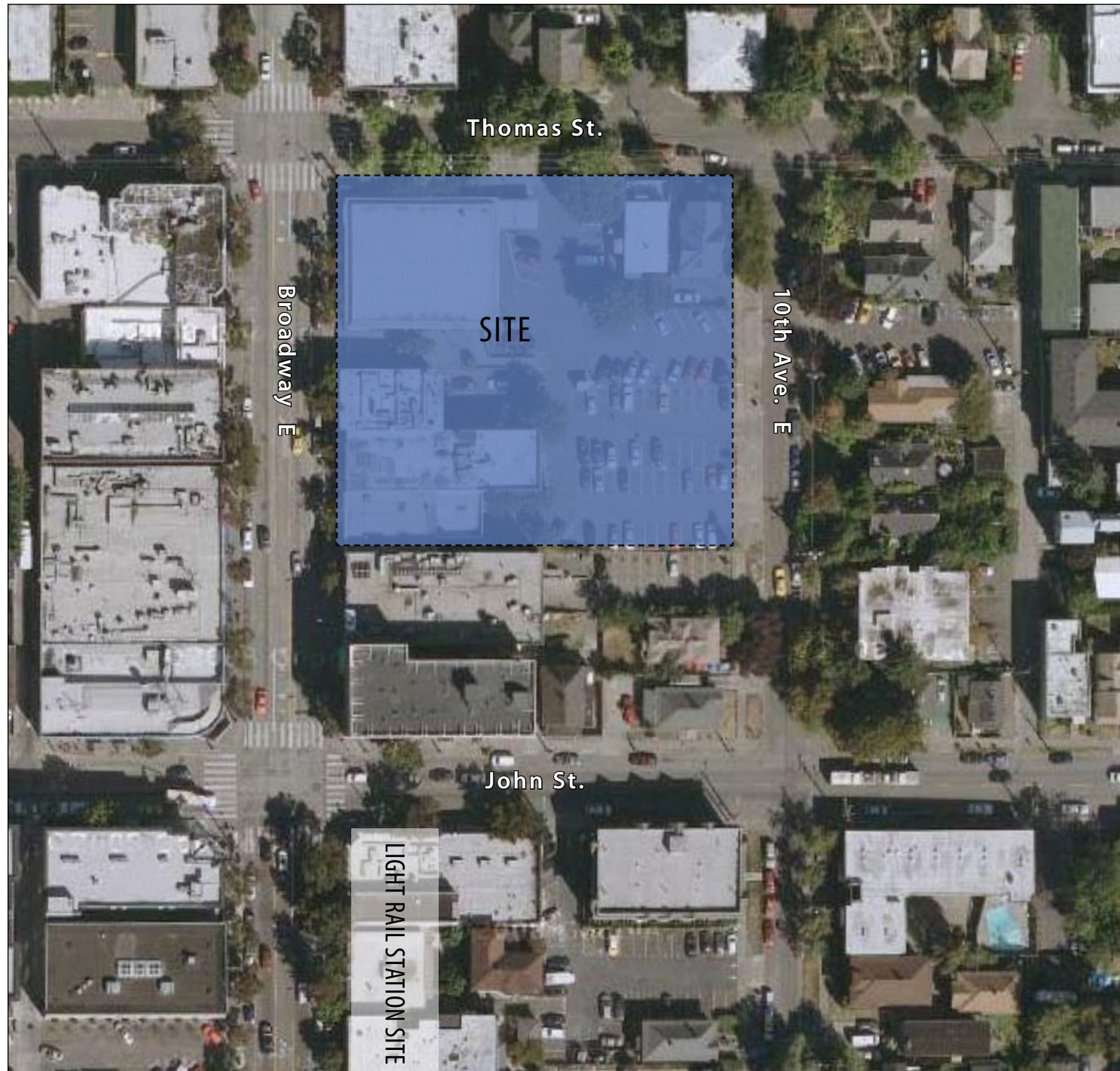


Design Review - Recommendation
DPD Project 3009249
Meeting Date 5/5/10



Table of Contents:

| | |
|-------|--|
| 2-3 | Development Objectives / Zoning Criteria |
| 4-7 | Site Photos |
| 8-9 | Early Design Guidance - Preferred Scheme |
| 10-15 | Summary of Early Design Guidance & Responses |
| 16 | Lighting Plan |
| 17 | Site Plan |
| 18-19 | West Elevation (Broadway) and Perspectives |
| 20-21 | North Elevation (E Thomas St) and Perspectives |
| 22-23 | East Elevation (10th Ave E) and Perspectives |
| 24 | South Elevation and Perspectives |
| 25 | Materials Board |
| 27 | Landscape Materials |
| 28-29 | Design Departure Requests |
| 30-35 | Building Plans |



R.D. MERRILL COMPANY

Owner:
SRM Development, RDMSRMB230
520 Sixth Street S, Suite A
Kirkland, WA 98033

Contact:
Andy Loos
andy@srmdevelopment.com



Architect:
Runberg Architecture Group, PLLC
One Yesler Way, Suite 200
Seattle, WA 98104

Contact:
Michele Wang
michelew@runberg.com



Landscape Architect:
The Berger Partnership PS
1721 8th Avenue N
Seattle, WA 98109

Contact:
Jason Henry
jasonh@bergerpartnership.com

DEVELOPMENT OBJECTIVES

1.0 PROJECT DATA

1.1 Location: intersection of Broadway and Thomas, SE corner
 1.2 Site Area: 30,722 approx. in NC3P-65'
 30,730 approx. in NC3-40'
 1.3 Zone: Station Area Overlay District
 Capitol Hill Urban Center Village
 Seattle Amendments to the 2006 International Bldg. Code (IBC)
 Mixed Use

1.4 Building Code:
 1.5 Proposed Use:
 1.7 Occupancy Classification / Separations
 Commercial
 Residential
 Parking

| | | |
|-----|-----|-----|
| M | R-2 | S-2 |
| M | 1 | 1 |
| R-2 | 1 | 2 |
| S-2 | 1 | 2 |

1.8 Gross Floor Area:

| Flr. Lev. | PKG (gsf) | CIRC | LOBBY/STOR/MECH | COMMER. (gsf) | exterior balcony | common amenity | RESID. (gsf) | TOTAL (gsf) | roof ctyds |
|-----------------|----------------|---------------|-----------------|---------------|------------------|----------------|----------------|----------------|---------------|
| Level P3 | 25,172 | 758 | 1,646 | | | | | 27,576 | |
| Level P2 | 47,322 | 1,107 | 2,656 | | | | | 51,085 | |
| Level P1 | 34,180 | 1,200 | 2,005 | 6,200 | | 4,605 | 2,900 | 51,090 | |
| Level 1 | | 4,425 | 720 | 17,333 | 713 | 1,035 | 13,455 | 37,681 | 8690 |
| Level 2 | | 3,660 | 950 | | 343 | 422 | 22,640 | 28,015 | |
| Level 3 | | 4,875 | 1,125 | | 343 | | 37,792 | 44,010 | |
| Level 4 | | 4,875 | 1,125 | | 343 | | 37,792 | 44,010 | |
| Level 5 | | 2,477 | 754 | | | | 19,469 | 22,700 | |
| Level 6 | | 2,477 | 754 | | | | 19,469 | 22,700 | |
| Level 7 | | 2,477 | 754 | | | | 19,469 | 22,700 | |
| Roof | | 428 | 108 | | | | | 536 | 8342 |
| Subtotal | 106,674 | 28,759 | 12,597 | 23,533 | 1,742 | 6,062 | 172,986 | 352,103 | 17,032 |

average 172,986 / 234 = 739 gsf per unit average

2.0 ZONING DATA

2.1 Use: SMC 23.47A.004
 Residential Permitted
 General Sales/Svc Permitted
 Restaurant Permitted
 Offices Permitted

2.2 Street Development Standards:

SMC 23.47A.005
 Street Level Uses: max. resid. use 20% along Pedestrian Street or facing arterial (Broadway) 0'
 max. resid. use 20% along Thomas in the P zone 25'
 no limit for resid. use along 10th Ave (not P zone, not arterial) 178' 19% OK

SMC 23.47A.008.A.2
 Blank facades permitted: no segment longer than 20 ft REFER TO DIAGRAMS ON T0.2
 total blank facade < 40%

SMC 23.47A.008.A.3
 Setbacks: Street-level facades must be within 10 ft of lot line unless wider sidewalks, plazas, or other approved landscaping or open space is provided.

SMC 23.47A.008.B.2
 Transparency required: 60% REFER TO DIAGRAMS ON T0.2

SMC 23.47A.008.B.3
 Depth of nonres.: average 30 ft, minimum 15 ft REFER TO PLANS
 Height of nonres.: 13 ft floor-to-floor REFER TO SECTIONS

2.3 Outdoor Activities:

SMC 23.47A.011.D, E
 Outdoor storage prohibited
 Outdoor sales/service of food or beverages prohibited within 50 ft of residentially-zoned lot

2.4 Structure Height:

WEST PORTION
 Max. Allowed: SMC 23.47A.012 A 40' height of underlying zone
 Residential Bonus: SMC 23.47A.012 A.2 25'
 Slope Bonus: SMC 23.47A.012 B 0.5' (slope bonus)
 Rooftop features: SMC 23.47A.012.D.2 65.5' 4'

EAST PORTION
 Max. Allowed: SMC 23.47A.012 A 44.5' height of underlying zone w/ commer.
 Slope Bonus: SMC 23.47A.012 B 0.5' (slope bonus)
 Rooftop features: SMC 23.47A.012.D.2 5'

2.5 Floor Area Ratio

SMC 23.47A.013.B no density limit for mixed-use per 23.47.009.A
 WEST PORTION Allowed: 5.75
 Lot Area: 30,722 SF
 Floor Area (excluding below grade): 141,380
 FAR provided: 4.60 compliant

EAST PORTION Allowed: 4
 Lot Area: 30,730 SF
 Floor Area (excluding below grade): 103,760
 FAR provided: 3.38 compliant

2.7 Required Landscaping:

SMC 23.47A.016.A
 Required: Seattle Green Factor 0.3
 Required: street trees
 Provided: Refer to Landscape Plans
 Provided: Refer to Landscape Plans

2.8 Noise Generators:

When noise generators located outdoors (heat exchangers, refrigeration, etc.) acoustic report shall be provided describing measures to be taken so that noise complies with standards

2.9 Residential Amenity Area: SMC 23.47A.024.A
 Required: 5% gross bldg. in resid. use: 5% of 207,383 = 10,369 sf
 Provided: at grade 445 sf
 at courtyard 8,690 sf
 at roof deck 7,014 sf
 16,149 sf

SMC 23.47A.024.B
 Required: minimum dimension 10 ft, no area less than 250 ft

2.10 Solid Waste: SMC 23.47A.029
 Required for residential use, > 100 units 200 sf + 270 sf = 470 sf
 No dimension less than 6 ft
 Required for commercial use 15,001 sf - 50,000 sf 175 sf
 Provided (see sheet A1.3)

2.11 Parking Location / Access:

SMC 23.47A.032
 Parking may not be located between structure and street lot line
 Parking may not be located inside a structure adjacent to street-level street-facing facade

SMC 23.54.030.D.2
 Driveway: For non-residential uses: driveways for one-way traffic 12-15 ft; two-way traffic 22-25 ft
 Proposed driveway width =

SMC 23.54.030.F.2
 Curb cuts: For non-residential uses: driveways for one-way traffic 12-15 ft; two-way traffic 22-25 ft
 Proposed curb cut =

2.12 Required Parking:

SMC 23.54.015
 No parking required in the Station Area Overlay District

| | |
|---|---|
| Total Non-Residential Parking Requirement | 0 |
| Total Residential Parking Requirement | 0 |

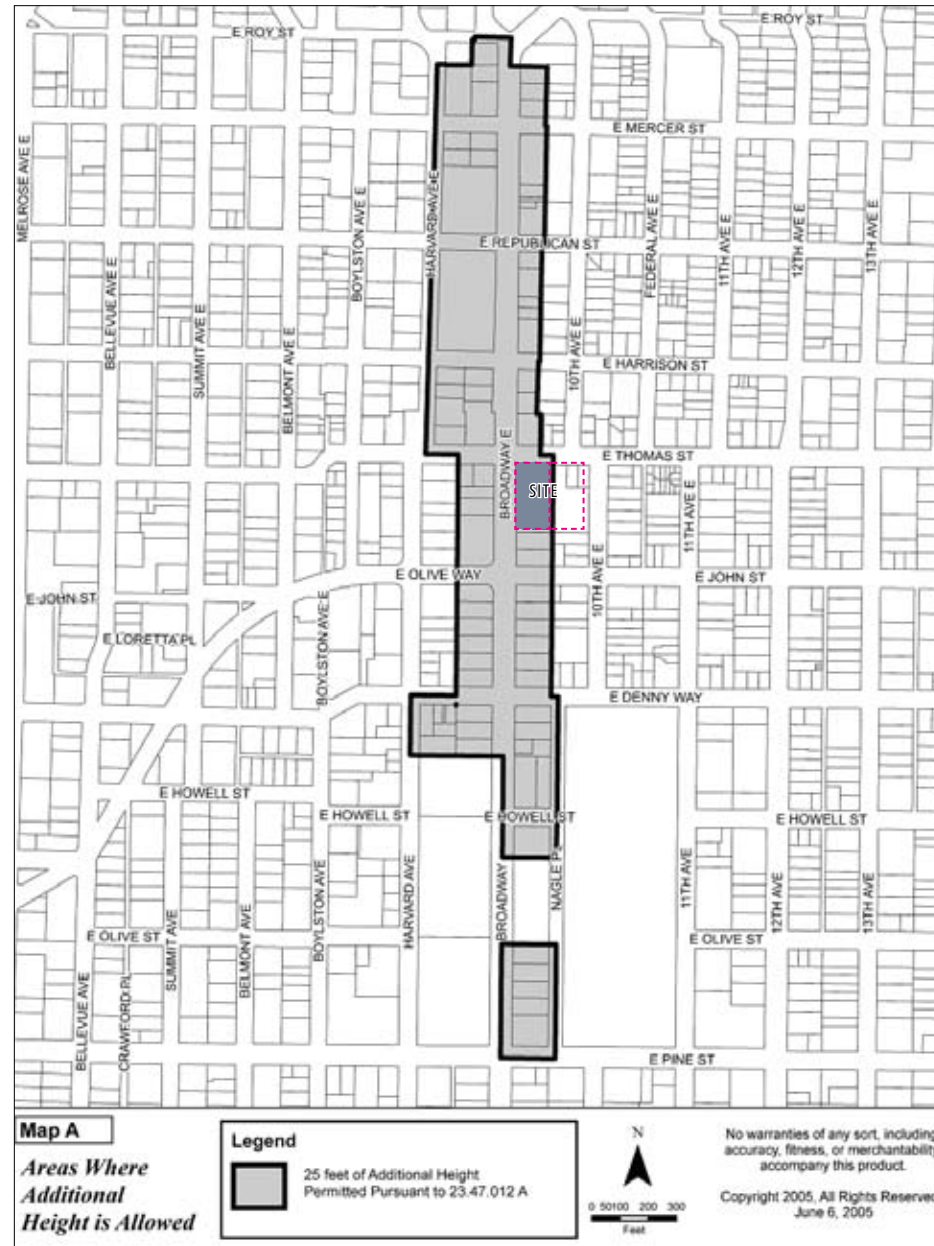


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The Berger Partnership PS
 Landscape Architecture

Zoning Map: Allowable Additional Height



Zoning Map



- Mid Rise
- Low Rise
- Neighborhood Commercial
- Pedestrian Areas

SITE: NC3P - 40' falls within additional height zone

URBAN DESIGN ANALYSIS

Ⓐ



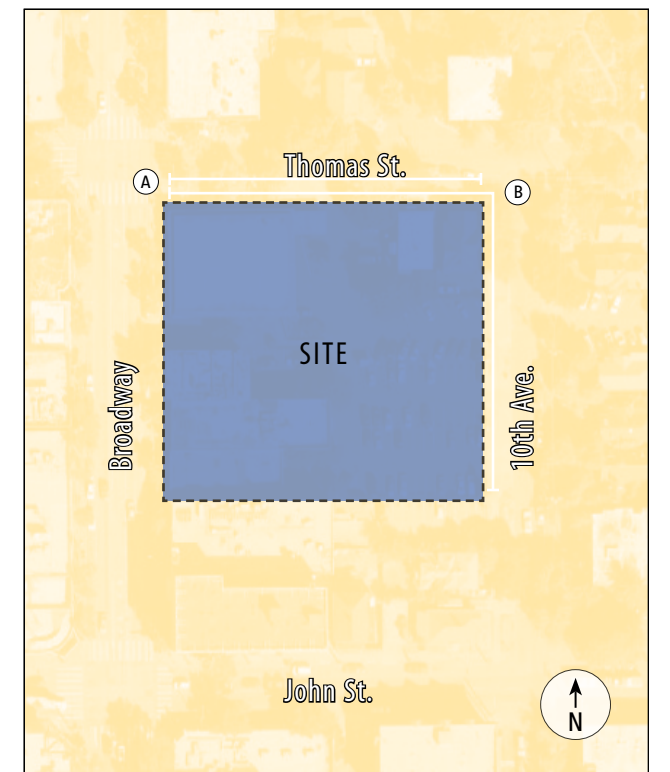
North Elevation

Thomas St. Between 10th Ave. & Broadway



Intersection of Thomas and 10th Ave.

Key Plan



SRM STONE RIVARD MCGONIGLE
DEVELOPMENT, LLC

R.D. MERRILL COMPANY



The Berger Partnership PS
Landscape Architecture

PROJECT SITE

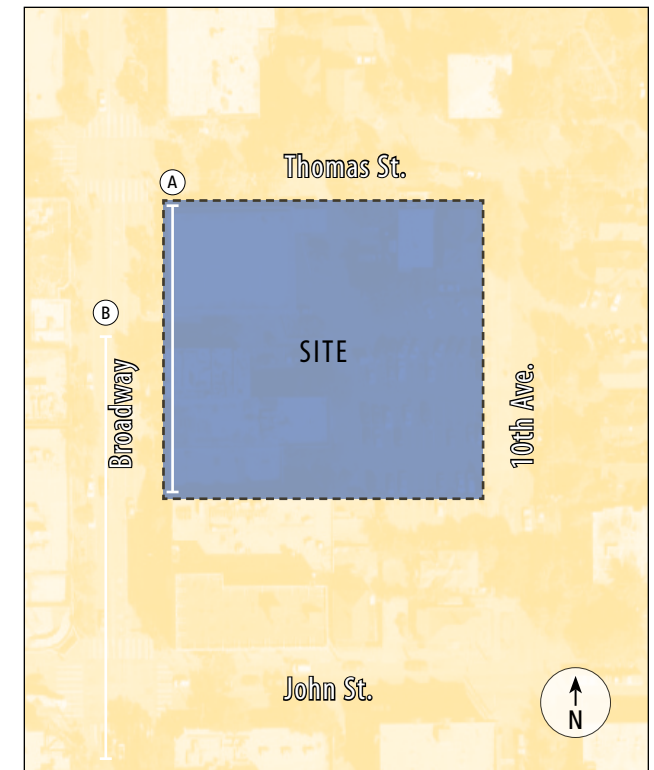


West Elevation
Broadway between John and Thomas

B



Intersection of John and Broadway



URBAN DESIGN ANALYSIS

PROJECT SITE

Ⓐ



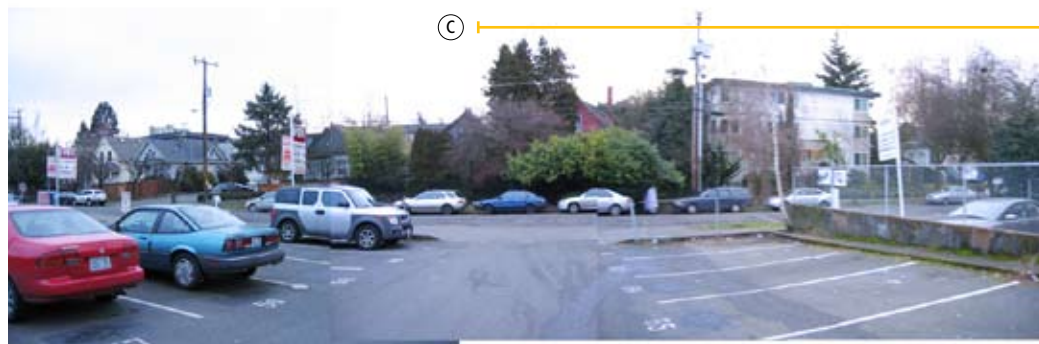
East Elevation
10th between John and Thomas

Ⓑ



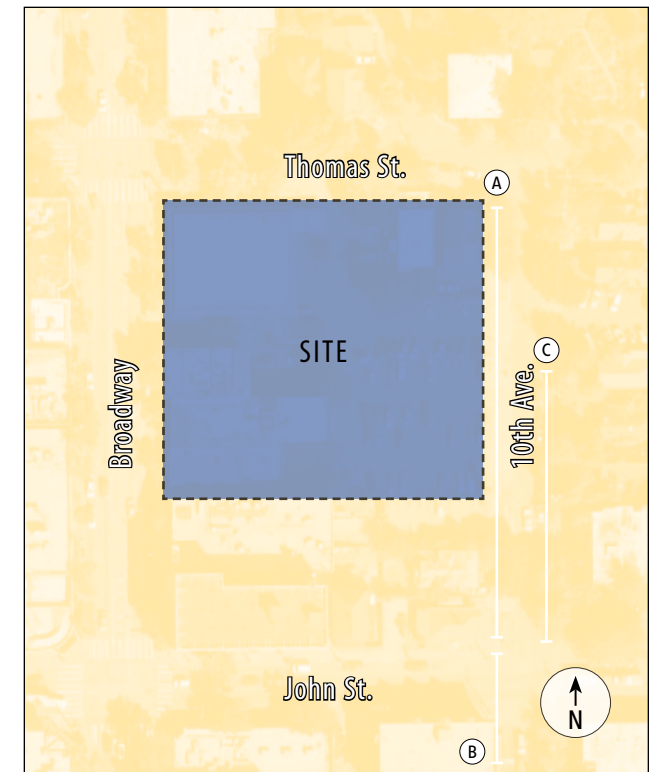
Intersection of 10th Ave. and John Facing West

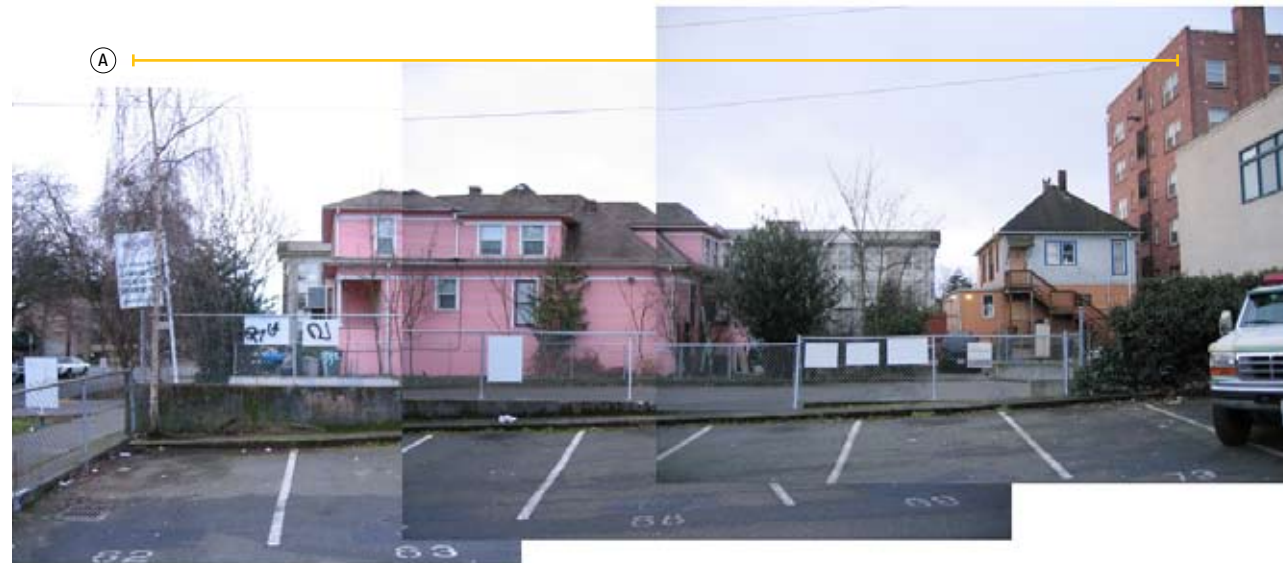
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View to East side of 10th Ave.

Key Plan

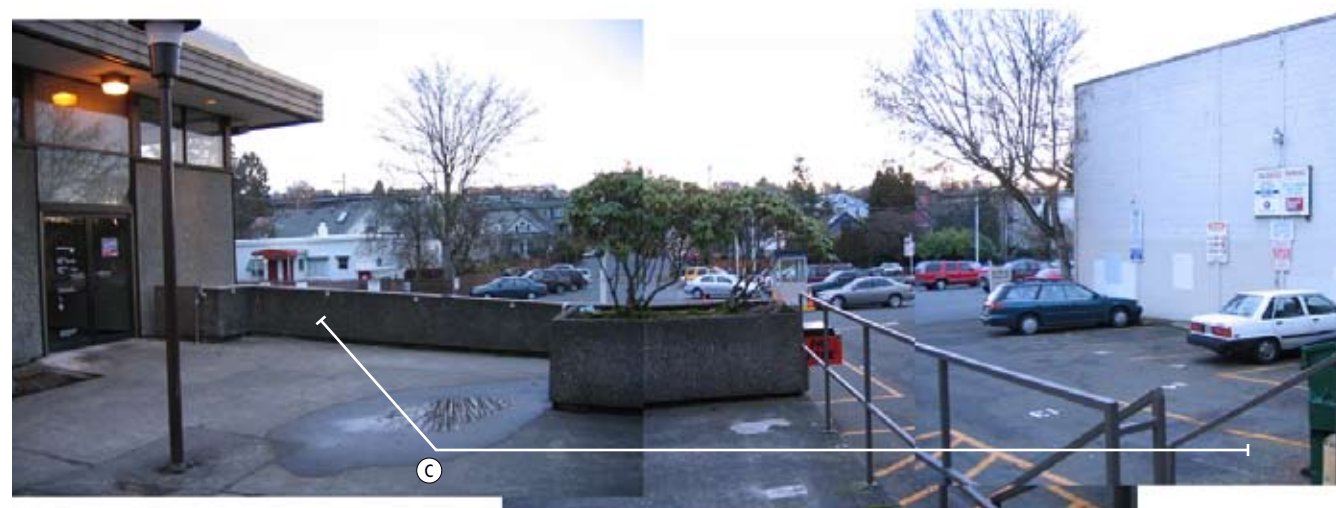




View looking South along property line

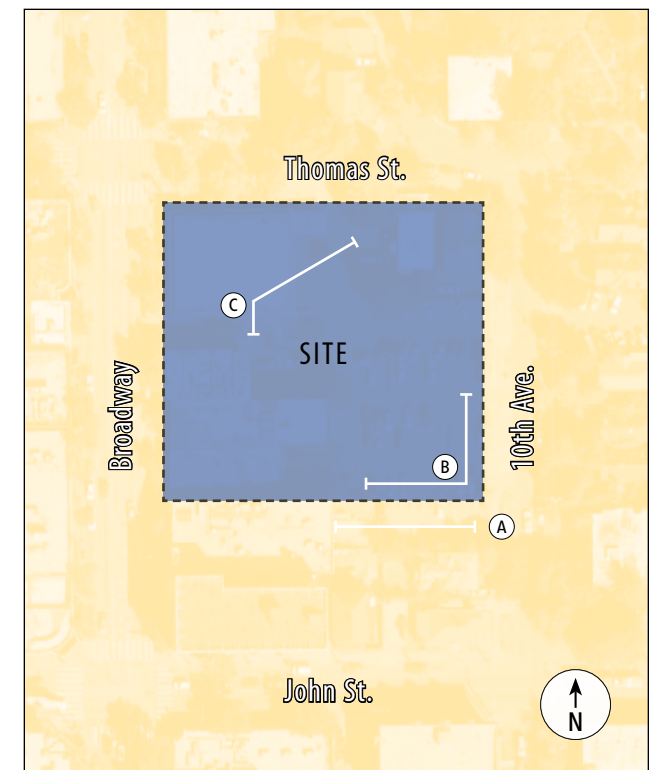


View of Site from SE



View of Site from NW

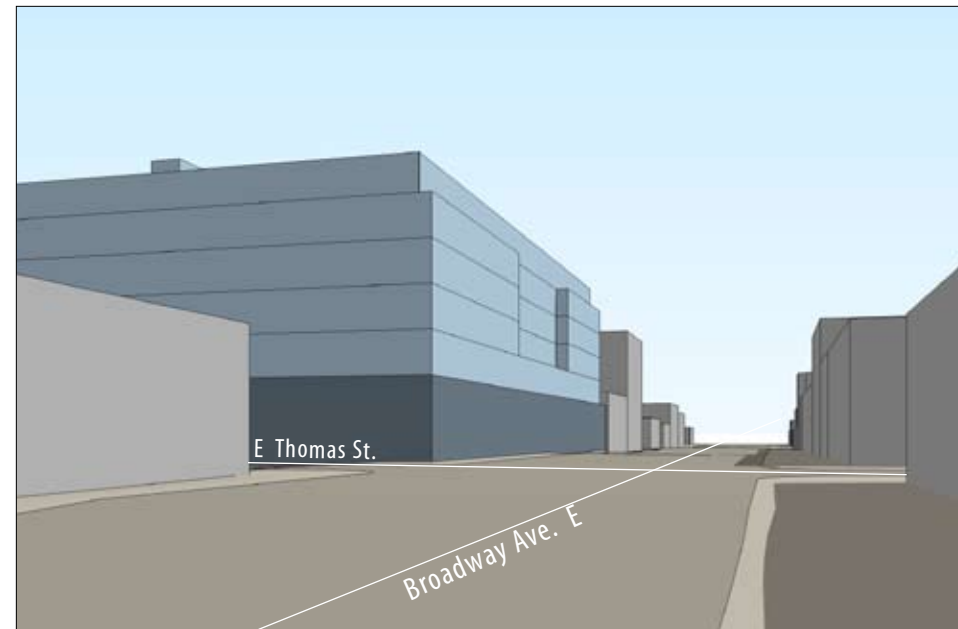
Key Plan



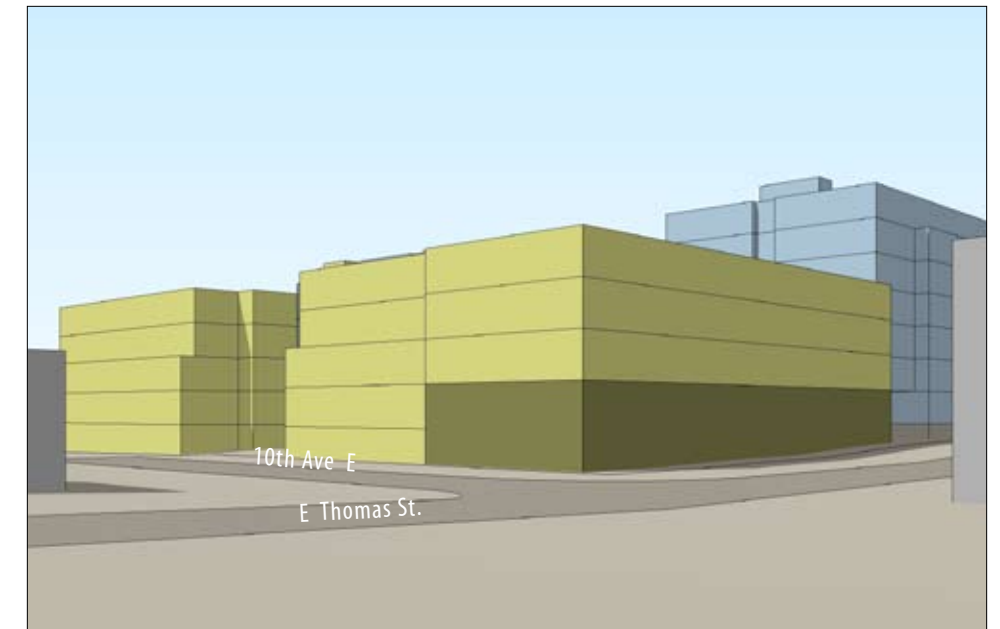
SUMMARY OF EARLY DESIGN GUIDANCE - PREFERRED SCHEME

- COURTYARD SCHEME -- provide maximum size interior courtyard for successful residential open space with maximum daylighting and strong visual connections from the pedestrian realm
- Provide higher massing along Broadway, lower massing along 10th Avenue to transition to Lowrise zone
- Provide retail use along Broadway, transition to quieter office use along Thomas and ground-related residential use along 10th Avenue
- Provide major residential entry and open smaller courtyard along 10th Avenue, in response to smaller-scale residential development
- Provide overall strong cohesive urban form, with potential to study upper level setback

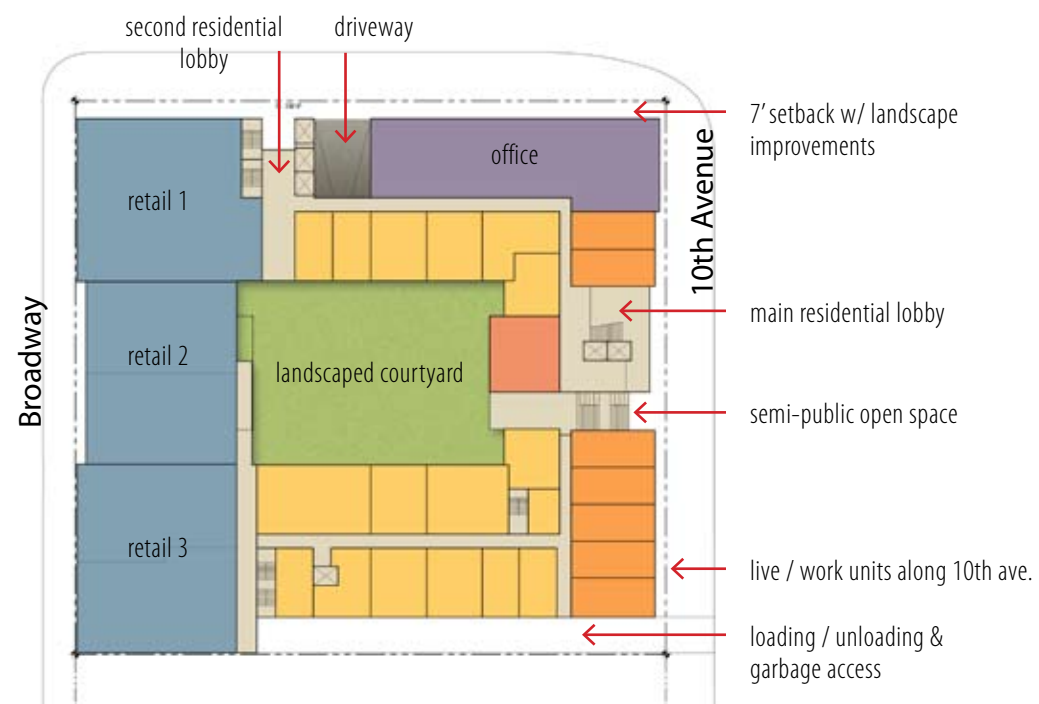
View from NW



View From NE



Ground Level Plan

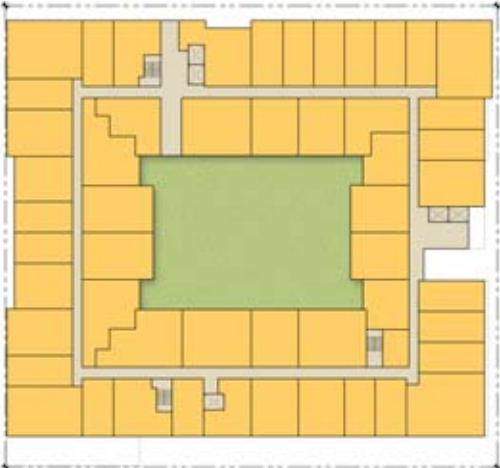


Aerial View NE





Typical Upper Floors - 5-7



Typical Upper Floors - 3-4

SUMMARY OF EARLY DESIGN GUIDANCE



A-2 Streetscape Compatibility

The siting of buildings should acknowledge and reinforce the existing desirable spatial characteristics of the right-of-way.

Capitol Hill-specific supplemental guidance:

- Retain or increase the width of sidewalks
- Provide street trees with tree grates or in planter strips, using appropriate species to provide summer shade, winter light, and year-round visual interest
- Orient townhouse structures to provide pedestrian entrances to the sidewalk
- For buildings that span a block and “front” on two streets, each street frontage should receive individual and detailed site planning and architectural design treatments to complement the established streetscape character.
- New development in commercial zones should be sensitive to neighboring residential zones. While a design with a commercial character is appropriate along Broadway, compatibility with residential character should be emphasized along the other streets.

EDG Guidance:

At the second EDG meeting, the Board was pleased with the proposed setbacks around the development ranging from 4-5 feet along certain portions of Broadway and along 10th Avenue to accommodate residential stoops and 7 feet along Thomas for individual entries.

Applicant’s Response:

The project has three distinct streetscapes, Broadway East, East Thomas St, and 10th Ave E.

On Broadway East the sidewalk width is retained and certain storefronts are recessed to allow for outdoor eating/drinking establishments to set up tables and chairs in front of their stores, enhancing the activity on Broadway. The dancing feet art piece are preserved and the decorative tile will be removed and replaced to assure continuity to the streetscape. All street trees are currently under review, by Bill Ames, the city arborist, and will be compliant with his direction.

Turning the corner onto East Thomas St. the building is set back 7’ from the property line to allow a greater perceived sidewalk width (12’) and an enhanced streetscape with decorative paving, benches, and distinct entries to the neighborhood offices. The existing street trees are to remain and a new 8’ planting strip will reinforce the transition from the commercial character of Broadway to the residential character of 10th Ave E. The secondary residential lobby and only vehicular entrance is located at the transition point from urban retail to neighborhood office. The scale of the building diminishes and the architecture is modified to reflect the transitional character of Thomas street.

Moving around to 10th Ave. E the pedestrian scale is reduced further; sidewalks widths are reduced down typical a typical residential width (6’) and a 10’ planting strip. The neighborhood office changes to townhomes and the main residential lobby and entry to the private courtyard separate the two uses. The townhomes are set back between 5’-7’ to allow for front stoops and defensible space and the character of the architecture changes to being all residential, in keeping with the pattern of development on the opposite side of the street.



A-3 Entrances Visible from the Street

Entries should be clearly identifiable and visible from the street.

A-4 Human Activity

New development should be sited and designed to encourage human activity on the street.

Capitol Hill-specific supplemental guidance:

- Provide for sidewalk retail opportunities and connections by allowing for the opening of the storefront to the street and displaying goods to the pedestrian
- Provide for outdoor eating and drinking opportunities on the sidewalk by allowing for opening the restaurant or cafe windows to the sidewalk and installing outdoor seating while maintaining pedestrian flow
- Install clear glass windows along the sidewalk to provide visual access into the retail or dining activities that occur inside; Do not block views into the interior spaces with the backs of shelving units or with posters

EDG Guidance:

At the second EDG meeting, the Board was very supportive of the proposal to maintain the tile strip along Broadway, as well as protect the existing “Dancing Steps” art piece on the sidewalk.

The proposal includes a community room accessed off of 10th Avenue and abutting the central courtyard. The Board felt that such a space, if provided, should have higher ceilings to create a grander space. The Board also encouraged further exploration of this amenity in this location versus another configuration elsewhere on the site, such as Broadway or Thomas, which would offer greater visibility.

If the community room is retained at the proposed location, then the Board would like to better understand how the public will access this space and how the space will interact with the central courtyard used by building tenants. The Board wants the access to the courtyard and community room to be more welcoming and accessible. The Board pointed out the underlying conflict between the proposed community room, which is meant to be readily available to the public, and the proposed location within the building, which is accessed through a private entrance and abuts the courtyard space.

If the courtyard is envisioned to be a private space, then the community room should be more attached to a street front with more visibility and less intrusion to the courtyard area. If the courtyard is envisioned to be more public, then efforts to integrate views and access to the courtyard should be considered. The corridor separating the retail from the courtyard may need to be re-evaluated to allow more passage between the retail function and the courtyard.

Applicant’s Response:

Main building entrances occur at transition points between retail and office, and office and residential. These locations are distinguished by a substantial change in architectural character as the scale and use of materials changes to match the changing character of the streetscape. All the entry areas are recessed and distinguished canopies make the doors clearly identifiable. Changes in the color and paving pattern cue pedestrians into the importance of the place.

Human activity is encouraged along Broadway in a variety of ways. First, each storefront is represented differently through window division, material treatment, color, and awnings to reflect the eclectic nature of the existing retail spaces on Broadway. Second, the storefronts vary in setback from the property line to encourage certain retail spaces to provide outdoor eating and drinking without impeding the flow of pedestrian traffic. Thirdly, glass is maximized on all storefronts to allow store activity to be visible from the street. The dancing feet and decorative will remain to carry on the continuity along Broadway.



A-5 Respect for Adjacent Sites

Buildings should respect adjacent properties by being located on their sites to minimize disruption of the privacy and outdoor activities of residents in adjacent buildings.

EDG Guidance:

The Board agreed that the building form and/or site plan should respond to the grid shift that occurs at 10th and Thomas. This is a unique condition that should be reflected in the design. Also, the zone changes across the 10th Avenue and Thomas Street intersection and the building/site design should be responsive to the lower residential scale of the neighborhood to the east.

Applicant's Response:

The building effectively changes both in height and architectural character as it wraps around the site responding to the density and character of the adjacent sites. A grid shift occurs at the 10th and Thomas intersection and the building massing and composition of the façade responds to this shift. The proportions of the brick frame and bay centered on 10th Ave are inspired by the width of the 10th Ave. right-of-way and provide and appropriate terminus to the street.



A-6 Transition Between Residence and Street

The space between the building and the sidewalk should provide security and privacy for residents and encourage social interaction among residents and neighbors.

EDG Guidance:

The Board is pleased to see a transitional space between the ground floor residential units and the sidewalk and recommends that these stoop spaces to be well designed and proportioned.

Applicant's Response:

The ground-related residential units have been set back from the property line between 5'-7' to allow for functional and defensible space in front of each residence creating a more comfortable and successful transition from public sidewalk to the front door. A small patio is provided to promote social interaction amongst neighbors, yet low walls designate public versus private space. Plantings soften the overall streetscape and, due to a wide right-of-way, the sidewalk is shifted off of the property line to allow for a planting strip on both sides of the sidewalk.



A-7 Residential Open Space

Residential projects should be sited to maximize opportunities for creating usable, attractive, well-integrated open space.

Capitol Hill-specific supplemental guidance:

- Incorporate quasi-public open space with new residential development or redevelopment, with special focus on corner landscape treatments and courtyard entries
- Create substantial courtyard-style open space that is visually accessible to the public view
- Set back development where appropriate to preserve a view corridor
- Set back upper floors to provide solar access to the sidewalk and/or neighboring properties
- Mature street trees have a high value to the neighborhood and departures from development standards that an arborist determines would impair the health of a mature tree are discouraged
- Use landscape materials that are sustainable, requiring minimal irrigation or fertilizer
- Use porous paving materials to minimize stormwater run-off

Applicant's Response:

The building is configured around a large central courtyard allowing maximum connection of residential units to open spaces. Building setbacks along the streetscape allow enhanced, useable public open space on each street frontage. The main residential lobby on 10th Ave E is carved back to allow residential gathering off of the street frontage and both residential lobbies offer visual connection for the public into the courtyards.

Sun studies of the courtyard have been done to maximize sun exposure to the courtyard and the spatial relationship of building height to courtyard width has been studied in detail.

SUMMARY OF EARLY DESIGN GUIDANCE



A-8 Parking and Vehicle Access

Automobile impacts on adjacent properties and the pedestrian environment should be minimized.

Capitol Hill-specific supplemental guidance:

- Preserve and enhance the pedestrian environment in residential and commercial areas by providing for continuous sidewalks that are unencumbered by parked vehicles and are minimally broken within a block by vehicular access

EDG Guidance:

The Board is concerned that the proposed loading and service area would not be compatible with the abutting residential units facing south and is not of an adequate dimension to safely accommodate the loading activities. Both the width and appearance of this function needs to be carefully considered and detailed. The Board suggested adding a security gate and lighting to keep the recessed area secure. Views of this service area should also be specifically addressed for those units that overlook this space. Complete landscaping plan, elevations and renderings of this space should be presented at the next meeting. The Board encouraged considering other locations for accommodating these service functions.

Applicant's Response:

The location of the driveway is mid-block on E. Thomas St. keeping vehicles entering and leaving the building from interrupting traffic along Broadway, while not encouraging increased traffic through the residential neighborhood. The driveway location preserves existing trees, avoids alignment with 10th Avenue E which jogs at this block, and is located beyond the residential entry to avoid conflicts between cars and pedestrians.

As the site is not served by an alley, a loading area is located off of 10th Ave E in the southeast corner of the site, adjacent to a parking lot, which will be used for all trash/recycling pick ups, move-ins and retail deliveries. This will prevent large trucks from blocking traffic around the site and give tenants and retail tenants easy loading access to the building.

The driveway will be well-lit and secured with a decorative gate. Special paving defines this area and a decorative strip will serve to notify pedestrians when they are about to cross driveways.



B-1 Height, Bulk and Scale

Projects should be...sited and designed to provide a sensitive transition to nearby, less-intensive zones. Projects on zone edges should be developed in a manner that creates a step in perceived height, bulk and scale between the anticipated development potential of the adjacent zones.

Capitol Hill-specific supplemental guidance:

- Break up building mass by incorporating different facade treatments to give the impression of multiple, small-scale buildings, in keeping with the established development pattern
- Consider existing views to downtown Seattle, the Space Needle, Elliott Bay and the Olympic Mountains, and incorporate site and building design features that may help to preserve those views from public rights-of-way
- Design new buildings to maximize the amount of sunshine on adjacent sidewalks throughout the year

Broadway-specific supplemental guidance:

- Help maintain and enhance the character of Broadway by designing new buildings to reflect the scale of existing buildings
- Masonry and terra cotta are preferred building materials, although other materials may be used in ways that are compatible with these more traditional materials. The Broadway Market is an example of a development that blends well with its surroundings and includes a mixture of materials, including masonry.
- The pedestrian orientation of Broadway should be strengthened by designing to accommodate the presence or appearance of small storefronts that meet the sidewalk and where possible provide for an ample sidewalk.

EDG Guidance:

The Board felt that the proposed massing along Broadway has an appropriate scale. The Board noted that the zone change between the eastern half of the site and the area across 10th Avenue to the east should be acknowledged in the building form and design to create a more sensitive transition to the lower zone.

Applicant Response:

Masonry veneer is proposed for the project, at varying heights to break up the building mass and incorporate different sense of scale. Along Broadway, the brick is proposed up to 5 stories and relates to the height of the apartment building at the corner of Broadway and John. Along Thomas, the height of the masonry steps down; along 10th Avenue, the height of the masonry steps down yet again to provide a sensitive transition to the lower-scale residential neighborhood.

The massing is further broken down by changes in use and exterior open spaces to create the sense of separate buildings.

Along Broadway, character of the individual storefronts is varied to reflect the finer grain quality of the existing Broadway streetscape.



C-2 Architectural Concept and Consistency

Building design elements, details and massing should create a well-proportioned and unified building form and exhibit an overall architectural concept. Buildings should exhibit form and features identifying the functions within the building.

Capitol Hill-specific supplemental guidance:

- Incorporate signage that is consistent with the existing or intended character of the building and the neighborhood.
- Solid canopies or fabric awnings over the sidewalk are preferred.
- Avoid using vinyl awnings that also serve as big, illuminated signs.
- Use materials and design that is compatible with the structures in the vicinity if those represent the desired neighborhood character.

EDG Guidance:

The Board encouraged a strong façade design along Broadway with a simplified material palette. The Broadway elevation should have a more regular rhythm rather than a symmetrical approach. The ground level retail, however, should strive to offer different, individual retail spaces within the frame of the commercial base. The transition from the Broadway façade to the Thomas Street façade should reflect the zone transition within the development site, as well as the context and character from a strong commercial street to a quieter residential street. The street level area to the west of and including the vehicular access on Thomas Street is sort of a gap space that should be further explored as a secondary entrance and/or provide views into the interior courtyard.

The Board noted that how the design proposes to turn the corner from

Thomas onto 10th is important and a stronger architectural move should be made within the façade to acknowledge the zone and grid change.

Applicant's Response:

The architectural concept is to create a cohesive building which both accurately identifies interior functions such as urban retail, neighborhood office and residential units, while changing architectural character as the building moves from a higher commercial area to a low-rise residential neighborhood.

Though the composition of the facades changes with the program the building materials, color, and details remain the same. Brick, lap and paneled siding is prevalent throughout the neighborhood. The rooflines are clearly distinguished from the walls and provide a strong cap to the building as many historic buildings provide.

Signage is incorporated into storefronts and reflect the wide variety and eclectic nature of the neighborhood. Canopies in fabric, steel and wood are proposed and again do not follow a rigorous formula, but are allowed to be appropriately varied.



C-3 Human Scale

The design of new buildings should incorporate architectural features, elements and details to achieve good human scale.

Capitol Hill-specific supplemental guidance:

- Incorporate building entry treatments that are arched or framed in a manner that welcomes people and protects them from the elements and emphasizes the building's architecture
- Improve and support pedestrian-orientation by using components such as: non-reflective storefront windows and transoms; pedestrian-scaled awnings; architectural detailing on the first floor; and detailing on the roof line.

Applicant's Response:

The building incorporates a number of features and elements to achieve a good human scale. Storefront windows are non-reflective, divided subdivided into smaller windows and transoms are included in a wide variety of ways to reduce their overall scale. Awnings vary in height, but are kept at an appropriate height that is comfortable to the pedestrian. Light fixtures, low level signage and rich materials, such as brick, enhanced paving in particular areas, residential stoops, benches, planters and appropriate sized trees encourage a strong, comfortable pedestrian environment.

Building entries are either recessed or a strong canopy element provides a welcoming and protected area to residents and their guests.

SUMMARY OF EARLY DESIGN GUIDANCE



C-4 Exterior Finish Materials

Building exteriors should be constructed of durable and maintainable materials that are attractive even when viewed up close. Materials that have texture, pattern or lend themselves to a high quality of detailing are encouraged.

Capitol Hill-specific supplemental guidance:

- Use wood shingles or board and batten siding on residential structures
- Avoid wood or metal siding materials on commercial structures
- Provide operable windows, especially on storefronts. Use materials that are consistent with the existing or intended neighborhood character, including brick, cast stone, architectural stone, terra cotta details, and concrete that incorporates texture and color.
- Consider each building as a high-quality, long-term addition to the neighborhood; exterior design and materials should exhibit permanence and quality appropriate to the Capitol Hill neighborhood.
- The use of applied foam ornamentation and EIFS (Exterior Insulation & Finish System) is discouraged, especially on ground level locations.

EDG Guidance:

The Board encouraged a simplified material palette. The Board agreed that the upper level façade along Broadway either needs to be flush with the main façade or set back significantly enough to create a true penthouse condition. The Board expressed appreciation that the datum line from the neighboring building is proposed to continue through the Broadway elevation.

Applicant's Response:

The exterior finish materials are primarily brick and storefront windows at the ground level with the addition of fibercement lap and panel siding at upper residential levels. The palette is simplified, durable, and easily maintainable to demonstrate a strong cohesiveness of the development, permanence in the neighborhood, and a high degree of quality. Details such as brick insets, strong cornice caps, high quality windows, custom railings, quality lighting, and enhanced landscaping will make the building attractive both close up and from afar.



D-1 Pedestrian Open Spaces and Entrances

Convenient and attractive access to the building's entry should be provided to ensure comfort and security, paths and entry areas should be protected from the weather. Opportunities for creating lively, pedestrian-oriented open space should be considered.

Capitol Hill-specific supplemental guidance:

- Provide entryways that link the building to the surrounding landscape
- Create open spaces at street level that link to the open space of the sidewalk
- Building entrances should emphasize pedestrian ingress and egress as opposed to accommodating vehicles
- Minimize the number of residential entrances on commercial streets where non-residential uses are required. Where residential entries and lobbies on commercial streets are unavoidable, minimize their impact to the retail vitality of commercial streetscape.

Applicant's Response:

Entries are either recessed or covered by substantial awnings and well lit to provide safe, comfortable, and distinguished entries. They are located off Broadway E, the main commercial street, and are designed for the pedestrian rather than vehicles.

The main residential entry on 10th Ave E includes a pedestrian oriented open space with benches, stairs to sit on, enhanced landscaping design, and a breezeway to the private courtyard creating a gathering place for the building tenants and public. The glass elevator tower adjacent to the open space will help illuminate it at night and keep multiple eyes on the street making this space comfortable and safe for the public.



D-2 Blank Walls

Buildings should avoid large blank walls facing the street, especially near sidewalks. Where blank walls are unavoidable, they should receive design treatment to increase pedestrian comfort and interest.

D-5 Visual Impacts of Parking Structures

The visibility of all at-grade parking structures or accessory parking garages should be minimized. The parking portion of a structure should be architecturally compatible with the rest of the structure and streetscape. Open parking spaces and carports should be screened from the street and adjacent properties.

D-7 Pedestrian Safety

Project design should consider opportunities for enhancing personal safety and security in the environment under review.

D-10 Commercial Lighting

Appropriate levels of lighting should be provided in order to promote visual interest and a sense of security for people in commercial districts during evening hours.

D-11 Commercial Transparency

Commercial storefronts should be transparent, allowing for a direct visual connection between pedestrians on the sidewalk and the activities occurring on the interior of a building. Blank walls should be avoided.



D-12 Residential Entries & Transitions

For residential projects in commercial zones, the space between the residential entry and the sidewalk should provide security and privacy for residents and a visually interesting street front for pedestrians. Residential buildings should enhance the character of the streetscape with small gardens, stoops and other elements that work to create a transition between the public sidewalk and private entry.

Townhouse-specific supplemental guidance:

- Entrances with stoops are preferred because they provide semi-public/semi-private spaces, encourage activity in front of units, and reduce visibility into residential units
- Provide transitional spaces such as portals or arcades
- Provide paving of on-site walkways or entryways that is distinctive in color, pattern or texture
- Provide “surrounds” around entry doors using color, texture and material variation creates visual distinction for residential entries.

Applicant’s Response:

The ground-related residential units along 10th Ave E are set back between 5’ and 7’ creating useable and defensible space between the unit entry and the sidewalk. Tenants have small patios promoting social interaction amongst neighbors, low walls define the public vs. private space and planters and plantings soften the overall streetscape.

This use is further supported by the Sound Transit TOD Design Recommendations.



E-2 Landscape to Enhance the Building and/or Site

Landscaping including living plant material, special pavements, trellises, screen walls, planters, site furniture and similar features should be appropriately incorporated into the design to enhance the project.

E-3 Landscape Design to Address Special Site Conditions

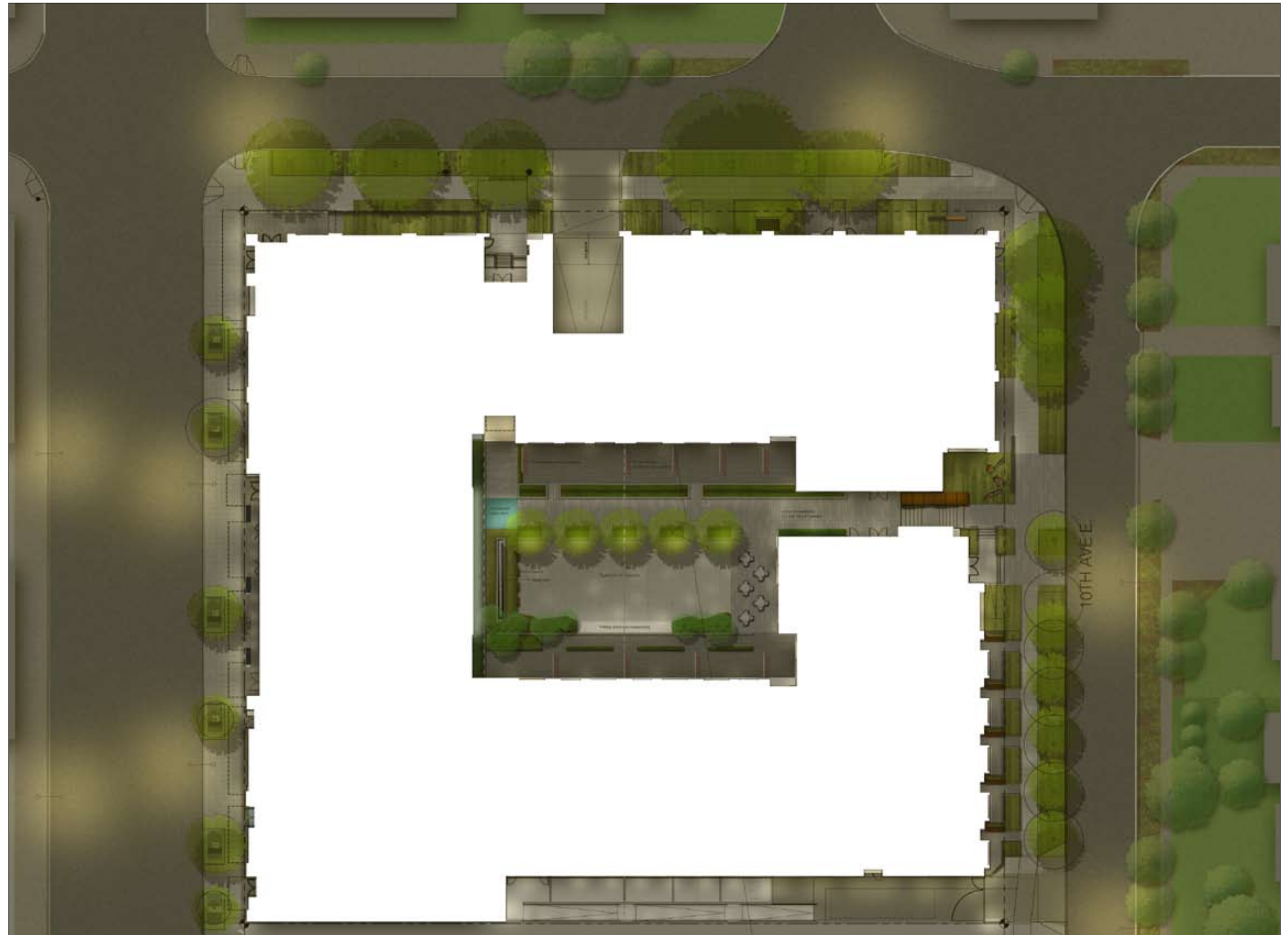
The landscape design should take advantage of special on-site conditions such as high-bank front yards, steep slopes, view corridors, or existing significant trees and off-site conditions such as greenbelts, ravines, natural areas, and boulevards.

Capitol Hill-specific supplemental guidance:

- Maintain or enhance the character and aesthetic qualities of the neighborhood development to provide for consistent streetscape character along a corridor.
- Supplement and complement existing mature street trees where feasible.
- Incorporate street trees in both commercial and residential environments in addition to trees onsite.
- Commercial landscape treatments that include street trees.

Applicant’s Response:

Tree preservation and replacement is currently being determined by the City Arborist. The street trees along E Broadway will remain in tree grates either in the current pattern that exists or, if the trees are replaced, in a more regular pattern. The street trees along will remain as currently existing, however a new 8’ planting strip will be incorporated. New street trees will be added to 10th Ave E along with a 10’ planting strip due to the large right-of-way which will set the standards for future development.





A-2, A-4

Setbacks from property line allow for wider sidewalks, outdoor seating, patios, and individual entrances.

A-3

Entrances are clearly delineated by accent paving, lighting, and overhead weather protection. Individual residential entries are provided along 10th Avenue E.

A-5

10th Avenue E jogs at this property. The centerline of 10th Avenue E was used to provide an order to the facade on Thomas Street, with evenly sized bays aligned on the street's centerline. However the relationship is intentionally subtle to avoid undermining the expression of the corner, which is more prominent.

A-6

Residential patios, screening, and planters provided for a good transition between residence and street.

A-7

Courtyard is generously sized (x) and visible from street. Courtyard design allows for private decks as well as common gathering space for building residents and guests. Terra cotta facade of First Security Bank building is reused as a landscape element.

A-8

Driveway on Thomas Street located to avoid conflicts with existing mature trees, 10th Avenue grid shift, and Broadway corner. A second driveway for service vehicles and loading/unloading only is provided on 10th Avenue E, since the site is not served by an alley. [DEPARTURE REQUEST]

D-1

Overhead weather protection, seating, accent paving, landscaped entry court, and enhanced plantings.

D-7

Accent paving alerts pedestrians to driveway crossing while maintaining the pedestrian zone as "primary."

E-3

Landscaping complements existing landscape patterns in neighborhood. Along 10th Avenue E, the project proposes to strike a balance between the two planting strips on each side of the sidewalk to allow for substantial plantings in both.

ELEVATIONS: WEST (BROADWAY E)

C-2

Strong, regular facade design with simplified material palette of brick and fibercement panel. Facade organized into a regular rhythm. Storefront bays relate to rhythm of traditional retail development along Broadway.

C-3

Retail storefronts are varied to provide the fine-grained, pedestrian-scaled detail that is characteristic of Broadway. Overhead weather protection is also allowed to vary in style to reinforce the individual retail identities and provide street-level variety. Entries are recessed to allow outdoor sidewalk seating.

C-4

Brick veneer is provided for lower floors and relates to the height of the brick on the John Street Apartment Building. The upper levels of the Broadway facade have been developed to remain flush with the main facade. Details such as brick insets and accent patterns are incorporated.

D-10

Downlighting and building lighting are provided at the street level to promote night-time visual interest as well as a sense of security.

D-11

Owners of the existing commercial buildings on the site are the owners of the commercial condominiums spaces in the future project. Similar commercial uses are anticipated, with maximum commercial storefront transparency.





Elevation of Broadway Block



Perspective view looking south on Broadway



Street-level perspective looking north on Broadway

ELEVATIONS: NORTH (E THOMAS ST)

C-2

Strong, regular facade design with simplified material palette of brick and fibercement panel. Facade organization steps down in scale while maintaining organizational principles to maintain architectural consistency.

C-3, D-1

Individual entries for small neighborhood-oriented office spaces are provided with entrance canopies and outdoor patio area so that business can spill out to the street.

A-5

The centerline of 10th Avenue E, where it meets E Thomas St, aligns with the center bay of the lowrise building. This relationship is intentionally subtle to avoid conflicting with the expression of the corner.

B-1

Masonry veneer steps down to provide a good transition to the less intensive zoning. Whereas the Broadway massing is simple, as the massing is reduced on Thomas, more modulation in the form of insets for decks and a recessed upper floor is provided.

A-8

The garage entry is deliberately not included in the brick facade, but instead expressed in a recessed area between the two differently-scaled brick facades.

E-2

The structure is set back from the property line by 7 feet, allowing for enhanced landscaping (plantings, hardscape, and street furniture).

A-3

A secondary residential entrance is provided, which allows glimpses into the residential courtyard.

D-10

Downlighting and building lighting are provided at the street level to promote night-time visual interest as well as a sense of security.





Looking southward on 10th Ave E towards proposed project



Perspective of office entries on E Thomas St.



Secondary Lobby Entrance and Garage

ELEVATIONS: EAST (10TH AVE E)

C-2

Strong, regular facade design with simplified material palette of brick and fibercement panel. Facade organization steps down in scale while maintaining organizational principles to maintain architectural consistency.

C-3, A-4, A-6

Individual entries for ground-related residences are provided with entrance canopies and outdoor patio area so that business can spill out to the street.

B-1

Masonry veneer steps down yet again to reflect the shift to more residential use. The rhythm of the facade organization also becomes smaller in scale to reflect the more residential uses.

Break in massing corresponds to change in use from mixed use (office/residential) on E Thomas St to purely residential.

E-2, D-1

Landscaped entry courtyard at grade is provided, associated with the main residential office, leasing, and connection up to main residential courtyard. Courtyard is visible from street and will contain elements of salvaged First Security Bank facade.

A-3

Main residential lobby entrance and leasing office is clearly identifiable.

D-5

Service driveway is screened by decorative gate.





Ground-related residences along 10th Avenue E



Intersection of E Thomas Street and 10th Avenue E



Residential lobby and pedestrian open space

ELEVATIONS: SOUTH

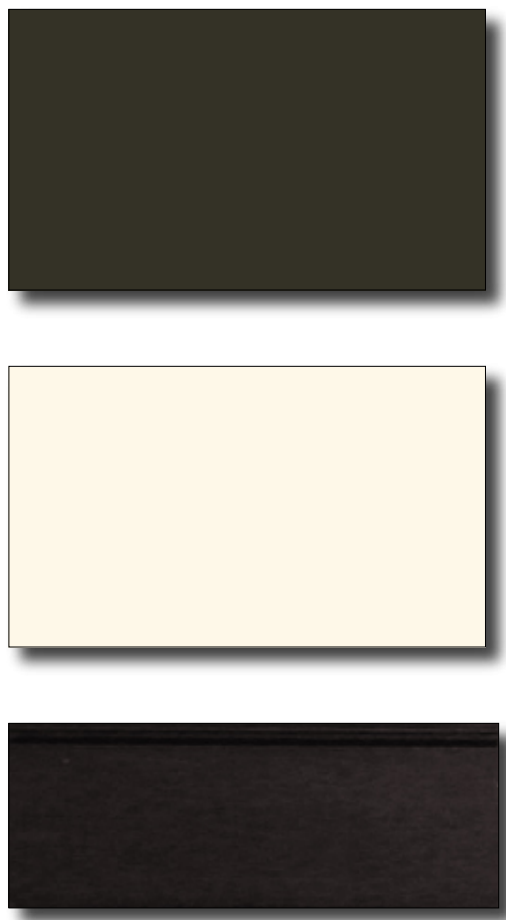


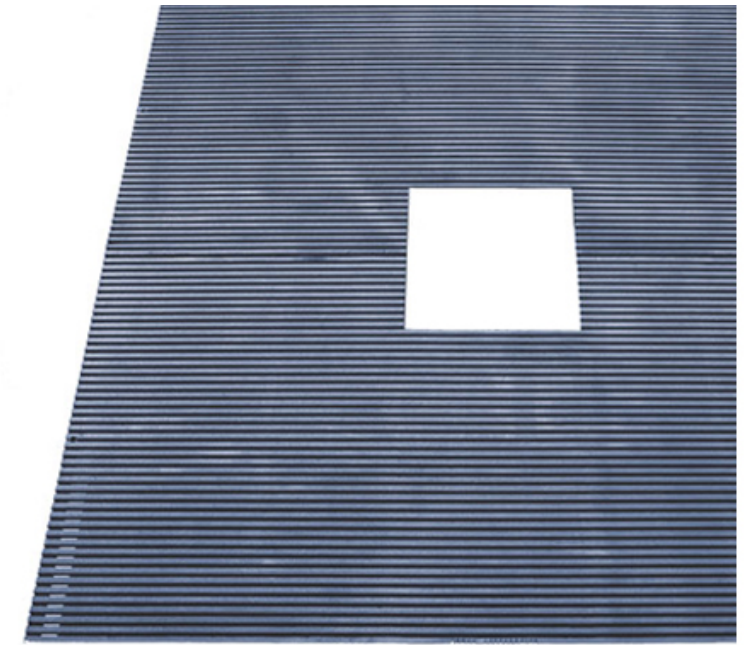
SRM STONE
RIVARD
McGONIGLE
DEVELOPMENT, LLC

R.D. MERRILL COMPANY



The Berger Partnership PS
Landscape Architecture





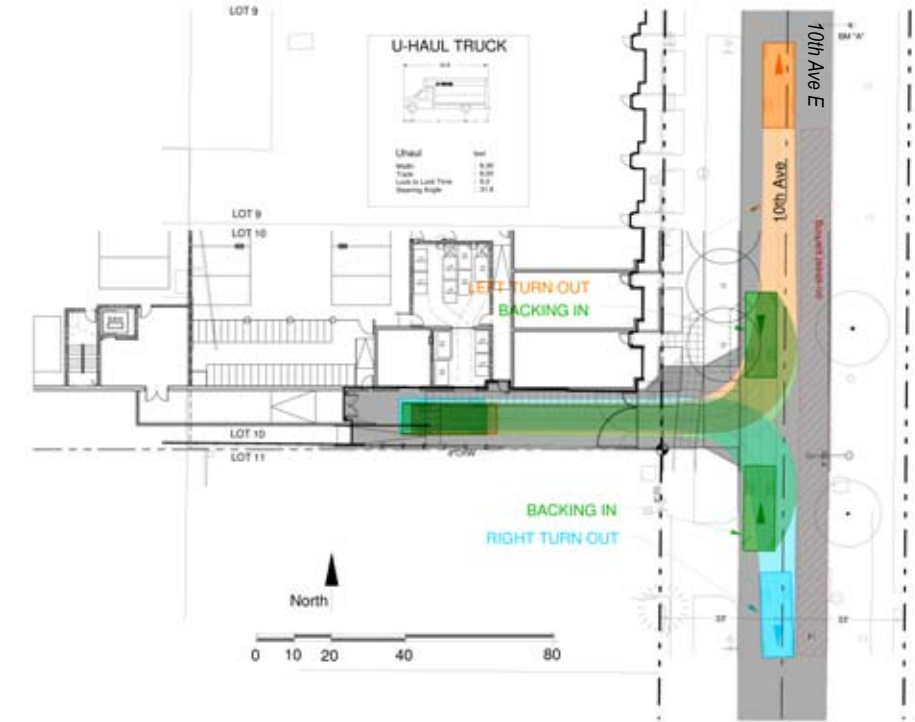
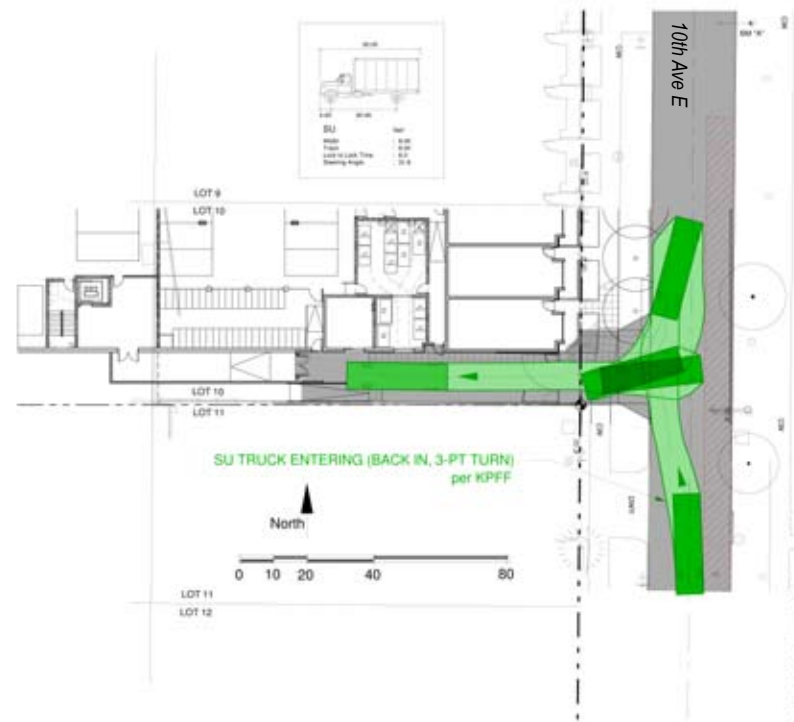
REQUESTED DESIGN DEPARTURES

1. To allow a second driveway and omit the 10 ft sight triangle at the south property line.

A design departure is requested to allow a second driveway for the site. The site is not served by an alley, making access by service vehicles more difficult. To better comply with **Guideline D-6 Screening of Dumpsters, Utilities, and Service Areas**, a second driveway is proposed. This driveway is solely for the purpose of dumpster pick-up and loading/unloading, and is not used for normal vehicular parking. This service driveway is provided with a decorative metal gate for screening.

The width of the curbcut proposed is 22 ft, in compliance with the minimum curbcut for a commercial use. However, a design departure for the width of the driveway is requested: 15'-8" wide. Effectively, this driveway will only be used by one vehicle at a time, and these requested widths are what is needed for maneuvering of the Single Unit truck as illustrated by the Traffic Engineer.

Another departure is requested to omit the sight triangle at the south property line. This is a condition not unlike a traditional alley and borrows from the concept of the woonerf: that is -- if vehicles and pedestrians must share space, vehicles must proceed more cautiously. Practically speaking, vehicles exiting the driveway will be located in the center of the driveway, effectively allowing a 5 ft sight triangle within the 22 ft width of the overall driveway width. If a 10 ft sight triangle were to be provided, this would require an additional 10 ft setback along the south property line for use that is only intermittent. A mirror is proposed for additional pedestrian safety. Special paving be used to emphasize the sidewalk and an accent band of paving will alert pedestrians that they are crossing a driveway.



View of driveway from 10th Avenue E



View of residential decks overlooking retail loading ramp

2. To allow residential uses along 10th Avenue E at street level to be set back 5 feet from the property line instead of 10 feet.

The Capitol Hill Neighborhood Plan and also the Sound Transit TOD Recommendations Report both encourage residential uses along 10th Avenue E. At EDG, these units were envisioned to be live/work and a voluntary setback was provided to allow the activity of the unit to spill out to the sidewalk. However, a departure is requested to preserve the flexibility for residential units instead of live/work.

The sidewalk zone along 10th Avenue E is extremely wide (20 feet total), and a 5 foot planter is proposed between the sidewalk and the property line. When combined with the requested 5 foot setback for the patios, an effective separation of 10 feet is achieved. The project proposes enhanced plantings in the ROW planters which will improve the pedestrian realm for all.



SDOT Deviation Request

The Applicant would also request the Design Review Board's support of a request to re-align the sidewalk to allow a larger planting strip between the sidewalk and property line along 10th Avenue E.

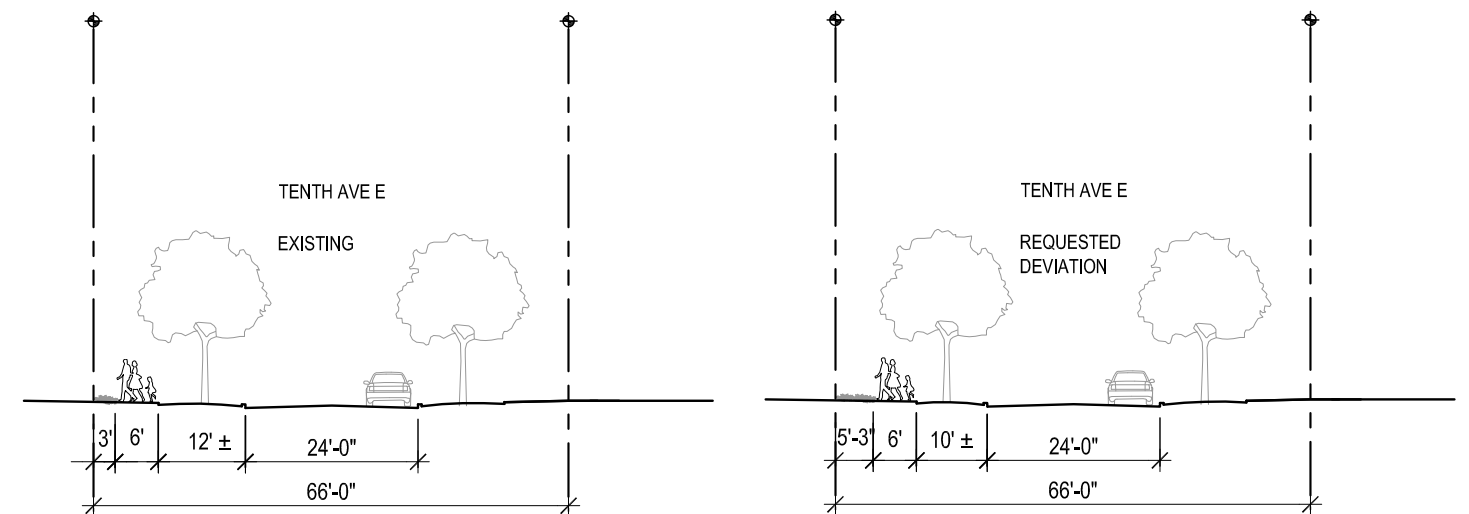
Currently along 10th Avenue E, the sidewalk is located so as to provide: 2 foot planter, 6 foot sidewalk, and 12 foot planter at the curb.

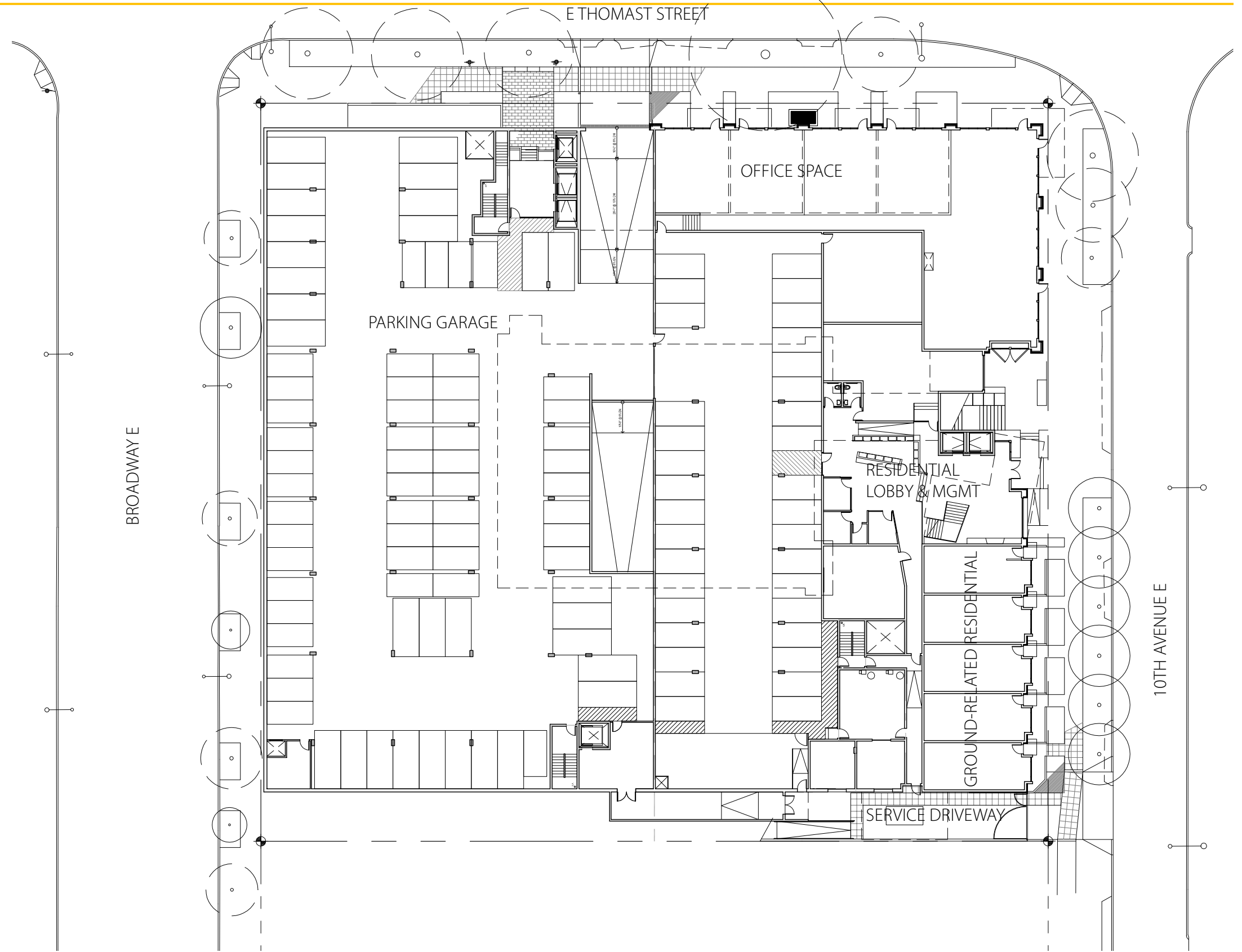
The request is to provide a more balanced planter on either side of the sidewalk, a 5 foot planter, 6 foot sidewalk, and 9 foot planter at the curb. This will allow for more significant plantings between the sidewalk and property line, in better keeping with the neighborhood recommendation for residential character and street-oriented uses such as stoops and patios.

The sidewalk in front of the other properties on the block is likely to be replaced when those underutilized parcels are redeveloped in the near future. Re-aligning the sidewalk at this development site will create a desirable precedent for future development along 10th Avenue E, which should be developed as a green boulevard, as it provide a gateway directly to Cal Anderson Park.

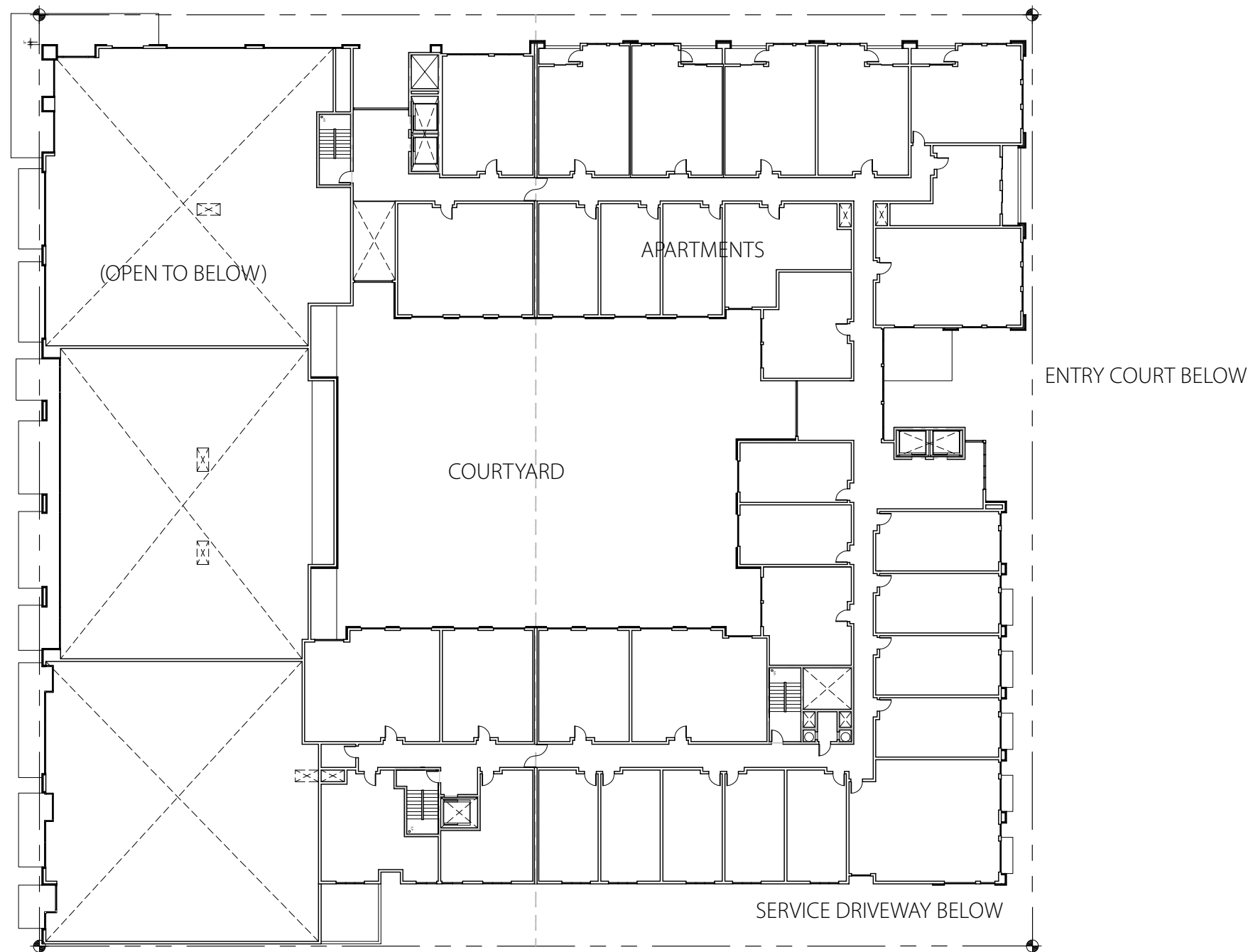


sidewalk along adjacent properties to south



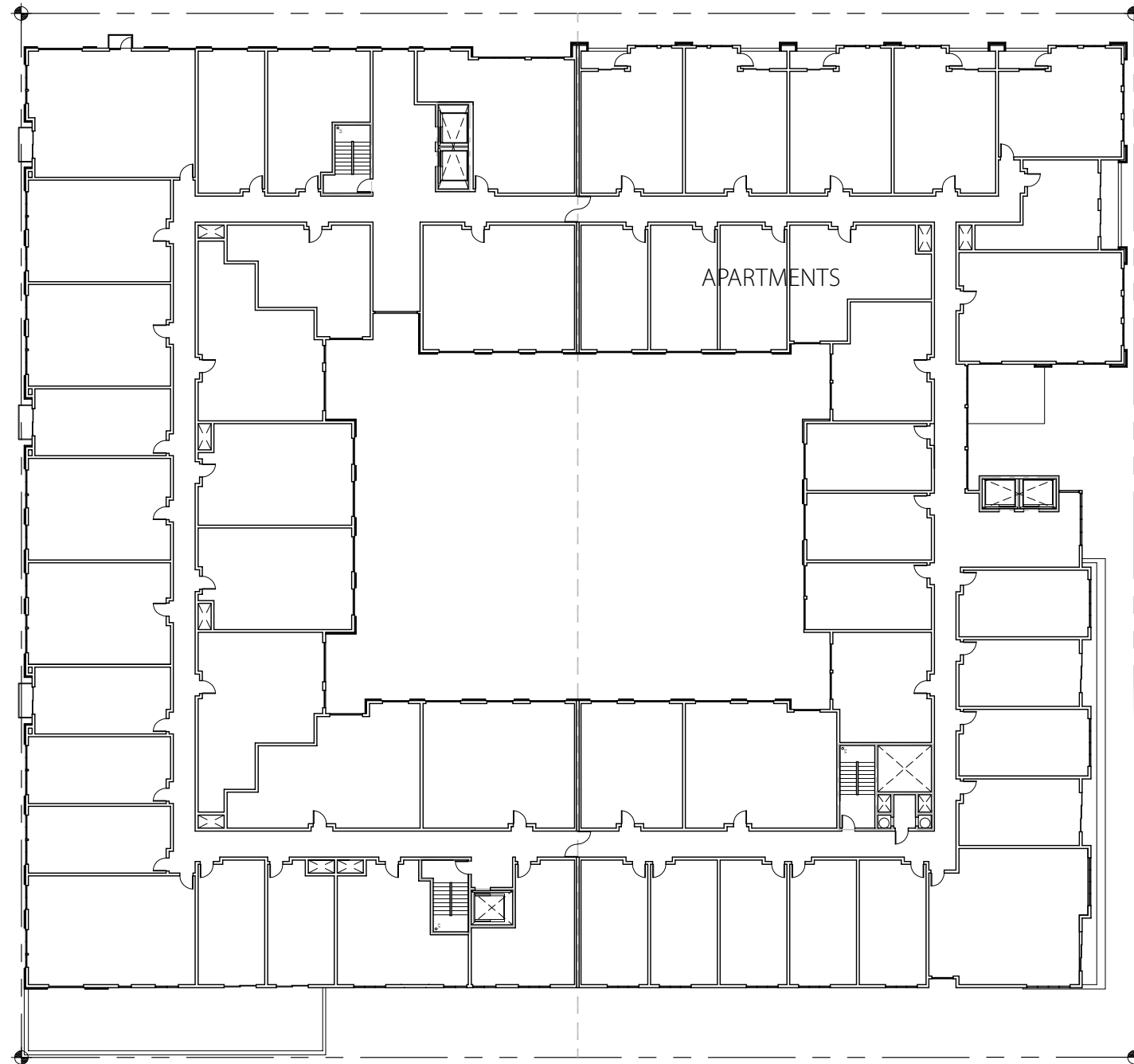


PARKING GARAGE LEVEL P1 (AT GRADE ON 10TH AVE E)

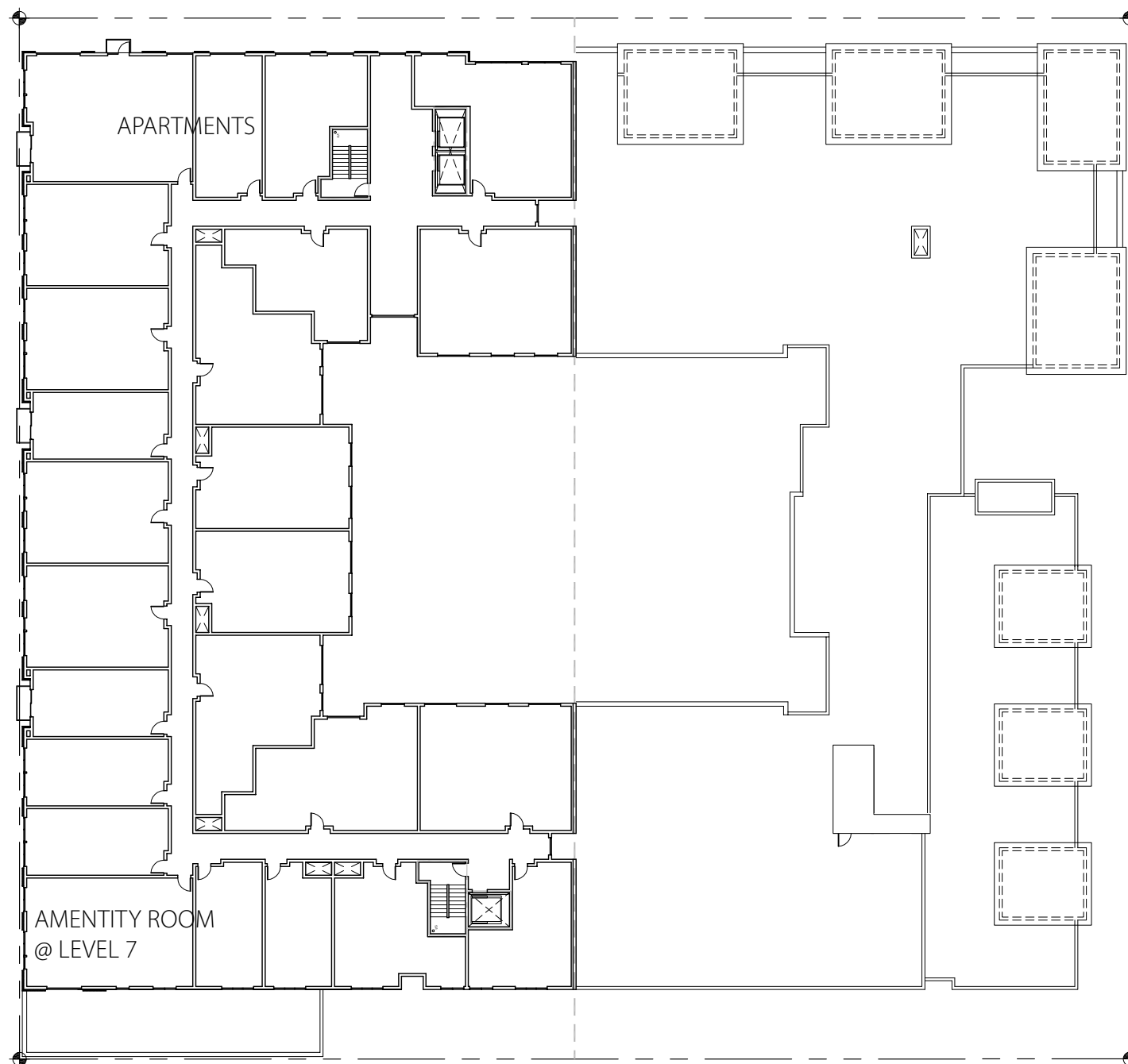


LEVEL 2

REFER TO PAGE ___ FOR LEVEL 1 AND SITE PLAN



LEVEL 3 (4 SIMILAR)



LEVEL 5 (6, 7 SIMILAR)



ROOF PLAN

