

ADMIRAL SAFEWAY

2622 California Ave SW

Seattle, WA 98116



Lafayette Elementary School



Multi-family Structures



Sanctuary at Admiral



Hiawatha Community Center & Playfield



Mud Bay Building



Admiral Theatre



Wells Fargo Bank



Metropolitan Market



CONTEXT



Southeast corner of site from California Ave

1



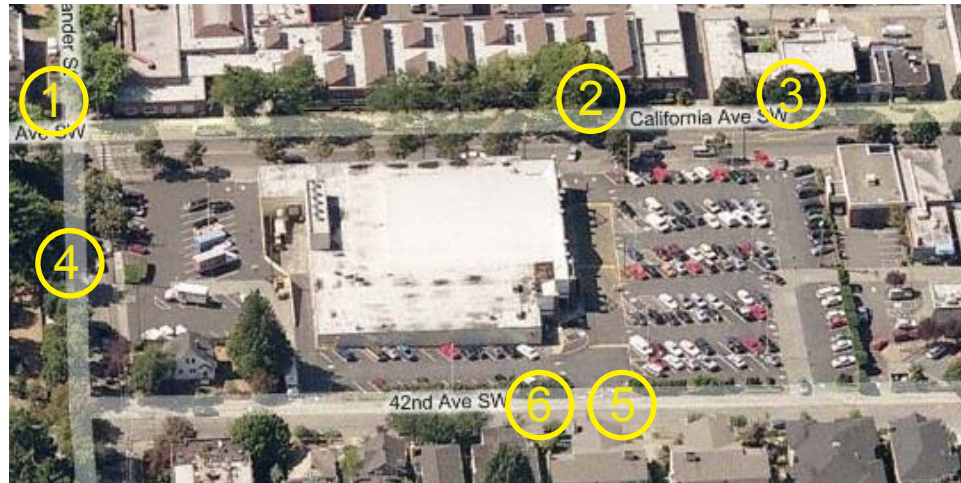
Center of the site along California Ave

2



North end of the site along California Ave

3



Aerial view to west



South end of the site along Lander St. looking North

4



Center of the site along 42 Ave looking west

5



Center of the site along 42 Ave looking southwest

6

EXISTING SITE CONDITIONS



View from Northwest



View from Northeast

OVERALL VIEWS OF PROPOSED PROJECT



View from Southwest



View from Southeast

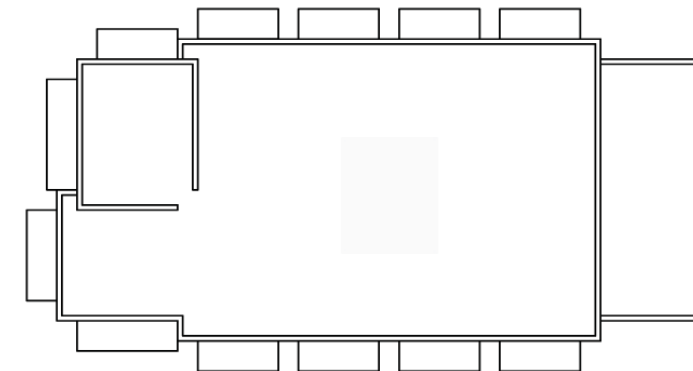
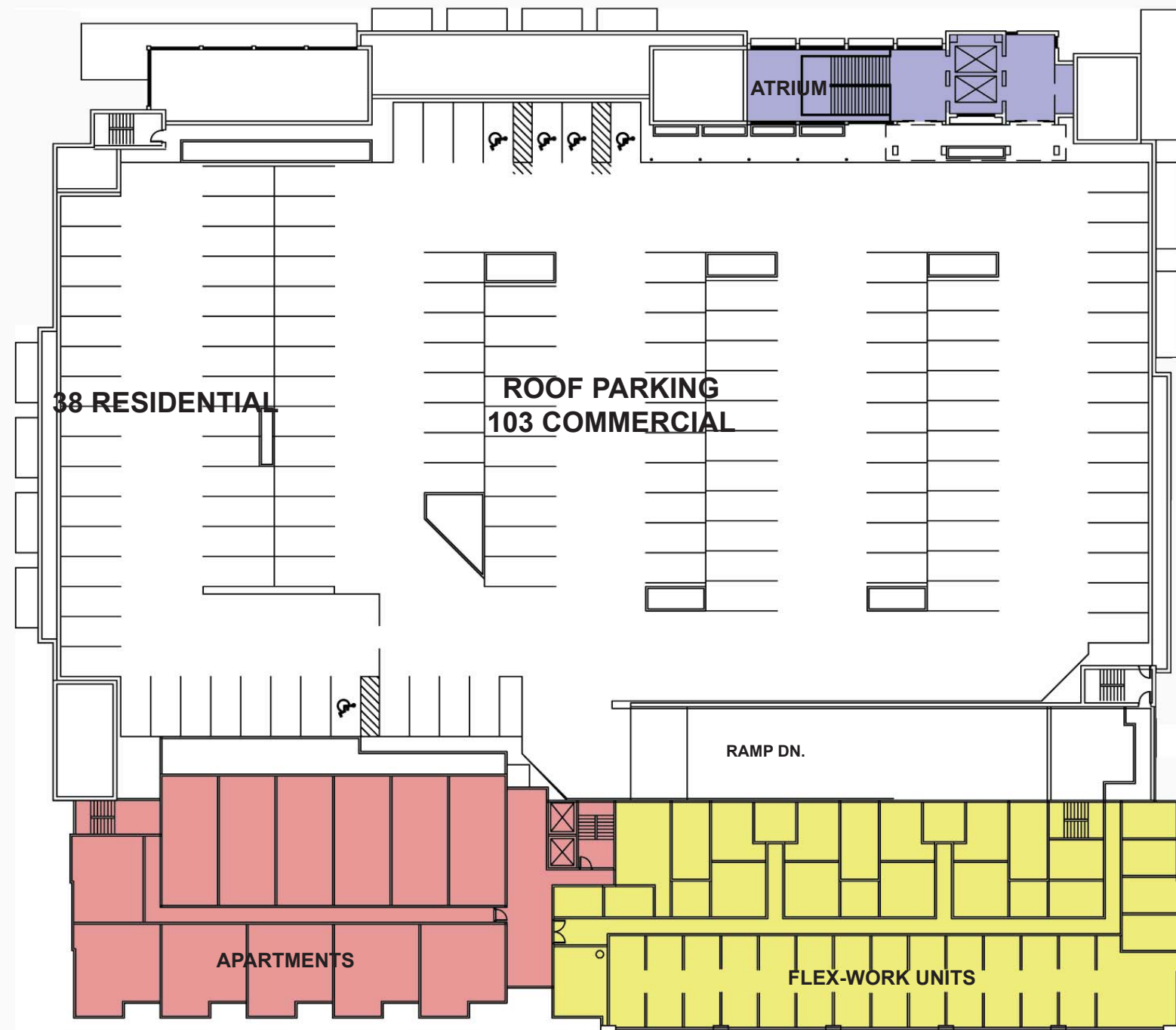
OVERALL VIEWS OF PROPOSED PROJECT



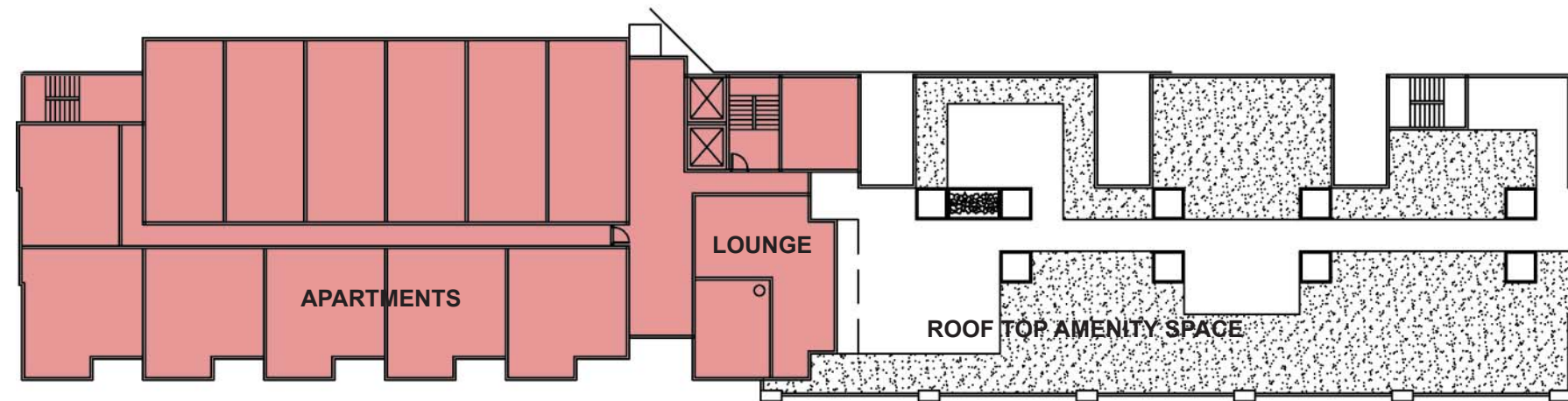
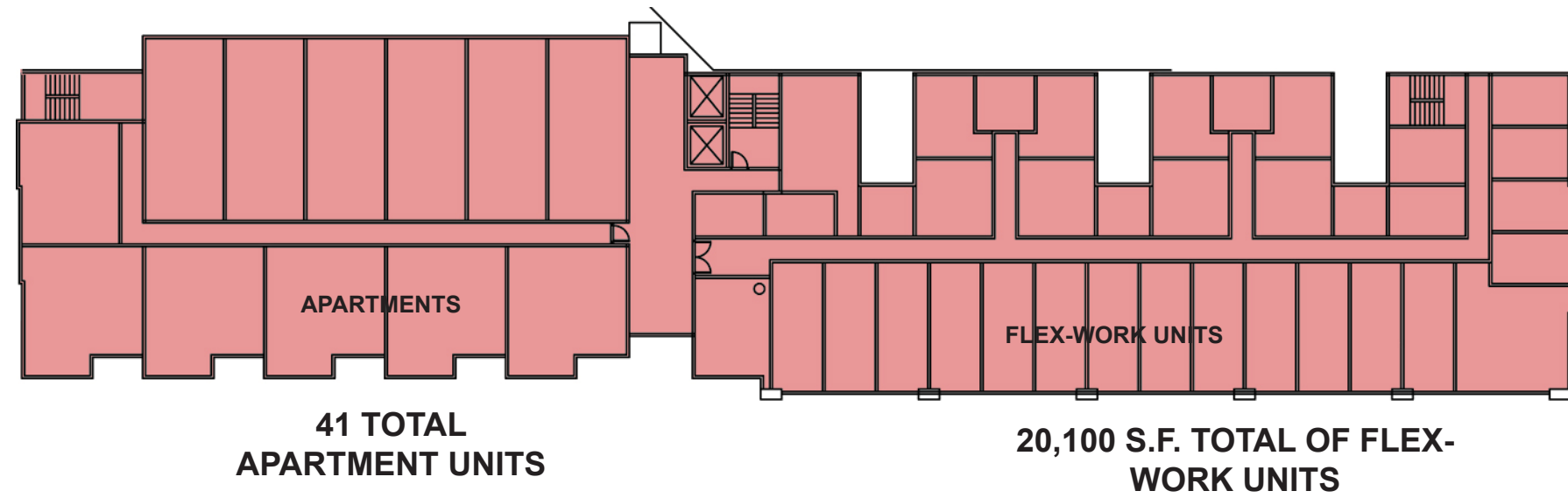
SITE PLAN



STREET LEVEL PLAN



SECOND FLOOR & ROOF PLAN



UPPER FLOOR PLANS



North Elevation



West Elevation (View from California)

BUILDING ELEVATIONS

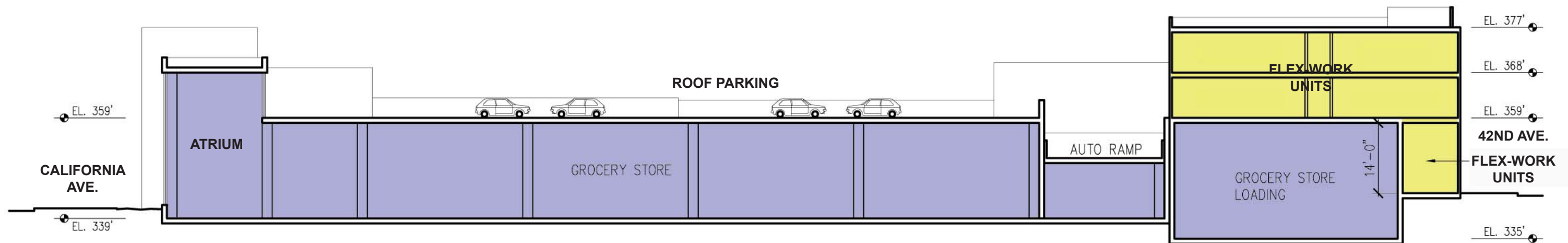
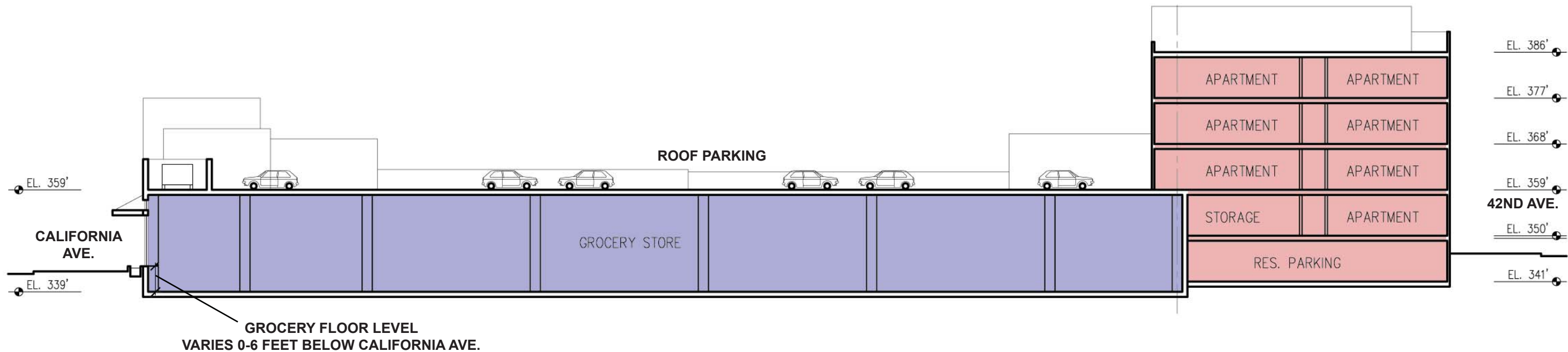


South Elevation (View from Lander)



East Elevation (View from 42nd)

BUILDING ELEVATIONS



BUILDING SECTIONS



WEST ELEVATION • CALIFORNIA AVE.



SOUTH ELEVATION • MID-BLOCK CONNECTION



EAST ELEVATION • PARKING



NORTH ELEVATION

SHOP BUILDING ELEVATIONS



SHOPS BUILDING FROM WEST



GROCERY FROM NORTHWEST



GROCERY FROM SOUTHWEST



GROCERY & RESIDENTIAL FROM SOUTHEAST



RESIDENTIAL FROM EAST



FLEX-WORK FROM EAST



SHOPS BUILDING • WEST ELEVATION



VIEW ①



VIEW ②



SHOPS BUILDING • SOUTH ELEVATION



VIEW 3



VIEW 4



SHOPS BUILDING • EAST ELEVATION



VIEW 5



VIEW 6



SHOPS BUILDING MATERIALS



PROJECT MATERIAL PALETTE

SHOPS BUILDING • EXTERIOR MATERIALS

1. Blank Facades (23.47A.008)

Blank segments of the street-facing façade between two (2) feet and eight (8) feet above the sidewalk may not exceed twenty (20) feet in width. We are requesting a departure for the twenty-four (24) foot width of blank wall along California Avenue SW, adjacent to a 53'-0" glass wall. Because of the internal functions of the grocery store, that segment of wall was required to be void of windows. The wall will also will be supporting a sign for the grocery store, so screening was not a preferred option either.

2. Transparency Requirements (23.47A.008)

60% of the street-facing non-residential façade between two and eight feet above the sidewalk must be transparent. We are requesting a departure because the south (37.1%) and west (59.2%) facades of grocery store are less than 60% transparent. Because of the internal functions of the grocery store, areas of the south facade was required to be void of windows. However, if green walls, helping to meet Seattle Green Factor, were counted as transparent, both conditions would be met.

3. Depth of Nonresidential Space (23.47A.008)

Depth of non residential uses must extend an average of at least 30 feet and a minimum of at least 15 feet in depth from the street-level, street facing façade. This applies to the Flex-Work spaces along 42nd Ave SW. These spaces are approximately +13'-0" deep, which while shallow for commercial retail space, it is appropriate for Flex-Work space. Since the depth does not comply with the above code excerpt we are asking for a departure. In response to the Design Review Board's feedback of creating more activity at the street-level, we felt that the Flex-Work spaces were a viable option for both the client and the city along 42nd Ave SW, in lieu of a blank wall shielding the Truck Loading area. These Flex-Work spaces also provide a buffer between the existing residential units on the east side of 42nd Ave SW and the Truck Loading on our site.

4. Parking Access (23.47A.032)

In NC Zones, access to parking must be from an alley when the lot abuts an alley. The proposed development is located on a site that abuts an alley. More than 90% of the parking can be accessed by the alley on the north end of the site. However, there are 19 stalls located beneath the structure on the southeast portion of the site. In order to make these 19 stalls accessible from the alley we would have to modify the design and locate the truck loading along SW Lander Street. We felt that the least amount of impact would be to have the 19 stalls accessed off SW Lander St. We are also removing a curbcut where we are vacating an alley, so in the end no additional curb cuts have been added along SW Lander Street.

5. Parking Adjacent to 42nd Street (23.47A.032)

Parking may not be located between a structure and a street lot line. We are requesting a departure to locate surface parking between the Admiral Retail Shops Building and the 42nd Ave SW street lot line. California Ave SW seems to be the front lot line for the purposes of parking (see 23.47A.032.C.2), so we are locating some of the surface parking required for the grocery store behind Admiral Retail Shops Building. Locating surface parking adjacent to California Ave W would dilute the urban street edge, and locating the Admiral Retail Shops Building adjacent to 42nd Ave SW would not be commercially viable. We are mitigating the parking by adding screening the length of the parking along 42nd Ave SW.

6. Green Factor (23.47A.16)

Green Area Factor Requirement - Landscaping that achieves a green factor score of .30 or greater is required for any new structure containing more then 4,000 sq.ft. of nonresidential use. The admiral retail shops building parcel does not meet the required score of .30. The parcel meets a score of .25 through the use of permeable paving on top of 24" of soil or gravel. The adjacent parcel is being developed (MUP Project #: 3009367) by the same owner; immediately following the completion of the retail shops building. Upon completion of the entire project the .30 green factor for the project will be met.

7. Curb Cut Width (23.54.030)

Curb cut width is limited to 30 feet for two-way traffic when truck and auto access is combined. Curb cut flares are limited to 2.5 feet in width. We are proposing a 37 foot wide curb cut with 4 foot flares on 42nd Avenue SW, which is adjacent to the truck loading area for the grocery store. This is a departure for DPD, however it is a standard curb cut per SDOT (Type 430B). A wider curb cut in this location allows trucks to enter and exit the site from 42nd Avenue SW, close to the truck loading area, and keeps trucks away from the more pedestrian-oriented area of the project between the grocery store and the retail shops.



VIEW FROM SOUTHWEST



VIEW FROM NORTHEAST
PROPOSED DESIGN DEPARTURES



Green Factor Score Sheet SEATTLE *green factor*

Admiral Safeway with Green Roofs and Permeable Paving

Parcel size (enter this value first) = 156,454

enter sq ft of parcel = 156,454

minimum score determined by zone = 9,300

Score = 27,895

Landscape Elements**

A Landscaped areas (select one of the following for each area)

1 Landscaped areas with a soil depth of less than 24" enter sq ft = 4587 Factor = 0.1 Total = 459

2 Landscaped areas with a soil depth of 24" or greater enter sq ft = 11825 Factor = 0.6 Total = 7,095.0

3 Bioretention facilities enter sq ft = 0 Factor = 1.0 Total = 0

B Plantings (credit for plants in landscaped areas from Section A)

1 Mulch, ground covers, or other plants less than 2' tall at maturity enter number of plants = 16412 Factor = 0.1 Total = 1,641

2 Shrubs or perennials 2' or more at maturity - calculated at 15 sq ft per plant (typically planted no closer than 18" on center) enter number of plants = 1412 Factor = 0.3 Total = 6,778

3 Tree canopy for "small trees" in the Green Factor tree list or equivalent (canopy spread of 15') - calculated at 50 sq ft per tree enter number of plants = 27 Factor = 0.3 Total = 405

4 Tree canopy for "medium trees" in the Green Factor tree list or equivalent (canopy spread of 20') - calculated at 100 sq ft per tree enter number of plants = 9 Factor = 0.3 Total = 270.0

5 Tree canopy for "medium/large trees" in the Green Factor tree list or equivalent (canopy spread of 25') - calculated at 150 sq ft per tree enter number of plants = 45 Factor = 0.4 Total = 2,400.0

6 Tree canopy for "large trees" in the Green Factor tree list or equivalent (canopy spread of 30') - calculated at 200 sq ft per tree enter number of plants = 0 Factor = 0.4 Total = 0

7 Tree canopy for preservation of large existing trees with trunks 6" or more in diameter - calculated at 15 sq ft per inch diameter enter inches DBH = 140 Factor = 0.8 Total = 1,680.0

C Green roofs

1 Over at least 2" and less than 4" of growth medium enter sq ft = 0 Factor = 0.4 Total = 0

2 Over at least 4" of growth medium enter sq ft = 3960 Factor = 0.7 Total = 2,772.0

D Vegetated walls

enter sq ft = 4461 Factor = 0.7 Total = 3,122.7

E Approved water features

enter sq ft = 0 Factor = 0.7 Total = 0

F Permeable paving***

1 Permeable paving over at least 6" and less than 24" of soil or gravel enter sq ft = 0 Factor = 0.2 Total = 0

2 Permeable paving over at least 24" of soil or gravel enter sq ft = 18714 Factor = 0.5 Total = 9,357.0

G Structural soil systems***

enter sq ft = 0 Factor = 0.2 Total = 0

sub-total of sq ft = 92,901

H Bonuses

1 Drought-tolerant or native plant species enter sq ft = 9030 Factor = 0.1 Total = 903.0

2 Landscaped areas where at least 50% of annual irrigation needs are met through the use of harvested rainwater enter sq ft = 0 Factor = 0.2 Total = 0

3 Landscaping visible to passersby from adjacent public right of way or public open spaces enter sq ft = 10,141 Factor = 0.1 Total = 1,014

4 Landscaping in food cultivation enter sq ft = 0 Factor = 0.1 Total = 0

Green Factor numerator = 27,895

Denominator = 156,454

Green Factor score = 0.178

** Do not count public rights-of-way in parcel size calculation.
** You may count landscape improvements in rights-of-way contiguous with the parcel. All landscaping on private and public land must comply with the Landscape Standards Director's Rule (DR 6-2009).
*** Permeable paving and structural soil together may not qualify for more than one third of the Green Factor score.

Green Factor Worksheet* SEATTLE *green factor*

		Planting Area				TOTAL**
		1	2	3	keep adding columns as needed	
A1	square feet			627	3960	4587
A2	square feet	4520	5621	1380	324	11825
A3	square feet					0
B1	square feet	4520	5621	1987	4284	16412
B2	# of plants	555	690	167		1412
B3	# of trees	3	15		9	27
B4	# of trees			9		9
B5	# of trees	24	20			44
B6	# of trees					0
B7	# of trees		140			140
C1	square feet					0
C2	square feet				3960	3960
D	square feet	320	2089	2052		4461
E	square feet					0
F1	square feet					0
F2	square feet	18714				18714
G	square feet					0
H1	square feet	2260	2810	0	3960	9030
H2	square feet					0
H3	square feet	4520	5621			10141
H4	square feet					0

* See Green Factor score sheet for category definitions
** Enter totals on the Green Factor score sheet

LANDSCAPING



Streetscape Example



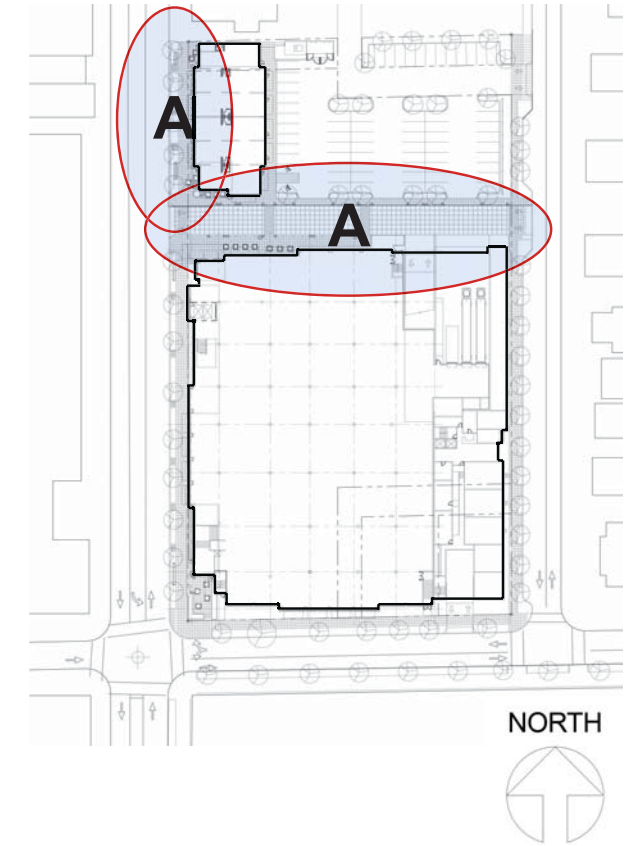
Seating Example



Potted Plants Example

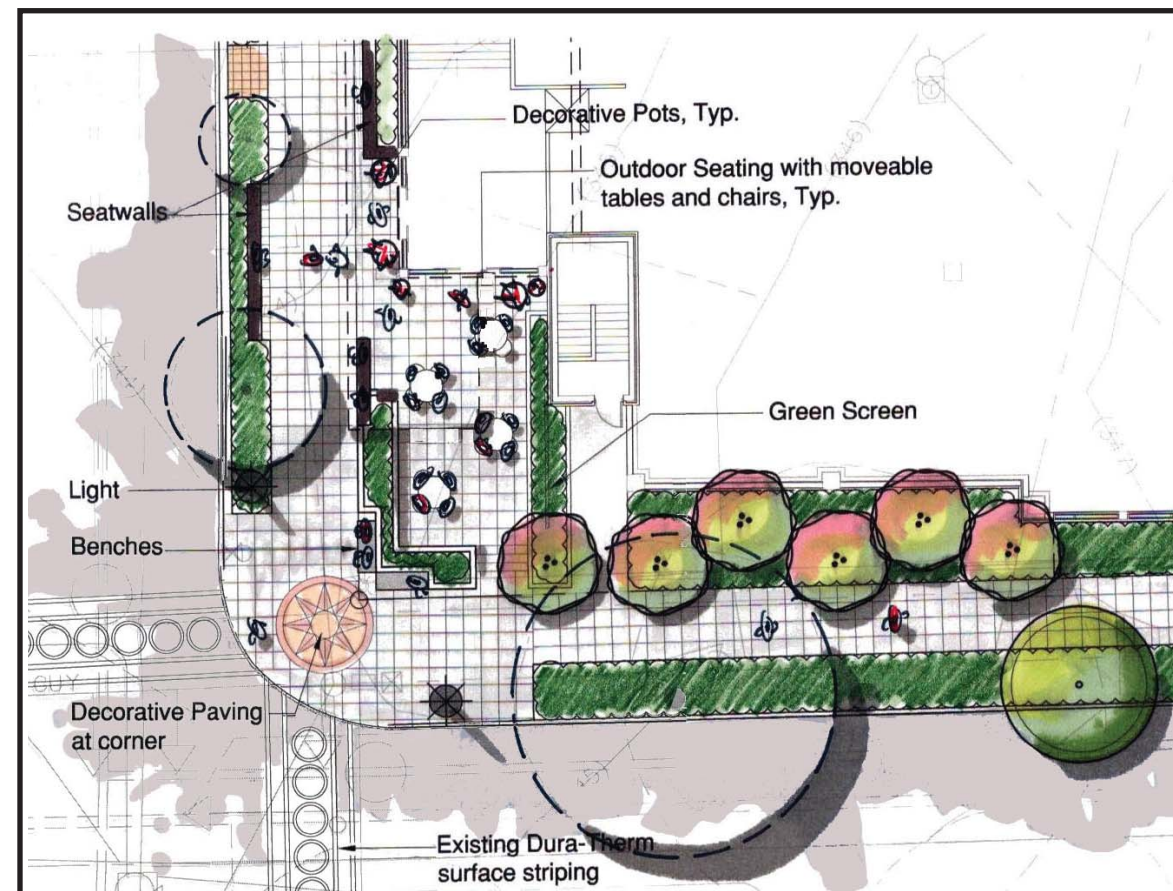


Outdoor Merchandise Example

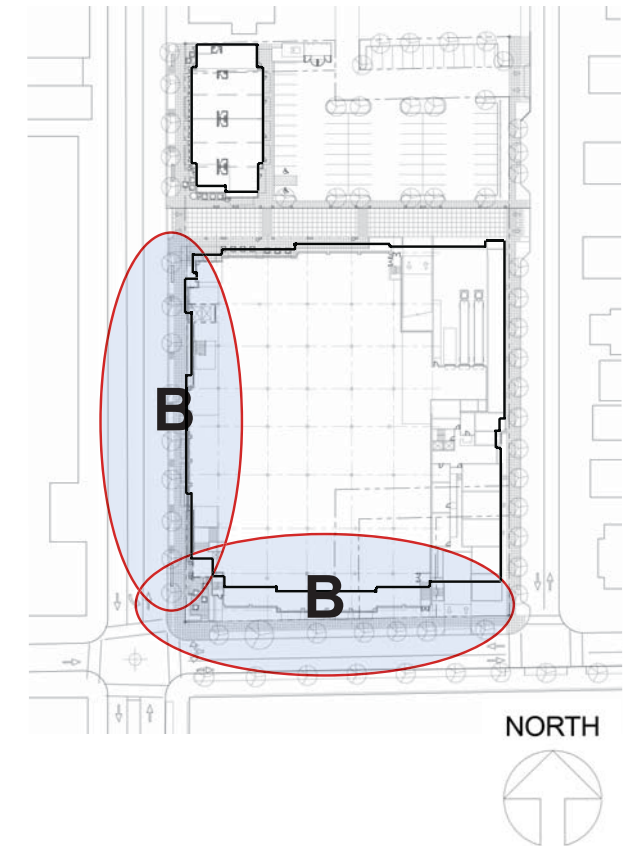


A

MID BLOCK CROSSING & STREETFRONT SHOPS

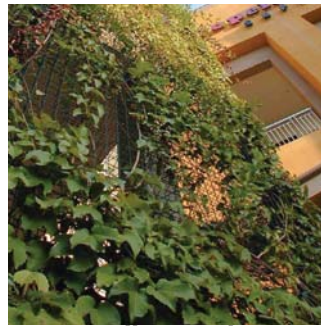


Lander & California



B

CALIFORNIA AVE. FRONTAGE



Green Wall Example



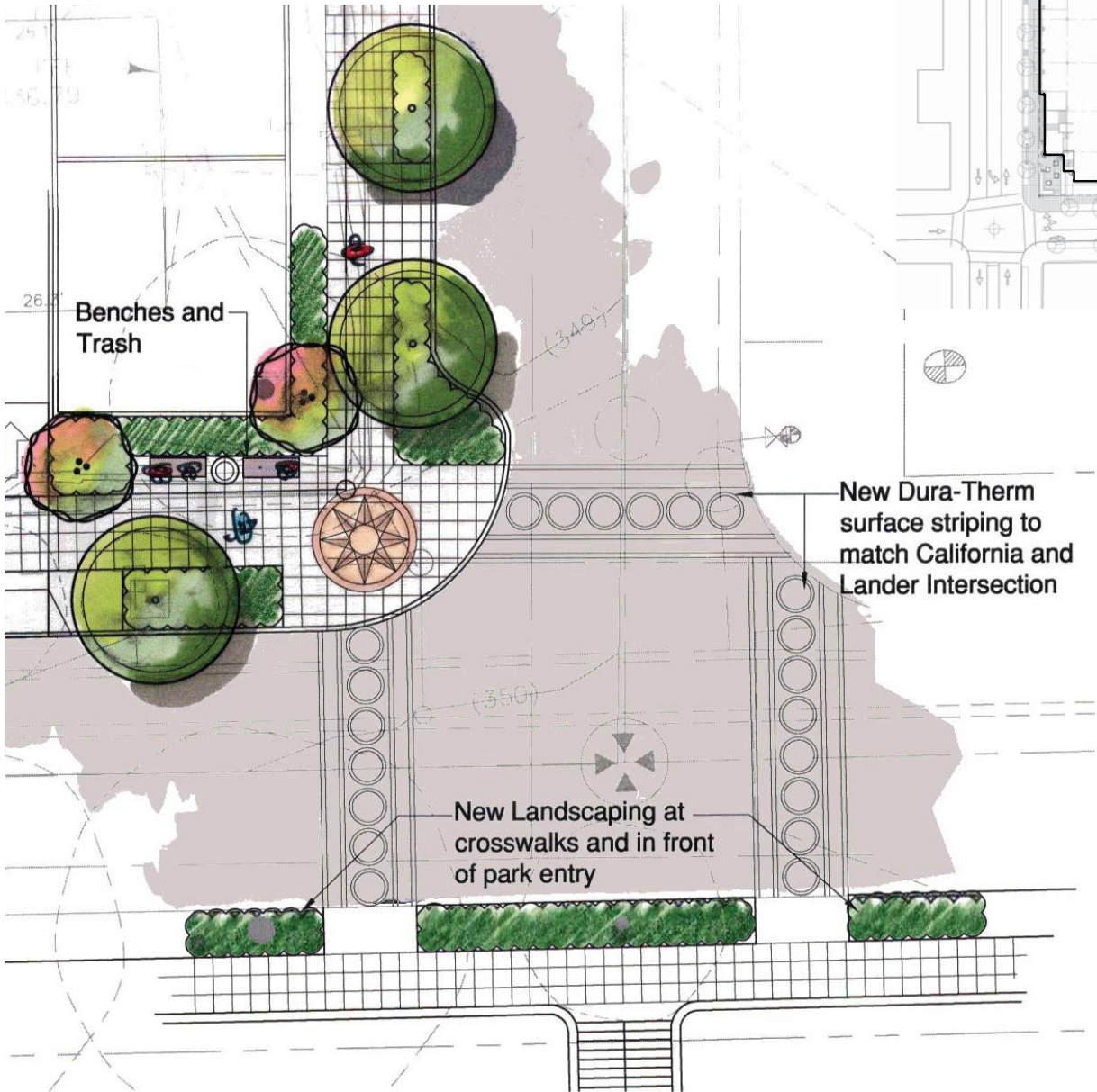
Bench Seating Example



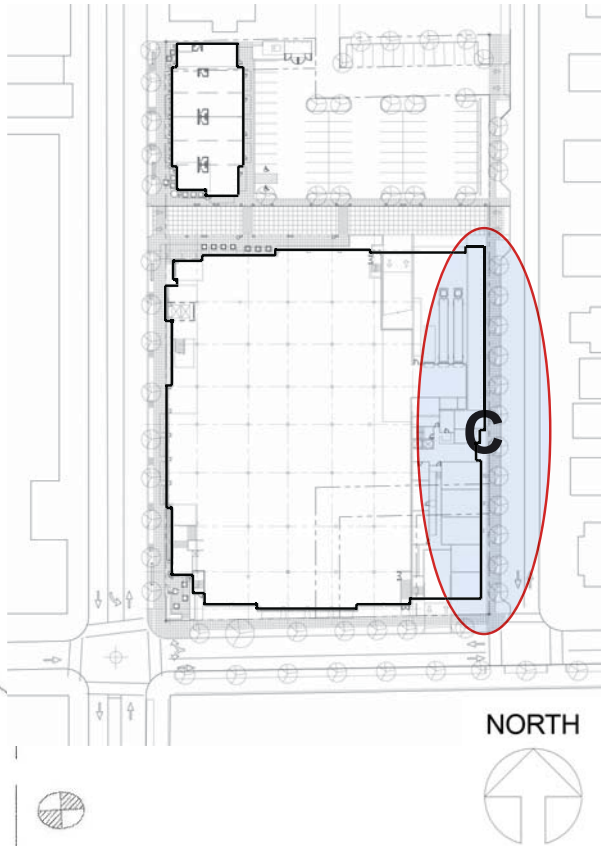
Compass Rose Example



Existing Dura-Therm Crosswalk



Lander & 42nd



NORTH

42ND AVE. FRONTAGE

C

DECIDUOUS TREES



LARGE SHRUBS



MEDIUM / SMALL SHRUBS



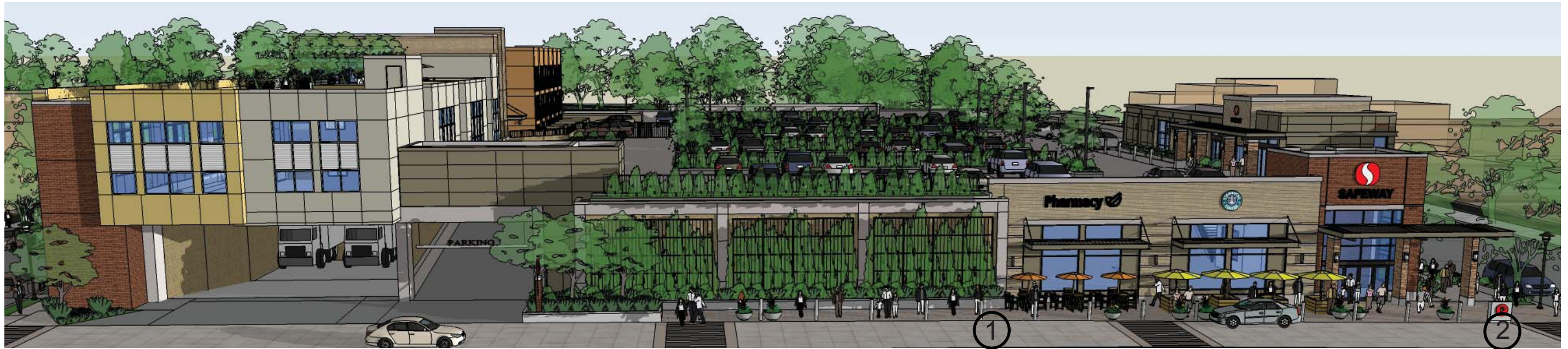
ORNAMENTAL SHRUBS, GRASSES AND FERNS



VINES / PERENNIALS / GROUNDCOVERS



PLANT PALETTE



GROCERY • NORTH ELEVATION



MID-BLOCK CONNECTION • VIEW ①



MAIN ENTRY • VIEW ②



④ ③

GROCERY • WEST ELEVATION



VIEW ③



VIEW ④



GROCERY • WEST ELEVATION



ATRIUM • VIEW ⑤



ATRIUM • VIEW ⑥



GROCERY • WEST ELEVATION



VIEW 7



SOUTHWEST ENTRY • VIEW 8



GROCERY • WEST ELEVATION



SOUTHWEST PLAZA • VIEW ⑨



SOUTHWEST PLAZA • VIEW ⑩



GROCERY • SOUTH ELEVATION



VIEW 11



VIEW 12



GROCERY & RESIDENTIAL • SOUTH ELEVATION



VIEW ①



VIEW ②



RESIDENTIAL & FLEX-WORK • EAST ELEVATION



VIEW ③



VIEW ④



RESIDENTIAL & FLEX-WORK • EAST ELEVATION



VIEW 5



VIEW 6



RESIDENTIAL & FLEX-WORK • EAST ELEVATION



VIEW 7



VIEW 8



RESIDENTIAL & FLEX-WORK • EAST ELEVATION



VIEW ⑨



VIEW ⑩



PROJECT MATERIAL PALETTE

GROCERY EXTERIOR MATERIALS



A-3
Entries Visible from Street



A-1
Solar Orientation

A-4
Space for Human Activity

A-1 - Responding to Site Characteristics

Solar Orientation

- Compose the structure's massing to enhance solar exposure for the project, minimize shadow impacts onto adjacent structures, and enhance solar exposure for public spaces.

Existing Vegetation

- Site buildings to preserve and respect existing vegetation of exceptional quality, as defined by its species, size, and/or neighborhood significance (i.e. how it creates a sense of place). Such vegetation should be retained unless a reasonable use of the property (comparable to the allowable floor area permitted by the zone's development standards) is comprised.

A-2 - Streetscape Compatibility

- The siting of buildings should acknowledge and reinforce the existing desirable spatial characteristics of the right-of-way.

A-3 - Entrances Visible from the Street

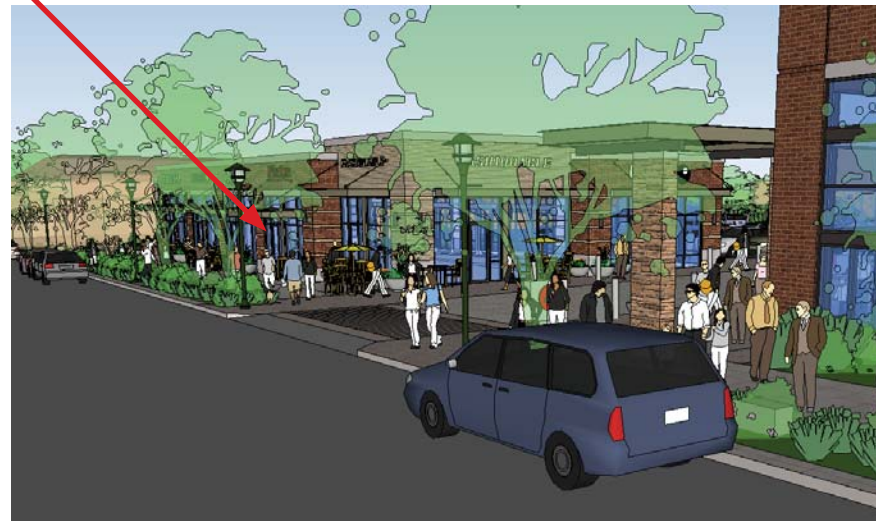
- Entries should be clearly identifiable and visible from the street.

A-4 - Human Activity

- New development should be sited and designed to encourage human activity on the street.

A-2
Streetscape

A-4
Space for Human Activity



A-3
Entries Visible from Street

DESIGN REVIEW GUIDELINES



A-6
Transition between Residence and Street



A-7
Residential Open Space

A-5 – Respect for Adjacent Sites

- Reduce the number of windows and decks on proposed buildings that overlook neighboring residences.
- Step back upper floors or increase side and rear setbacks to pull windows farther away from neighboring residences
- Stagger windows to not align with adjacent windows and minimize the impact of windows in living spaces that may infringe on the privacy of adjacent residents.

A-6 – Transition between Residence and Street

- Consider setting residential projects, or the residential portion of a mixed-use project, back from the street.

A-7 – Residential Open Space

- Consider the types of residents the project will likely attract, and design open spaces that meet the needs of all residents – both for commercial and private enjoyment.

Site outdoor spaces to take advantage of sunlight as much as possible.

A-8 – Parking and Vehicle Access

- Locate surface parking and access to parking at rear of lot. If this is not possible, locate parking in lower level or less visible portion of the site.
- Reduce the scale of larger parking lots to give the perception of smaller ones.
- Minimize the number and width of driveways and curb cuts (reduced from 7 to 3).

A-9 – Location of Parking on Commercial Street Fronts

- Parking on a commercial street front should be minimized and where possible should be located behind a building.

A-10 – Corner Lots

- Buildings on corner lots should be oriented to the corner and public street fronts. Parking and automobile access should be located away from corners.

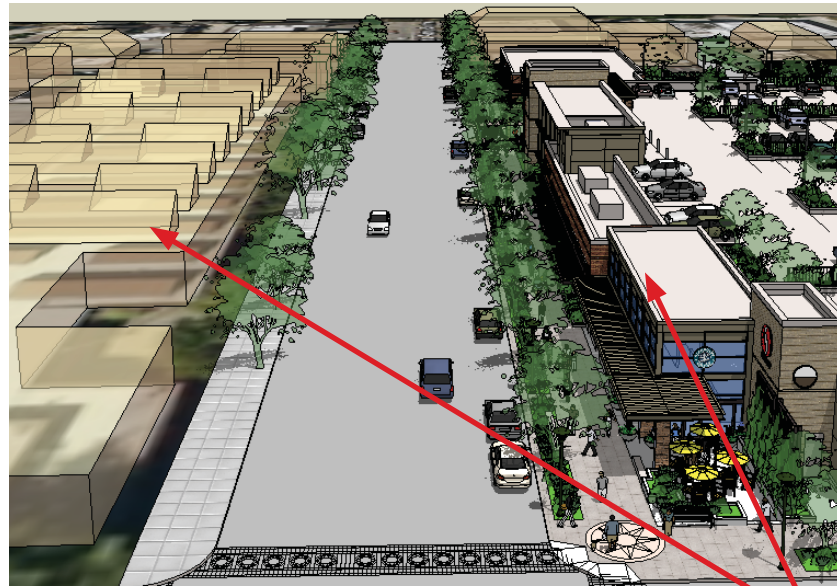
A-8
Parking Access to Rear of Lot and Reduced in Scale

A-9
Parking Located Behind Building

A-10
Buildings oriented to the corner



DESIGN REVIEW GUIDELINES



B-1
Height, Bulk and Scale Compatibility



B-1
Height, Bulk and Scale Compatibility



B-1 – Height, Bulk and Scale Compatibility

- Projects on zone edges should be developed in a manner that creates a step in perceived height, bulk and scale between the anticipated development potential of the adjacent zones.
- Provide a sensitive transition to less intensive zones by reducing the appearance of bulk by setting back upper floors using methods described on page 25 of the Citywide Design Guidelines.
- Use architectural styles and details (such as roof lines or fenestration), color or materials derivative from surrounding, less intensive structures.

B-1
Architectural styles and details
derivative from surrounding structures



- Locate features such as required open space on the zone edge to create further separation and buffering from the lower intensive zone.
- Articulate the building facades vertically or horizontally in intervals that conform to the existing structures or platting pattern in the vicinity.

B-1
Architectural styles and details
derivative from surrounding structures



DESIGN REVIEW GUIDELINES



C-2
Entry

C-2
Elevators

C-2
Atrium and Circulation



C-2
Store Display

C-2
Entry



C-5
Garage Entries Minimized

C-1 - Architectural Context

Established scale within the Admiral Residential Urban Village, characterized by 1-3 story structures.

C-2 - Architectural Concept and Consistency

- Building design elements, details and massing should create a well-proportioned and unified building form and exhibit an overall architectural concept.
- Buildings should exhibit form and features identifying the functions within the building.
- In general, the roofline or top of the structure should be clearly distinguished from its facade walls.

C-3 - Human Scale

- The design of new buildings should incorporate architectural features, elements and details to achieve a good human scale.

C-4 - Exterior Finish Materials

- Building exteriors should be constructed of durable and maintainable materials that are attractive even when viewed up close. Materials that have texture, pattern, or lend themselves to a high quality of detailing are encouraged

C-5 - Structured Parking Entrances

- The presence and appearance of garage entrances should be minimized so that they do not dominate the street frontage of a building.

C-3
Human Scale



DESIGN REVIEW GUIDELINES



D-2
Articulation of Blank Walls



D-2
Screening and Articulation of Blank Walls



D-10
Lighting Incorporated into Facade

D-1 – Pedestrian Open Spaces and Entrances

- Provide visual and pedestrian access (include barrier-free access) into the site from the public sidewalk.
- Provide landscaping that screens undesirable elements, such as surface parking lots and dumpsters, or that enhances the space and architecture. Design screening to provide clear visibility into parking areas to promote personal safety.
- Provide visible signage identifying building addresses at the entrance(s) as a functional and aesthetic consideration.

D-2 – Blank Walls

Employ small setbacks, indentations or other means of breaking up the wall surface into human-scaled intervals.

D-3 - Retaining Walls

- Retaining walls near a public sidewalk that extends higher than eye level should be avoided where possible. Where high retaining walls are unavoidable, they should be designed to reduce their impact on pedestrian comfort and to increase the visual interest along the streetscape. A textured surface or inlaid material is encouraged, especially when the wall is near a public sidewalk.

D-4 - Design of Parking Lots near Sidewalks

- Parking lots near sidewalks should provide adequate security and lighting, avoid encroachment of vehicles onto the sidewalk, and minimize the visual clutter of parking lot signs and equipment.

D-5
Roof Parking Behind Roof Parapets



D-5
Roof Parking Behind Residential Building



D-1
Parking Screened by Landscape



DESIGN REVIEW GUIDELINES