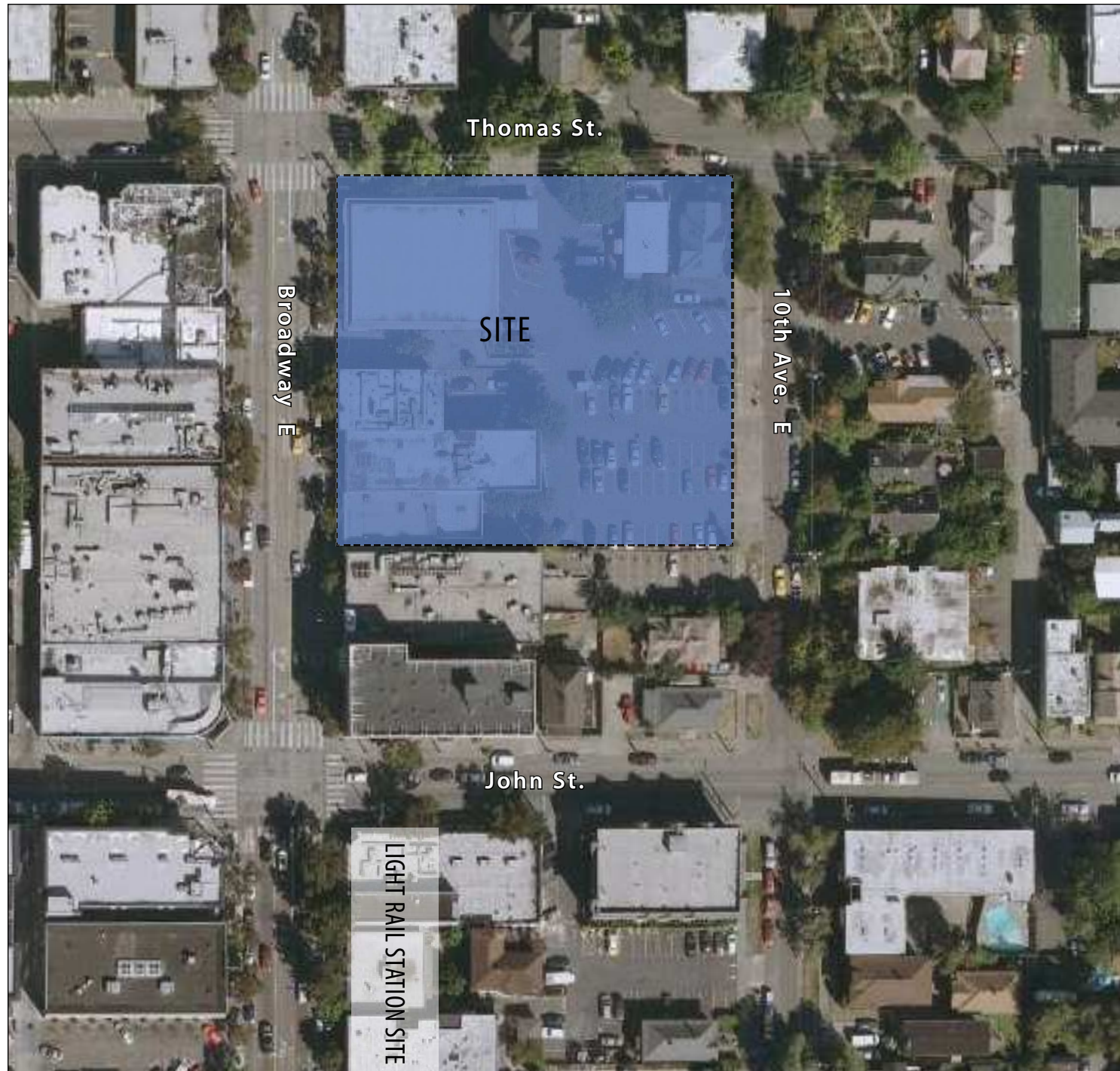


Design Review #2 - Recommendation  
DPD Project 3009249  
Meeting Date 6/16/10



Table of Contents:

2	Development Objectives / Zoning Criteria
3	Summary of Previous Board Guidance
4-5	North Elevation (E Thomas St)
6-7	South Elevation
8-9	Streetscape: Broadway Storefronts & Canopies
10-13	Streetscape: Broadway Vignettes
14-15	Streetscape: First Security Bank Facade
17	Broadway Balconies
18-20	Departure Request
21	Sidewalk Alignment



R.D. MERRILL COMPANY

Owner:  
SRM Development, RDMSRMB230  
520 Sixth Street S, Suite A  
Kirkland, WA 98033

Contact:  
Andy Loos  
andy@srmdevelopment.com



Architect:  
Runberg Architecture Group, PLLC  
One Yesler Way, Suite 200  
Seattle, WA 98104

Contact:  
Michele Wang  
michelew@runberg.com



Landscape Architect:  
The Berger Partnership PS  
1721 8th Avenue N  
Seattle, WA 98109

Contact:  
Jason Henry  
jasonh@bergerpartnership.com

# DEVELOPMENT OBJECTIVES

## 1.0 PROJECT DATA

1.1 Location: intersection of Broadway and Thomas, SE corner  
 1.2 Site Area: 30,722 approx. in NC3P-65'  
 30,730 approx. in NC3-40'  
 1.3 Zone: Station Area Overlay District  
 Capitol Hill Urban Center Village  
 1.4 Building Code: Seattle Amendments to the 2006 International Bldg. Code (IBC)  
 1.5 Proposed Use: Mixed Use

## 1.7 Occupancy Classification / Separations

Commercial	M	M	R-2	S-2
Residential	R-2	1	1	1
Parking	S-2	1	2	2

## 1.8 Gross Floor Area:

Flr. Lev.	PKG (gsf)	CIRC	LOBBY/STOR/MECH	COMMER. (gsf)	exterior balcony	common amenity	RESID. (gsf)	TOTAL (gsf)	roof ctyds
Level P3	25,172	758	1,646					27,576	
Level P2	47,322	1,107	2,656					51,085	
Level P1	34,180	1,200	2,005	6,200		4,605	2,900	51,090	
Level 1		4,425	720	17,333	713	1,035	13,455	37,681	8690
Level 2		3,660	950		343	422	22,640	28,015	
Level 3		4,875	1,125		343		37,792	44,010	
Level 4		4,875	1,125		343		37,792	44,010	
Level 5		2,477	754				19,469	22,700	
Level 6		2,477	754				19,469	22,700	
Level 7		2,477	754				19,469	22,700	
Roof		428	108					536	8342
<b>Subtotal</b>	<b>106,674</b>	<b>28,759</b>	<b>12,597</b>	<b>23,533</b>	<b>1,742</b>	<b>6,062</b>	<b>172,986</b>	<b>352,103</b>	<b>17,032</b>

average 172,986 / 234 = 739 gsf per unit average

## 2.0 ZONING DATA

2.1 Use: SMC 23.47A.004  
 Residential Permitted  
 General Sales/Svc Permitted  
 Restaurant Permitted  
 Offices Permitted

## 2.2 Street Development Standards:

SMC 23.47A.005  
 Street Level Uses: max. resid. use 20% along Pedestrian Street or facing arterial (Broadway) 0'  
 max. resid. use 20% along Thomas in the P zone 25'  
 no limit for resid. use along 10th Ave (not P zone, not arterial) 178' 19% OK

SMC 23.47A.008.A.2  
 Blank facades permitted: no segment longer than 20 ft REFER TO DIAGRAMS ON T0.2  
 total blank facade < 40%

SMC 23.47A.008.A.3  
 Setbacks: Street-level facades must be within 10 ft of lot line unless wider sidewalks, plazas, or other approved landscaping or open space is provided.

SMC 23.47A.008.B.2  
 Transparency required: 60% REFER TO DIAGRAMS ON T0.2

SMC 23.47A.008.B.3  
 Depth of nonres.: average 30 ft, minimum 15 ft REFER TO PLANS  
 Height of nonres.: 13 ft floor-to-floor REFER TO SECTIONS

## 2.3 Outdoor Activities:

SMC 23.47A.011.D, E  
 Outdoor storage prohibited  
 Outdoor sales/service of food or beverages prohibited within 50 ft of residentially-zoned lot

## 2.4 Structure Height:

WEST PORTION  
 Max. Allowed: SMC 23.47A.012 A 40' height of underlying zone  
 Residential Bonus: SMC 23.47A.012 A.2 25'  
 Slope Bonus: SMC 23.47A.012 B 0.5' (slope bonus)  
 Rooftop features: SMC 23.47A.012.D.2 65.5' 4'

EAST PORTION  
 Max. Allowed: SMC 23.47A.012 A 44.5' height of underlying zone w/ commer.  
 Slope Bonus: SMC 23.47A.012 B 0.5' (slope bonus)  
 Rooftop features: SMC 23.47A.012.D.2 5'

## 2.5 Floor Area Ratio

SMC 23.47A.013.B no density limit for mixed-use per 23.47.009.A  
 WEST PORTION Allowed: 5.75  
 Lot Area: 30,722 SF  
 Floor Area (excluding below grade): 141,380  
 FAR provided: 4.60 compliant

EAST PORTION Allowed: 4  
 Lot Area: 30,730 SF  
 Floor Area (excluding below grade): 103,760  
 FAR provided: 3.38 compliant

## 2.7 Required Landscaping:

SMC 23.47A.016.A  
 Required: Seattle Green Factor 0.3  
 Required: street trees  
 Provided: Refer to Landscape Plans  
 Provided: Refer to Landscape Plans

## 2.8 Noise Generators:

When noise generators located outdoors (heat exchangers, refrigeration, etc.) acoustic report shall be provided describing measures to be taken so that noise complies with standards

2.9 Residential Amenity Area: SMC 23.47A.024.A  
 Required: 5% gross bldg. in resid. use: 5% of 207,383 = 10,369 sf  
 Provided: at grade 445 sf  
 at courtyard 8,690 sf  
 at roof deck 7,014 sf  
 16,149 sf

SMC 23.47A.024.B  
 Required: minimum dimension 10 ft, no area less than 250 ft

2.10 Solid Waste: SMC 23.47A.029  
 Required for residential use, > 100 units 200 sf + 270 sf = 470 sf  
 No dimension less than 6 ft  
 Required for commercial use 15,001 sf - 50,000 sf 175 sf  
 Provided (see sheet A1.3)

## 2.11 Parking Location / Access:

SMC 23.47A.032  
 Parking may not be located between structure and street lot line  
 Parking may not be located inside a structure adjacent to street-level street-facing facade

SMC 23.54.030.D.2  
 Driveway: For non-residential uses: driveways for one-way traffic 12-15 ft; two-way traffic 22-25 ft  
 Proposed driveway width =

SMC 23.54.030.F.2  
 Curb cuts: For non-residential uses: driveways for one-way traffic 12-15 ft; two-way traffic 22-25 ft  
 Proposed curb cut =

## 2.12 Required Parking:

SMC 23.54.015  
 No parking required in the Station Area Overlay District

Total Non-Residential Parking Requirement	0
Total Residential Parking Requirement	0



R.D. MERRILL COMPANY



The Berger Partnership PS  
 Landscape Architecture

At the previous Design Review Board meeting on 5/5/2010, the Board was generally supportive of the design. However, the Board requested that the Applicant study and re-present the following areas of design:

[from the Initial Design Recommendation notes]

## 1) North Elevation

The Board felt that the brick frame with offset bays was too much of a deviation from the vocabulary of the other portions of the building and suggested that the east portion of the north elevation be redesigned to reflect the organization of the east elevation.

## 2) South Elevation

The Board also discussed how the south elevation was too different and inconsistent from the other elevations, particularly the extensive use of white panels. The Board suggested that the south elevation be simplified and use more subdued, background colors. The Board recognized that the south elevation will not be seen very much once the properties to the south are redeveloped and suggested that the south elevation be designed as a “toned-down” version of the other elevations.

## 3) Storefronts on Broadway

The Board recommended that proposed retail canopies be more consistent and regular as the unifying element for the different retail storefronts. The Board encouraged a design that allows for individual tenants to select storefront systems, signage, and other commercial expression that gives variety to the streetscape. The Board also suggested that the existing First Security Bank facade be integrated into the Broadway Streetscape.

## 4) Balconies on Broadway

The Board also suggested that the balconies and gates used around the building were too generic and should be designed to become unique and varied elements on the facade. The design of these balconies should be inspired by the diversity and creative character of the Broadway community.

## 5) Residential Use on 10th Avenue E

The Board was generally supportive of the design strategies presented for the townhouse entries, but expressed concerns about the privacy and functionality of the spaces. The Board suggested that the design of the patios and the landscaping be further examined to ensure that the patios are useful spaces and that enough privacy is maintained between the street and the residential unit.

# ELEVATIONS: NORTH (E THOMAS ST) - PREVIOUS VERSION

## C-2

Strong, regular facade design with simplified material palette of brick and fibercement panel. Facade organization steps down in scale while maintaining organizational principles to maintain architectural consistency.

## C-3, D-1

Individual entries for small neighborhood-oriented office spaces are provided with entrance canopies and outdoor patio area so that business can spill out to the street.

## A-5

The centerline of 10th Avenue E, where it meets E Thomas St, aligns with the center bay of the lowrise building. This relationship is intentionally subtle to avoid conflicting with the expression of the corner.

## B-1

Masonry veneer steps down to provide a good transition to the less intensive zoning. Whereas the Broadway massing is simple, as the massing is reduced on Thomas, more modulation in the form of insets for decks and a recessed upper floor is provided.

## A-8

The garage entry is deliberately not included in the brick facade, but instead expressed in a recessed area between the two differently-scaled brick facades.

## E-2

The structure is set back from the property line by 7 feet, allowing for enhanced landscaping (plantings, hardscape, and street furniture).

## A-3

A secondary residential entrance is provided, which allows glimpses into the residential courtyard.

## D-10

Downlighting and building lighting are provided at the street level to promote night-time visual interest as well as a sense of security.



Revised:

White bays align with brick frame.







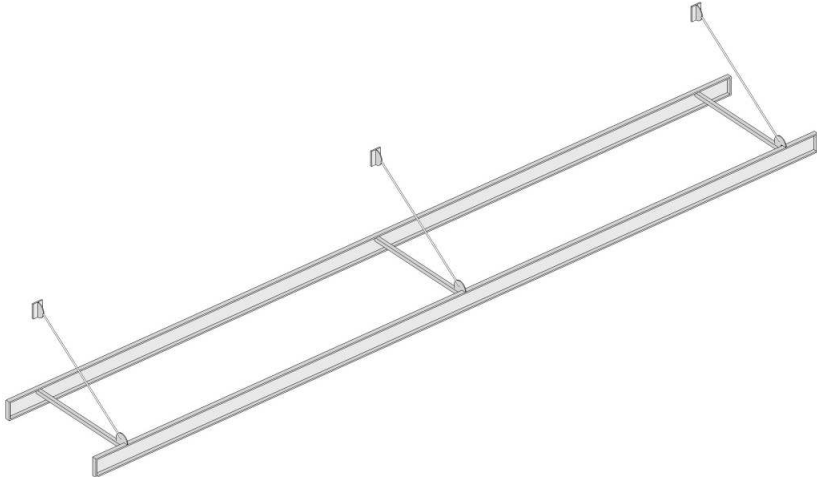
# STREETSCAPE: BROADWAY STOREFRONTS & CANOPIES





Design changes:

- consistent canopy "frame" provides datum for storefront
- storefronts, signage, lighting will be customized by each retail tenant
- storefronts encouraged to allow uses to spill out to street



Canopy Frame:

- "neutral design"
- infill, signage, color up to individual tenant

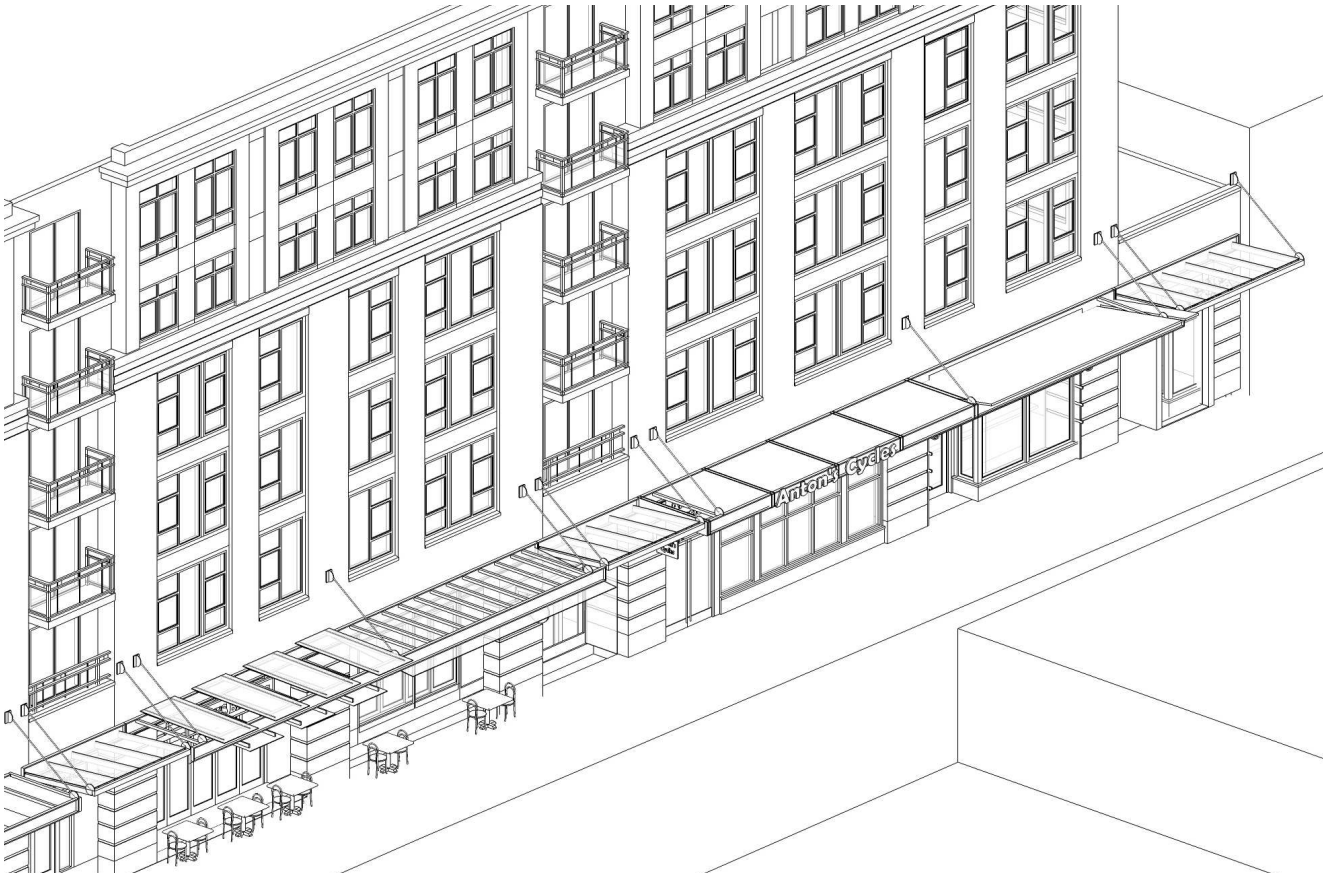


Illustration of possible customization



# STREETSCAPE: BROADWAY VIGNETTES



revised design



previous design



# STREETSCAPE: BROADWAY VIGNETTES



Illustration of potential for sidewalk cafe (unique floor paving, building is pulled back to allow for sidewalk seating)



Illustration of potential for retail space to spill out to street (building is pulled back, unique soffit, and customizable canopy infill materials)



Illustration of potential for retailers to customize piers that face the pedestrian, signage, and canopy.



Illustration of potential for retailers to define their own bay, canopy, lighting

# STREETSCAPE: FIRST SECURITY BANK FACADE



The entire lower portion of the original First Security Bank facade was removed in the 1980's.

The applicant feels that attempts to re-use the arch at any meaningful scale are too forced. The geometry and sizes do not work for the building.

Conversely, attempting to use smaller pieces of the arch or other portions of the facade was also unsuccessful, as the smaller pieces lack cohesion and fail to convey the intended historic memory.

## STUDIES (REJECTED)





The applicant's preferred solution is still to re-use the facade in the residential courtyard, where it will serve as an elegant focal point for the space and yet still be visible from the street.





**SRM** STONE  
RIVARD  
M cGONIGLE  
DEVELOPMENT, LLC

R.D. MERRILL COMPANY



The Berger Partnership PS  
Landscape Architecture

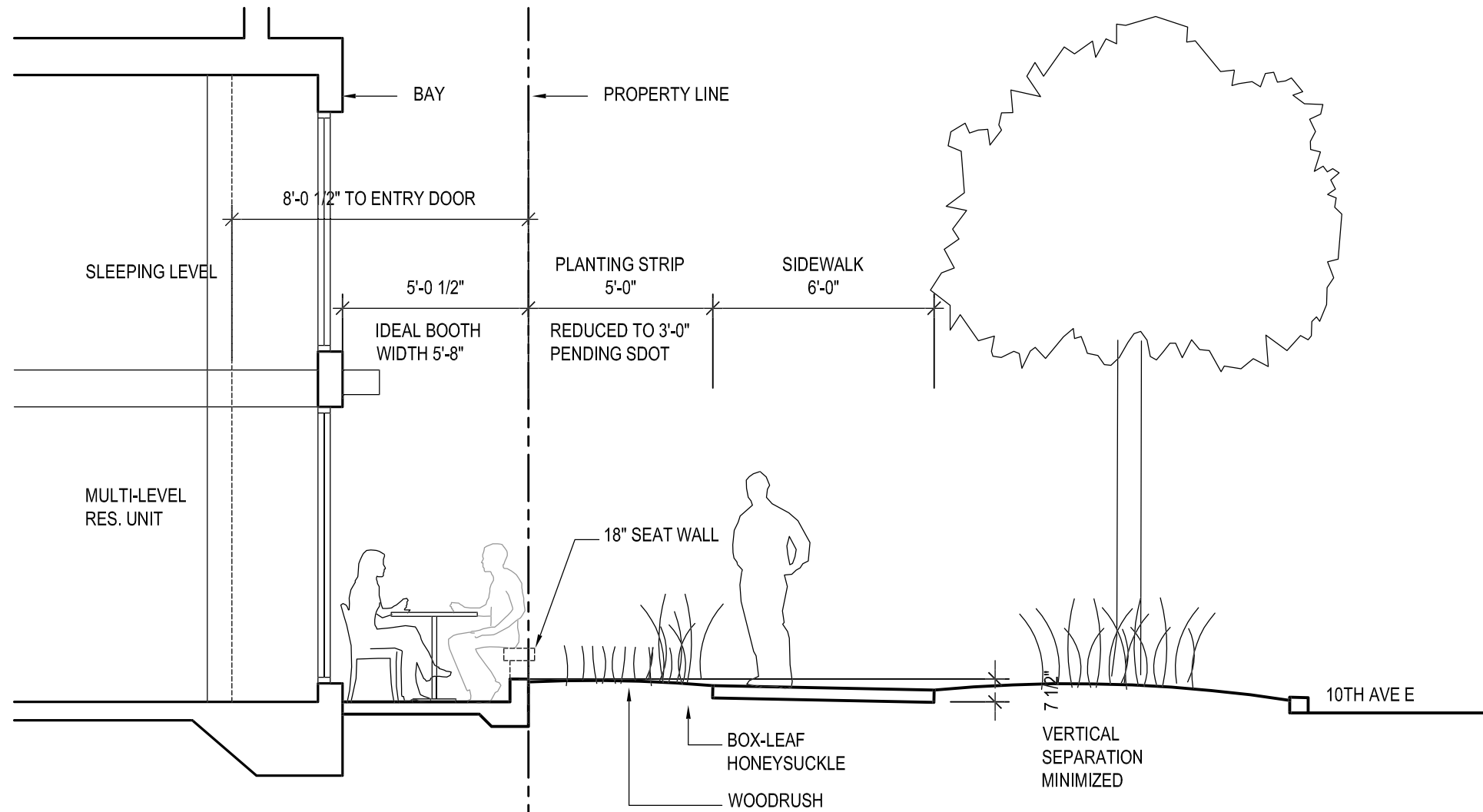


Proposed railing style on Broadway:

- consistent frame
- colorful squares within top railing area, in random order
- perforated metal panels or glass



# RESIDENTIAL USE AT 10TH AVE E REQUESTED DEPARTURE



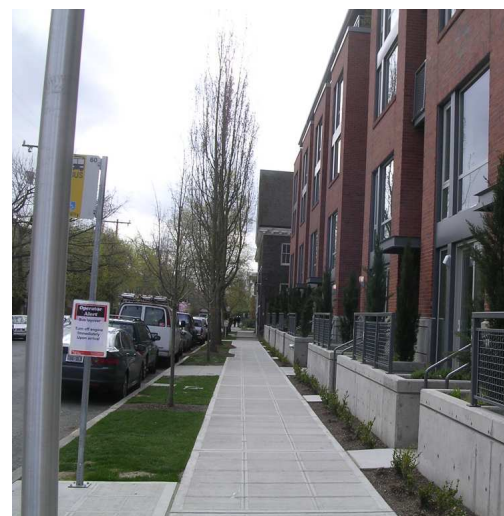
woodrush



box leaf honeysuckle



columnar yew



## Departure Request:

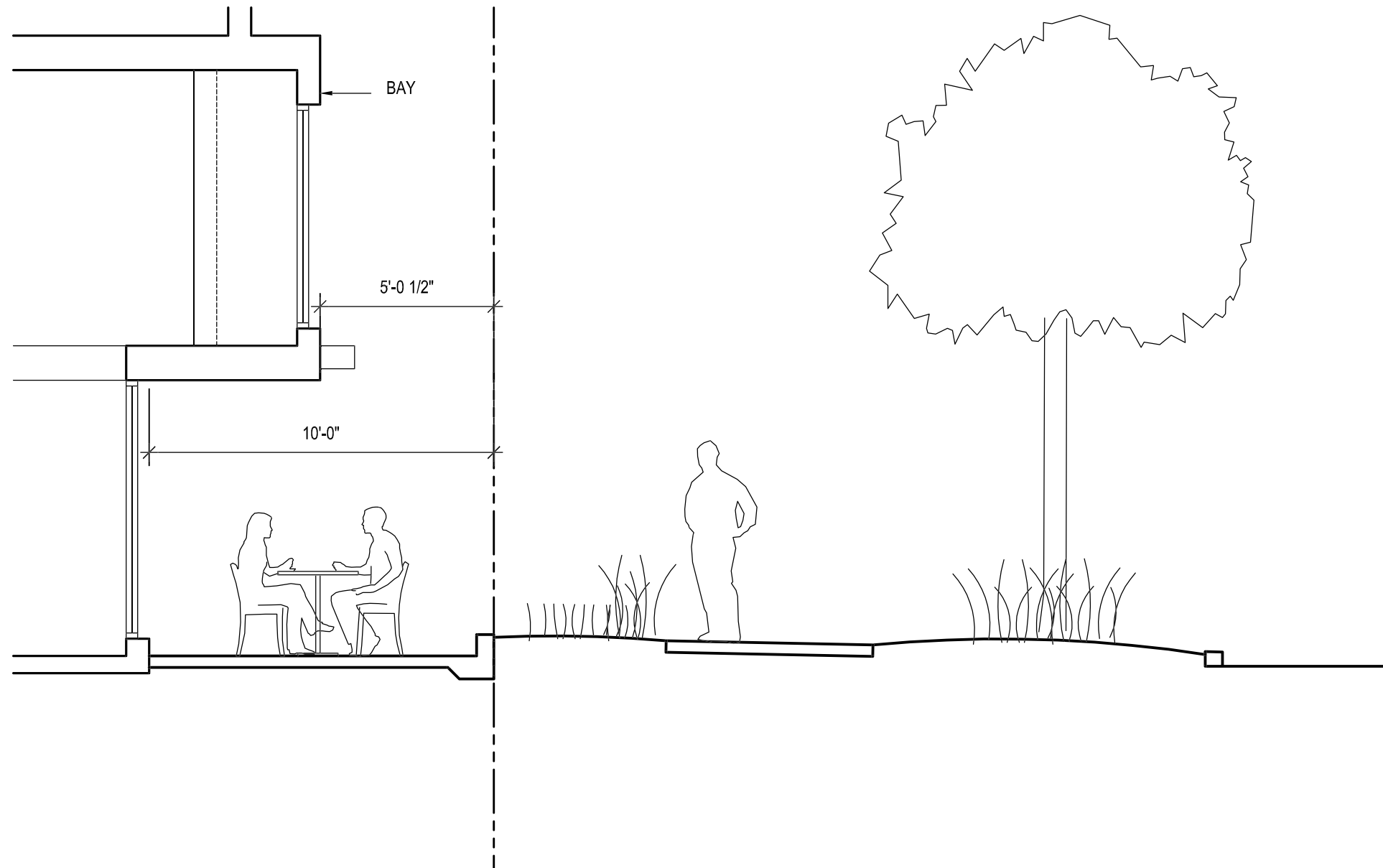
To allow residential uses along 10th Avenue E at street level to be set back 5 feet from the property line instead of 10 feet.

The Capitol Hill Neighborhood Plan and also the Sound Transit TOD Recommendations Report both encourage residential uses along 10th Avenue E. At EDG, these units were envisioned to be live/work and a voluntary setback was provided to allow the activity of the unit to spill out to the sidewalk. However, a departure is requested to preserve the flexibility for residential units instead of live/work.

The sidewalk zone along 10th Avenue E is extremely wide (20 feet total), and a 5 foot planter is proposed between the sidewalk and the property line. When combined with the requested 5 foot setback for the patios, an effective separation of 10 feet is achieved. The project proposes enhanced plantings in the ROW planters which will improve the pedestrian realm for all.

Residential units are two-story units, so resident privacy is protected by locating sleeping level at upper level.

**Neighborhood precedent:** Brix Condos provides 5 ft - 7 ft setback, with only a 1 - 2 ft planting strip between patio and sidewalk.

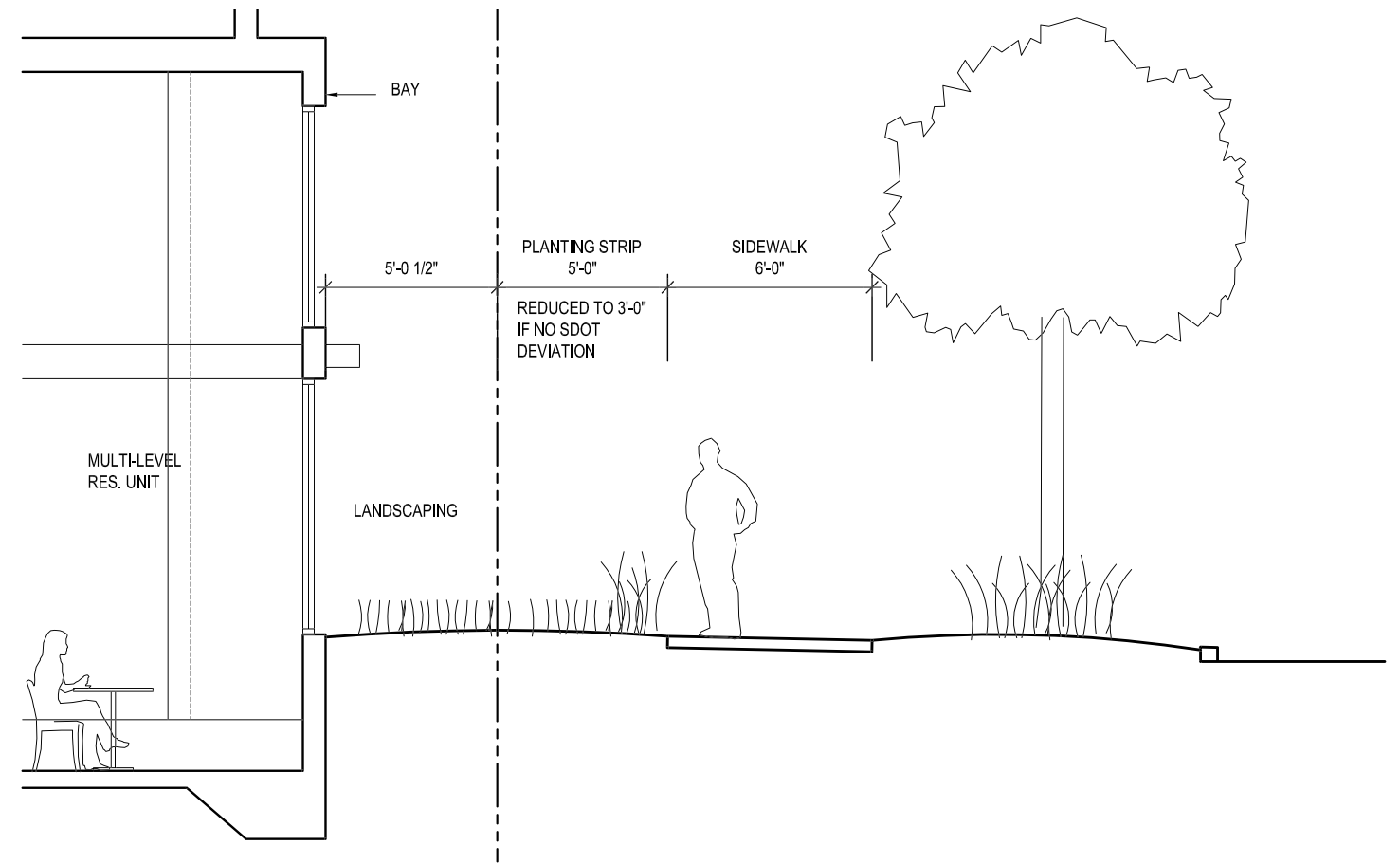
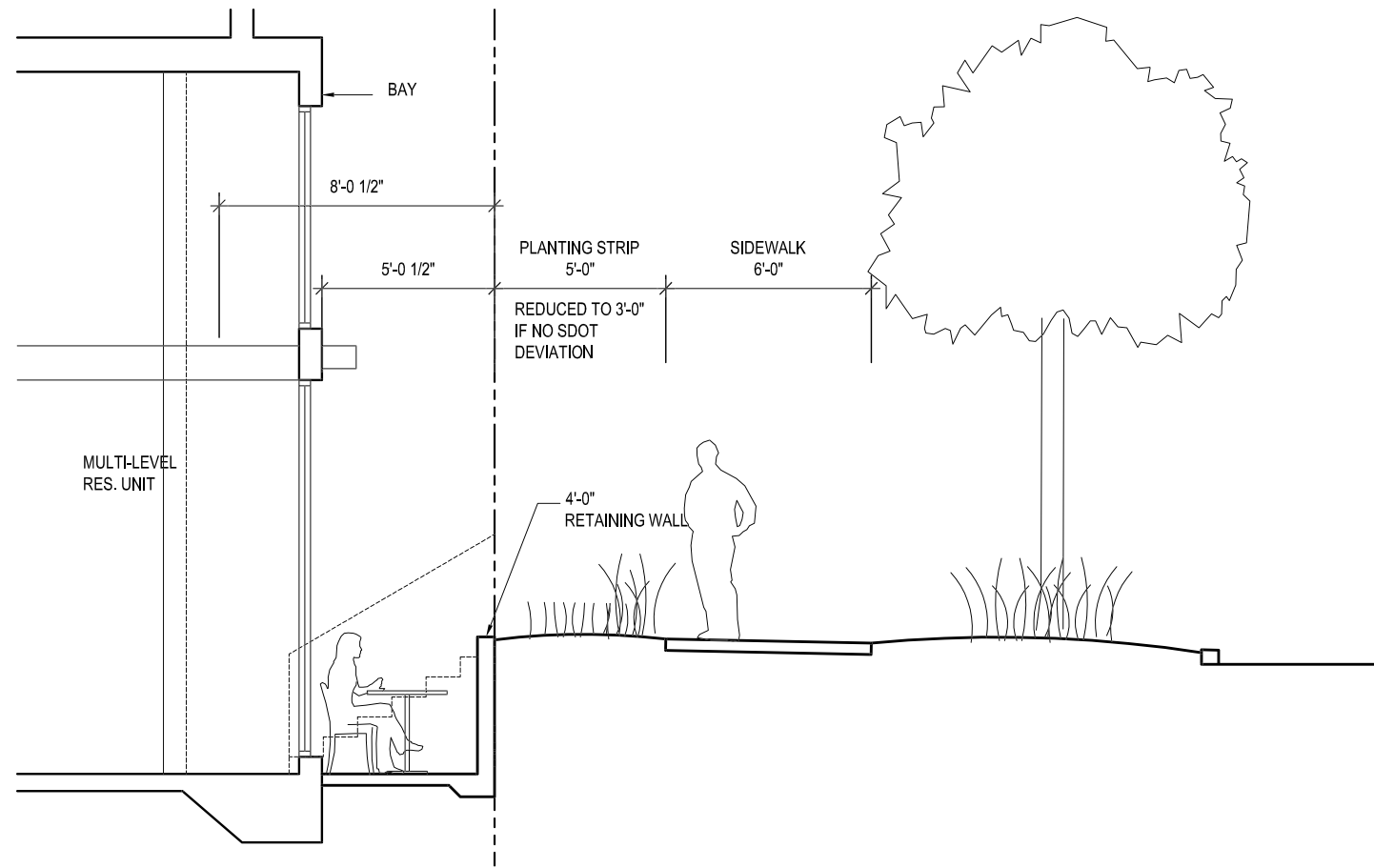


**Code compliant scheme:**

The two-story bays play an important role in breaking down the massing to a more residential scale on 10th Avenue E. In order to achieve the required street-level setback, the bays are shortened to one-story. This results in a dark uninviting space and the indoor living area is also made darker by the overhang. The bays also no longer ground the base, weakening its expression.



# RESIDENTIAL USE AT 10TH AVE E compliant



## Code compliant schemes:

Both these versions, although code-compliant, result in a street presence that is much less lively and active and are counter to the Neighborhood Plan and Guidelines.



SDOT Deviation Request

The Applicant would also request the Design Review Board's support of a request to re-align the sidewalk to allow a larger planting strip between the sidewalk and property line along 10th Avenue E.

Currently along 10th Avenue E, the sidewalk is located so as to provide: 2 foot planter, 6 foot sidewalk, and 12 foot planter at the curb.

The request is to provide a more balanced planter on either side of the sidewalk, a 5 foot planter, 6 foot sidewalk, and 9 foot planter at the curb. This will allow for more significant plantings between the sidewalk and property line, in better keeping with the neighborhood recommendation for residential character and street-oriented uses such as stoops and patios.

The sidewalk in front of the other properties on the block is likely to be replaced when those underutilized parcels are redeveloped in the near future. Re-aligning the sidewalk at this development site will create a desirable precedent for future development along 10th Avenue E, which should be developed as a green boulevard, as it provide a gateway directly to Cal Anderson Park.



sidewalk along adjacent properties to south

