

CITY OF SEATTLE  
DEPARTMENT OF PLANNING AND DEVELOPMENT  
**DESIGN REVIEW PACKET**  
**RECOMMENDATION STAGE**

5518 ROOSEVELT WAY NE      JANUARY 26, 2009

caspian housing

tangent

architects

The project objective is to develop two buildings. The west building would be a mixed-use structure and would be sited at the west property line fronting Roosevelt Way NE. The building footprint would be approximately 80' in width along Roosevelt Way and 36' in depth, with a 4' building overhang to the east, along NE 56th Street. The building's organization would as five "live/work" units. Each unit would have a proposed short plat to create an individual lot. Each of the five "live/work" units would have a ground floor commercial space, of approximately 16' in width by 36' in depth for a proposed commercial square footage of 458 sf, or a building total of 2,290 sq. ft. The commercial space interior floor to ceiling height would be 13'. There would be a storefront entry door on Roosevelt Way NE, as well as a residential entry door along the interior auto court.

In the west "live/work" building, the second floor of each unit would be living/kitchen areas, and the third and fourth floors would provide four bedrooms and four bathrooms. The approximate square footage of residential space would be 8,733 sq. ft. The proposed building height would be 44'.

The east building would be parallel to the west building, with a footprint of approximately 80' in building depth and 28' in width, with a building overhang of five feet to the west. The two buildings are separated by 22' at the ground level, and 13' for the upper floors. There is a proposed access driveway from NE 56th Street to the interior auto court. Eight covered parking spaces are provided at ground level of the east building, as well as two surface parking spaces along the site's southern property line.

The east building consists of five townhouse units. Each unit is approximately 16' x 33' footprint, with the first floor consisting of parking and storage, second floor is entered at grade along the alley and comprises the living and kitchen areas, with the third and fourth floors of bedrooms and bathrooms. The residential square footage would be approximately 7,484 sq. ft., with storage of 1,106 sq. ft., and parking occupying 1,147 sq. ft. The building height is proposed to be 44' at the auto court, and approximately 34' at grade along the alley.

Building Areas (Total):	
Residential	16,631 s.f.
Commercial	2,500 s.f.
Parking	3,560 s.f.
Storage	480 s.f.
Total:	22,671s.f.

Departures

1. Rear Setback from CL of Alley(SMC 23.47a.014b3)  
Required: Rear Setback 15.0' from CL of Alley  
Proposed: Rear Setback 13.8' from CL of Alley  
Rationale: Increasing the modulation of the rear of the building and lowering the height below the 40' height limit (33' ave) reduces the apparent bulk of the building and functionally improves the layout of the building.

2. Street Level Uses, East Building(SMC 23.47a.005c)  
Required: Retail or other approved use.  
Proposed: Parking partially below grade. Parking elevation at minimum allowed per SDOT Grade Calculator. SMC 23.47a.008d2 requires residential uses begin a minimum of 4 ft above grade. Proposed residential use begins at a 4.5 ft above grade.

3. Street Level Development Standards(SMC23.47a.008a2)  
Required: Minimum Blank Facade and Transparency  
Proposed: WWF mesh screen trellis with plantings.

4. Landscape Standards(SMC 23.47a.016d)  
Required: 5 ft vegetated buffer between parking use and property line.  
Proposed: WWF mesh screen trellis with plantings.

5. Sight Triangle Required (SMC 23.54.030G)  
Required: 10.0 ft Sight Triangle E/S of drive.  
Proposed: The use of mirrors at garage entrance. 10.0 ft sight triangles would require a garage entrance 30 ft wide adjacent to sidewalk. This is counter to the efforts to maintain a pleasant street experience.

## vicinity map



## Site Data:

Site Address:	5518 ROOSEVELT WAY NE
Zone:	NC2-40
Overlay:	N/A
Site Area:	7,722 SF
Parcel Number:	3589500230

The site is located in northeast Seattle's Roosevelt neighborhood, at the southeast corner of Roosevelt Way NE and NE 56th Street. Roosevelt Way is a principal arterial with one-way southbound traffic, and 56th Street is a residential street at the site. The vicinity slopes generally to the south and west.

The site is zoned Neighborhood Commercial 2 with a 40-foot base height (NC2-40). Properties along Roosevelt Way NE to the north and south are zoned NC2-40. The corridor's east side transitions to residential Lowrise 2 (L2) less than a block to the north. On either side of the corridor, land is zoned Single Family residential with a minimum lot size of 5000 sq. ft. (SF 5000). To the southeast across NE 55th Street, land is zoned Lowrise 1 (L1).

Development in the vicinity reflects its zoning, through most does not approach full zoning potential, suggesting that the area could experience substantial future redevelopment. The Roosevelt Way NE corridor is characterized by low commercial and apartment buildings, as well as the occasional single family house. To the east and west of the corridor are single family neighborhoods. University Way NE to the east has a concentration of pedestrian-oriented mixed use structures.

The site measures about 80' x 94'. Due to the substandard 10' alley width, 3' of the eastern portion of the property must be dedicated to the alley. This results in a site area of approximately 7,480 sq. ft. The site slopes gradually to the west, about 10 feet in all. No portion of the site is designated as an Environmentally Critical Area on City maps. The site was originally occupied by two homes, but these burned in February, 2005, and have since been demolished, leaving only the original detached garages. No landscaping remains on the site, and the adjacent property to the south is supported by a rockery, apparently at the property line. There are existing curbs, existing street trees on Roosevelt Way, and sufficient width to accommodate full sidewalk improvements.

The site is served by public transit. Metro routes 66/67 and 79 pass in front of the site along Roosevelt Way NE and on 11th Ave NE. Other lines run along 15th Ave NE, within walking distance of the site

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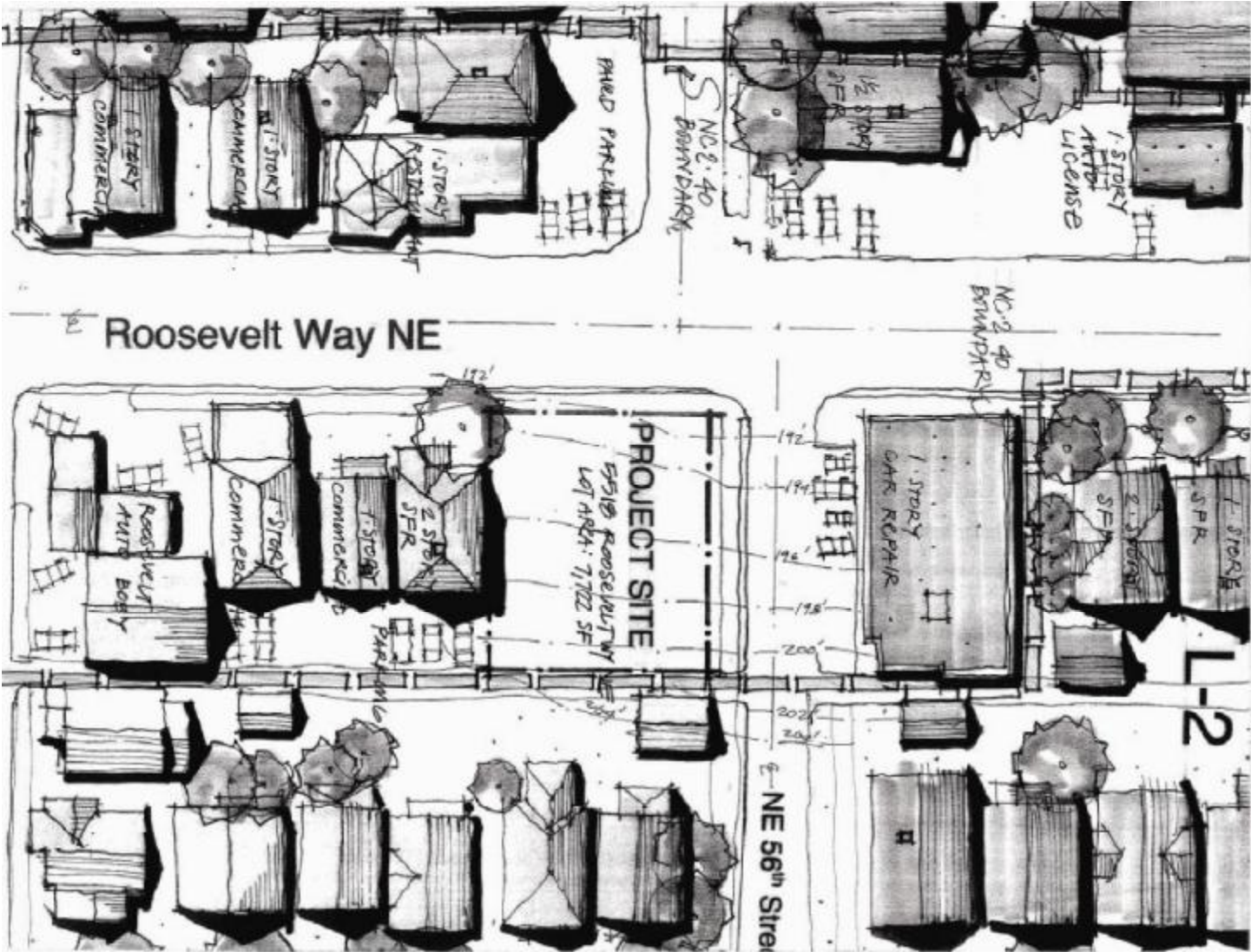
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9 block aerial map





The project site is located at the southeast corner of NE 56th Street and Roosevelt Way NE. The site has a 10% slope running east to west along NE 56th Street, then the topography becomes a relatively flat plane from Roosevelt Way NE to I-5. Roosevelt Way NE is a connecting arterial street. It runs parallel to I-5, but much pre-dates the highway, as this street has historically connected the more northern neighborhood centers, such as Maple Park and NE 65th Street, with the University District and by bridging Lake Union at the Montlake cut, Roosevelt Way NE ends by becoming Eastlake Avenue East.

USES

Roosevelt Way NE serves as a neighborhood commercial spine, connecting both large and small neighborhood centers together, but the character of the street changes all along the way, accurately reflecting each neighborhood. Between NE 50th Street and NE 65th Street, Roosevelt Way NE has a low-scale, low-density character. Single-family homes, most built in the 1920's and 1930's, and one-story commercial enterprises, such as restaurants or used-car lots casually co-mingle along Roosevelt Way NE. While the east-west cross streets have mature trees and shrubs that contribute to a sense of a pleasant, established neighborhood, Roosevelt Way NE is a busy conveyor of car and bus transportation.

At the project site, a slight grid shift occurs as NE 56th Street intersects Roosevelt Way NE. On the northeast corner of the intersection there is a one-story auto repair shop with surface parking lot, on the northwest corner is a single-family residence, on the southwest is one-story restaurant, also a with surface parking lot. Abutting the project site is a single-family residence with a rocky wall along the east-west property line. At the project site, there are two mature street trees which will remain. Currently, the site is a vacant lot measuring approximately 80' fronting Roosevelt Way NE, and 95' along NE 65th Street.

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street photos



roosevelt looking east



roosevelt looking west



ne 56th street looking south



views out



I:5 freeway beyond

quiet streets

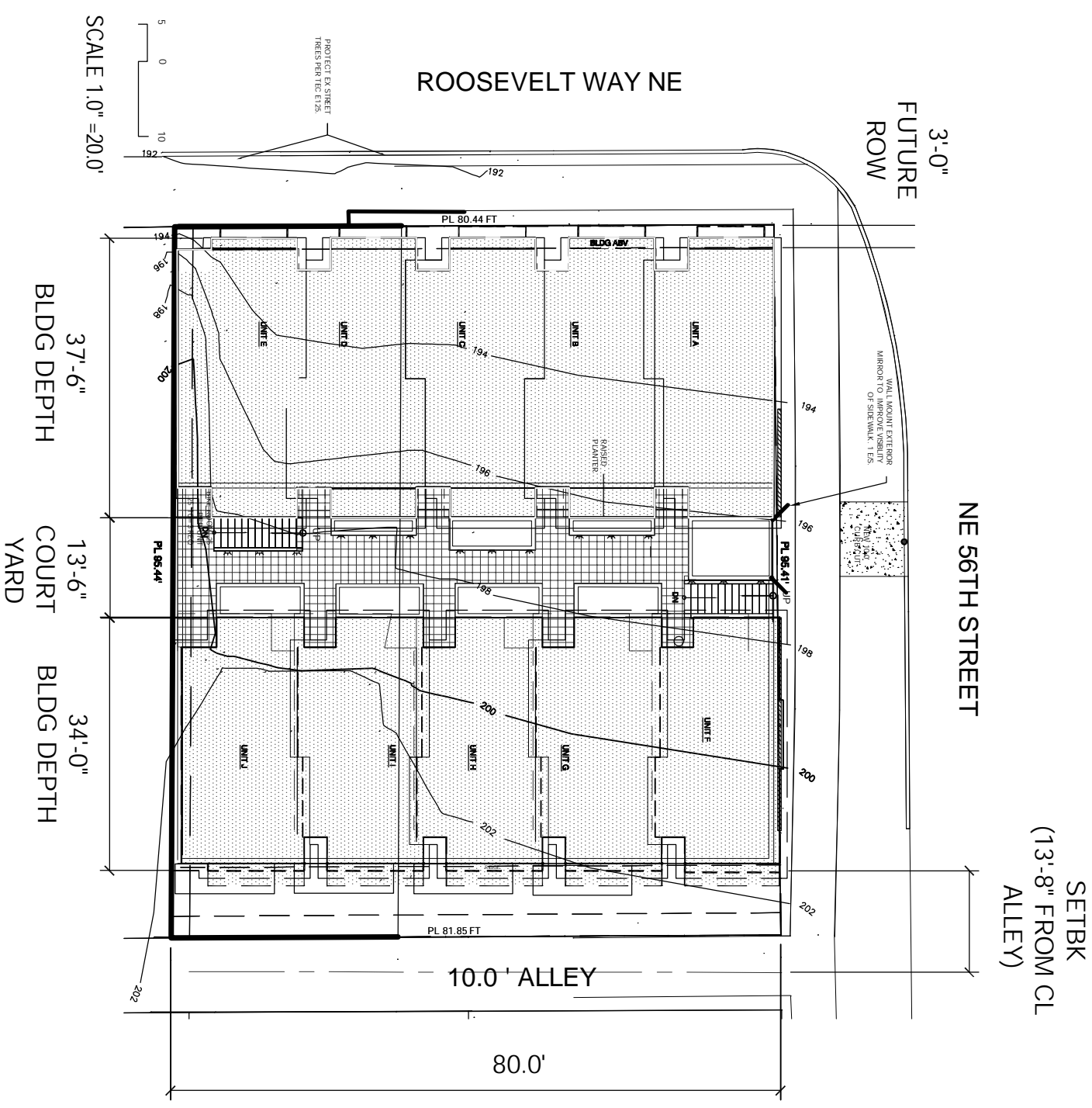
views out

increased density

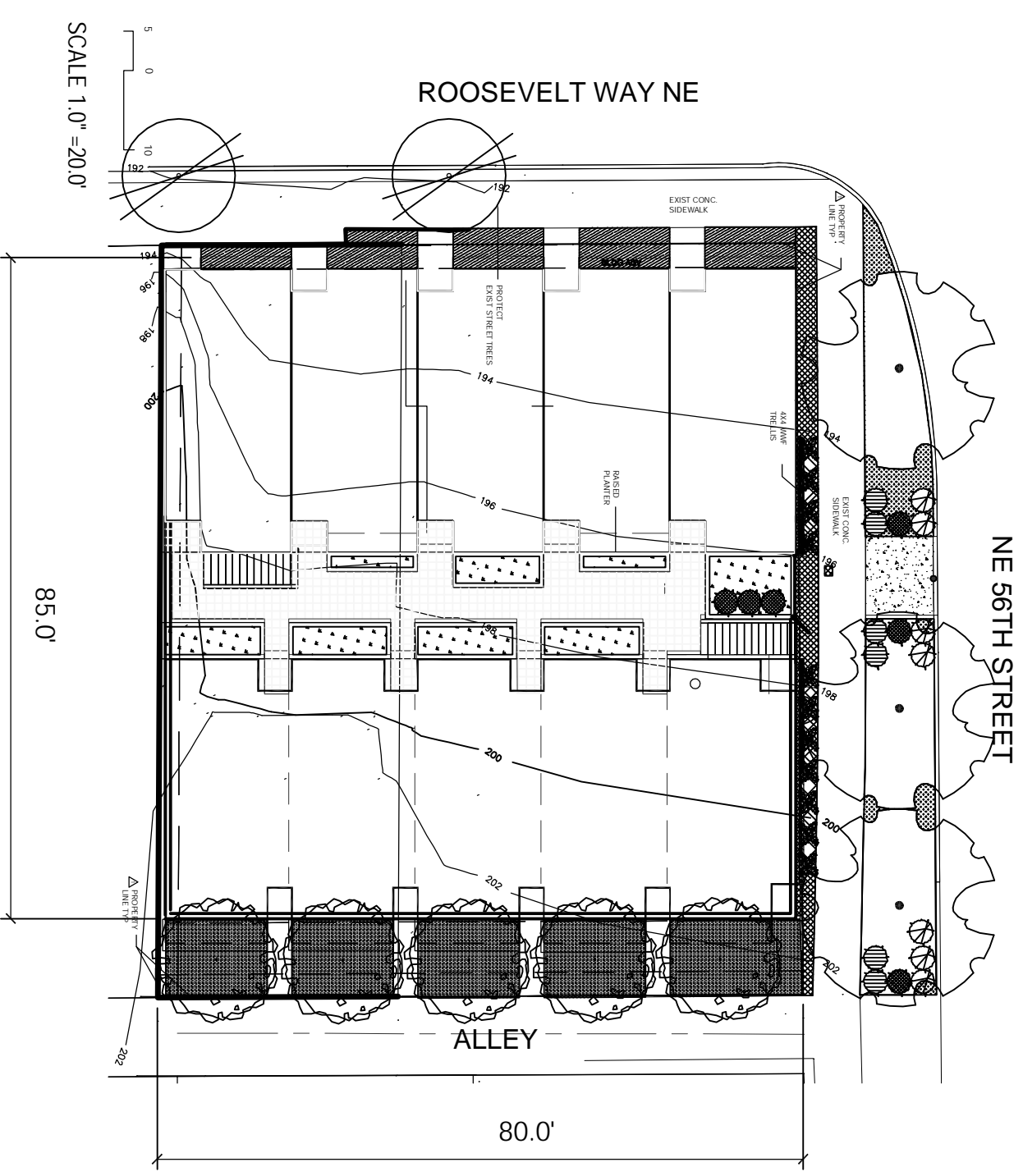
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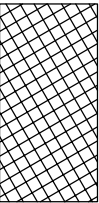
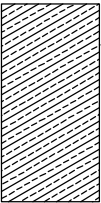
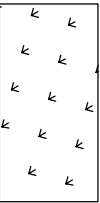
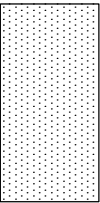
preferred alternative - site plan



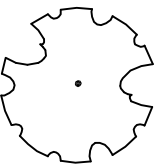


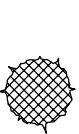






Groundcovers

Symbol	Quantity	Common Name	Size/Condition @ Planting
	265 SQ FT	Tuft Grass (Bunched leaved, shade tolerant, cool season) (Festuca rubra var. rubra, Festuca ovina, Festuca ovina var. duriuscula)	
	254 SQ FT	Variegated Mondo Grass Mix (Ophiopogon japonicus Ophiopogon japonicus 'Kijimafukidama' Ophiopogon , planiscapus 'Nigrescens' )	12" OC; MIN 4" Container
	266 SQ FT	Drought Resistent Ground Cover (25% of Iberis Sempervirens, Arctostaphylos uva-ursi, Rosmarinus officinalis 'Prostratus')	9" OC; MIN 4" Container
	315 SQ FT	Shade Drought Resistent Planter Mix (Mahonia nervosa, Fragaria virginiana, Polystichum munitum)	12" OC; MIN 4" Container
	641 SQ FT	Pachysandra terminalis Japanese Spurge 'Silver Edge'	9" OC; MIN 4" Container

Trees, Shrubs and Vines

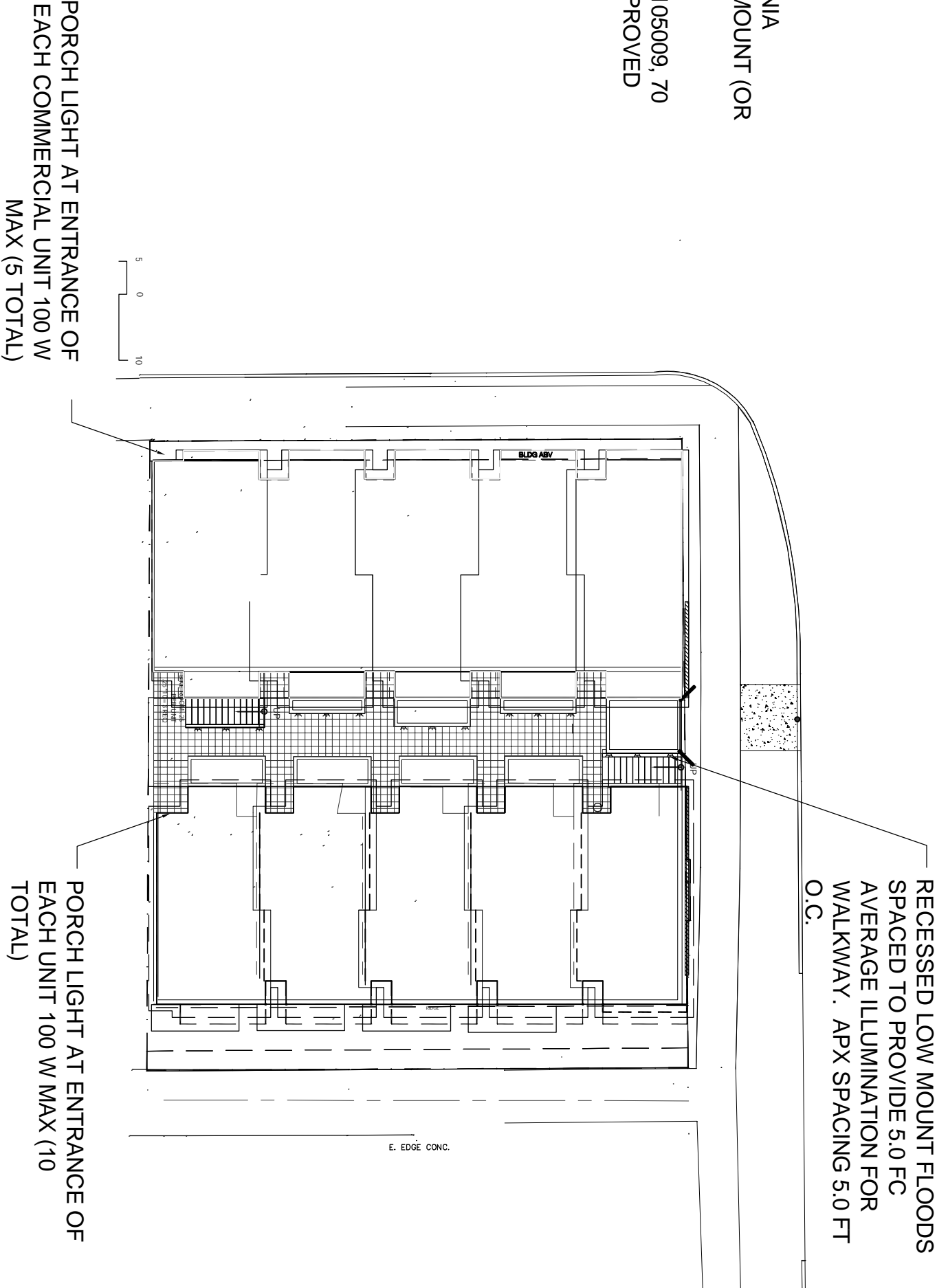
Symbol	Quantity	Common Name	Botanical Name	Size/Condition @ Planting
	CC 3	Eastern Redbud	Cercis Canadensis	B & B Cal. 1.5" Above Gr Min. 5' Height of Maturity
	CA 5	Pagoda Dogwood	Cornus Alternifolia	5 Gal. 36" @ Planting Min. 5' Height of Maturity
	DB 6	Carol Mackie Daphne	Daphne x Burkwoodii	1 Gal. 18" @ Planting
	SC 6	Sweet Box	Sarcococca Confusa	1 Gal. 18" @ Planting
	LN 6	Golden Boxleaf Honeysuckle	Lonicera Nitida 'Baggesen's Gold'	1 Gal. 18" @ Planting
	EF 11	Winter Creeper	Eunomymus Fortunei	1 Gal. 18" @ Planting



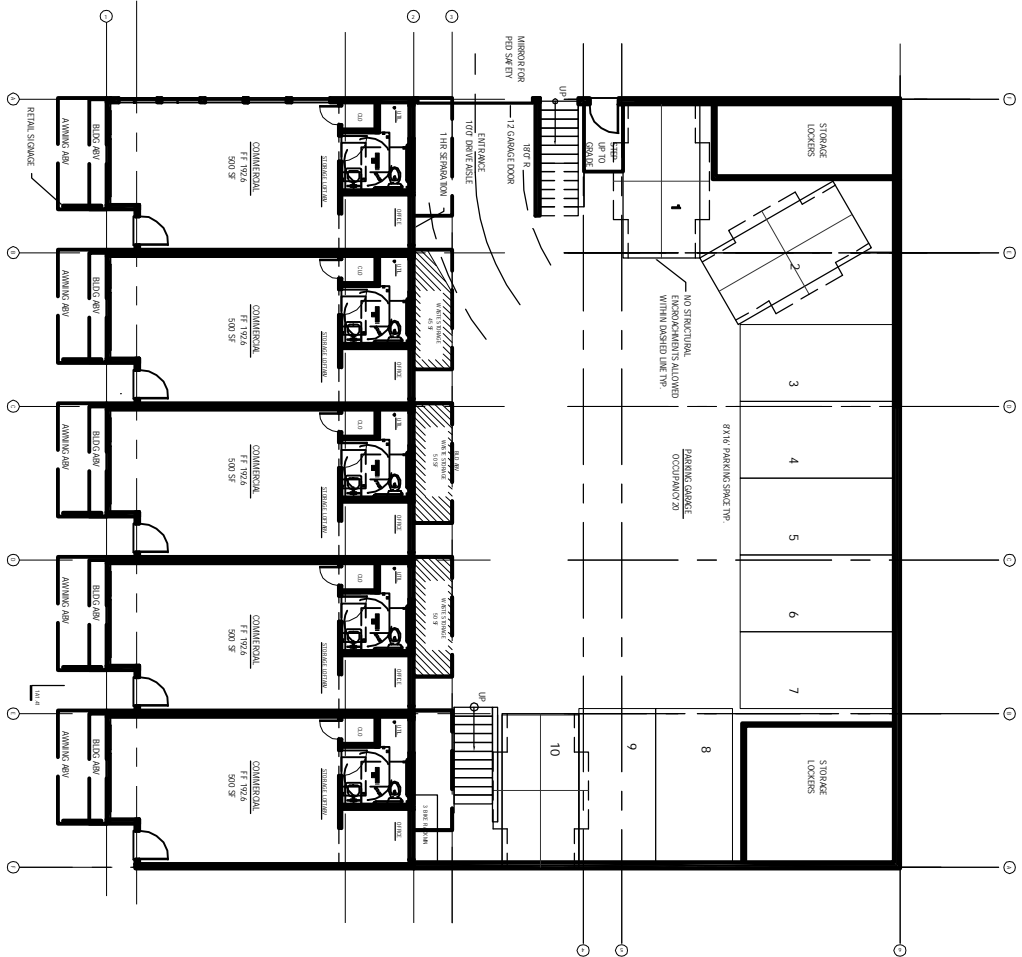
BUILDING LIGHTING SCHEDULE

RECESSED LOW MOUNT FLOOD - LITHONIA  
OUTDDOOR KL I A 120, 150 W MAX FLUSH MOUNT (OR  
APPROVED EQUAL)

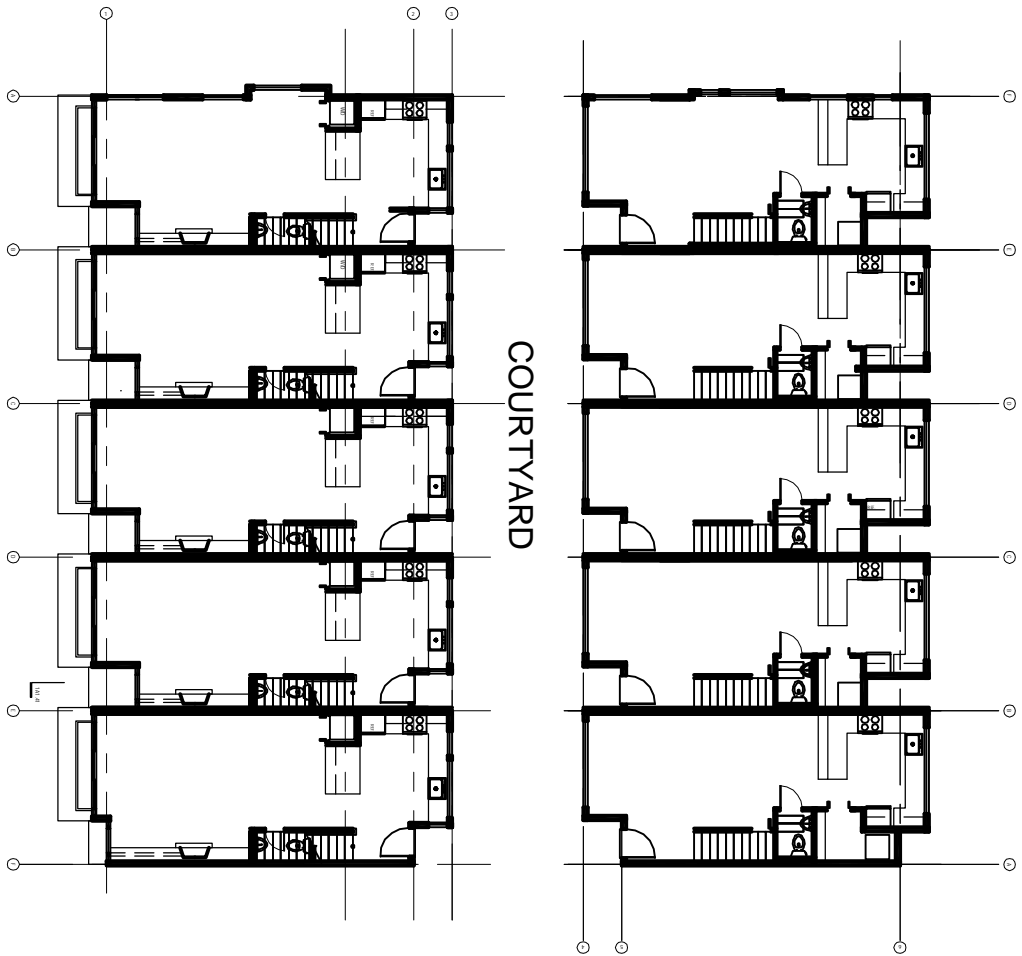
PORCH LIGHT - VAPOR TIGHT LIGHTS, WS105009, 70  
W FLOURESCENT CEILING MOUNT (OR APPROVED  
EQUAL)



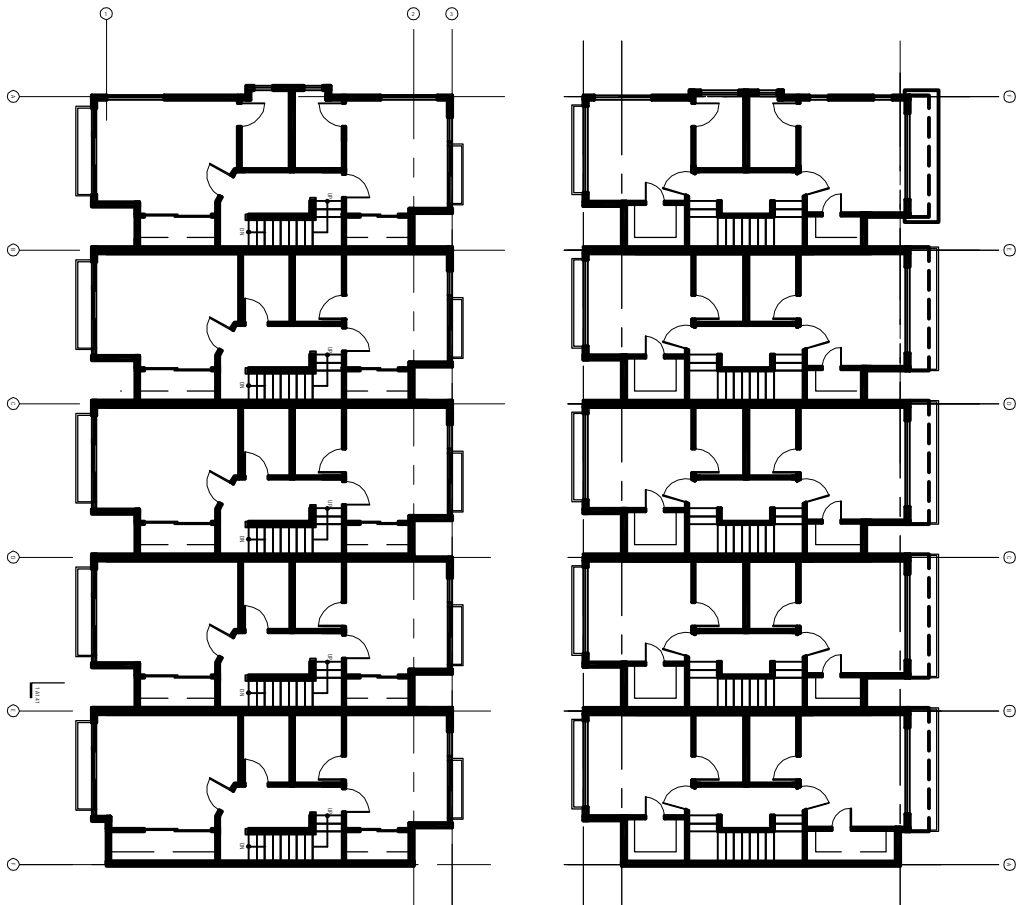
# preferred alternative - floor plans



FIRST FLOOR PLAN



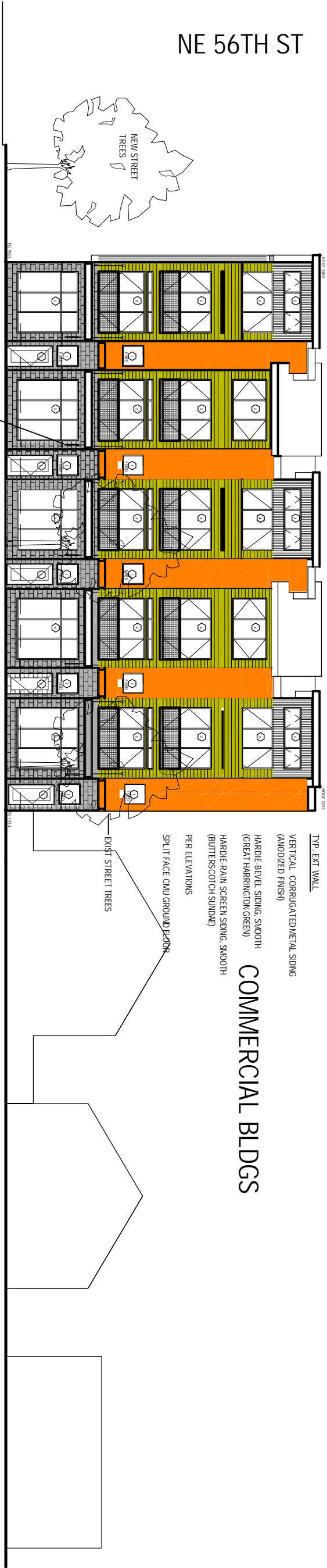
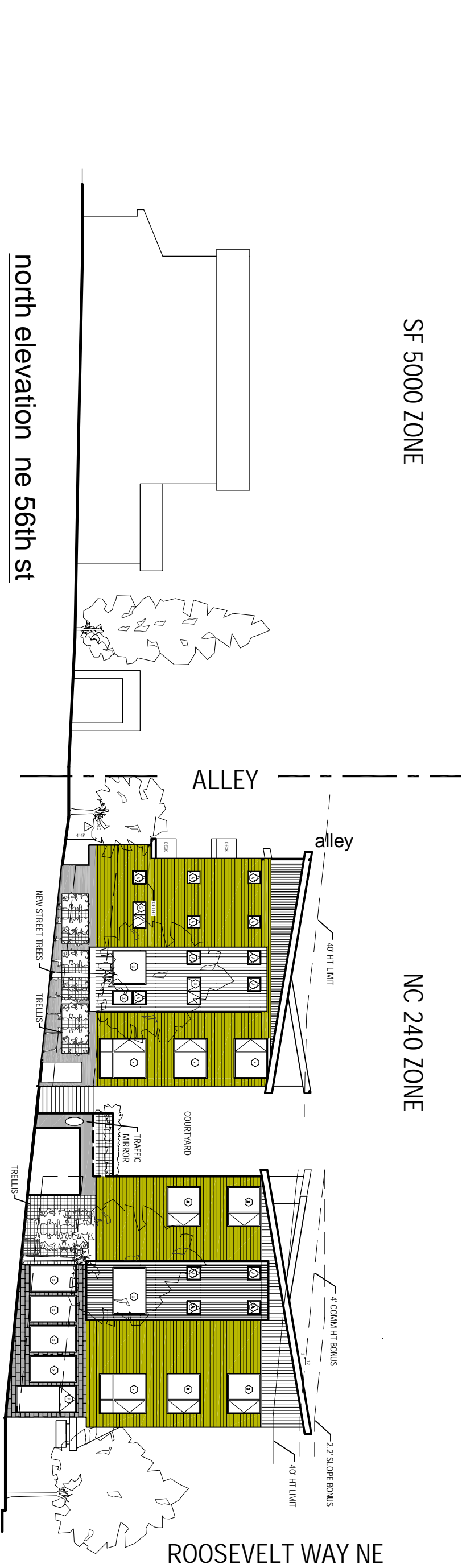
MAIN RESIDENTIAL LEVEL



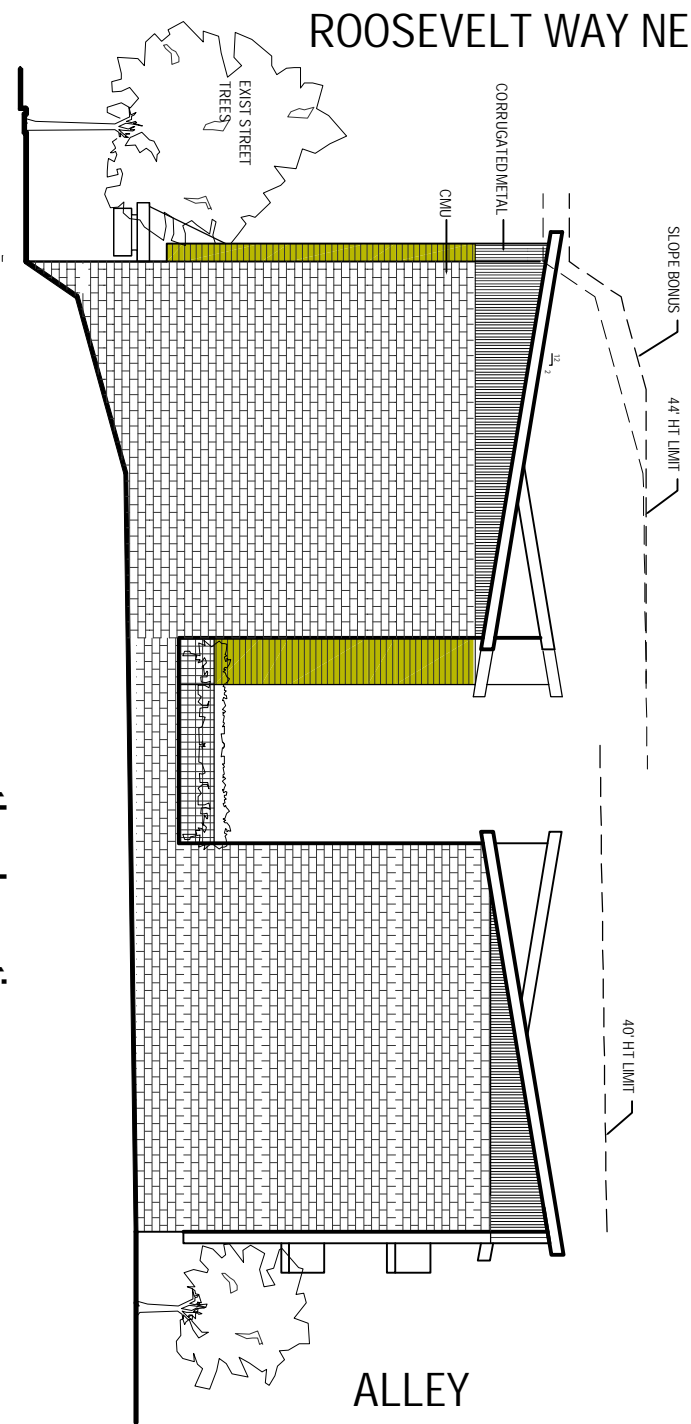
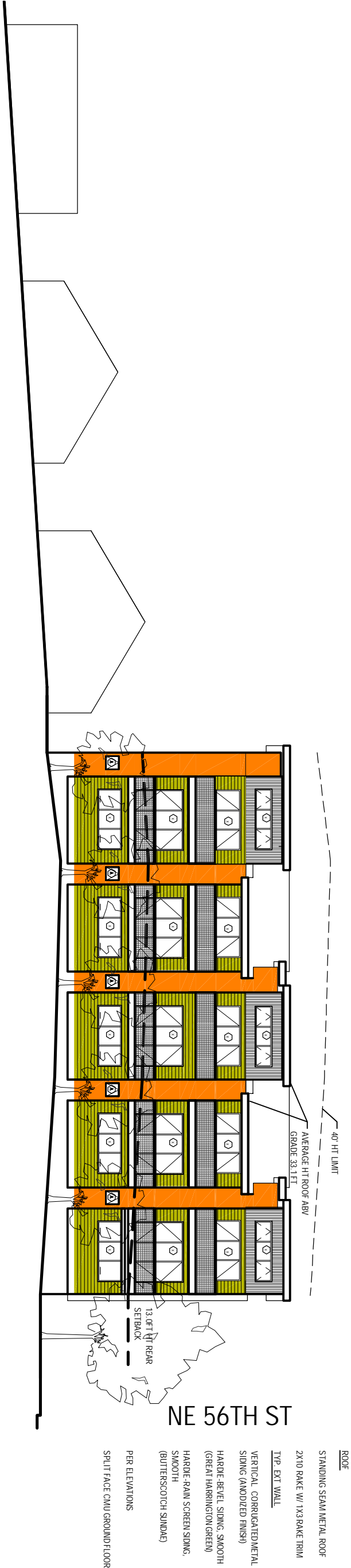
UPPER RESIDENTIAL LEVELS



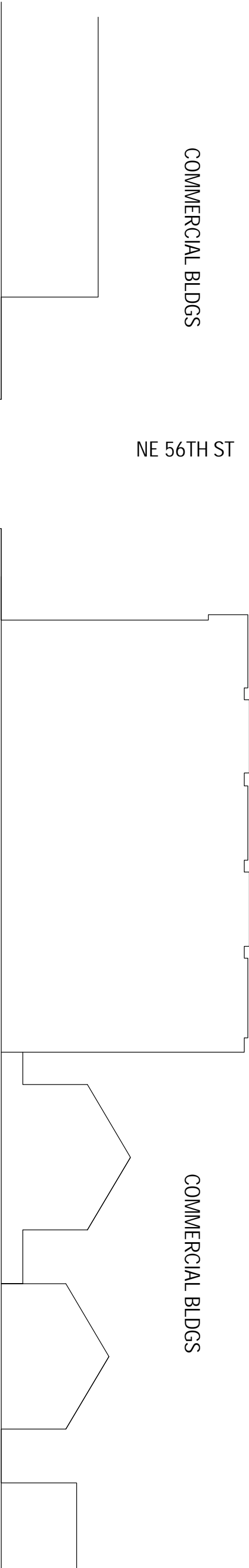
preferred alternative - elevations



west elevation roosevelty way ne



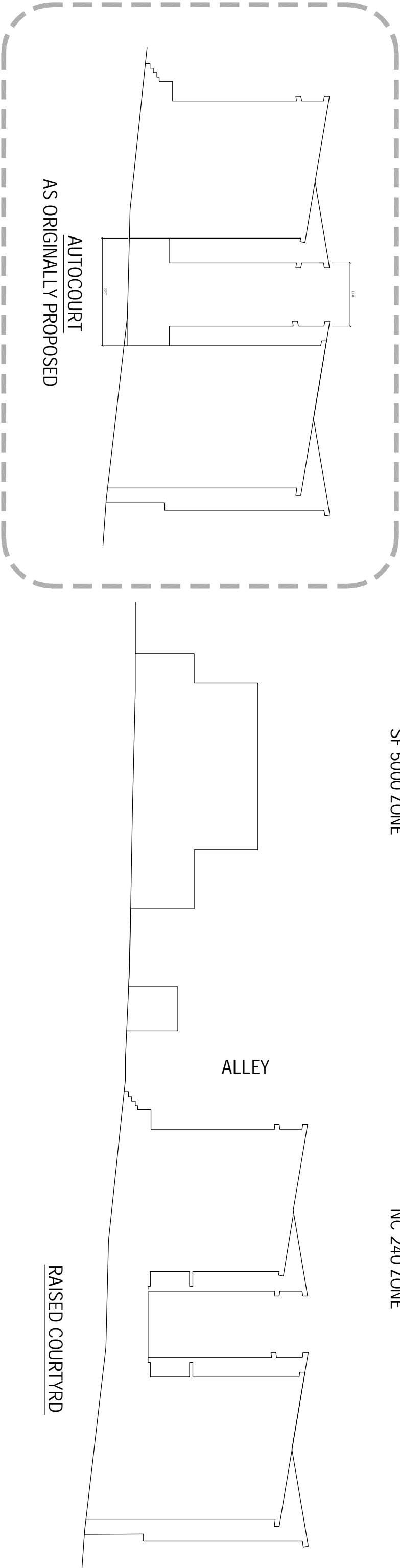




section along roosevelt way ne

SF 5000 ZONE

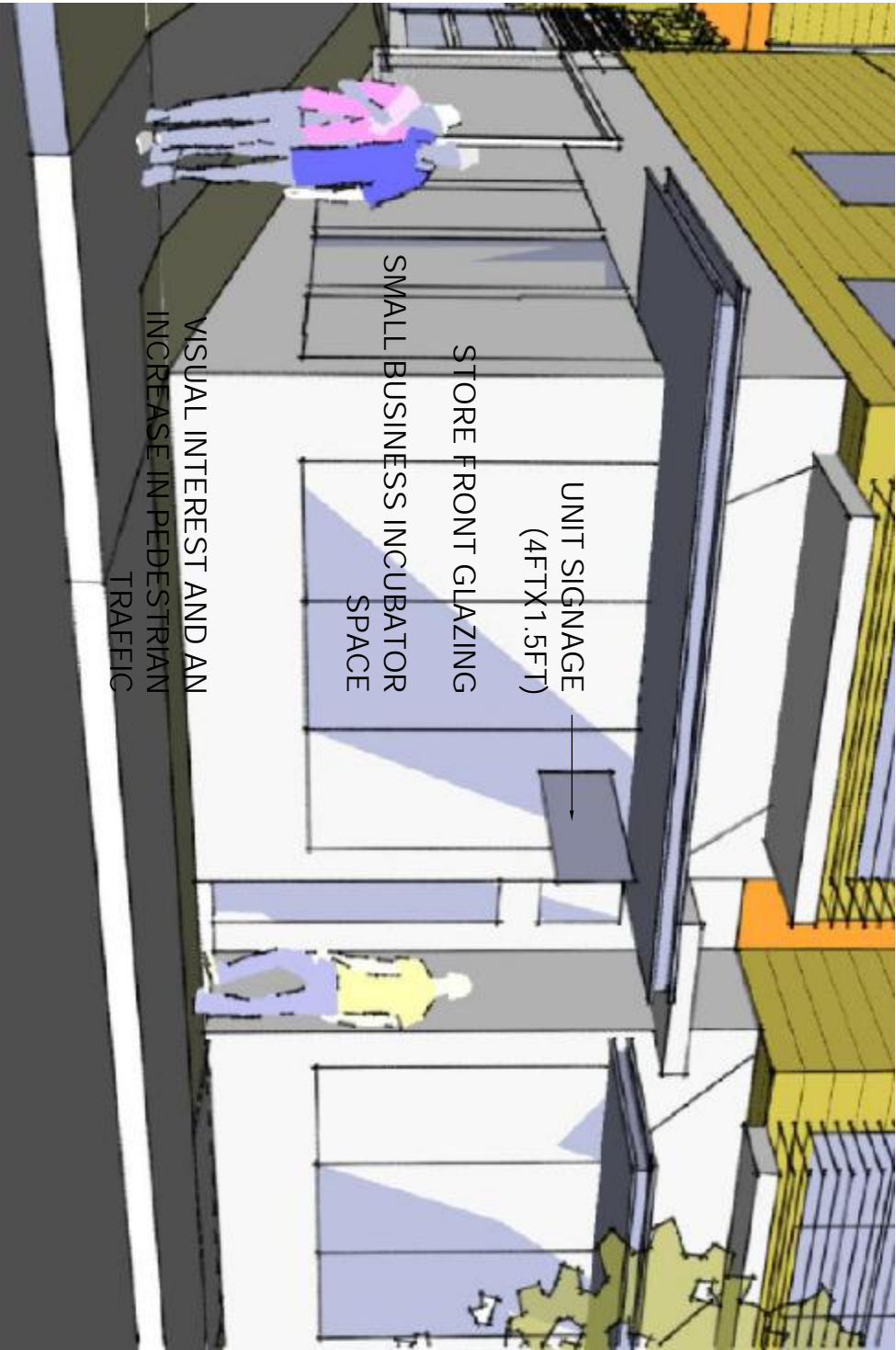
NC 240 ZONE



AUTOCOURT  
AS ORIGINALLY PROPOSED

RAISED COURTYRD

section along ne 56th st



**CORNER AXON VIEW**

LOOKING SW FROM ALLEY + NE 56TH ST



**AXON VIEW**

LOOKING SE FROM ROOSEVELT WAY NE



COLOR AND AWNING USED TO  
DISTINGUISH ENTRANCES TO  
INDIVIDUAL UNITS



BRIGHT COLORRS AND  
TEXTURES  
COURTYARD SENSE OF  
COMMUNITY

WWF TRELLIS WITH  
PLANTINGS  
NEW STREET TREES



GLASS GARAGE DOOR

**COURTYARD VIEW**  
LOOKING SOUTH

**AXON VIEW**  
GARAGE AND RESIDENTIAL ENTRANCE



MODULATION AND TEXTURE TO BREAK  
DOWN SCALE, CREATE DISTINCTION  
BETWEEN INDIVIDUAL RESIDENCES.

DECKS ON ALLEY INCREASE  
VISUAL CONTINUITY AND  
SAFETY



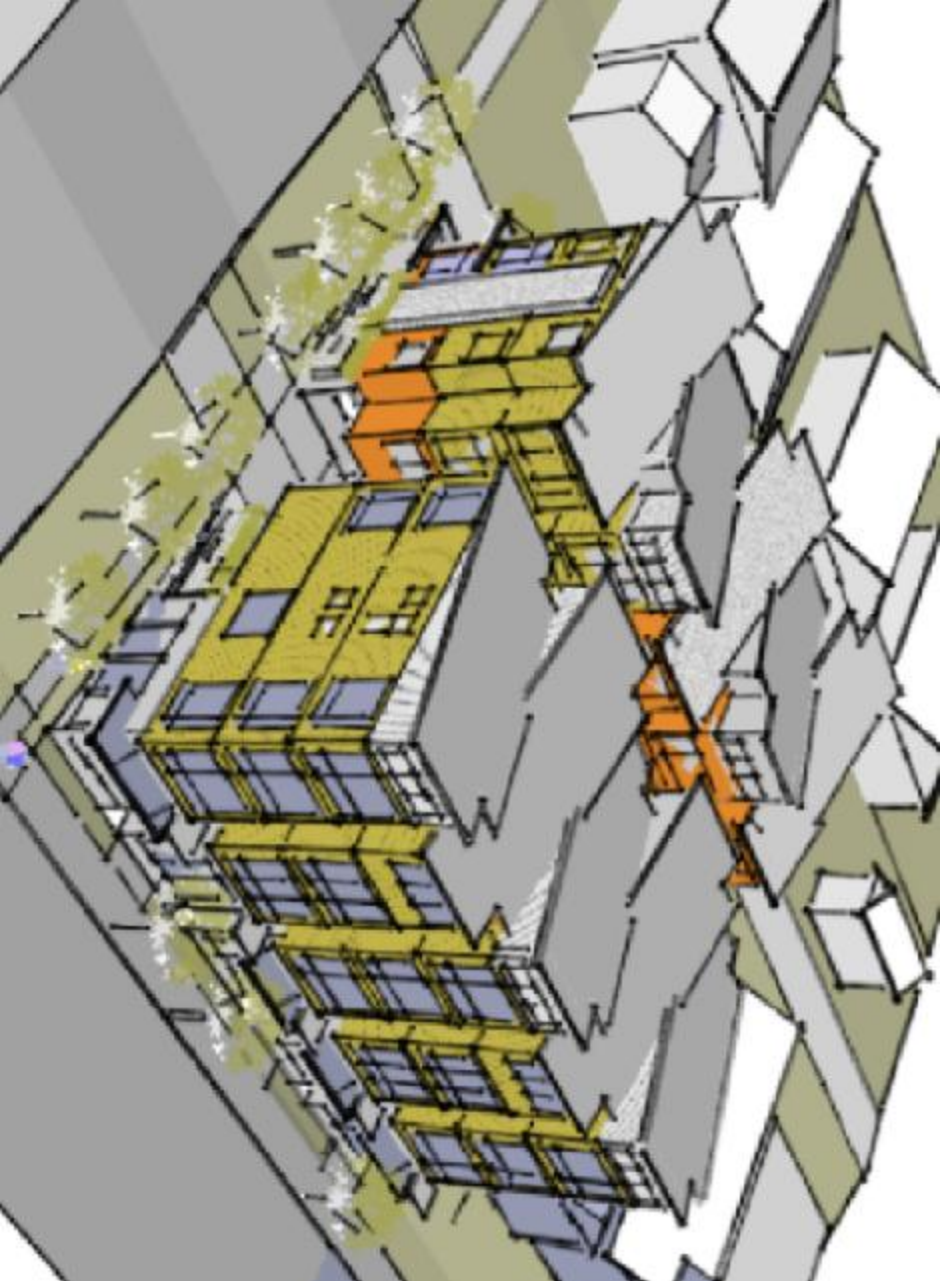
MODULATION OF ROOF TO BREAK DOWN  
SCALE ADJACENT TO RESIDENTIAL ZONE

NEW PLANTING TO IMPROVE  
APPEARANCE OF ALLEY

ALLEY VIEW

looking south

RESIDENTIAL BUILDING ADJACENT  
TO RESIDENTIAL ZONE



ROOF MODULATION TO BREAK  
DOWN SCALE

STREET LEVEL RETAIL

AXON VIEW

aerial

