

Angel Square

401 E Pike, Seattle

Design Review Recommendation

DPD # 3009350

July 16, 2008



nk

PROJECT DESCRIPTION

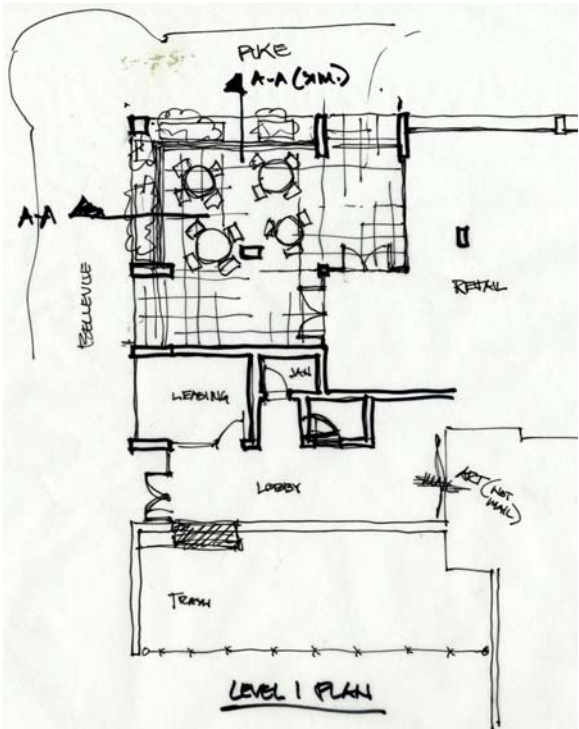
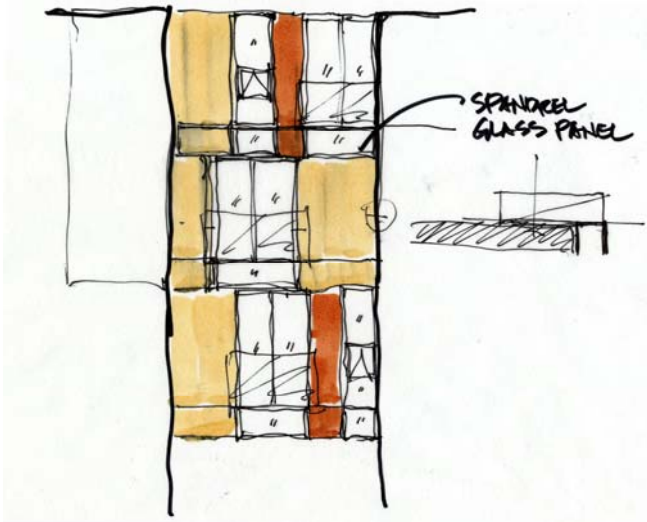
The project is a six-story mixed-use apartment building with five stories of residential units over street level retail and two live/work lofts with two levels of below-grade parking. On the street level, the building provides a protected outdoor café/seating space at the corner of E. Pike St. and Bellevue Ave. as an amenity to the retail space. The main residential entrance to the building is on Bellevue Ave. All the residential units are designed around a central elevator and stair core, with main living and sleeping spaces all along the building perimeter. Live/work lofts are on Crawford Pl. and a small, private green space on the south side of the building provides access to a ground floor studio unit and one of the live/work lofts. A roof-top terrace provides outdoor green space for residential tenants. Below-grade parking is accessed from a garage ramp on Bellevue Ave., at the far south side of the property.

Project Details:

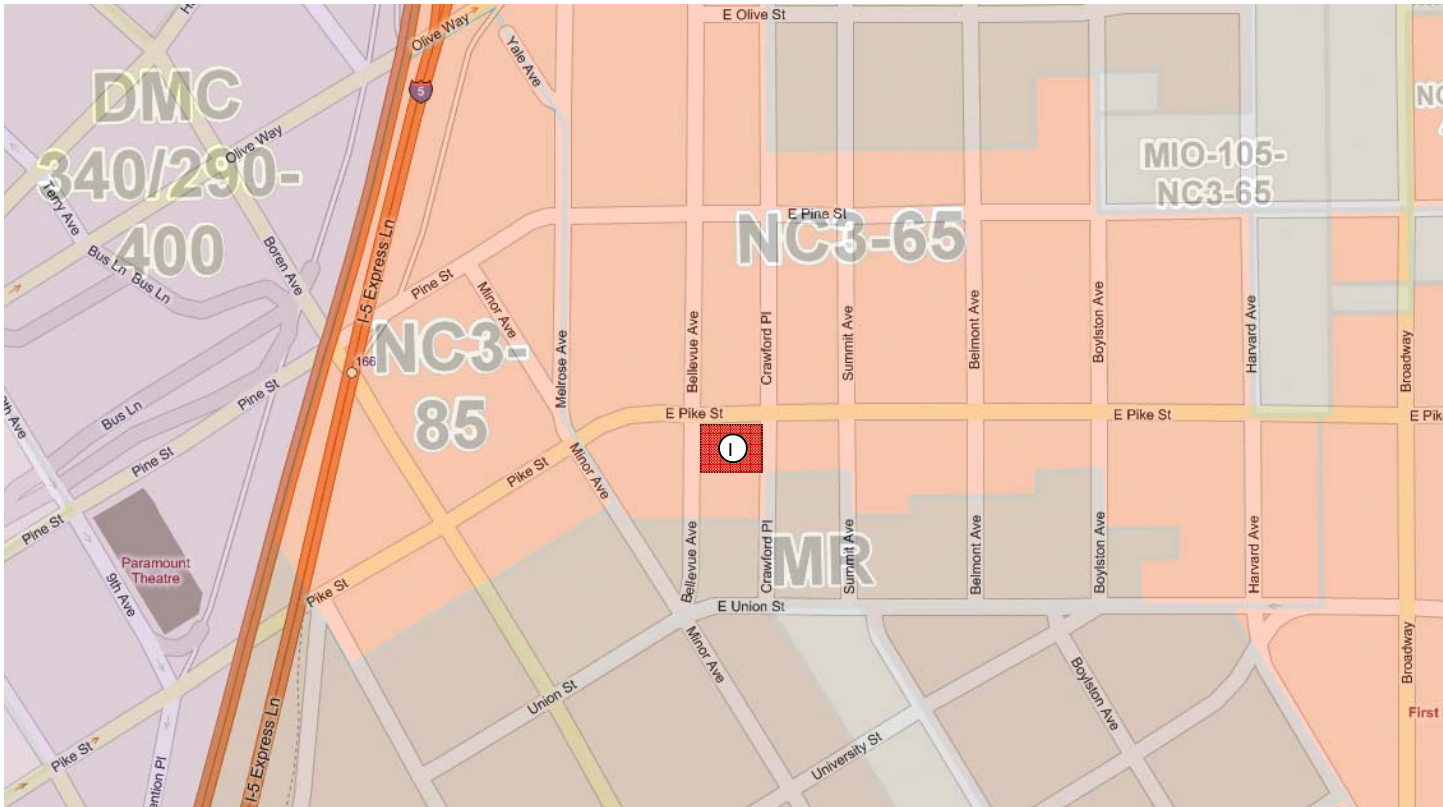
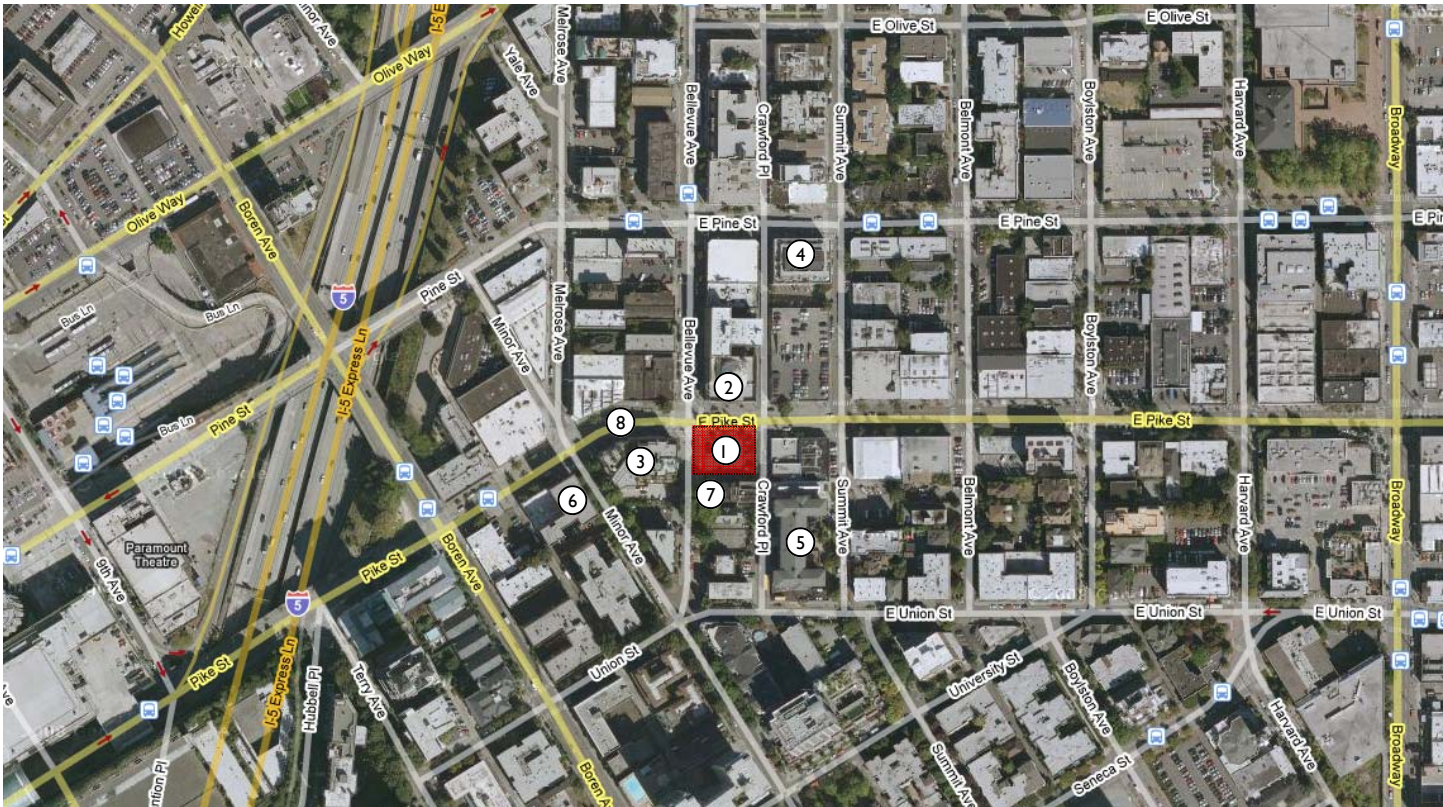
Number of Residential Units:	51
Number of Live/work Lofts:	2
Number of Parking Stalls:	59
Size of Retail Space:	2,635 gsf

This project is a revision to DPD MUP Project #2304741, previously receiving a Director's Decision on March 2, 2006.

CONCEPTUAL DEVELOPMENT SKETCHES



SITE CONTEXT



1. Project Site
2. First Covenant Church
3. Pike Lofts
4. The Portofino Condos
5. Northwest School
6. The Wintonia Hotel
7. Law Offices
8. View towards downtown



1. Project Site



2. First Covenant Church



3. Pike Lofts



5. Northwest School



6. The Wintonia Hotel
(rehabilitation housing)



7. Converted home
(law offices)



8. Looking west on Pike Street

DESIGN REVIEW PRIORITIES IDENTIFIED

Priority guidelines identified from MUP #2404741 Design Review Board

- A-3

Entrances Visible from the Street

Entries should be clearly identifiable and visible from the street.
- A-5

Respect for Adjacent Sites

Buildings should respect adjacent properties by being located on their site to minimize disruption of the privacy and outdoor activities of residents in adjacent buildings.
- A-7

Residential Open Space

Residential projects should be sited to maximize opportunities for creating usable, attractive, well-integrated open space.
- A-8

Parking and Vehicle Access

Siting should minimize the impact of automobile parking and driveways on the pedestrian environment, adjacent properties and pedestrian safety.
- A-10

Corner Lots

Buildings on corner lots should be oriented to the corner and public street fronts. Parking and automobile access should be located away from corners.
- B-1

Height, Bulk and Scale

Projects should be compatible with the scale of development anticipated by the applicable Land Use Policies for the surrounding area and should be sited and designed to provide a sensitive transition to near-by, less-intensive zones. Projects on zone edges should be developed in a manner that creates a step in perceived height, bulk and scale between the anticipated potential of the adjacent zones.
- C-1

Architectural Context

New buildings proposed for existing neighborhoods with a well-defined and desirable character should be compatible with or complement the architectural character and siting pattern of neighboring buildings.
- C-2

Architectural Concept and Consistency

- C-3

Human Scale

The design of new buildings should incorporate architectural features, elements and details to achieve a good human scale.
The neighborhood-specific guidelines for Pike/Pine add the following particulars to this guideline:
The design of the ground floor of new developments should include:
- Pedestrian oriented architectural elements;
- A rhythm of building modulation comparable or complementary to adjacent buildings;
- Transparent, rather than reflective, windows facing the street.
This is especially important along Pike, Pine and Olive Streets, as well as on 10th and 11th between Pine and Madison. Cues can also be taken from the Harvard Market and from the south side of Pike between Boylston and Harvard.
- C-4

Exterior Finish Material

Building exteriors should be constructed of durable and maintainable materials that are attractive even when viewed up close.
The neighborhood-specific guidelines for Pike/Pine add the following particulars to this guideline:
New developments should respond to the neighborhood's light-industrial vernacular through type and arrangement of exterior building materials. Preferred materials include: brick, masonry, textured or patterned concrete, true stucco (DryVit --or other EIFS systems-- are discouraged) with wood and metal as secondary, or accent materials.
- D-1

Pedestrian Open Spaces and Entrances

Convenient and attractive access to the building's entry should be provided. To ensure comfort and security, paths and entry areas should be sufficiently lighted and entry areas should be protected from the weather. Opportunities for creative lively, pedestrian-oriented open space should be considered.

- D-6

Screening of Dumpsters, Utilities and Service Areas

Building sites should locate service elements like trash dumpsters, loading docks and mechanical equipment away from the street front where possible. When elements such as dumpsters, utility meters, mechanical units and service areas cannot be located away from the street front, they should be situated and screened from view and should not be located in the pedestrian right-of-way.
- E-1

Landscaping to Reinforce Design Continuity with Adjacent Sites

Where possible, and where there is not another overriding concern, landscaping should reinforce the character of the neighboring properties and abutting streetscape.
- E-2

Landscaping to Enhance Building and/or Site

Landscaping should be appropriately incorporated into the design to enhance the project.

SITE ANALYSIS

Immediate Neighborhood Context

- Mix of older, light industrial buildings and newer mixed-use structures—sometimes known as Seattle's "auto row"
- Main thoroughfare between downtown Seattle and Capitol Hill
- Pubs, restaurants, service businesses, auto showrooms and repair, condominiums, a hotel, a school, and a church all within three block radius of the project
- Heavy vehicle traffic on E Pike St., from Downtown heading east up to Capitol Hill, significant pedestrian and bicycle traffic, and common bus route
- Great proximity to Downtown and Capitol Hill
- Not currently strong for retail on immediate block, but changing
- Across Bellevue Ave from larger mixed-use structure, several other mixed-use buildings of equal or greater size nearby

East Pike Street

- Wide variety of businesses: grocery, retail, auto, hotel, restaurants, pubs
- Common pedestrian route, some existing street trees and planting
- Proposed protected outdoor seating/café area at corner of building at Pike & Bellevue to activate intersection
- First Covenant Church directly opposite site on E Pike St.
- Pike Lofts (large mixed-use) directly west of site on E Pike St.

Bellevue Avenue

- Secondary street, mix of restaurants, retail, housing
- Intersects Minor and Union one block south, travels north parallel to ridge of Capitol Hill into more residential area
- No existing street trees at site
- Residential entrance and garage access proposed off of Bellevue Ave

Crawford Place

- Tertiary street, only slightly more developed than typical alley
- Live/work units proposed at ground level

Amenities & Views

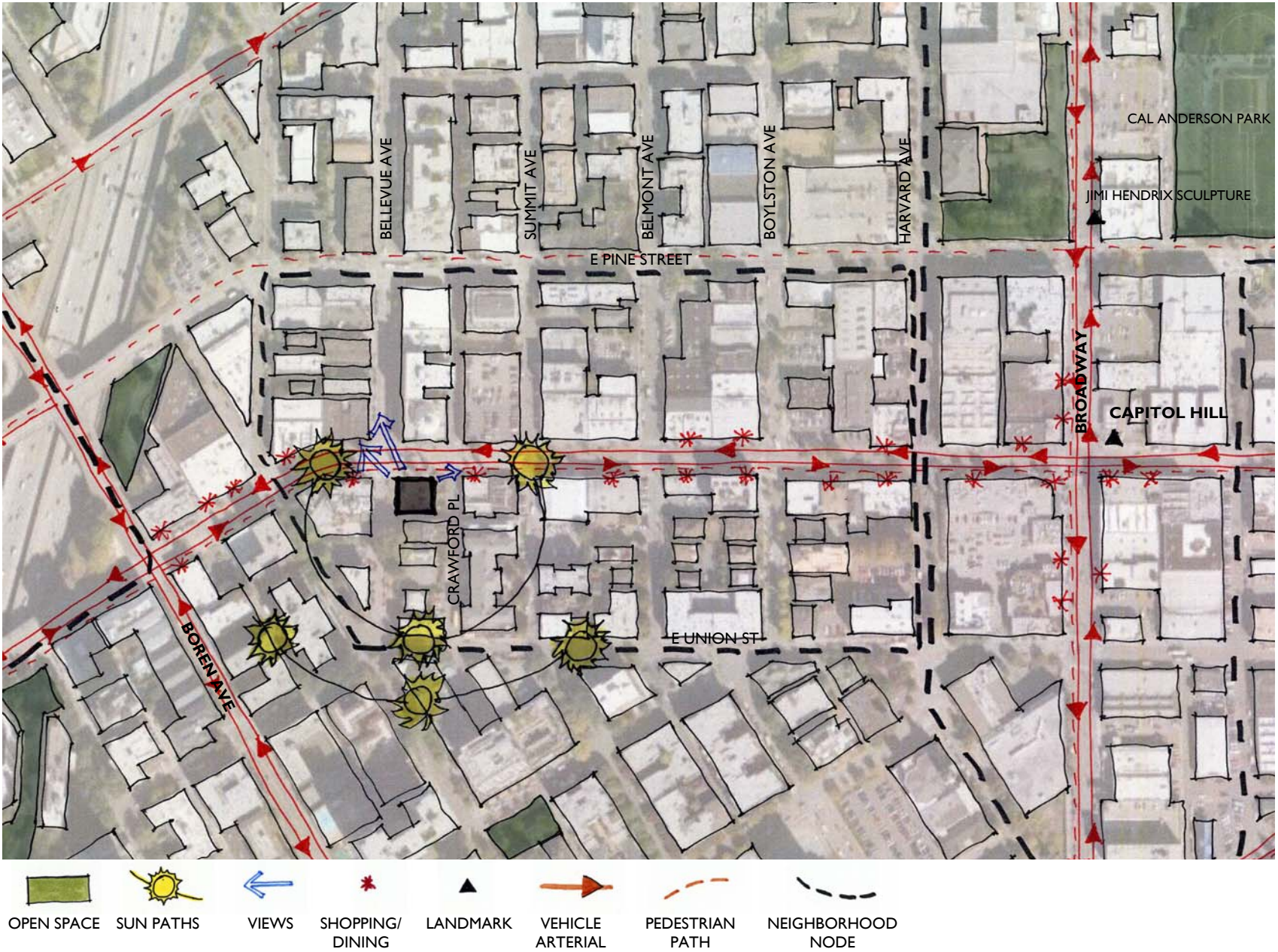
- Views west of downtown, toward the Washington State Convention Center and Puget sound
- Views northwest to South Lake Union neighborhood, possible glimpses of Lake Union from upper floors and roof deck
- Potential views toward Seattle Center and Space Needle to the northwest
- Good solar access for entire building—immediate neighboring buildings on south property line are low/residential scale buildings, east and west facades receive morning/evening sunlight
- Excellent views in almost all directions from roof deck

SITE ANALYSIS



E Pike Street—View looking North

SITE PLAN



PROJECT SITE—401 E PIKE ST



E Pike Street—View looking South

RESPONSE TO SITE ANALYSIS

Immediate Neighborhood Context

- Mixed-use apartment in keeping with district character
- Six stories matches height of recent developments
- Building mass emphasizes street wall
- Concrete, steel, glass relate to light industrial character

E Pike Street

- Retail along full length of façade
- Multiple retail entrances provide ability to subdivide space
- Existing street trees kept in place

Bellevue Ave

- Two entrances near corner of Pike Street & Bellevue Avenue
- Residential entry on Bellevue Ave
- Street trees and landscaping added

Crawford Place

- Live/work units on Crawford Pl

Garage Access & Alley

- Parking access is from Bellevue Ave
- All utilities and meters are contained in the garage

Amenities & Views

- Views toward downtown, Space Needle, Lake Union from roof deck and Corner units
- Main living spaces of units oriented towards streets
- Upper units have excellent views over neighbors

A-5	Respect for Adjacent Sites
B-1	Height, Bulk, & Scale
A-10	Corner Lots
C-1	Architectural Context
A-10	Corner Lots
A-3	Entrances Visible from the Street
E-1	Landscaping to Reinforce Continuity
A-10	Corner Lots
A-3	Entrances Visible from the Street
E-2	Landscaping to Enhance Building
A-3	Entrances Visible from the Street
A-8	Parking and Vehicle Access
D-6	Screening of Utilities & Service Areas
A-7	Residential Open Space
C-3	Human Scale
C-2	Architectural Concept & Consistency

SITE PLAN



NICHOLSON KOVALCHICK ARCHITECTS
4302 SW ALASKA STREET / SUITE 200
SEATTLE WA 98116
206.933.1150

DESIGN REVIEW RECOMMENDATION MEETING

07.16.2008

401 E Pike Street

DPD # 3009350

BUILDING MASSING



Google Earth Image

COMMERCIAL CONFIGURATION

FIRST FLOOR PLAN

E Pike Street

- Retail along full length of façade
- Building of similar bulk/scale as Pike Lofts (adjacent to west)
- Continuous storefront glazing
- Multiple entries along E Pike Street
- Metal canopy with down lights for weather protection
- Floor stepped to keep retail at grade
- Maintain existing street trees on E Pike St.

- C-1 Architectural Context
- B-1 Height, Bulk and Scale
- A-10 Corner Lots, C-1 Architectural Context
- A-3 Entrances Visible from Street
- C-3 Human Scale
- C-1 Architectural Context
- E-1 Landscaping Continuity w. Adjacent Sites

Bellevue Avenue

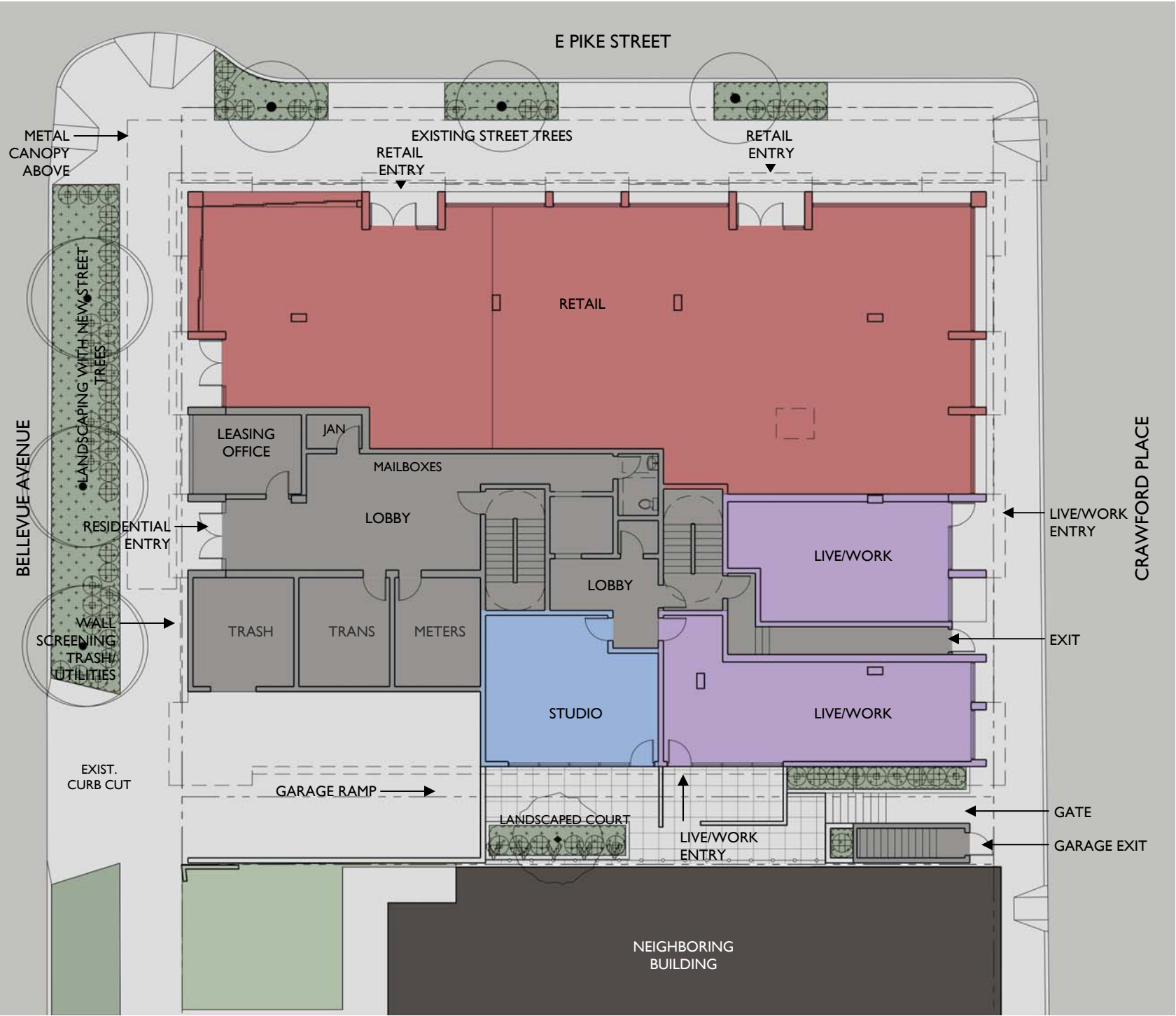
- Residential entry on Bellevue per DRB recommendation
- Leasing and management office adjacent to entry
- Metal marquee with down lights for weather protection
- Residential entry recessed from property line and sidewalk
- Large planted area with new street trees
- Façade screens dumpsters and utilities
- Parking garage access on Bellevue at existing curb-cut

- A-3 Entrances Visible from Street
- A-10 Corner Lots
- C-3 Human Scale
- D-12 Residential Entry Transitions
- E-2 Landscaping to Enhance Building
- D-6 Screening of Utility Areas
- A-8 Parking and Vehicle Access

Crawford Place

- Retail wraps the corner
- Live/work spaces along Crawford
- Building set back from south property line
- Landscaped court

- A-10 Corner Lots
- A-3 Entrances Visible from Street
- B-1 Height, Bulk and Scale
- A-7 Residential Open Space



RESIDENTIAL CONFIGURATION

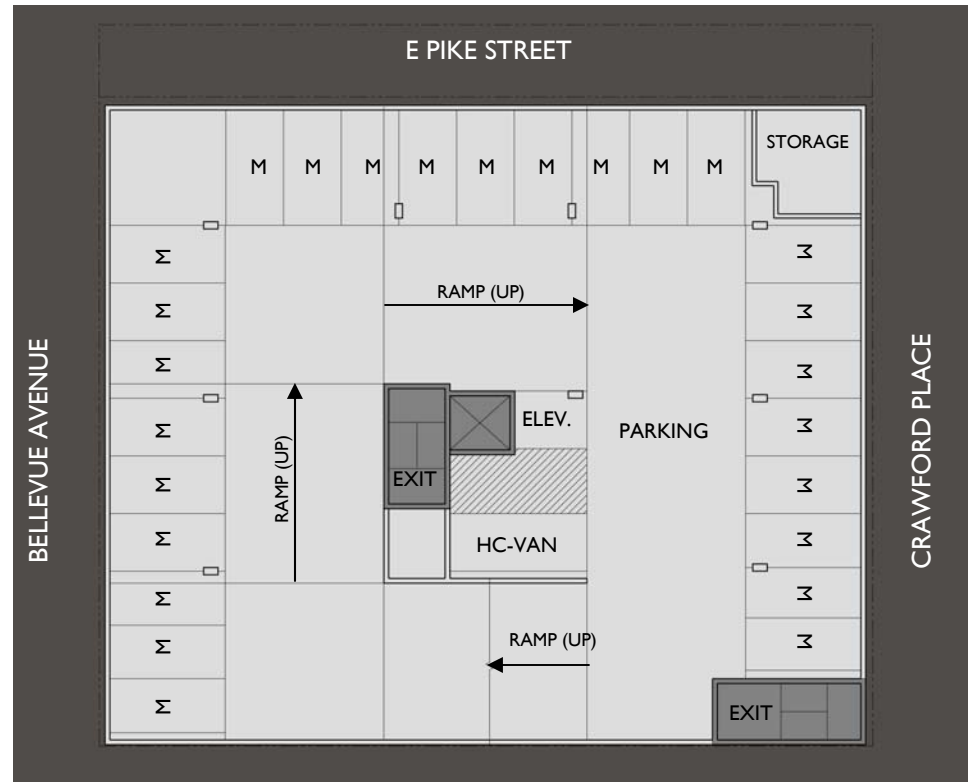
- All units primary living space oriented to exterior
- All units have floor-to-ceiling glass wall facing streets
- Northeast units have view towards Lake Union, Space Needle, and downtown
- South, east and west units all have direct sunlight
- Compact core increases size of units
- All units have multiple operable windows for natural ventilation
- Southwest units on upper floors have views towards downtown, Puget Sound

- E-2 Landscaping to Enhance the Building
- C-3 Human Scale
- B-1 Height, Bulk and Scale

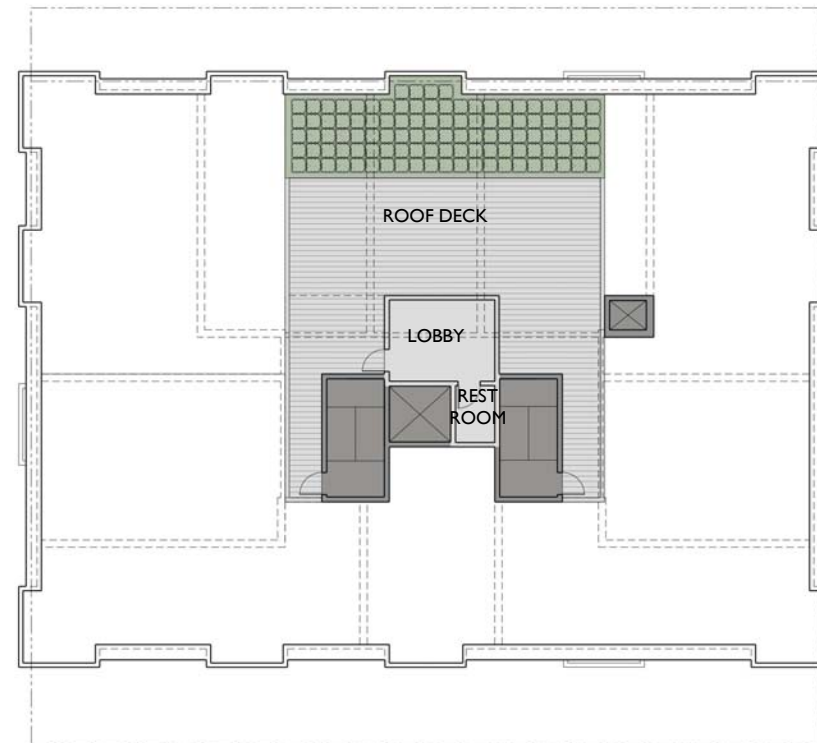
SECOND FLOOR PLAN



GARAGE LEVEL 1 PLAN



ROOF PLAN



ACCESSORY SPACE CONFIGURATION

Parking Levels

- Garage Entrance placed away from Pike Street
- Bicycle parking

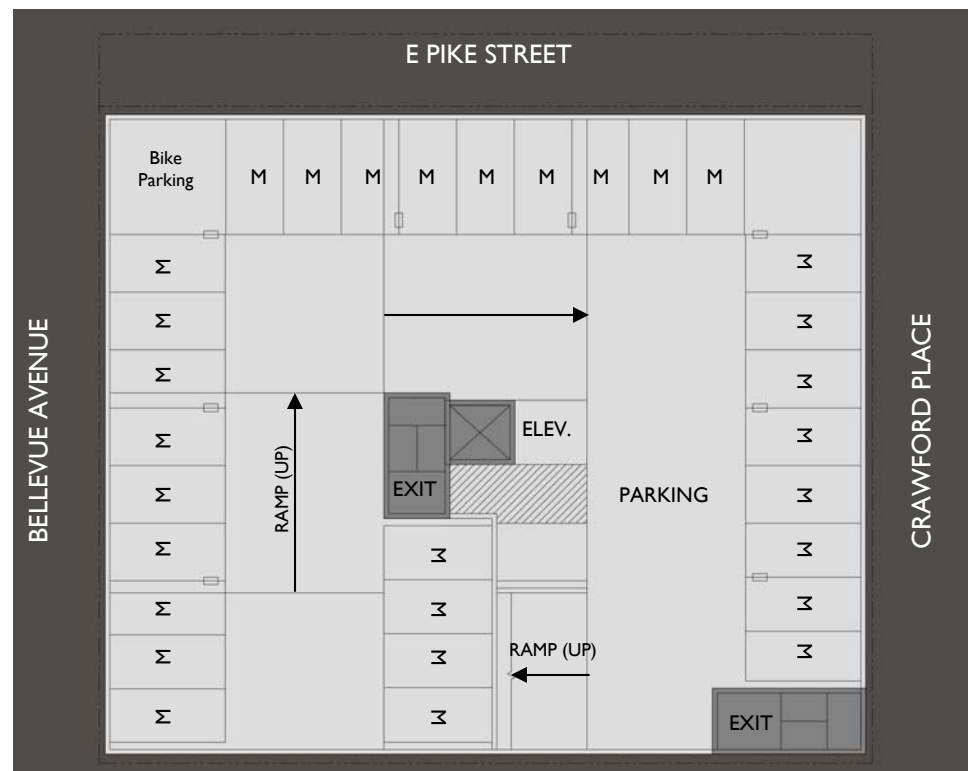
A-8 Parking and Vehicle Access

Roof Level

- Green Grid vegetated roof
- Large roof deck with views of downtown
- Lobby and restroom

A-7 Residential Open Space

GARAGE LEVEL 2 PLAN











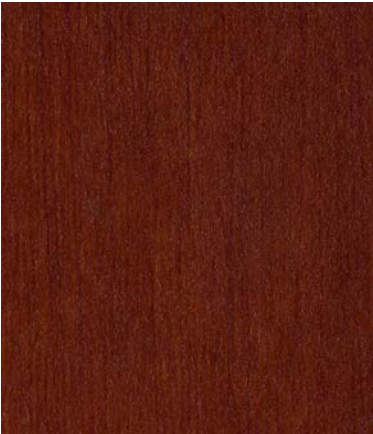
EXTERIOR PALETTE



MATERIALS



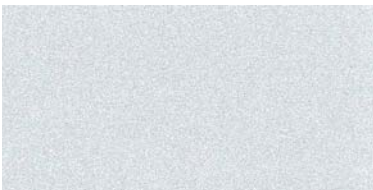
- ① Wood Grain Phenolic Resin Accent Panel
Parklex Facade
Gold



- ② Wood Grain Phenolic Resin Accent Panel
Parklex Facade
Ruby



- ③ Quartz-zinc Sheet Metal Panels & Flashing
VM Zinc

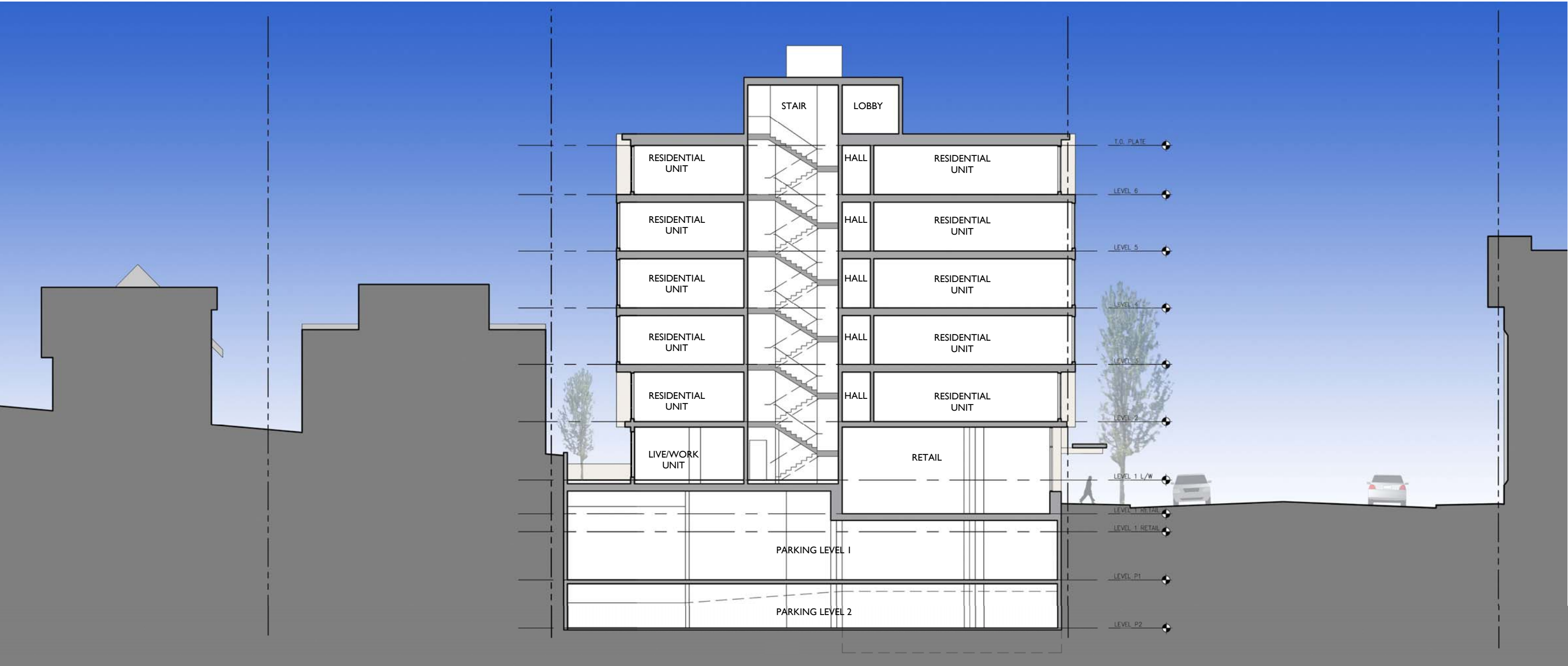


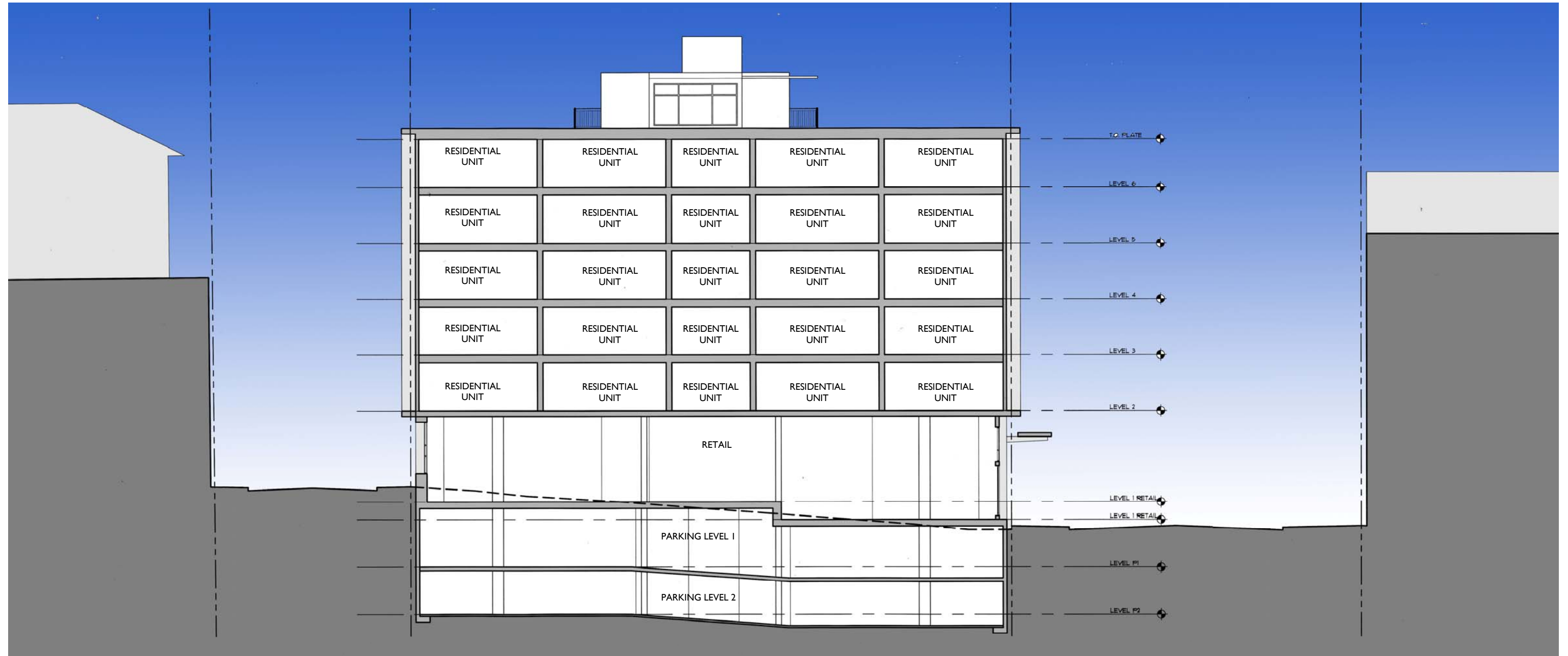
- ④ Clear Anodized Aluminum Window Frames
Marlin Windows
Kawneer Storefront Windows



- ⑤ Exposed Concrete
Architectural Finish
With Graffiti Coating

SOUTH-NORTH BUILDING SECTION, LOOKING WEST







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DESIGN REVIEW RECOMMENDATION MEETING

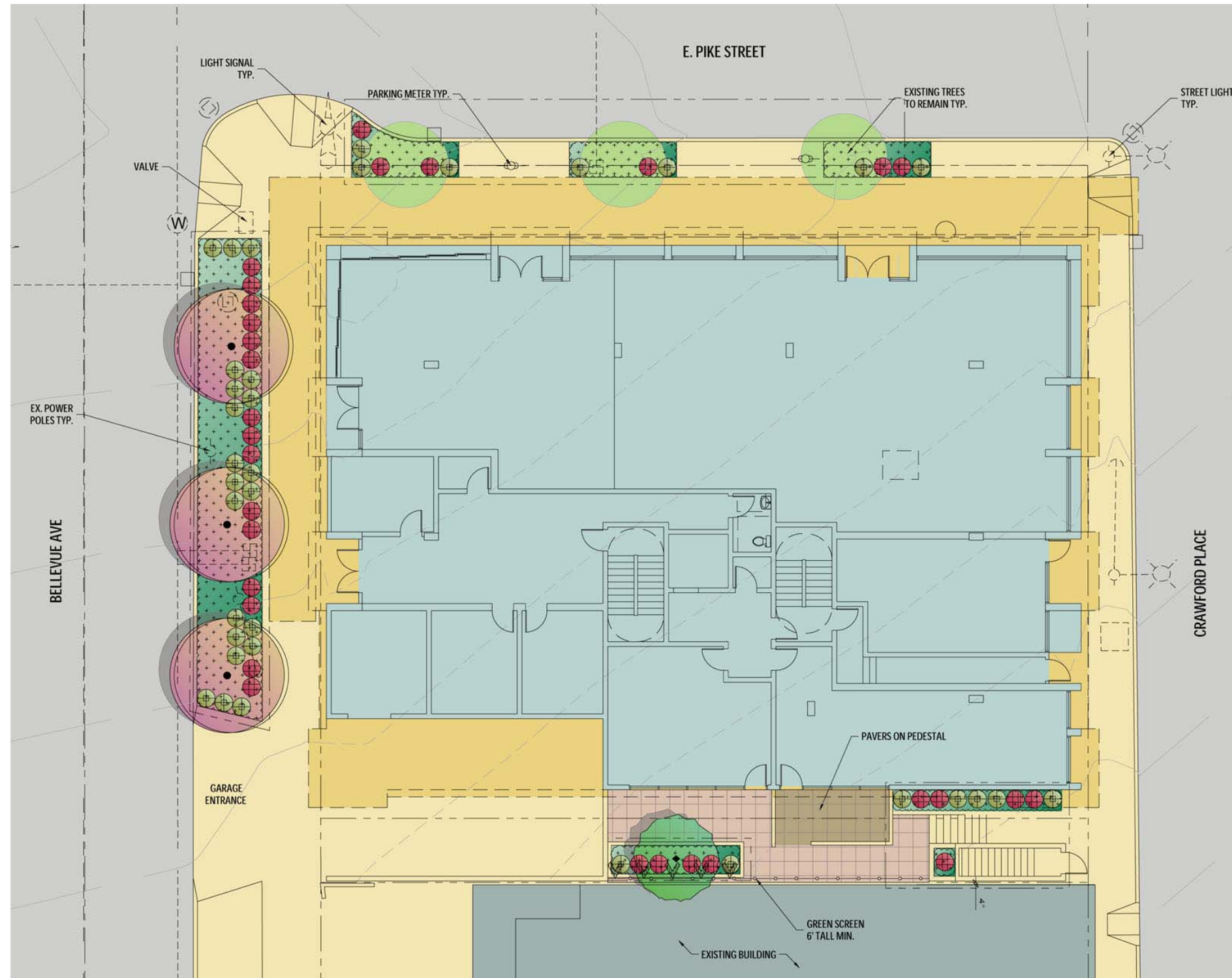
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RESIDENTIAL ENTRY ON BELLVUE AVE





KAREN Kiest
landscape architects
111 West John Street, Suite 305
Seattle, Washington 98119
tel: 206.323.6032



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4302 SW ALASKA STREET / SUITE 200
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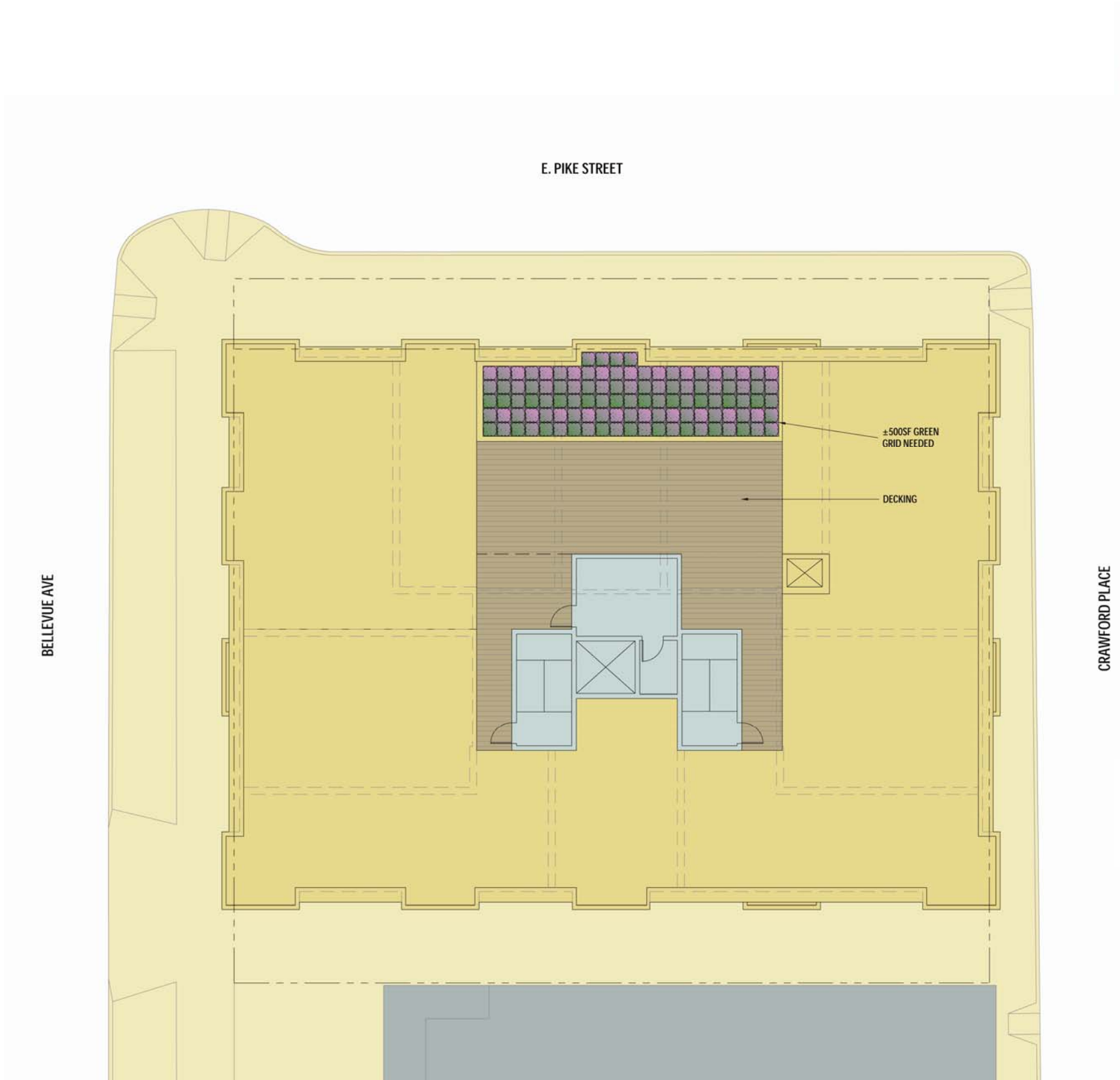
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401 E Pike Street

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PLANT LIST

(* INDICATES DROUGHT TOLERANT PLANTS)

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	SPACING
STREET TREE OPTIONS (TO BE COORDINATED W/ CITY ARBORIST)					
	ACER RUBRUM 'KARPICK'*	'KARPICK' RED MAPLE	2" CAL.	B&B	PER PLAN
ON-SITE TREES					
	ACER PALMATUM*	JAPANESE MAPLE	6'-8' HT.	B&B, MULTI.	PER PLAN
SHRUBS, GRASSES, AND VINES					
	NANDINA DOMESTICA 'WOODS DWARF'	'WOODS DWARF' HEAVENLY-BAMBOO	1 GAL.	CONT.	24" O.C.
	PARthenocissus quinquefolia*	VIRGINIA CREEPER	2 GAL.	CONT.	PER PLAN
	SARCOCOCCA hookerana humilis*	SWEET BOX	2 GAL.	CONT.	24" O.C.
GROUNDCOVERS					
	75% OPHIOPOGON planiscapus 'NIGRESCENS'	75% BLACK MONDO GRASS	1 GAL.	CONT.	18" O.C.
	25% ASTILBE x ARENDsii 'DEUTSCHLAND'	25% 'DEUTSCHLAND' ASTILBE	1 GAL.	CONT.	18" O.C.
	SEDUM MIX*	SEDUM	72 COUNT PLUG	CONT.	4" O.C.
PLANTS IN CONTAINERS					
	2'x2' GREEN ROOF PLANTING TRAYS: (32) SEDUM MIX PER TRAY				

NOTES:

- SEE L-1.1 FOR GENERAL NOTES.
- SEE L-1.3 FOR LANDSCAPE REQUIREMENT AND SEATTLE GREEN FACTOR CALCULATIONS.

MATERIAL LIST

PEDESTAL PAVER
24"x24" HYDRAPRESSED SLABS
W/ APPIAN WAY PEDESTAL SYSTEM
BY ABBOTSFORD CONCRETE PRODUCTS
1.866.888.2811

DECKING (TBD)
TREX ORIGINS DECKING
1.800.289.8739

GRAVEL
¾" CLEAN-WASHED GRAVEL,
4" DEPTH, SUPPLIER TBD

MODULAR GREENROOF
ADVANCED VEGETATIVE ROOF SYSTEM (AVRS)
24"x24" TRAYS
BY COLUMBIA GREEN TECHNOLOGIES, INC.
503.684.9123

GUARDRAIL/FENCE ABOVE PARAPET WALL
SEE ARCH. DWG.

KAREN Kiest
landscape architects
111 west john street, suite 305
seattle washington 98119
tel: 206.323.6032

DEPARTURES

Development Standard	Requirement	Proposed	Departure Amount	Justification
Street Level Development Standards 23.47A.008.D Residential uses at street level	D. Residential street-level requirements. Residential uses may be limited to 20% of the street-level street-facing facade under section 23.47.005. When a residential use is located on a street-level street-facing facade, the provisions of Subsection A and the following apply:	Allow 56.2% of façade to contain accessory residential uses on Bellevue Avenue.	36.2% on Bellevue Avenue	It is logical to place the leasing office adjacent to the residential lobby, and to place the trash & recycling collection room near the existing curb cut.
Street Level Development Standards 23.47A.008.D Residential uses at street level	2. Either the first floor of the structure at or above grade shall be at least four (4) feet above sidewalk grade or the street-level façade shall be set back at least ten (10) feet from the sidewalk.	Allow accessory residential uses at grade level on Bellevue Avenue façade.	4'-0" vertically 10'-0" horizontally	We believe the intent of this code is to prohibit residential units from being on-grade and on the property line. We are only proposing that accessory residential spaces (lobby, leasing office, trash & recycling room) be placed at street level near the sidewalk.
Parking Space Standards 23.54.030.G Sight Triangle	2. For two-way driveways or easements at least 22 feet wide, a sight triangle on the side of the driveway used as an exit shall be provided.	No sight triangle on exit side. Mirror provided.	Mirror used in lieu of sight triangle.	Bellevue Avenue does not have a high amount of pedestrian traffic. A mirror mounted on the south wall of the ramp will provide improved visibility for drivers and pedestrians.
Parking Location and Access 23.47A.032 Access to Parking	The Design Review Board encouraged parking garage access from Crawford Avenue.	Parking garage access from existing curb cut location on Bellevue Avenue.	Parking garage access from Bellevue Avenue instead of Crawford Avenue.	The grade on Crawford Avenue is 7' - 8' higher than Bellevue Avenue, making it difficult and illogical to provide a ramp down to the garage level from this location.
Structural Building Overhangs 23.55.035.4.c Bay Size	c. The maximum length of each bay window or balcony shall be 15 feet at the line establishing the required open area, and shall be reduced in proportion to the distance from such line by means of 45 degree angles drawn inward from the ends of such 15 foot dimension, reaching a maximum of 9 feet along a line parallel to and at a distance of 3 feet from the line establishing the open area.	Consistent 11'-0" width from building façade to 2'-6" overhang from façade.	2'-0" at farthest point from façade, 0'-0" at building façade.	The resulting area inside the bays is smaller than that allowed by the prescribed chamfered bays in the code. The design concept is executed much better with rectangular bays.

DIRECTOR’S DECISION—APPLICATION #230474I (ATTACHMENT B)

From Director’s Decision on Application #230474I, March 2, 2006

After visiting the site and considering the analysis of the site and its context provided by the applicant, the Design Review Board members present provided the siting and design guidance described below and identified by letter and number those siting and design guidelines found in the City of Seattle’s *Design Review: Guidelines for Multifamily and Commercial Building* and in the *Pike/Pine Urban Center Village Design Guidelines* to be of the highest priority for this project. The recommendations made were agreed to by all four of the Board members present, unless other wise noted. At the October 20, 2004 meeting, the Board affirmed the priority of the Guidelines as enumerated at the August 20, 2004 meeting and the Guidance previously stated. Additional guidance dating from the October 20th meeting is in italics.

A-3 Entrances Visible from the Street

Entries should be clearly identifiable and visible from the street.

The Board was concerned that the proposed structure should provide entries that clearly relate to the pedestrian realm and receive special emphasis and treatment. The Board indicated that the proposed building should have multiple entries along the first floor Pike Street façade. Although there was some discussion concerning an entry at the corner of E Pike and Bellevue, the Board thought that the building should put forth a clearly urban form and strongly set the corners at both Bellevue Avenue and Crawford Pl. *The entries should be clearly identified through such elements as overhead weather protection and signage.*

A-5 Respect for Adjacent Sites

Buildings should respect adjacent properties by being located on their site to minimize disruption of the privacy and outdoor activities of residents in adjacent buildings.

The Board agreed with the proponent’s notion of pulling the building away from the office building located on the lot to the south. Any eroding of the mass of the building on the upper floors should be away from the south, the west and the south-west portions of the site. The structure should be pushed to Pike Street to maintain a strong urban presence along that street side.

Entrances on Crawford, Bellevue and E Pike St. are all underneath projecting bays on the upper façade, marking their locations from a distance. Deep structural concrete fins supporting the building bracket the entrances and allow them to be recessed from the façade.

The main structure, above the parking levels, is pulled away from the property line and smaller buildings to the south. Projecting bays on the south façade are intermittent, and screen walls protect the south neighbor’s privacy from the landscaped court. A deep, warm red color is the predominant color on the south and east facades, with bolder, brighter colors on E Pike St and Bellevue Ave. The main mass of the building is along E Pike St.

A-7 Residential Open Space

Residential projects should be sited to maximize opportunities for creating usable, attractive, well-integrated open space.

The Board’s guidance was that the location and design of the residential open space should maximize the prospects of both air and light. To this end the Board stated that the proponent should provide studies of sun angles, diurnal and seasonal shadows, etc., for the Board to view at the next meeting.

The Pike/Pine neighborhood-specific guidelines for A-7 call for: *Locating a significant amount of open space on rooftops is discouraged.* The Board agreed that open space on the rooftop should be discouraged and that *Open space at street level and features that provide visual interest on building facades, such a balconies should be encouraged.*

In the final analysis the emphasis should be on the quality of the space and its potential for use, rather than on quantity only.

A-8 Parking and Vehicle Access

Siting should minimize the impact of automobile parking and driveways on the pedestrian environment, adjacent properties and pedestrian safety.

The Board affirmed the ideal of taking access to the parking off Crawford Pl. while acknowledging the practical and topographical constraints which, as the proponent had explained, made that option largely impracticable. Nonetheless, the Board stressed that the service functions should be accommodated off the alley. They also agreed that the proponent should study and present a scheme to have a vehicular entry only off Bellevue with exiting onto Crawford.

A-10 Corner Lots

Buildings on corner lots should be oriented to the corner and public street fronts. Parking and automobile access should be located away from corners.

The Pike/Pine neighborhood-specific guidelines state: *Buildings on corner lots should reinforce the street corner. To help celebrate the corner, pedestrian entrances and other design features that lend to Pike/Pine’s character may be incorporated. These features include architectural detailing, cornice work or frieze designs.* The Board strongly recommended that the proponent should explore and show the Board how the design of signage for the building might reinforce and celebrate the corner at Bellevue and Pike without physically eroding the corner.

A sun diagram is included in the site analysis portion of this booklet. Residential open space is primarily provided by a roof deck and a small landscaped court on the south side of the building. The roof deck is on the northern portion of the roof, with views towards downtown, Seattle Center and the Space Needle, and Lake Union.

The topography and other design guidelines for corner lots dictate the location of the parking garage entry on Bellevue Ave. A second ramp to Crawford Pl would have a slope to steep to drive up or would eliminate virtually all of the ground level retail and live/work space.

Major street level activities are on E Pike St and Bellevue Ave, including retail entrances, a prominent, glazed retail corner, and the residential entrance. Garage access is at the far end of the property, away from the corner.

B-1 Height, Bulk and Scale

Projects should be compatible with the scale of development anticipated by the applicable Land Use Policies for the surrounding area and should be sited and designed to provide a sensitive transition to near-by, less-intensive zones. Projects on zone edges should be developed in a manner that creates a step in perceived height, bulk and scale between the anticipated potential of the adjacent zones.

The Board identified this as an issue of highest priority. The Board reiterated its general concern, expressed under priorities above, that the mass of the proposed structure should provide a strong presence along Pike Street while the other edges might be eroded to provide a kind of courtyard with fine quality of light and air. A simple massing model might be helpful to show a desirable articulation of this erosion and the inter-relation of proposed open space to both the residential units and to the building to the south and to Bellevue Av. E.

C-1 Architectural context

New buildings proposed for existing neighborhoods with a well-defined and desirable character should be compatible with or complement the architectural character and siting pattern of neighboring buildings.

The Board cited the Pike/Pine neighborhood-specific guidelines which stress that *the Pike/Pine vernacular architecture is characterized by the historic auto-row and warehouse industrial features of high ground floor ceilings and display windows, detailed cornice and frieze work, and trim detailing.* The Board indicated the proponent should present details and materials that reflect the history of the neighborhood. In particular the detailing of the fenestration along Pike St. and the amount of transparency in the proposed new building should reflect something of the character of this light-industrial history.

C-2 Architectural Concept and Consistency

Building design elements, details and massing should create a well-proportioned and unified building form and exhibit an overall architectural concept.

The Board emphasized that the architect should present a clear architectural *party* at the next presentation to the Board and be able to explain how form, features and functions of the proposed building relate to this *party*.

The site is near the edge of the Capitol Hill NC3-65 zone, where it transitions to NC3-85 and MR. The site is four blocks away from a DMC 340/290-400 zone. The height of the building is similar to that of the Pike Lofts building next door; but the building's bulk is significantly less—the Pike Lofts building has a much longer street frontage on E Pike St. The project steps back and away from the smaller buildings to the south.

The concrete base and storefront glazing on the ground level relate to the 'light industrial' aesthetic of Seattle's 'Auto Row.' The site is a stepping stone, perched between vibrant downtown Seattle's modern high-rise buildings and the energetic Capitol Hill community, centered along Broadway. The building's minimalist detailing, bold colors and modulation of the upper levels signifies the transition between the two areas.

The design of the building centers around placing a vibrant 'cube' on top of a transparent, active base. The projecting bays of the façade are continuous only at the corner of E Pike and Bellevue, to reinforce the pedestrian activity at the corner and provide beautiful views from the living spaces of the residential units. Other portions of the bays are removed for required clearances and to create variety of unit types. The apparently 'random' placement of windows and exterior panels is actually designed to minimize construction waste and place windows according to the spaces in the units. Accent colors appear at the edges of the E Pike and Bellevue Ave facades, and then become the main colors on the Crawford Pl and south facades as they turn the corners.

C-3 Human Scale

The design of new buildings should incorporate architectural features, elements and details to achieve a good human scale.

The neighborhood-specific guidelines for Pike/Pine add the following particulars to this guideline:

- The design of the ground floor of new developments should include:*
- Pedestrian oriented architectural elements;
 - A rhythm of building modulation comparable or complementary to adjacent buildings;
 - Transparent, rather than reflective, windows facing the street.

This is especially important along Pike, Pine and Olive Streets, as well as on 10th and 11th between Pine and Madison. Cues can also be taken from the Harvard Market and from the south side of Pike between Boylston and Harvard.

The Board agreed that the applicant should incorporate into the design: pedestrian oriented architectural elements, a rhythm of modulation, and transparent rather than reflective windows within the commercial ground-floor façade, especially along East Pike St. Further, the Board agreed that the common spaces adjacent the residential uses should be clearly of a human scale and designed with such architectural detail as to bestow on them a distinctly comfortable and beautiful character. The Board indicated they would expect to see this level of detail presented at the recommendation meeting. *The Board expressed its support for the garage-door style openings by means of which the retail space at the corner of E. Pike Street and running along Bellevue Avenue would engage the sidewalk area.*

C-4 Exterior Finish Material

Building exteriors should be constructed of durable and maintainable materials that are attractive even when viewed up close. Materials that have texture, pattern, or lend themselves to a high quality of detailing are encouraged.

In making this a guideline of highest priority, The Board referred to the neighborhood-specific guidelines for even more precise direction, namely that:

New developments should respond to the neighborhood's light-industrial vernacular through type and arrangement of exterior building materials. Preferred materials include: brick, masonry, textured or patterned concrete, true stucco (DryVit –or other EIFS systems--are discouraged) with wood and metal as secondary, or accent materials.

The Board directed that the applicant should respond to the neighborhood's preference for primary and secondary materials. They would expect to be presented with a design which, as one Board member expressed it, was "beyond the trendy." *The applicant should be prepared to present actual samples of finish materials to the Board at the next Recommendation meeting.*

The continuous awning along E Pike and the majority of Bellevue Ave provides weather protection and a sense of human scale to pedestrians. The storefront window system is glazed in mostly four foot wide widths, with accent panels that are the same size and shape of the operable windows in the residential units above. The modulation of the facades above provides architectural elements with a variety of different scales.

Concrete, steel supports and awnings, and a modular glazing pattern at the lower level are all durable, appropriate materials for the building's context. Quartz-zinc metal panels, clear-anodized aluminum windows, and wood grain phenolic resin panels provide a variety of colors and textures for the building facades. The quartz-zinc and wood grain phenolic resin panels both have a natural variation in color and texture, and both are very durable materials, designed specifically for protecting the building's waterproofing system.

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D-I Pedestrian Open Spaces and Entrances

Convenient and attractive access to the building’s entry should be provided. To ensure comfort and security, paths and entry areas should be sufficiently lighted and entry areas should be protected from the weather. Opportunities for creative lively, pedestrian-oriented open space should be considered.

The Board considered this guideline to be among the highest of priorities and indicated that the entries should be clearly urban in character and highly transparent. *The Board agreed that an increase in interior ceiling height of the retail space off Crawford Place and E./Pike Street would enhance its appearance and marketability.*

D-6 Screening of Dumpsters, Utilities and Service Areas

Building sites should locate service elements like trash dumpsters, loading docks and mechanical equipment away from the street front where possible. When elements such as dumpsters, utility meters, mechanical units and service areas cannot be located away from the street front, they should be situated and screened from view and should not be located in the pedestrian right-of-way.

In conjunction with Guideline A-8 which was given high priority, the Board agreed that Crawford Pl., rather than Bellevue Avenue, be the primary circulation route for building services and requested that details relating to service functions included in this guideline be presented at the next meeting of the Board to consider guidance for this project. *While acknowledging that accessing parking off Crawford Pl might be problematic due to the topography of the site, the Board asked for a careful analysis of parking access; in any case basic service access, including access to garbage and recycled materials, should be off Crawford Place. A question was raised, given changes in Building Code requirements, whether the HC van stall couldn’t be accommodated within the regular parking area.*

All of the building’s entries are recessed from the street, well-lit, and protected from the weather. The sidewalk is an average of 15’ wide on Pike street, and 9’-6” of that width is covered continuously.

Building service areas on the ground floor are adjacent to the garage entry and are screened from the street.

E-I Landscaping to Reinforce Design Continuity with Adjacent Sites

Where possible, and where there is not another overriding concern, landscaping should reinforce the character of the neighboring properties and abutting streetscape.

The Board agreed that this guideline should be regarded as of highest priority in conjunction with Guideline E-2. Specific guidance of the Board is included under E-2 below.

In approaching these guidelines the applicant should incorporate the following report of the City Arborist:

“East Pike Street has three SDOT maintained street trees. Two of the trees are Armstrong maples; the eastern one has a diameter of 8.4 inches and the western one a diameter of 9.6 inches. Both are healthy and stand approximately 40-feet tall and contribute greatly to the right-of-way. Between the Armstrong maples is a 7.7 inch diameter Red Sunset maple. All of these trees are good candidates for preservation and of a stature that typically SDOT endeavors to preserve... Bellevue Ave has three dead or nearly dead Redbuds. On site there are three Armstrong maples and three Redbuds the applicant may want to salvage—they’re pretty nice and of a transplantable size. Or, if the applicant is interested, he/she can contact PlantAmnesty to see if they could locate someone to salvage them (info@plantamnesty.org).”

E-2 Landscaping to Enhance the Building and/or Site

Landscaping, including living plant material, special pavements, trellises, screen walls, planters, site furniture and similar features should be appropriately incorporated into the design to enhance the project.

The Board called the applicant’s attention to the neighborhood-specific guidelines which call for the *creation of small gardens and art within the street right-of-way* in order to *activate and enliven the public realm*. The applicant was directed to refer to the Pike/Plan Design Guidelines for specifics.

The Board agreed that for the next Recommendation meeting of the Board, the applicant should provide a detailed landscaping plan. The plan should include the entire development site and adjacent right-of-ways. In addition to landscaping of any proposed residential open space, the plan should include details for landscaping enhancement of the adjacent sidewalks and anywhere where there is street-level open space provided. The plan should include a lighting plan that at once provides on-site security and serves as a design amenity.

The existing street trees on E Pike Street will remain as part of the project. New shrubs and small plants will be installed around them. Additionally, new street trees of similar species will be planted in a landscaped area that stretches along almost the entire building façade on Bellevue Ave. The sidewalk and required right-of-way on Crawford Pl were deemed too narrow to accommodate landscaping.

New paving patterns will distinguish the recessed building entries and the landscaped court from the street paving. A variety of plant materials, including Sweet Box, Woods Dwarf Heavenly Bamboo and Virginia Creeper are included in the design. The roof deck and landscaped court on the south side of the building all enhance the design.