



ADMIRAL SAFEWAY

2622 California Ave SW
Seattle, WA 98116



View from Northwest



View from Northeast

OVERALL VIEWS OF PROPOSED PROJECT



View from Southwest

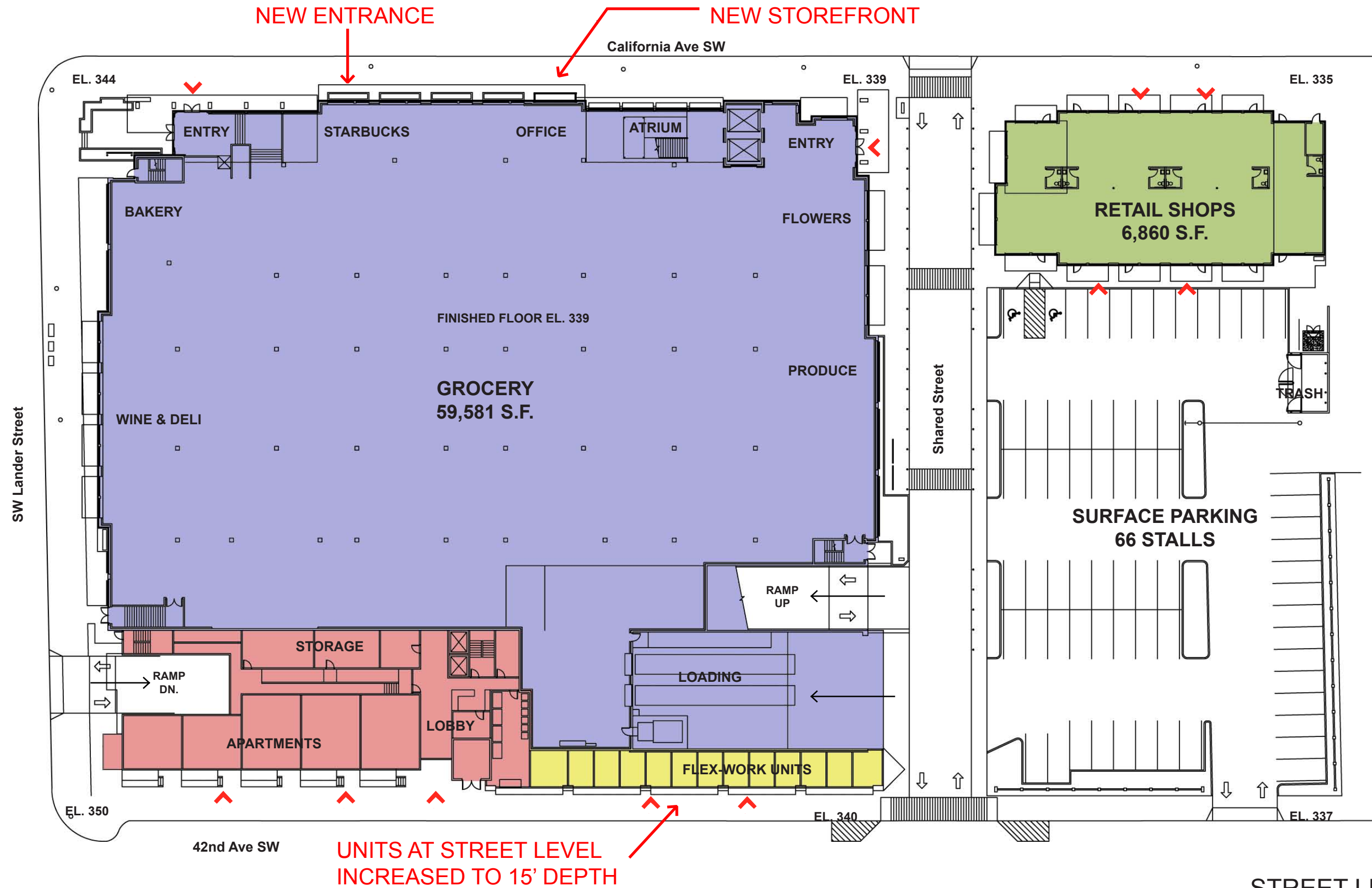


View from Southeast

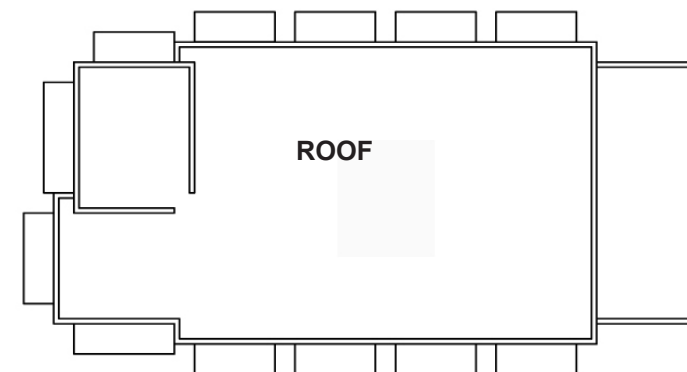
OVERALL VIEWS OF PROPOSED PROJECT



SITE PLAN



STREET LEVEL PLAN

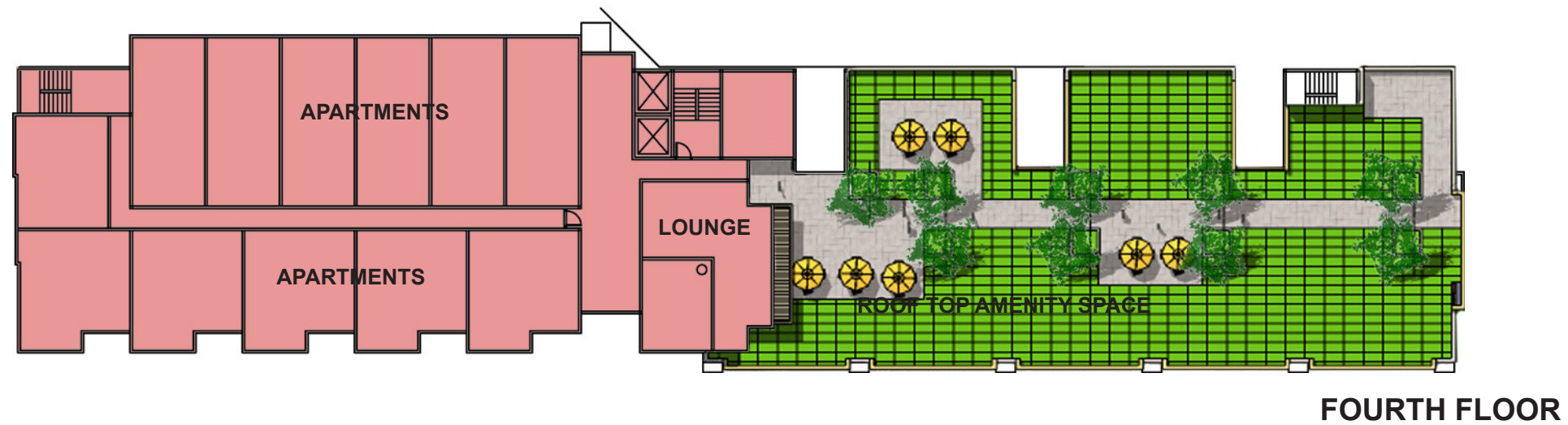


SECOND FLOOR & ROOF PLAN



41 TOTAL
APARTMENT UNITS

20,100 S.F. TOTAL OF FLEX-
WORK UNITS



UPPER FLOOR PLANS



SHOPS BUILDING FRMO NORTHWEST

SHOPS BUILDING FROM SOUTHWEST



GROCERY FROM NORTHWEST



GROCERY FROM SOUTHWEST



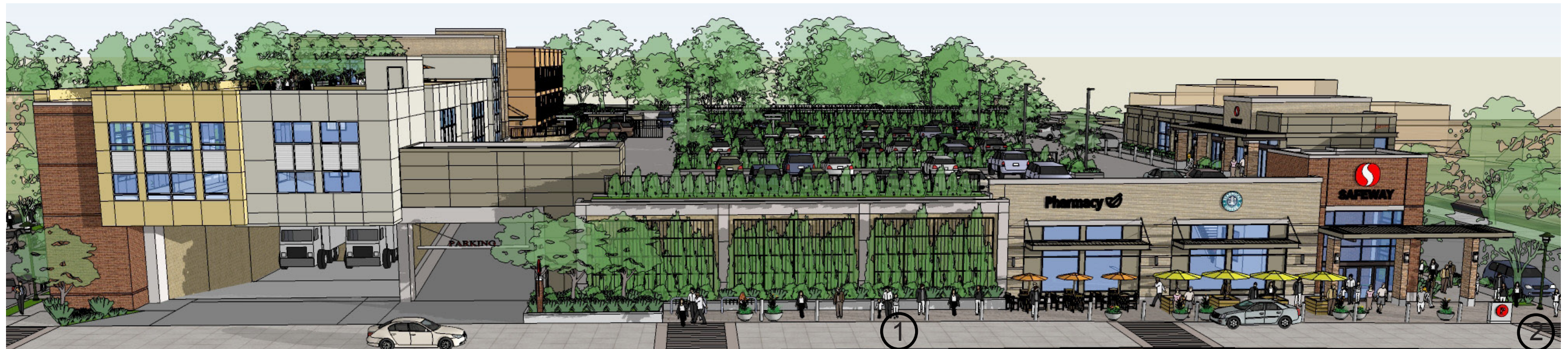
GROCERY & RESIDENTIAL FROM SOUTHEAST



RESIDENTIAL FROM EAST



FLEX-WORK FROM EAST



GROCERY • NORTH ELEVATION



MID-BLOCK CONNECTION • VIEW ①



MAIN ENTRY • VIEW ②



③

④

GROCERY • WEST ELEVATION



ENTRY VIEW ③



ATRIUM VIEW ④



GROCERY • WEST ELEVATION



ATRIUM • VIEW ⑤



ATRIUM • VIEW ⑥



GROCERY • WEST ELEVATION



SOUTHWEST ENTRY • VIEW ⑦



SOUTHWEST ENTRY • VIEW ⑧



GROCERY • WEST ELEVATION



SOUTHWEST PLAZA • VIEW ⑨



SOUTHWEST PLAZA • VIEW ⑩



GROCERY • SOUTH ELEVATION



VIEW 11



VIEW 12



②

GROCERY & RESIDENTIAL • SOUTH ELEVATION



SOUTHEAST CORNER VIEW ①



SOUTHEAST CORNER VIEW ②



RESIDENTIAL & FLEX-WORK • EAST ELEVATION



REISIDENTIAL VIEW ③



RESIDENTIAL VIEW ④



RESIDENTIAL & FLEX-WORK • EAST ELEVATION



RESIDENTIAL & FLEX-WORK ENTRY VIEW⑤



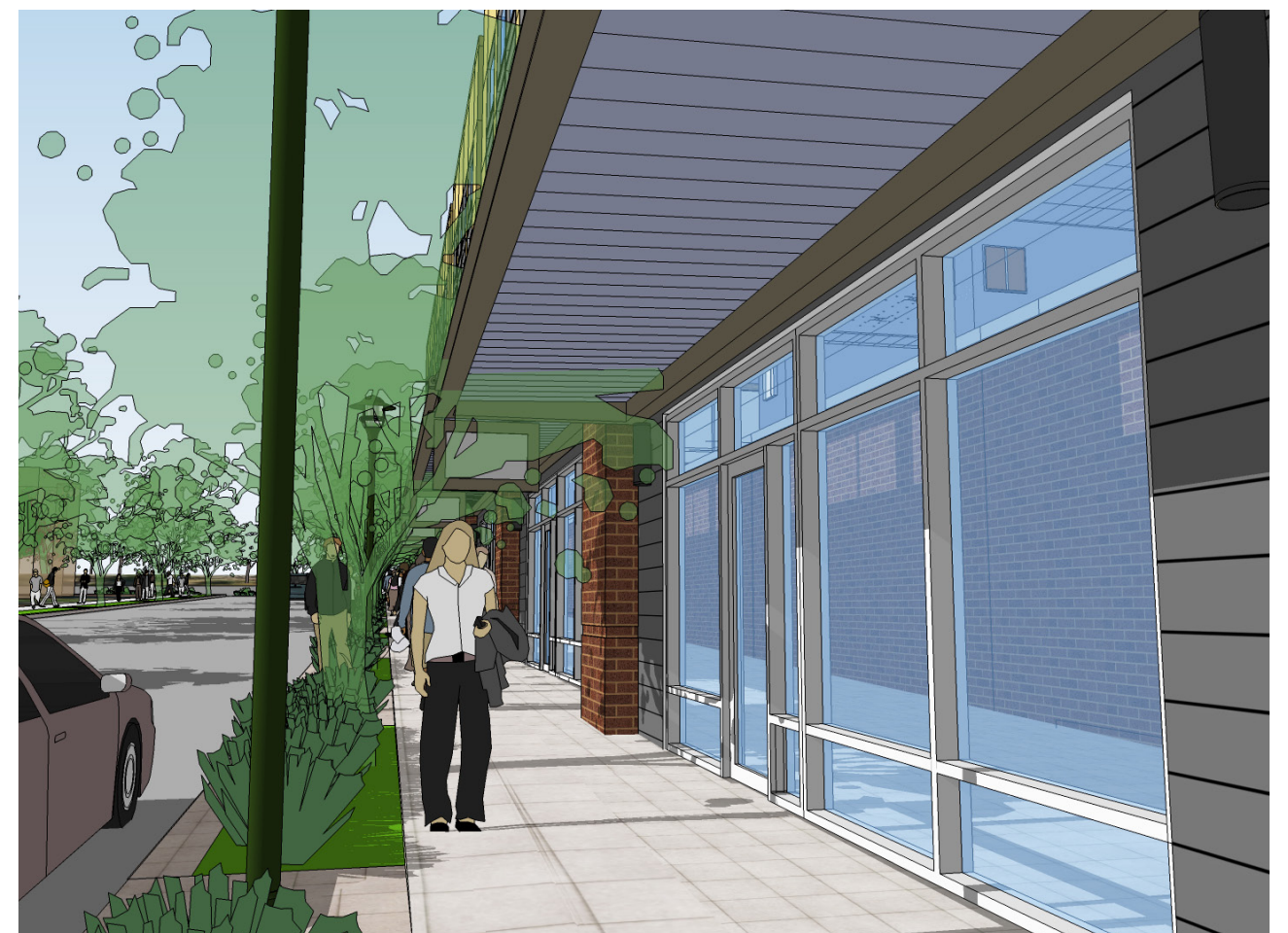
RESIDENTIAL & FLEX-WORK ENTRY VIEW⑥



RESIDENTIAL & FLEX-WORK • EAST ELEVATION



FLEX-WORK VIEW ⑦



FLEX-WORK VIEW ⑧



RESIDENTIAL & FLEX-WORK • WEST ELEVATION



RESIDENTIAL ROOFTOP VIEW ①



RESIDENTIAL ROOFTOP VIEW ②



GROCERY/ROOFTOP



GROCERY ROOF ENTRY VIEW ①



GROCERY ROOFTOP VIEW ②

LEDGE-STONE COLUMNS

PRECAST CONCRETE

CMU

NORTH FACADE BRICK

CANOPY

CANOPY & STOREFRONT

WEST FACADE BRICK

SOUTH FACADE BRICK

GROCERY MATERIALS

SIDING COLORS

PRECAST CONCRETE

CEMENT BOARD COLORS

CMU PORCH COLORS

RES. BASE

CORE ELEMENT

FLEX_WORK PILASTERS

RESIDENTIAL & FLEX-WORK MATERIALS

PROJECT MATERIAL PALETTE

EXTERIOR MATERIALS

1. Blank Facades (23.47A.008) Blank segments of the street-facing facade between two (2) feet and eight (8) feet above the sidewalk may not exceed twenty (20) feet in width. We are requesting a departure for the twenty-four (24) foot width of blank wall along California Avenue SW, adjacent to a 53'-0" glass wall. Because of the internal functions of the grocery store, that segment of wall was required to be void of windows. The wall will also will be supporting a sign for the grocery store, so screening was not a preferred option either. THIS DEPARTURE HAS BEEN OMITTED WITH ADDITION OF NEW STOREFRONT.
2. Transparency Requirements (23.47A.008) 60% of the street-facing non-residential facade between two and eight feet above the sidewalk must be transparent. We are requesting a departure because the south (37.1%) facade of grocery store is less than 60% transparent. The west facade is 64% transparent (was 59.2% transparent). Because of the internal functions of the grocery store, areas of the south facade was required to be void of windows. However, if green walls, helping to meet Seattle Green Factor, were counted as transparent, both conditions would be met. THIS DEPARTURE WAS DISCUSSED AS APPROVED FOR SOUTH FACADE BUT NOT WEST FACADE.
3. Depth of Nonresidential Space (23.47A.008) Depth of non residential uses must extend an average of at least 30 feet and a minimum of at least 15 feet in depth from the street-level, street facing facade. This applies to the Flex-Work spaces along 42nd Ave SW. These spaces are approximately +15'-0" deep (was aproximately 13'-0" deep), which while shallow for commercial retail space, it is appropriate for Flex-Work space. Since the depth does not comply with the above code except we are asking for a departure. In response to the Design Review Board's feedback of creating more activity at the street-level, we felt that the Flex-Work spaces were a viable option for both the client and the city along 42nd Ave SW, in lieu of a blank wall shielding the Truck Loading area. These Flex-Work spaces also provide a buffer between the existing residential units on the east side of 42nd Ave SW and the Truck Loading on our site.
4. Parking Access (23.47A.032) In NC Zones, access to parking must be from an alley when the lot abuts an alley. The proposed development is located on a site that abuts an alley. More than 90% of the parking can be accessed by the alley on the north end of the site. However, there are 19 stalls located beneath the structure on the southeast portion of the site. In order to make these 19 stalls accessible from the alley we would have to modify the design and locate the truck loading along SW Lander Street. We felt that the least amount of impact would be to have the 19 stalls accessed off SW Lander St. We are also removing a curbcut where we are vacating an alley, so in the end no additional curb cuts have been added along SW Lander Street. THIS DEPARTURE WAS DISCUSSED AS APPROVED AT DRB #1.
5. Parking Adjacent to 42nd Street (23.47A.032) Parking may not be located between a structure and a street lot line. We are requesting a departure to locate surface parking between the Admiral Retail Shops Building and the 42nd Ave SW street lot line. California Ave SW seems to be the front lot line for the purposes of parking (see 23.47A.032.C.2), so we are locating some of the surface parking required for the grocery store behind Admiral Retail Shops Building. Locating surface parking adjacent to California Ave W would dilute the urban street edge, and locating the Admiral Retail Shops Building adjacent to 42nd Ave SW would not be commercially viable. We are mitigating the parking by adding screening the length of the parking along 42nd Ave SW. THIS DEPARTURE WAS DISCUSSED AS APPROVED AT DRB #1.
6. Green Factor (23.47A.16) Green Area Factor Requirement - Landscaping that achieves a green factor score of .30 or greater is required for any new structure containing more than 4,000 sq. ft. of nonresidential use. The admiral retail shops building parcel does not meet the required score of .30. The parcel meets a score of .25 through the use of permeable paving on top of 24" of soil or gravel. The adjacent parcel is being developed (MUP Project #: 3009367) by the same owner, immediately following the completion of the retail shops building. Upon completion of the entire project the .30 green factor for the project will be met. THIS DEPARTURE HAS BEEN OMITTED WITH ADDITION OF GREENWALL ON SHOPS BUILDING.
7. Curb Cut Width (23.54.030) Curb cut width is limited to 30 feet for two-way traffic when truck and auto access is combined. Curb cut flares are limited to 2.5 feet in width. We are proposing a 37 foot wide curb cut with 4 foot flares on 42nd Avenue SW, which is adjacent to the truck loading area for the grocery store. This is a departure for DPD, however it is a standard curb cut per SDOT (Type 430B). A wider curb cut in this location allows trucks to enter and exit the site from 42nd Avenue SW, close to the truck loading area, and keeps trucks away from the more pedestrian-oriented area of the project between the grocery store and the retail shops. THIS DEPARTURE WAS DISCUSSED AS APPROVED AT DRB #1.
8. Pedestrian Walkway (23.47A.032.H.1) Where a pedestrian entrance to retail sales is orientated to a parking lot, a 5-foot-wide pedestrian walkway through the parking lot to the pedestrian entrance is required. We are requesting a departure from this requirement because our entire retail frontage, including pedestrian entrances, is intentionally oriented away from the parking lot and toward California Avenue SW. Additionally, we assume that this requirement will be best served with our East-West pedestrian connection. THIS IS A NEW DEPARTURE REQUEST
9. Street Level Development Standards (23.47A.008.D3) Dwelling units along the streets shall be at least 4 feet above or 4 feet below the sidewalk or be setback 10' from the sidewalk. We are requesting a departure for the 10'-0" setback. We propose an 8'-0" setback from the edge of the sidewalk along the east facade. The dwelling units vary from 1' to 3'-6" above the adjacent sidewalk. Because of street-tree planting and a 7'-0" sidewalk (a foot wider than the requirement), we encroach upon the 10'-0" setback by 2'-0". We are also requesting a departure from the 10'-0" setback requirement along the south facade where we have a 16'-0" wide segment that is setback 5'-0" from the edge of the sidewalk. These setbacks appear sufficient due to the buffering provided by the unit porches. THIS IS A NEW DEPARTURE REQUEST



VIEW FROM SOUTHWEST

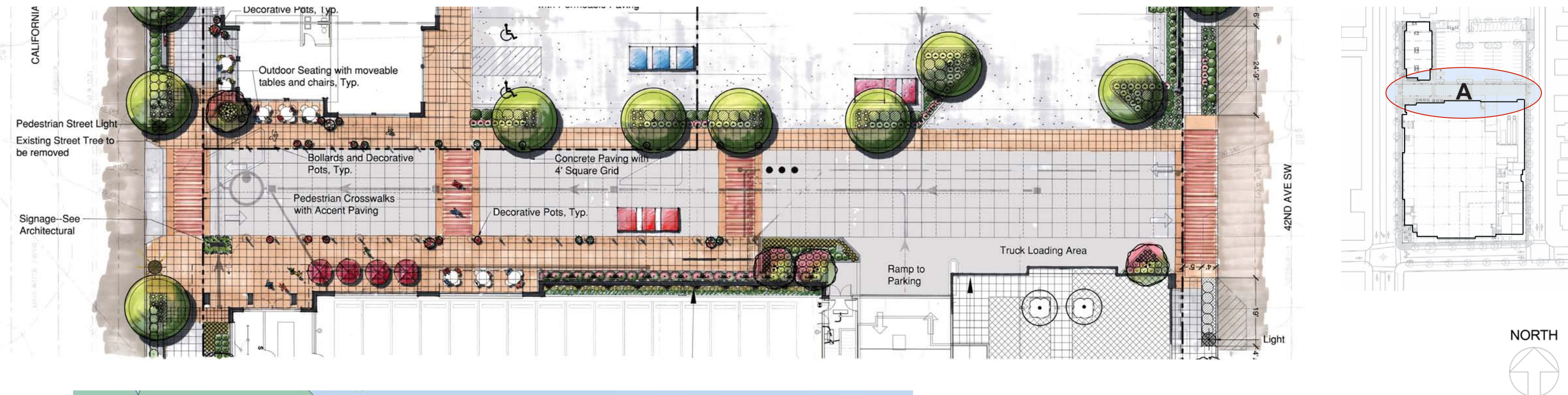


VIEW FROM NORTHEAST

PROPOSED DESIGN DEPARTURES



MID BLOCK CROSSING PEDESTRIAN PLAN



Potted Plants Example

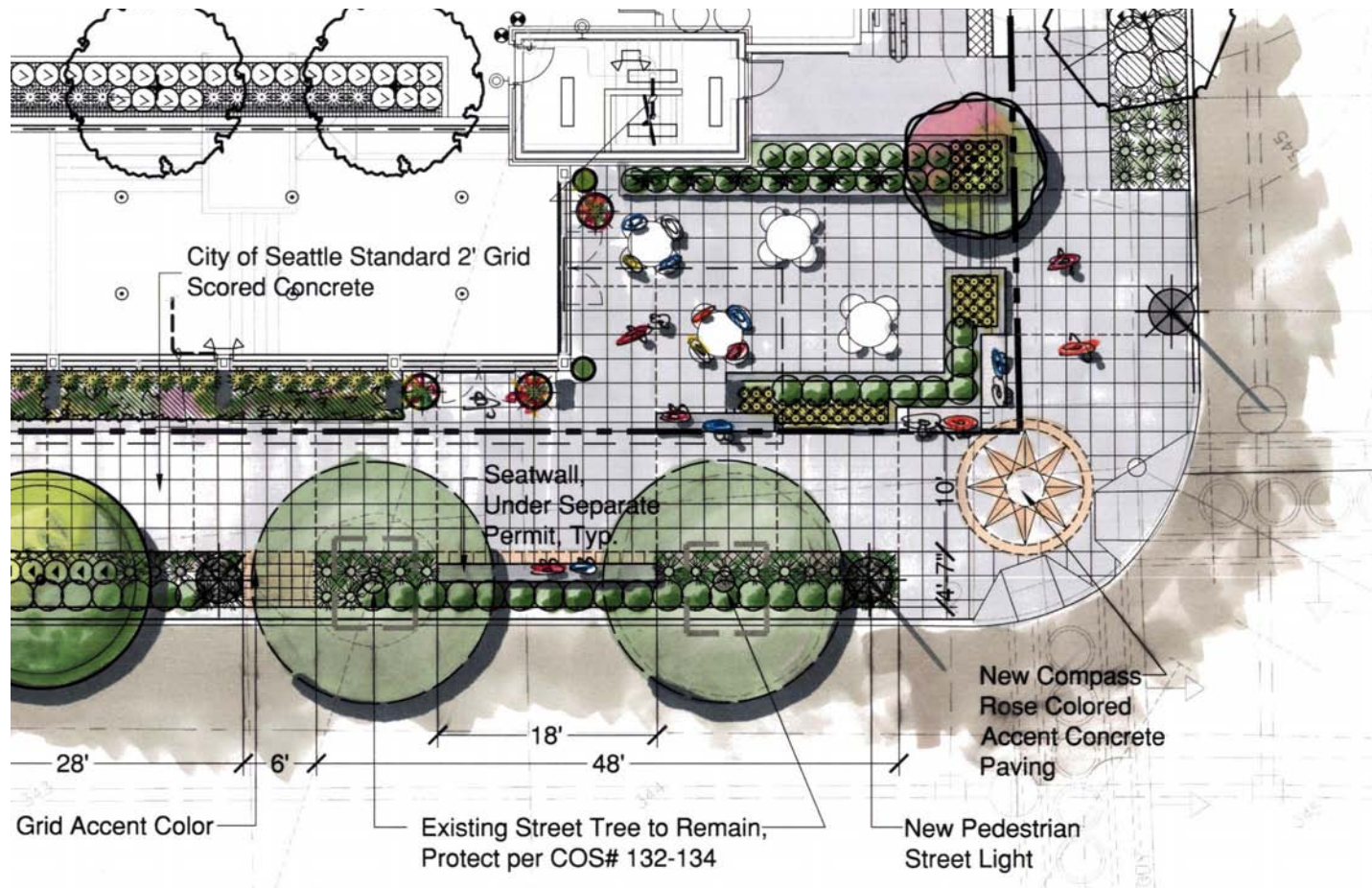
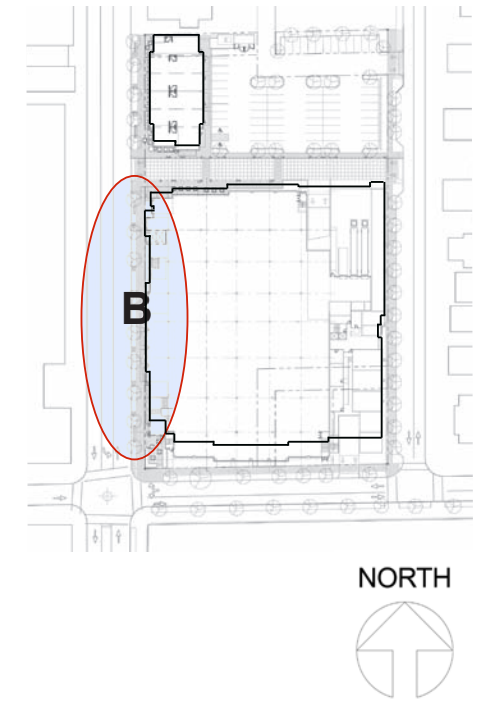
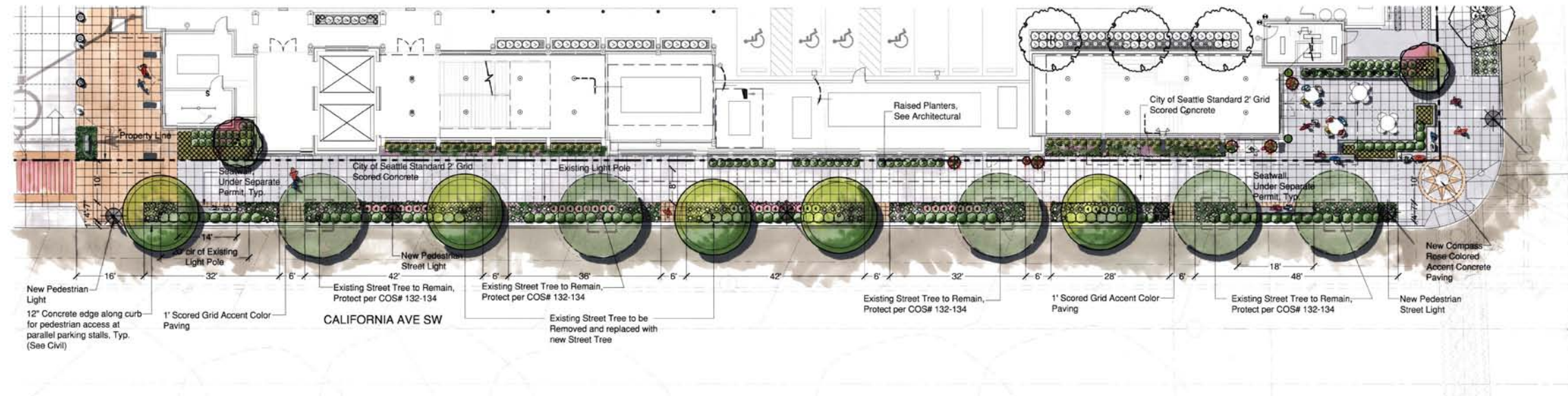


Streetscape Example



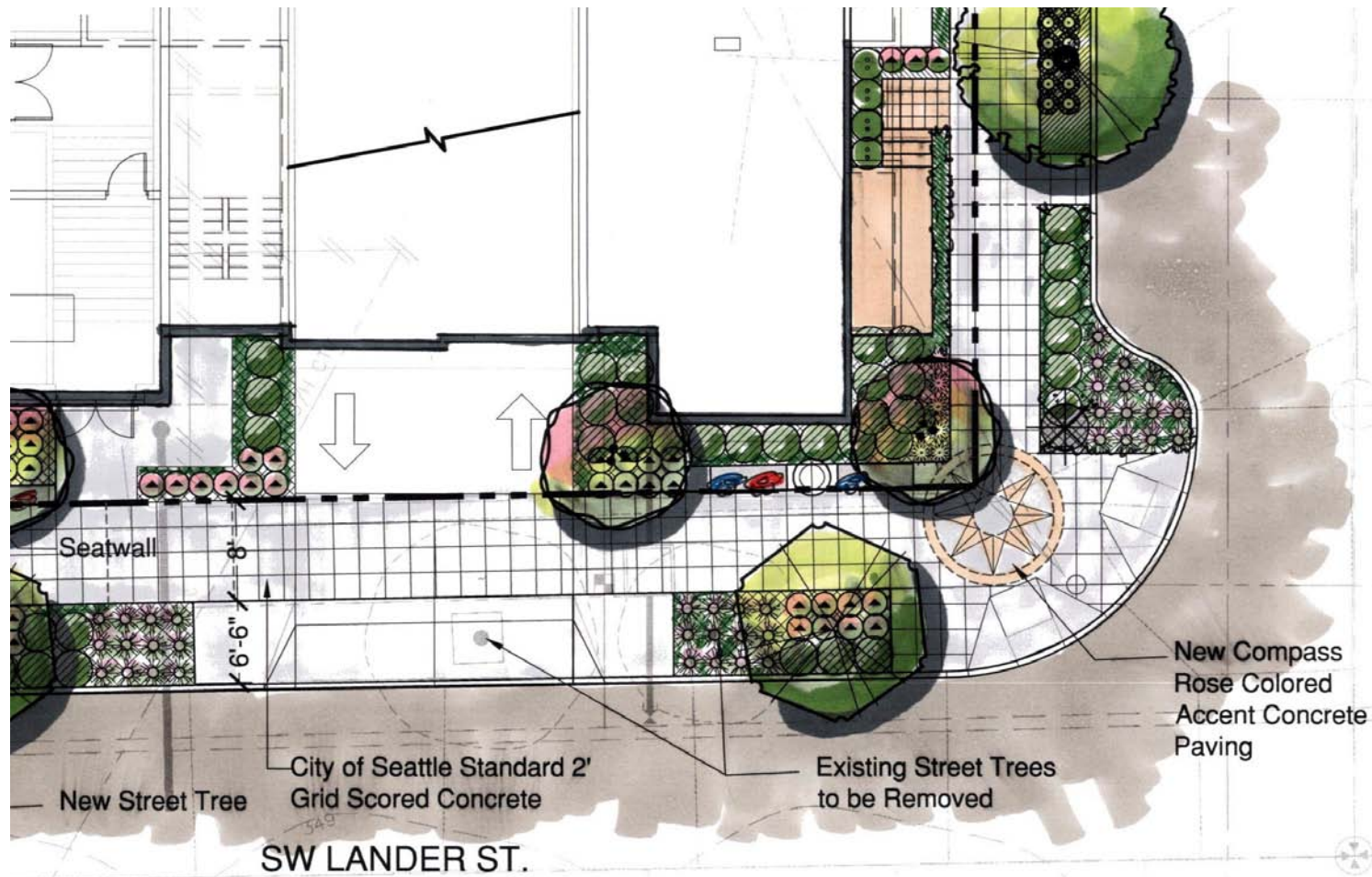
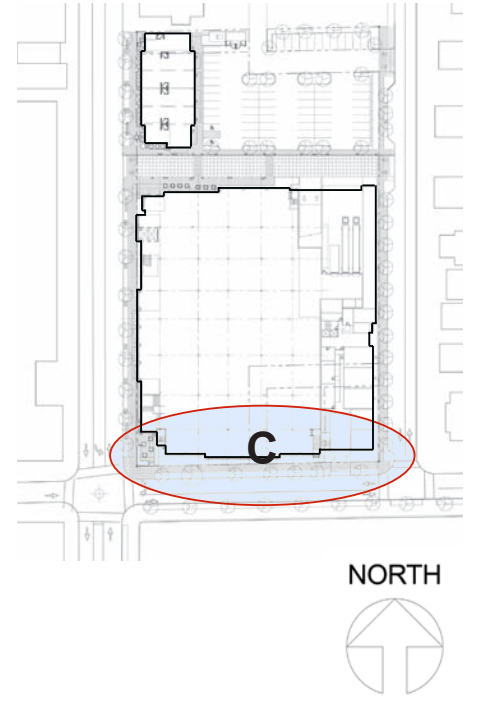
Outdoor Merchandise Example

A



B

CALIFORNIA AVE. FRONTAGE



C

LANDER STREET FRONTAGE

FULLER-SEARS
ARCHITECTS

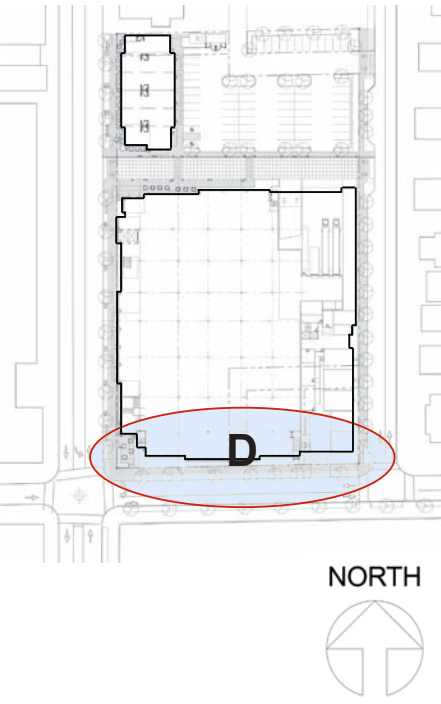
1411 Fourth Ave., Suite 1306
Seattle, WA 98101
Tel. 206.682.6170



DESIGN REVIEW BOARD PRESENTATION #2, ADMIRAL SAFEWAY

DECEMBER 17th, 2009

Page
31



D

42ND AVE. FRONTAGE



ROOFSCAPE



VIEW FROM SECOND FLOOR RESIDENTIAL



VIEW FROM THIRD FLOOR RESIDENTIAL



ROOFTOP PLANTER



ROOFSCAPE

DECIDUOUS TREES



LARGE SHRUBS



MEDIUM / SMALL SHRUBS



ORNAMENTAL SHRUBS, GRASSES AND FERNS



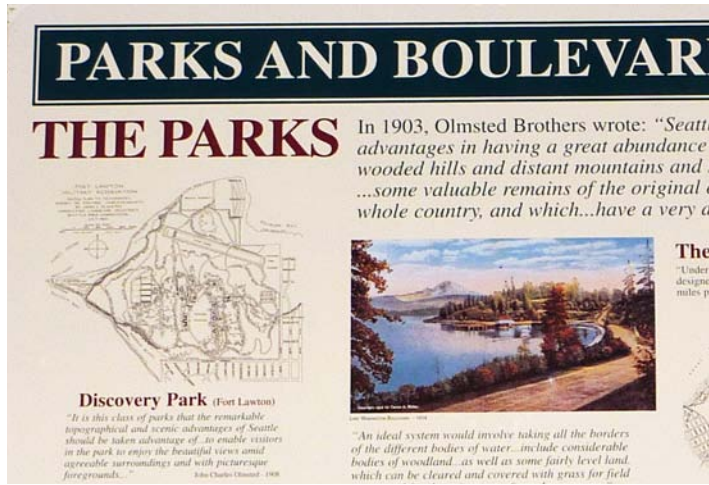
VINES



PERENNIALS / GROUNDCOVERS



PLANT PALETTE



Olmsted Plaque Example



Outdoor Merchandise Example



Bench Seating Example



Seating Example



Olmsted Railing Example



Streetscape Example



Compass Rose Example



Planter & Seat Wall Example



Bike Rack Example



Green Wall Example



Potted Plants Example



Streetlight Example



Green Factor Score Sheet SEATTLE *green factor*

Admiral Safeway with Green Factor and Permeable Paving

Parcel size (enter this value first) = 156,454

enter sq ft of parcel = 156,454

minimum score determined by zone = 0.300

SCORE = 37.885

Totals from GF worksheet

Landscape Elements**

A Landscaped areas (select one of the following for each area)

1 Landscaped areas with a soil depth of less than 24" enter sq ft = 4587 0.1 459

2 Landscaped areas with a soil depth of 24" or greater enter sq ft = 11825 0.6 7,095.0

3 Bioretention facilities enter sq ft = 0 1.0 -

B Plantings (credit for plants in landscaped areas from Section A)

1 Mulch, ground covers, or other plants less than 2' tall at maturity enter sq ft = 16412 0.1 1,641

2 Shrubs or perennials 2+ at maturity - calculated at 15 sq ft per plant (typically planted no closer than 18" on center) enter number of plants = 1412 2292 0.3 6,778

3 Tree canopy for "small trees" in the Green Factor tree list or equivalent (canopy spread of 15') - calculated at 50 sq ft per tree enter number of plants = 27 1350 0.3 405

4 Tree canopy for "small/medium trees" in the Green Factor tree list or equivalent (canopy spread of 20') - calculated at 100 sq ft per tree enter number of plants = 9 900 0.3 270.0

5 Tree canopy for "medium/large trees" in the Green Factor tree list or equivalent (canopy spread of 25') - calculated at 150 sq ft per tree enter number of plants = 40 6000 0.4 2,400.0

6 Tree canopy for "large trees" in the Green Factor tree list or equivalent (canopy spread of 30') - calculated at 200 sq ft per tree enter number of plants = 0 0 0.4 -

7 Tree canopy for preservation of large existing trees with trunks 6"-in diameter - calculated at 15 sq ft per inch diameter enter inches DBH = 140 2100 0.8 1,680.0

C Green roofs

1 Over at least 2" and less than 4" of growth medium enter sq ft = 0 0.4 -

2 Over at least 4" of growth medium enter sq ft = 3960 0.7 2,772.0

D Vegetated walls enter sq ft = 4461 0.7 3,122.7

E Approved water features enter sq ft = 0 0.7 -

F Permeable paving***

1 Permeable paving over at least 6" and less than 24" of soil or gravel enter sq ft = 0 0.2 -

2 Permeable paving over at least 24" of soil or gravel enter sq ft = 18714 0.5 9,357.0

G Structural soil systems*** enter sq ft = 0 0.2 -

sub-total of sq ft = 92,901

H Bonuses

1 Drought-tolerant or native plant species enter sq ft = 9030 0.1 903.0

2 Landscaped areas where at least 50% of annual irrigation needs are met through the use of harvested rainwater enter sq ft = 0 0.2 -

3 Landscaping visible to passersby from adjacent public right of way or public open spaces enter sq ft = 10,141 0.1 1,014

4 Landscaping in food cultivation enter sq ft = 0 0.1 -

Green Factor numerator = 37.885

** Do not count public rights-of-way in parcel size calculation.
** You may count landscape improvements in rights-of-way contiguous with the parcel. All landscaping on private and public land must comply with the Landscape Standards Director's Rule (DR 6-2009).
*** Permeable paving and structural soil together may not qualify for more than one third of the Green Factor score.

Revised 4/6/08

Green Factor Worksheet* SEATTLE *green factor*

		Planting Area				TOTAL**
		1	2	3	keep adding columns as needed	
A1	square feet			627	3960	4587
A2	square feet	4520	5621	1360	324	11825
A3	square feet					0
B1	square feet	4520	5621	1987	4284	16412
B2	# of plants	555	690	167		1412
B3	# of trees	3	15		9	27
B4	# of trees			9		9
B5	# of trees	24	20			44
B6	# of trees					0
B7	# of trees		140			140
C1	square feet					0
C2	square feet				3960	3960
D	square feet	320	2089	2052		4461
E	square feet					0
F1	square feet					0
F2	square feet	18714				18714
G	square feet					0
H1	square feet	2260	2810	0	3960	9030
H2	square feet					0
H3	square feet	4520	5621			10141
H4	square feet					0

* See Green Factor score sheet for category definitions
** Enter totals on the Green Factor score sheet

LANDSCAPING

