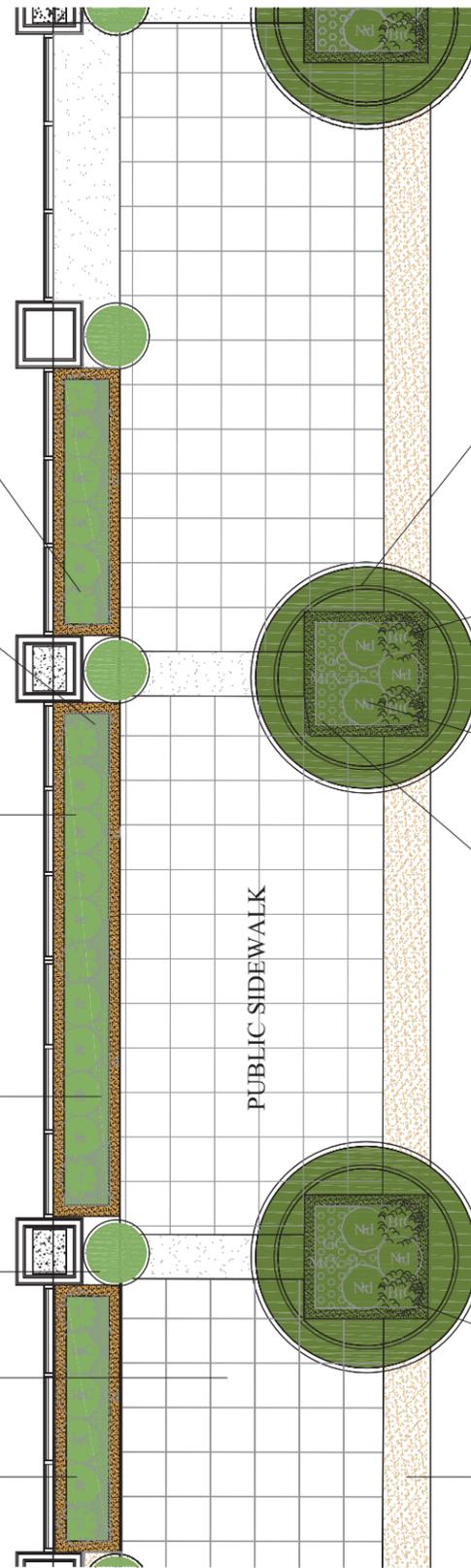


GROUNDCOVER
COTONEASTER DAMMERII

ACCENT PLANTER

2' X 2' CIP CONCRETE PAVERS

PREMANUFACTURED RAISED PLANTER



STREET TREE
ACER RUBRUM 'BOWHALL'

SHRUB
BERBERIS THUNBERGII
'CRIMSON PYGMY'

SHRUB
NANDINA DOMESTICA

GROUNDCOVER MIX #1
EPIMEDIUM RUBRA
MAHONIA REPENS

TREE PLANTER
AT GRADE

ACCENT BAND



Scale: 1/8" = 1'-0"

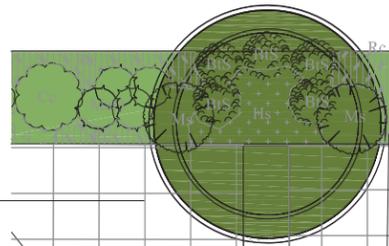


SHRUB
PHORMIUM TENAX



ACCENT SHRUB
CALLUNA VULGARIS

UTAH AVE SOUTH

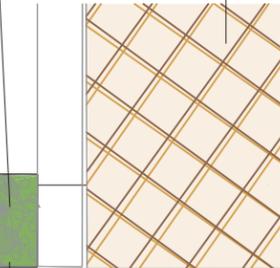
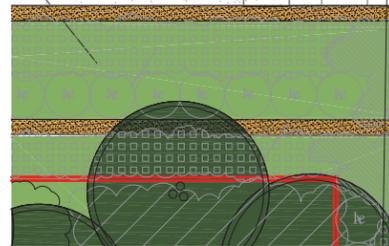


MID BLOCK CROSSING

PUBLIC SIDEWALK

2' X 2' CIP CONCRETE PAVERS

ACCENT BAND



BUILDING 1

SHRUB
BERBERIS THUNBERGII 'SPARKLE'



ORNAMENTAL GRASS
MISCANTHUS SINENSIS



LOW SHRUB
MAHONIA AQUIFOLIUM
'ORANGE FLAME'



LOW SHRUB
CISTUS 'CRISPUS'



GROUNDCOVER
MAHONIA REPENS



GROUNDCOVER
RUBUS CALYCINOIDES



GROUNDCOVER
FRAGARIA CHILOENSIS



STREET TREE
POPULUS TREMULOIDES
'ERECTA'

Scale: 1/8" = 1'-0"



TREE
ACER PALMATUM

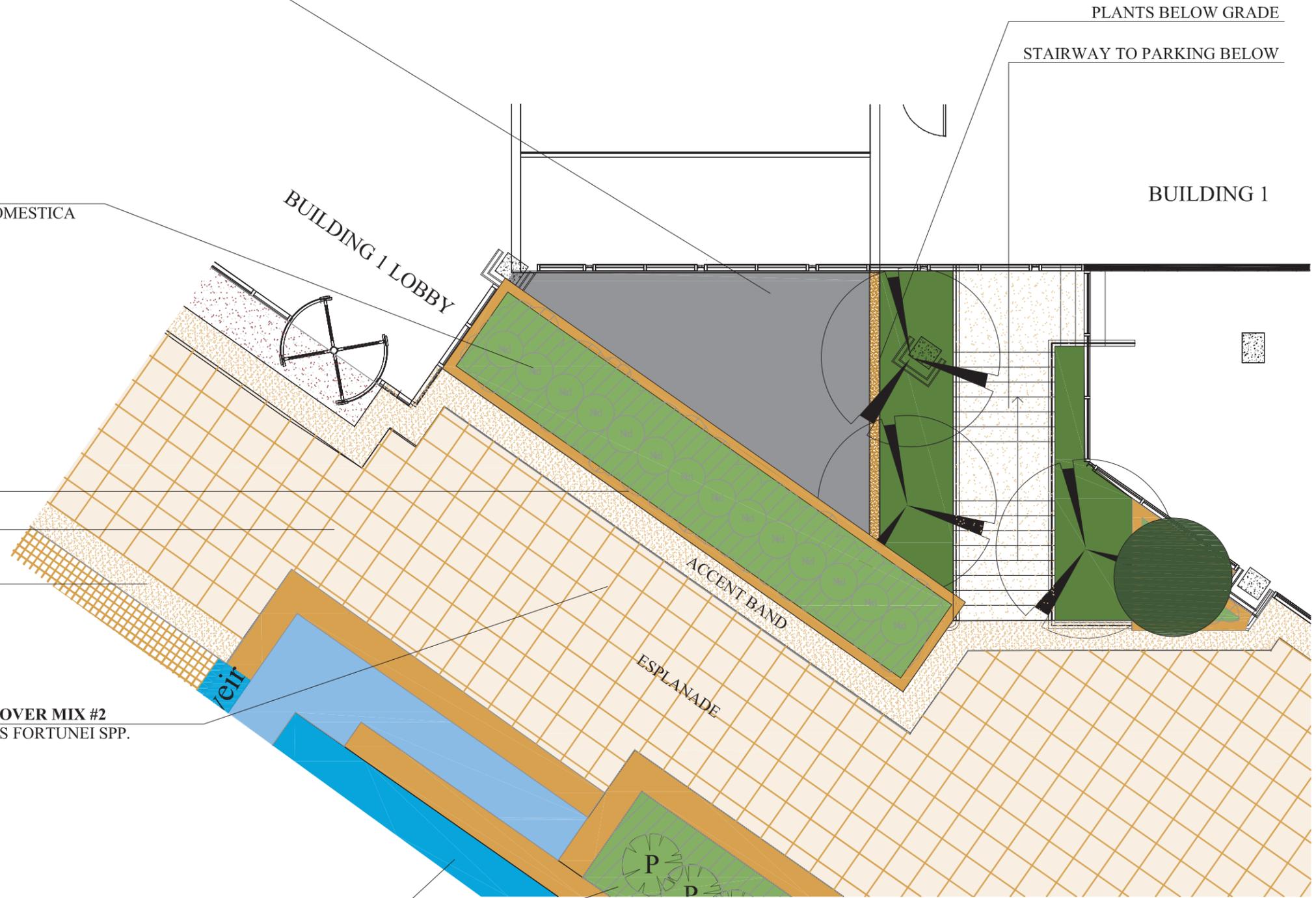


SHRUB
NANDINA DOMESTICA

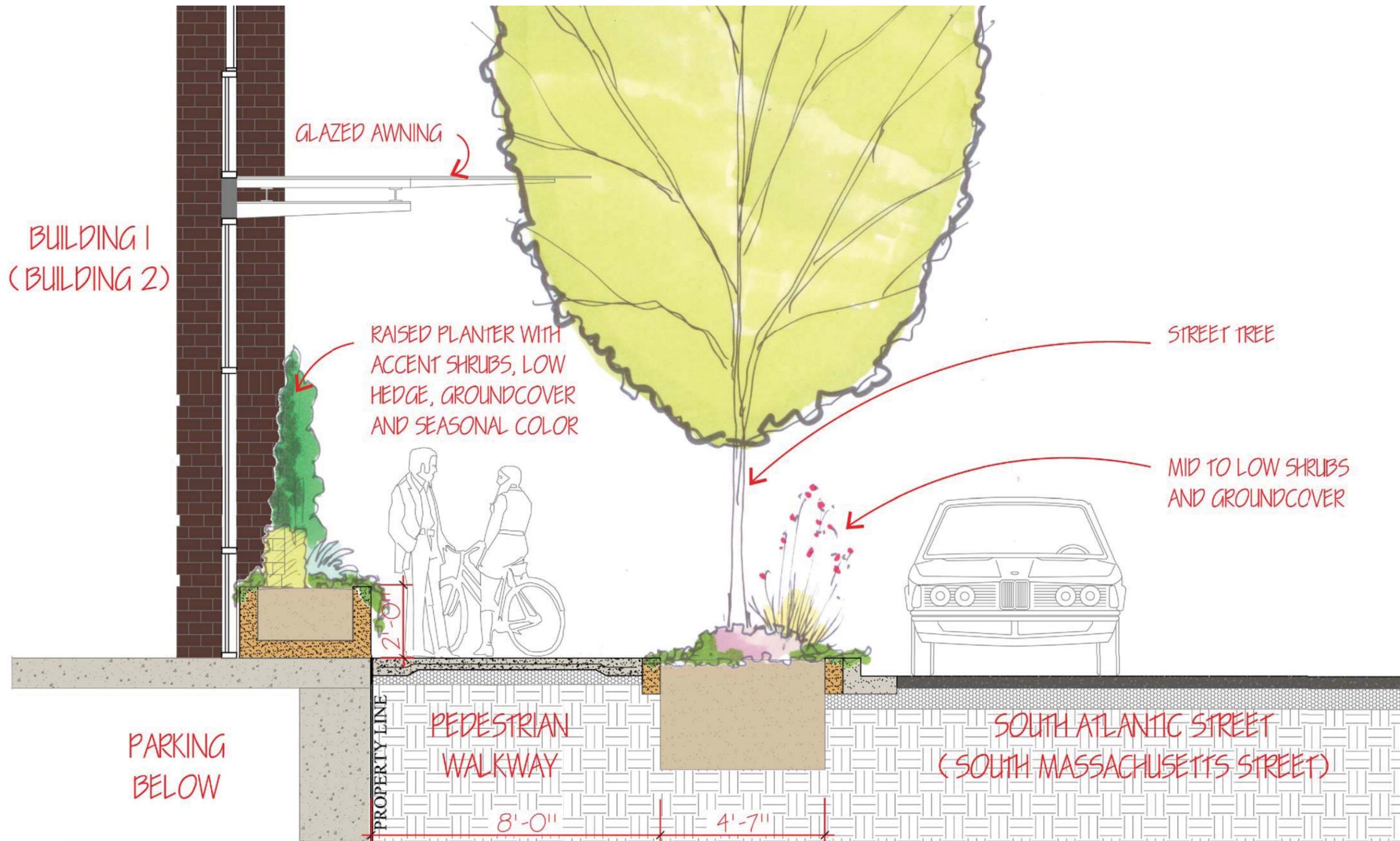
- RAISED PLANTER
- 2' X 2' PAVERS
- PEDESTAL SET CONCRETE
- ACCENT BAND

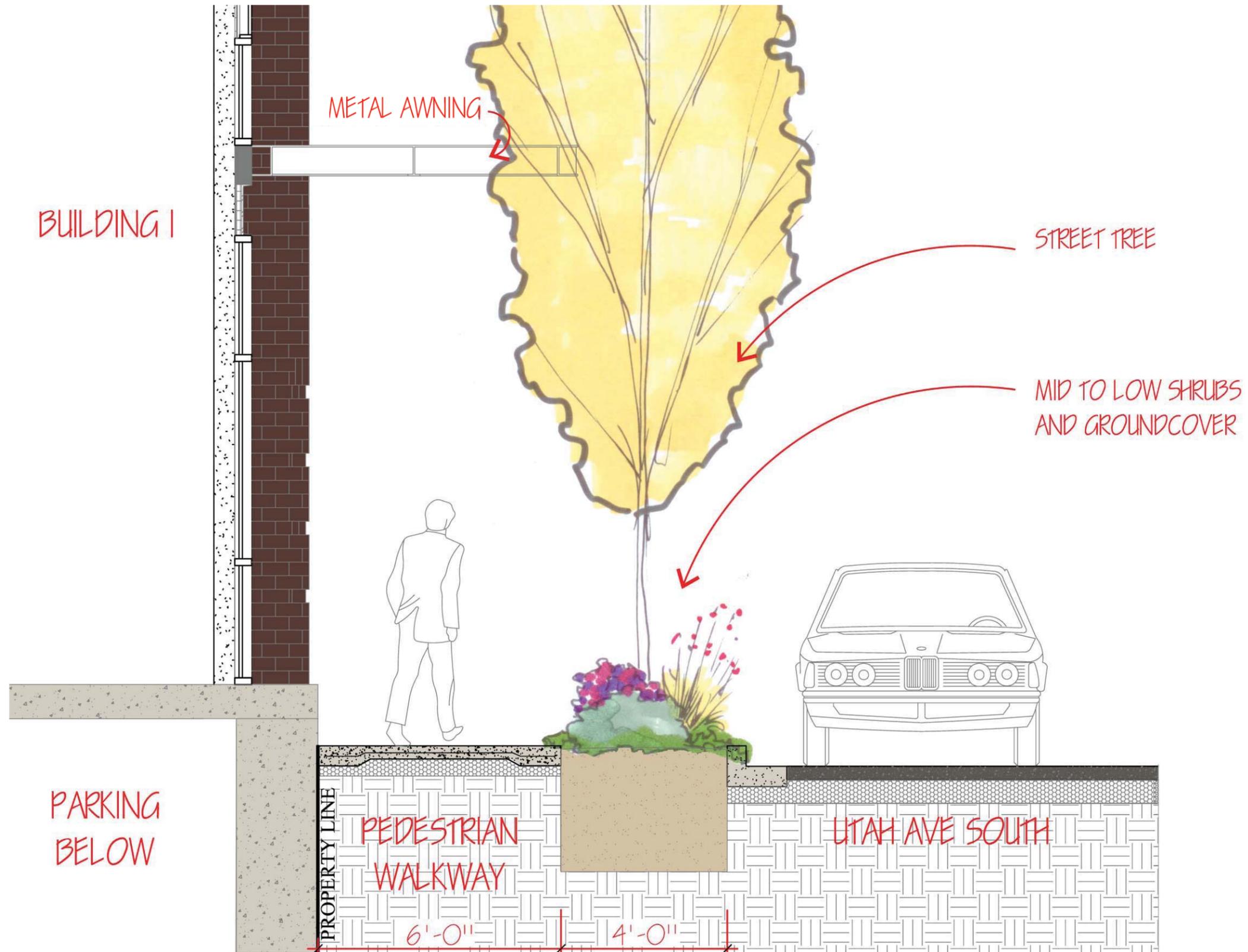


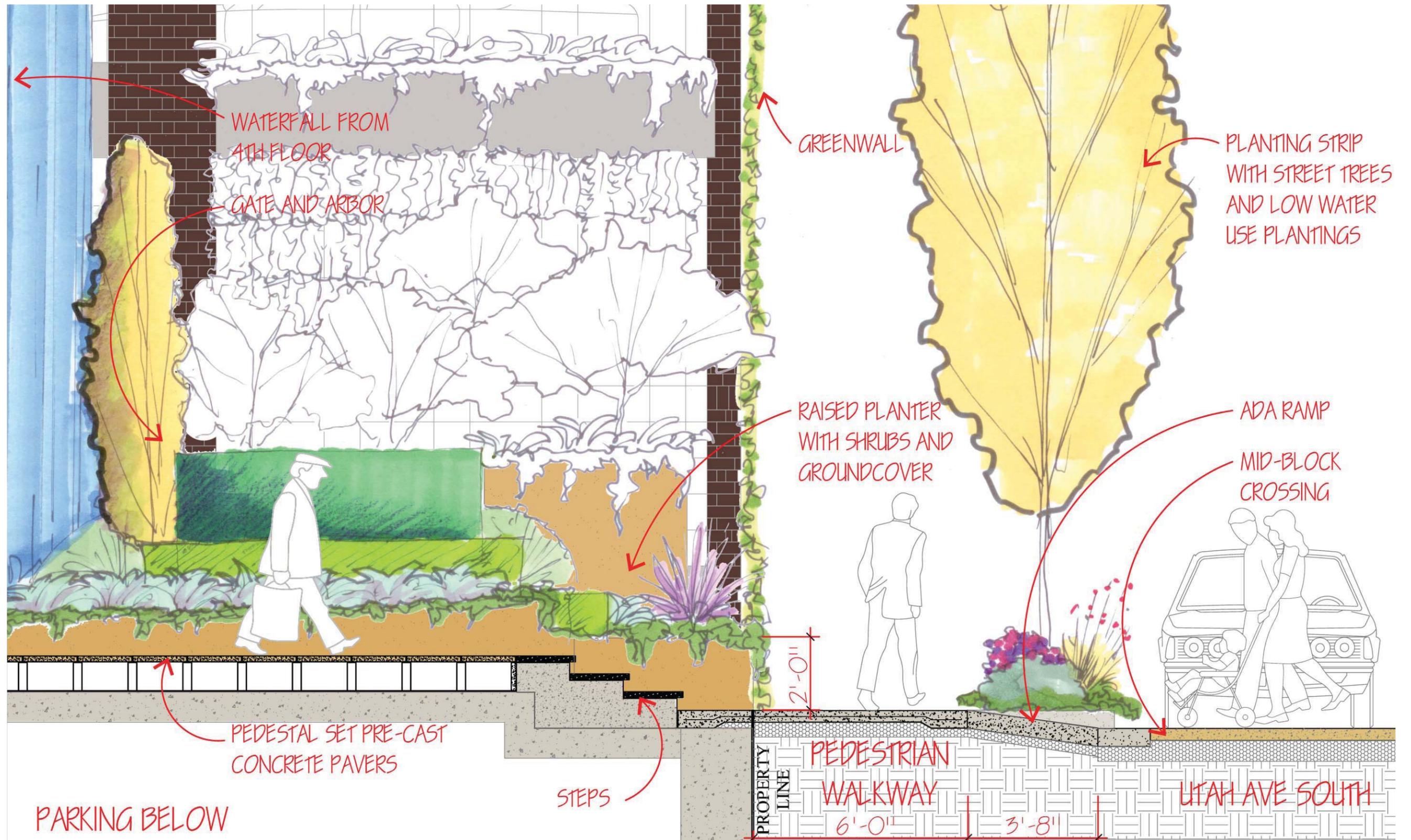
GROUNDCOVER MIX #2
EUONYMUS FORTUNEI SPP.
LIRIOPE

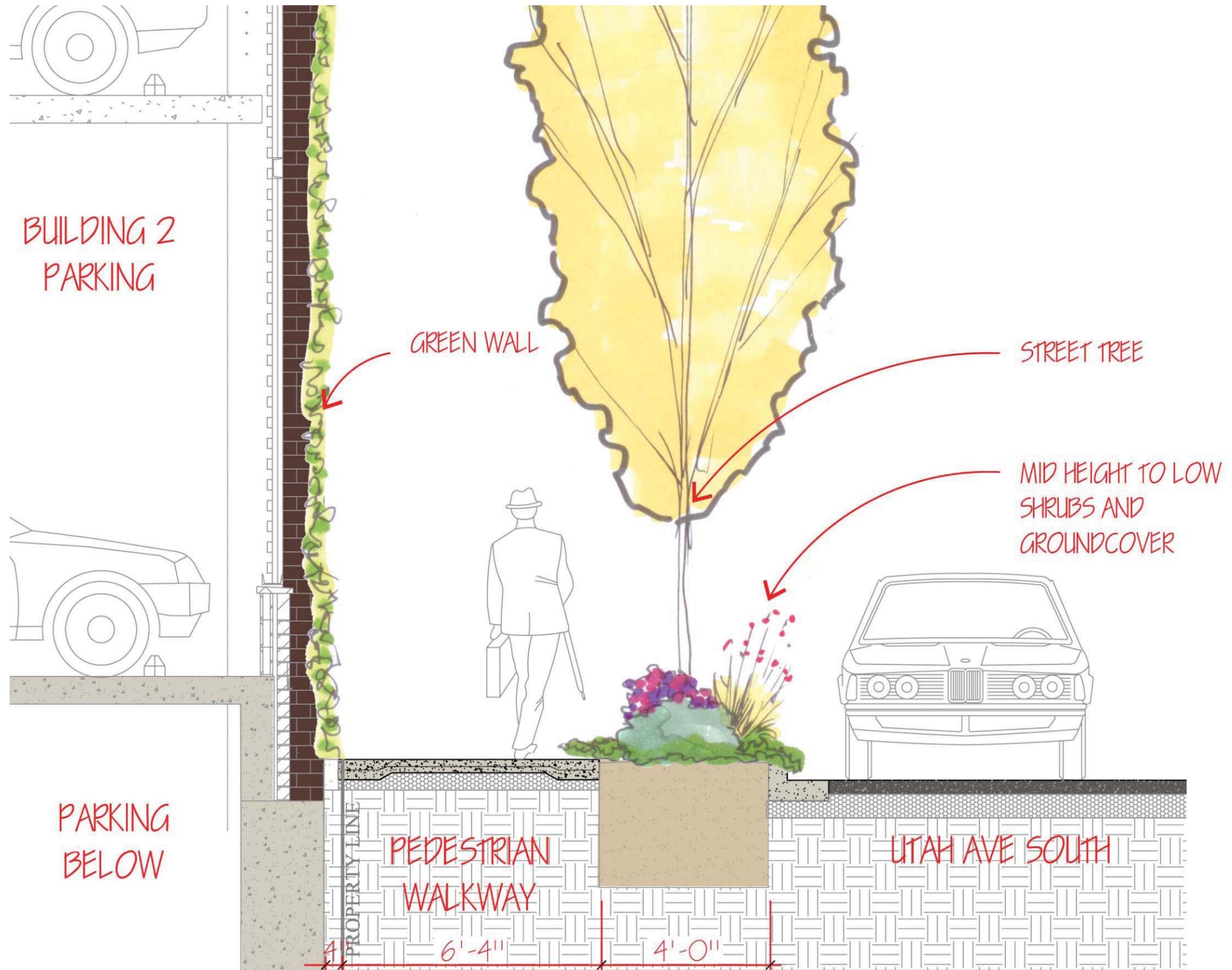


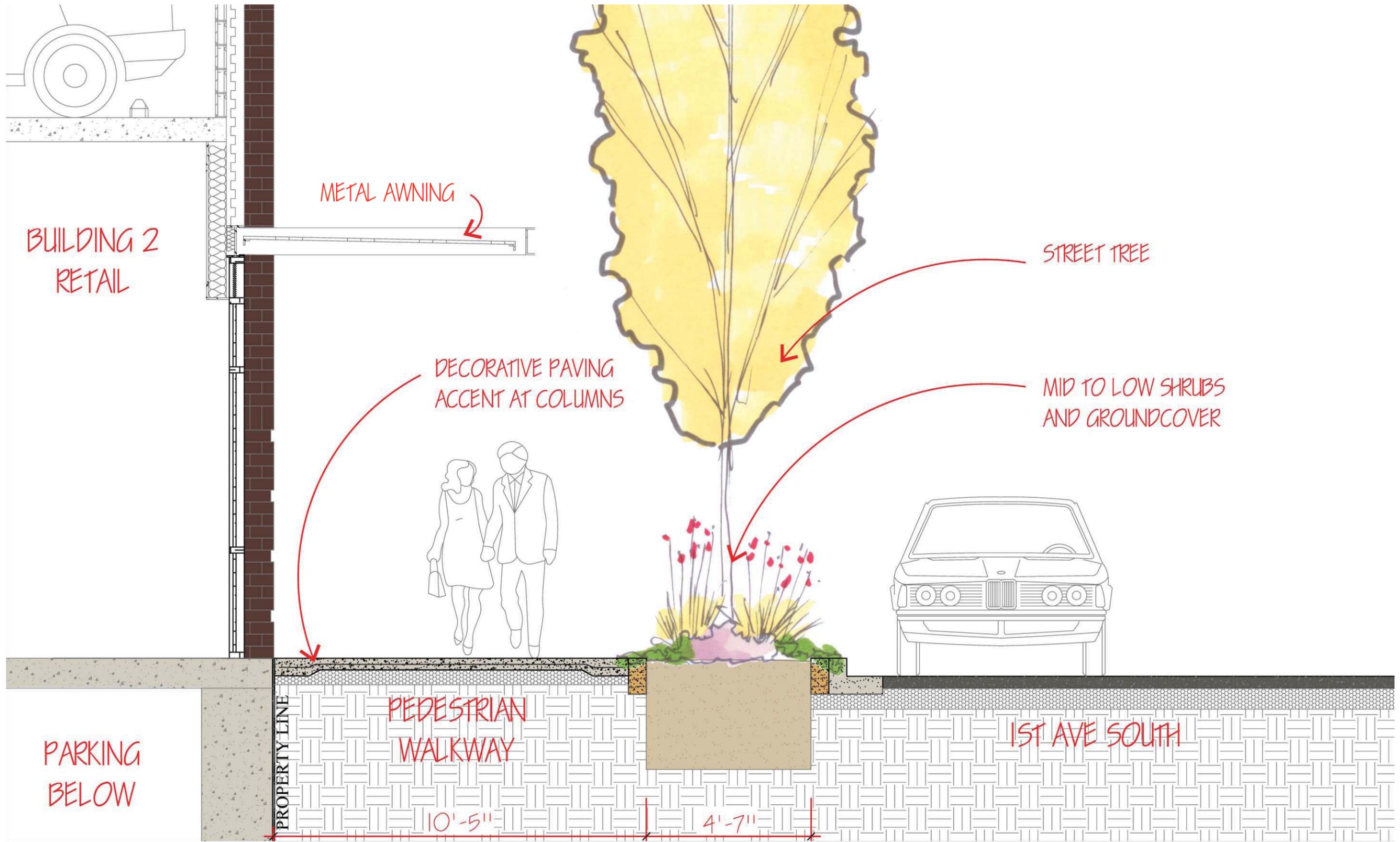
Scale: 1/8" = 1'-0"

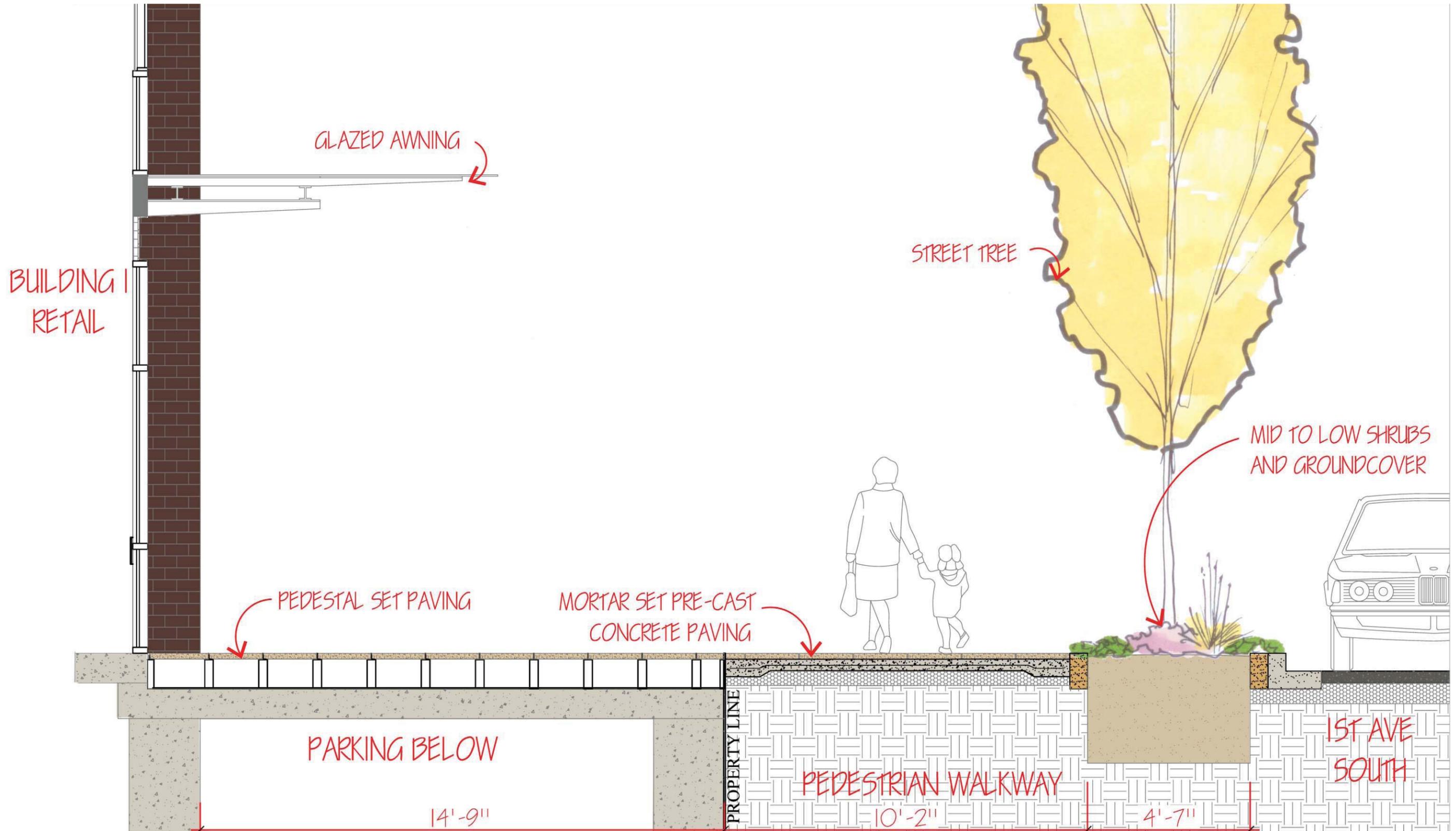


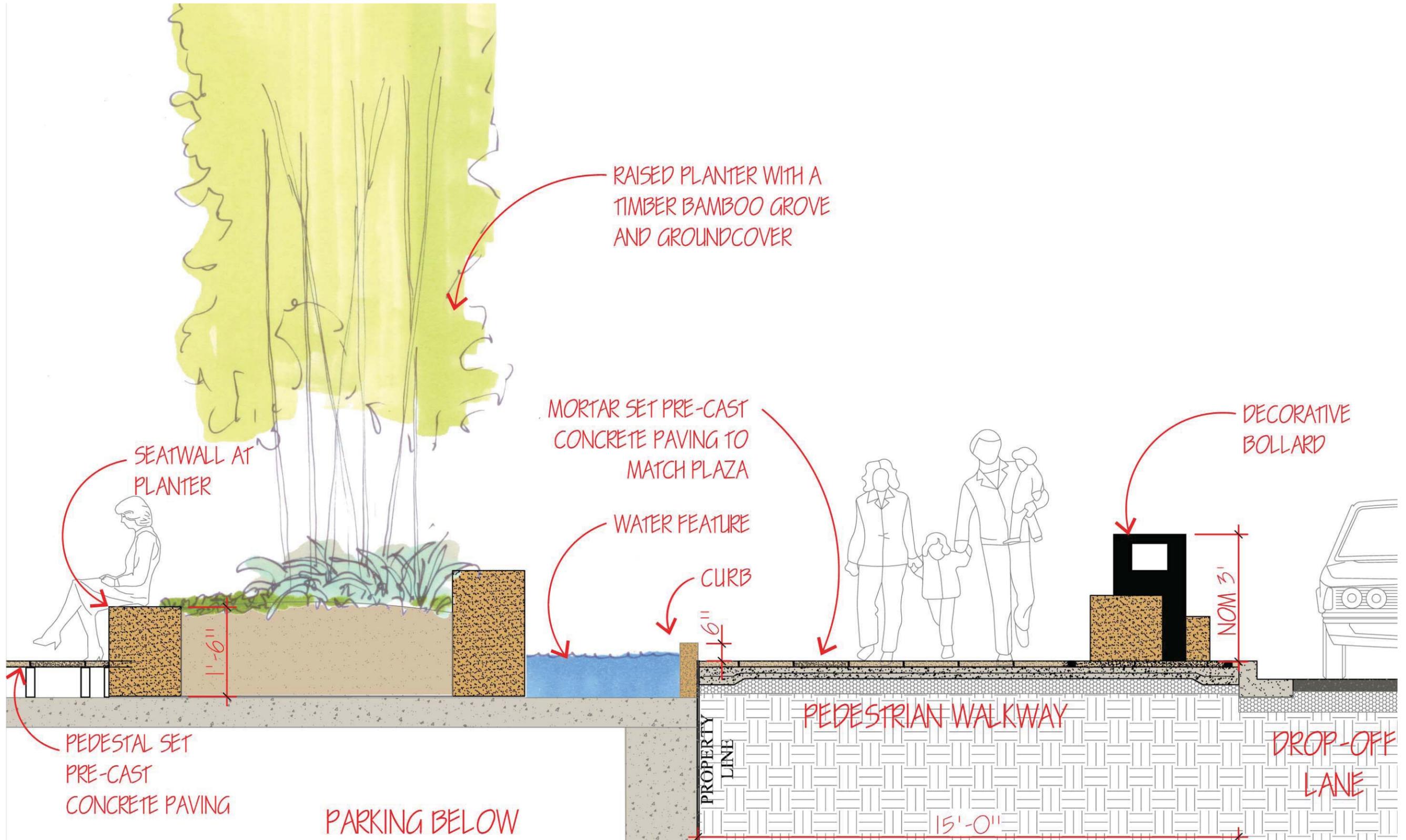


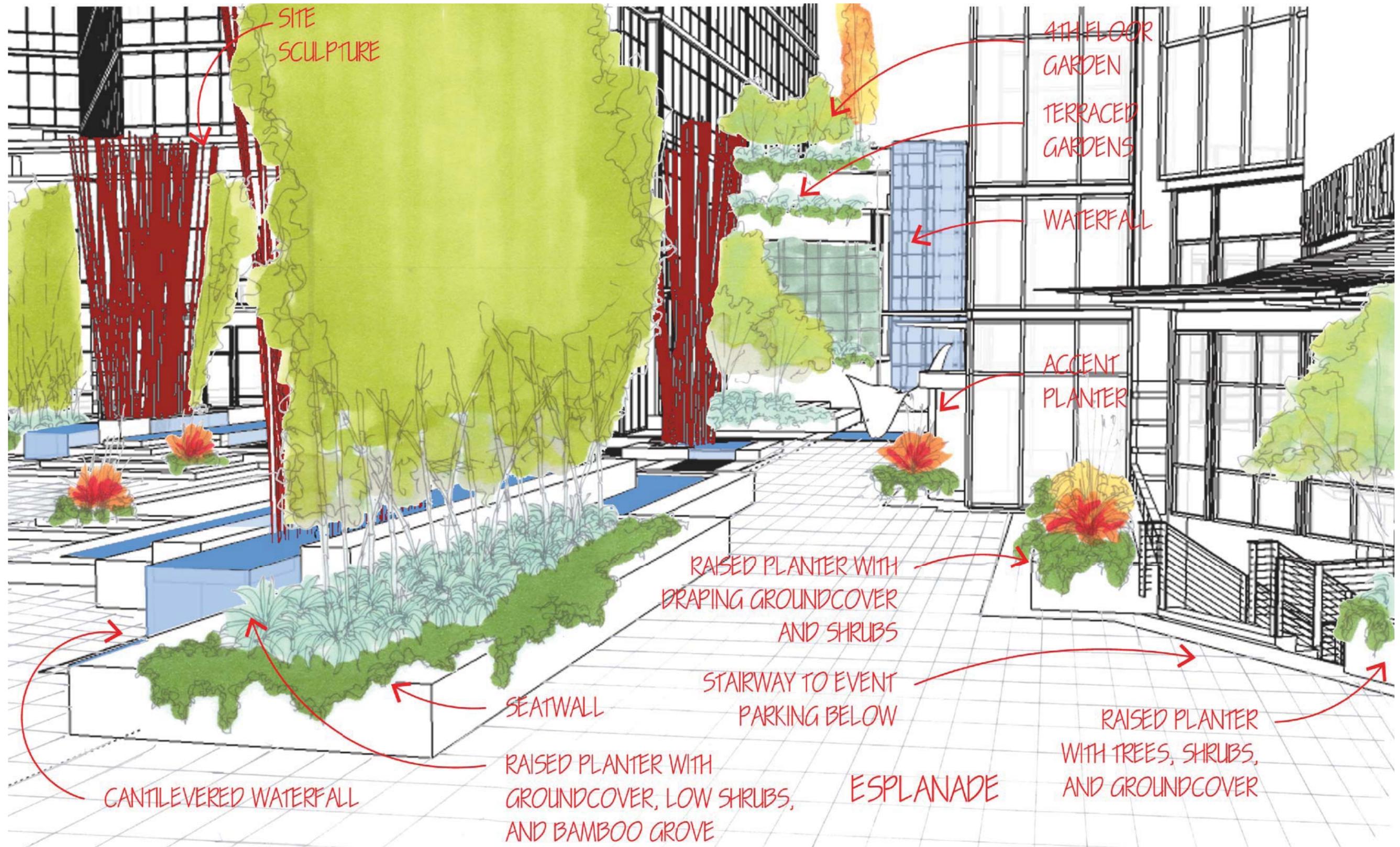


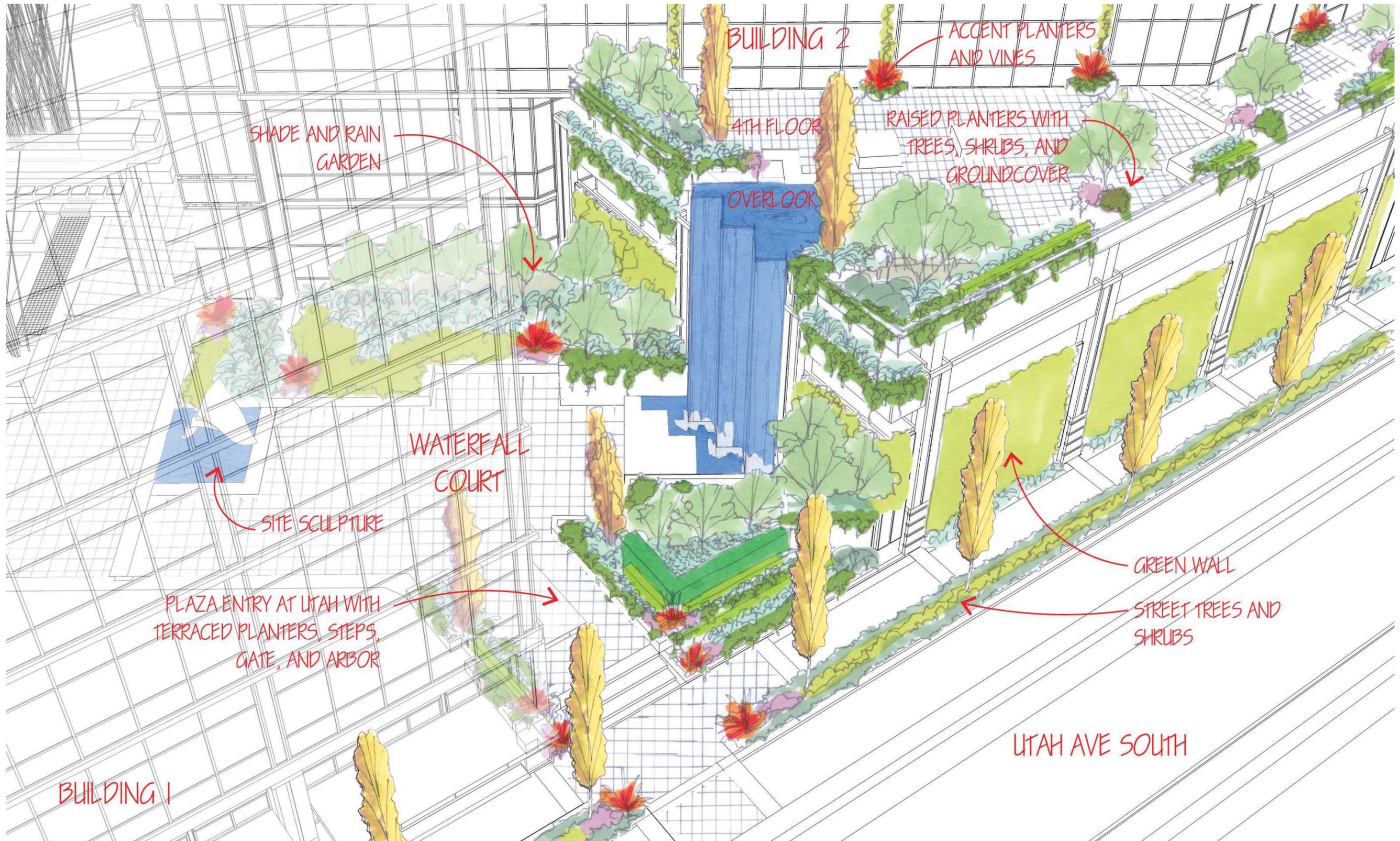














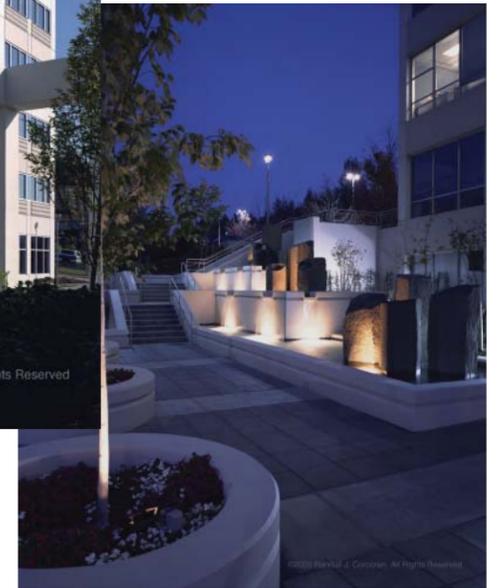
Lake Bellevue Building - Bellevue



Kirkland Gateway Building - Kirkland



T-Mobile Headquarters - Bellevue



Future Of Flight - Mukilteo



Southcenter Square - Tukwila



Bellevue Townhomes - Bellevue



Alfred McCoy Tribal Center - Wellpinit



Covington City Hall - Covington



Northwest Asian Bldg - Seattle



Newcastle Professional Center - Bellevue

