

2nd & PIKE TOWER

Early Design Guidance
February 9, 2010

Project Number: 3009156
(Formerly 2403964)



OLSON KUNDIG ARCHITECTS

Gustafson Guthrie Nichol Ltd



VIEW FROM 2ND AVENUE AND UNIVERSITY LOOKING NORTH



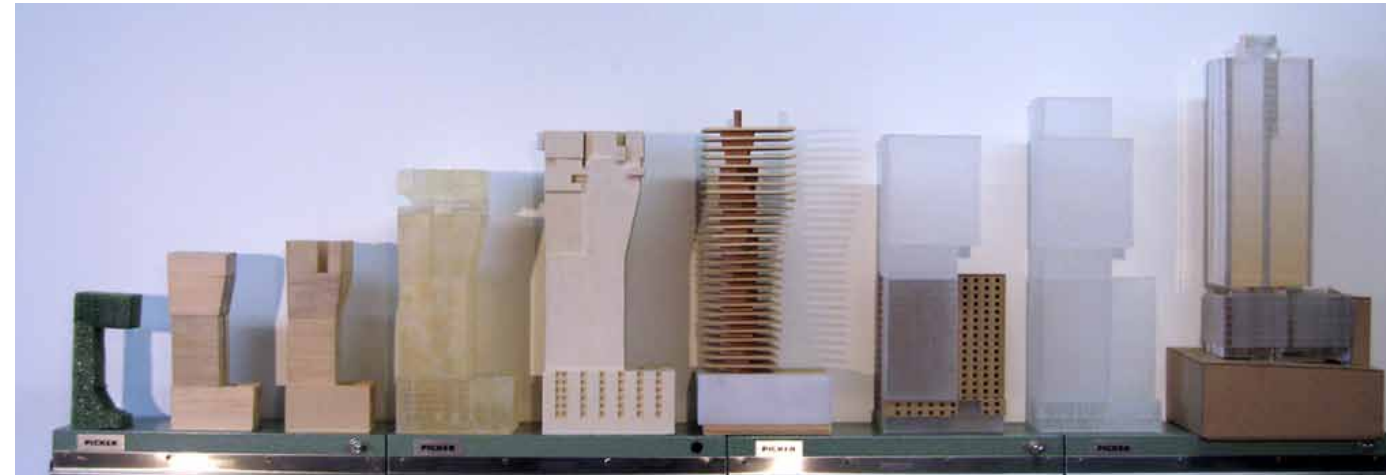
2nd Avenue and Pike St., MacDougall & Southwick Dept. Store, 1934



MacDougall & Southwick Fashions, 1924



"Streetwise" image 2nd Avenue @ Pike St., 1983



Project design history

INTRODUCTION

The 2nd and Pike project started the Design Review process with an Early Design Guidance (EDG) meeting and presentation on July 15, 2004.

In April of 2006, the city council enacted major revisions to the downtown zoning code which resulted in a re-consideration of the development proposal. The design team generated and presented a revised EDG packet on July 20, 2006. The Design Review Board provided valuable feedback and recommendations.

In July of 2007, an opportunity was presented to the 2nd and Pike project with the addition of Candela Hotels to the project team. The revision to the program afforded by this partnership demanded a formal and thorough investigation of the possibilities. The Design Review Board provided additional feedback in response to a revised EDG presentation on May 27, 2008.

In 2009, the project trajectory was adjusted again with the removal of the Candela Hotel program. The new scheme for the 2nd & Pike Tower, illustrated in this EDG booklet, includes additional residential units to replace the hotel program while still preserving the ground level retail spaces. New public amenity spaces have been provided on upper levels. Adjustments to the tower's below grade levels include additional parking and storage for residents.

PROJECT VISION STATEMENT

The 2nd & Pike Tower will provide the missing link in the pedestrian intensive Pike/Pine corridor. The project will restore this once significant corner to its place as an iconic landmark and extension of the region's ambition. It will respond to its unique location and history with a multi-faceted building which is both transparent and dynamic.

The southeast corner of 2nd Avenue and Pike Street was the home to the MacDougall Southwick Department Store from the turn of the 20th century until 1964. Once the center of the Seattle Retail Core and across the street from the Bon Marche, the area began to experience a downturn once the core began to move East. The area eventually became neglected and urban renewal resulted in the destruction of many of the adjacent historic buildings. The 2nd and Pike intersection has since been relegated to serving the retail core by providing surface and garage parking. The goal of this project is to inject the site with a vitality and humanity it has not seen for decades.

Urban Visions has established itself as a leading force in large sustainable designed projects. The 2nd & Pike Tower will be the culmination of this commitment. The building will achieve LEED Gold certification, gathering sun and wind from the site.

A large street level restaurant and upper level Skybar with roof decks will further insure the building's engagement with its neighborhood and contribute to the richness of the Pike/Pine Corridor.

PROJECT OBJECTIVES

Residential	288 Apartment Units
Retail	+6,000 SF
Parking	340 Stalls
Potential Departure Proposed:	Loading Berth Length

PROJECT DESCRIPTION

NUMBER OF FLOORS:

35 Floors above grade, including partial Mezzanine above Ground Floor, semi-private garden courtyard at Ground Floor and B1 level, semi-private roof garden amenity space at 8th floor (Skybar), private resident amenity spaces at 9th floor and Roof and 40' Mechanical penthouse above roof level.

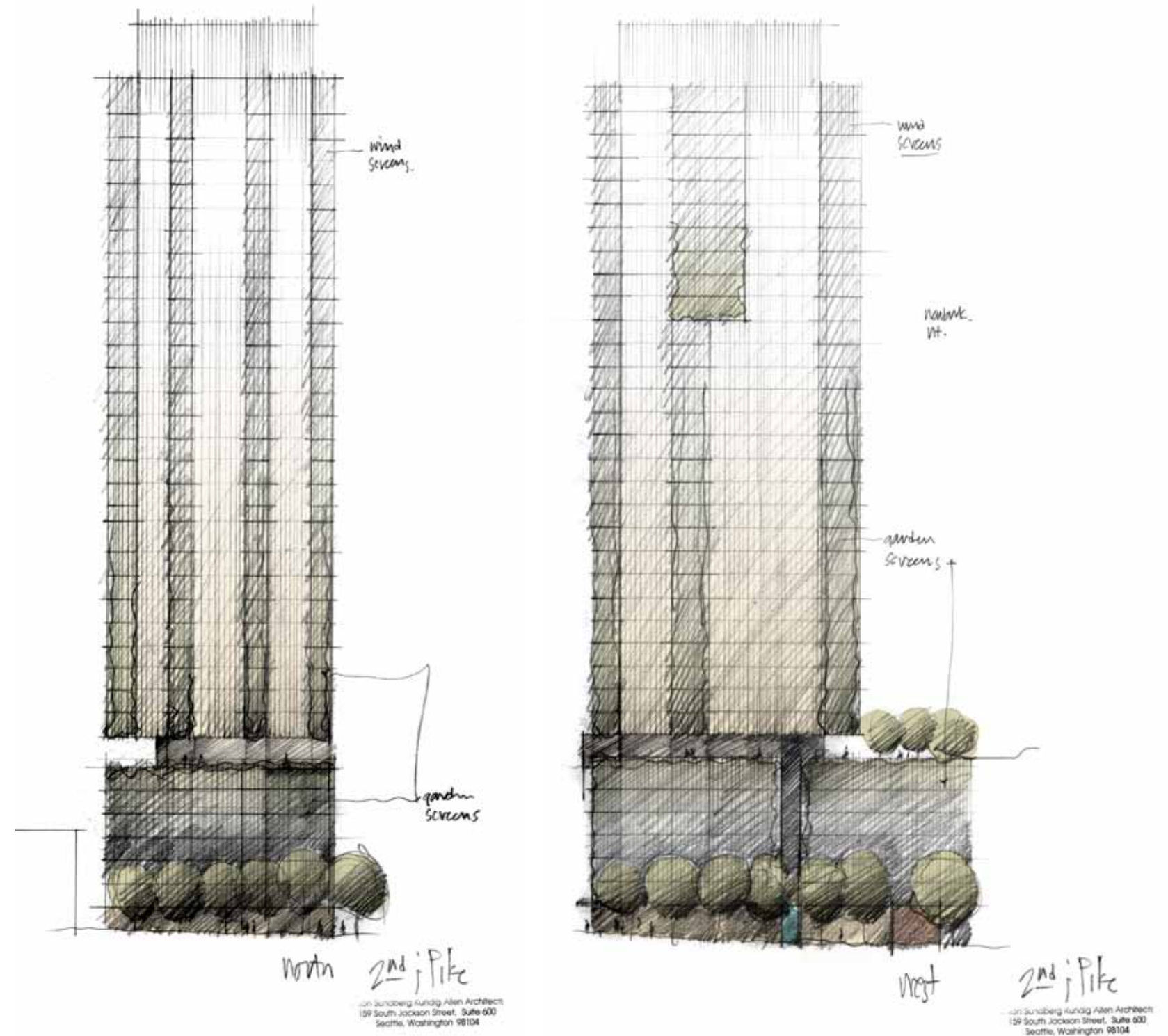
BUILDING HEIGHT:

440' Maximum height above grade at midpoint of 2nd Avenue property line to include:

400' Maximum proposed Residential height plus 40' Maximum Mechanical penthouse above roof level.

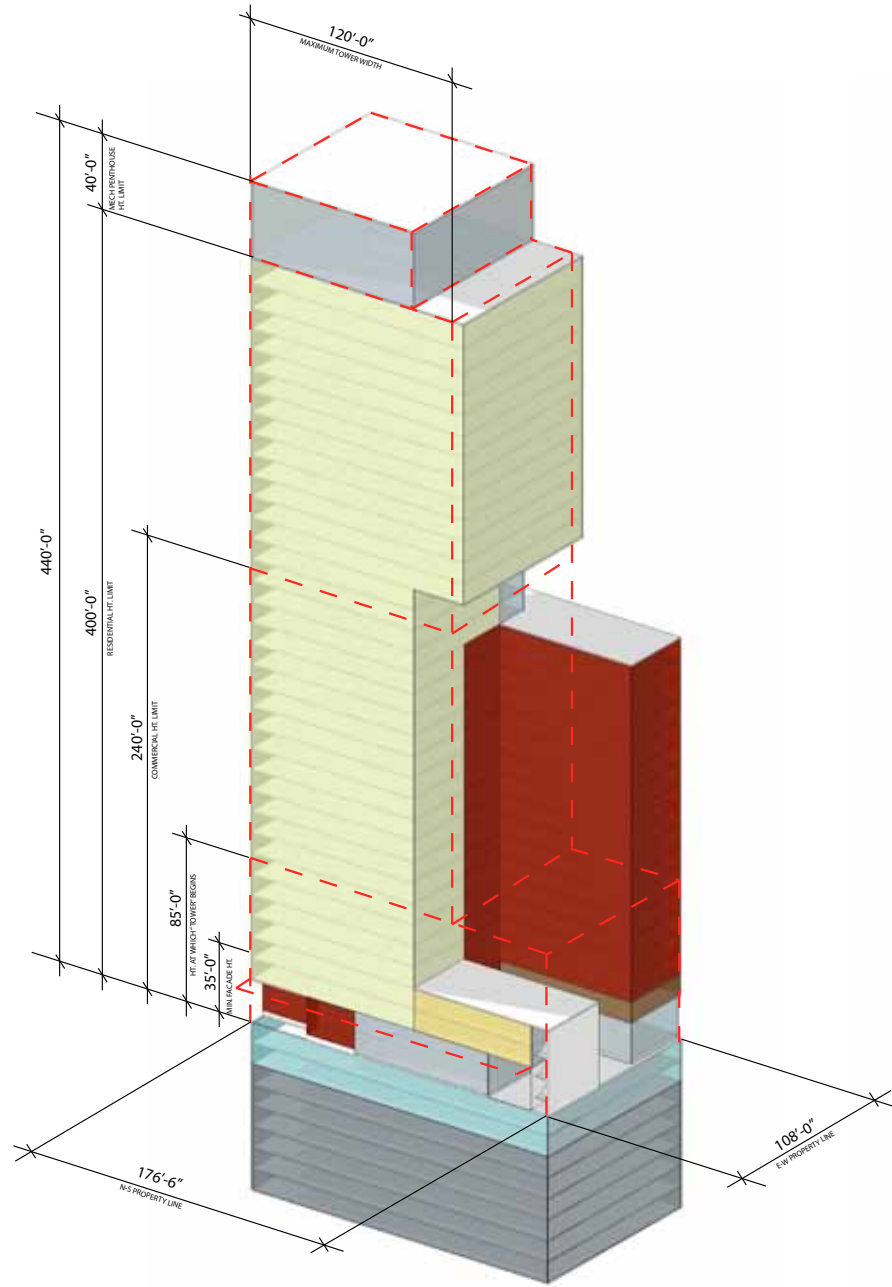
POSSIBLE DEPARTURES:

1. Loading Berth Length (SMC 23.40.xxx)

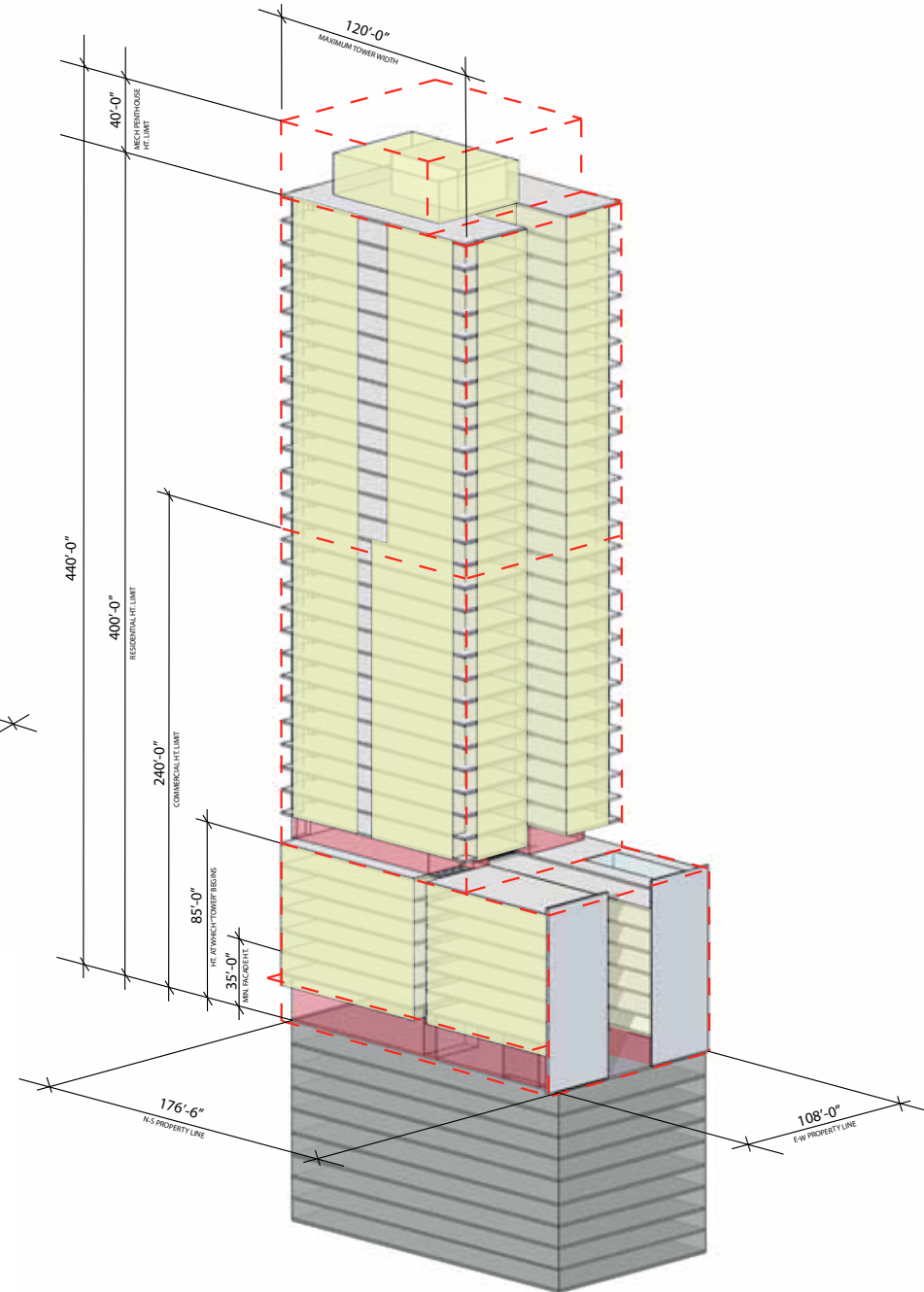


PROGRAM/MASSING CONCEPT SKETCHES

ZONING DIAGRAM



ZONING DIAGRAM
MAY 27, 2008 EDG MEETING SCHEME



ZONING DIAGRAM
CURRENT SCHEME

Property Address 1430 2nd Avenue
King County Assessor Parcel # 1975700480
Zoning DMC 240/290-400
Applicable Code Section 23.49 Downtown Zoning

Parking Quantity
(SMC 23.49.019-A.1)
 No parking, either long-term or short-term, is required for uses on lots in Downtown zones
 Max Allowed: Retail 6,000sf 6 stalls (1 per 1,000 sf non-res.)
 Total: 6 stalls non-residential
 Existing surface: 74 stalls
 Proposed: Retail 6,000sf 006 stalls
 (below grade) 288 Apartments 333 stalls (1 per 1.5bedroom)
 Total 340 stalls

Design Review
(SMC 23.41)
 General Info, Application Instructions, and Submittal Requirements

Structure Height
(SMC 23.49.008)
 Maximum Height Limit 400'

Roof Features 40' above the applicable height limit
 Stair penthouses and Mechanical equipment permitted 15' above the applicable height limit.

Street-level use requirements
(SMC 23.49.009)
 75% of each street frontage must be occupied by applicable commercial uses.

25% of the street frontage may contain other permitted uses and/or pedestrian or vehicular entrances.

General requirements for residential uses
(SMC 23.49.010.B)
 Common recreation area (5) percent of the total gross floor area in residential use (50) percent maybe enclosed open space at street level counted twice
 Residential 244,000
 Required 244,000 x .05 = 12,200 sf

Base and Maximum Floor Area Ratios (FARs)
(SMC-Chart 23.49.011.A1)

DMC 240/290-400	Base	5
	Max	7
Mechanical equipment allowance		3 1/2 percent
Residential exempt (SMC 23.49.011.B.1.c.3.f)	> 20,000 sf	

Open space
(SMC 23.49.016.5)
 < 85,000 sf of new office Exempt

Overhead Weather Protection and Lighting
(SMC 23.49.018)
 Required along the entire street frontage except facade located 5' from street property line or widened sidewalk on private property

Bicycle Parking
(Chart 23.49.019 A)
 Residential 1 space for every 2 dwelling units (for the first 50 spaces of a use)
 1 space for every 4 dwelling units (1/2 the ratio after first 50 spaces)
 288 apts
 100 apts/2=50 stalls
 188 apts/4=47 stalls
 097 bicycle stalls
 Required:

Curb Cut Location
(SMC 23.49.019.H.1.a)
 When a lot abuts an alley, alley access shall be required

Required: none
 Existing: 2 curb cuts on 2nd Avenue
 0 curb cuts on Pike Street
 1 driveway in alley
 Proposed: 1 curb cut on 2nd Avenue
 1 driveway in alley

Minimum sidewalk and alley width
(SMC 23.49.022-A)
 Minimum sidewalk widths are established by Map 1C.1
 Required: Pike Street 18', 2nd Avenue 15'
 Existing: Pike Street 18', 2nd Avenue 18'
 Proposed: Maintain minimum sidewalk widths throughout with incorporated sidewalk improvements as described elsewhere.

View corridor requirements

(SMC 23.49.024) Not required per Map 1D

Odor, noise, light/glare, and solid waste recyclable materials storage space standards

(SMC 23.49.025)

Venting 10' above finished sidewalk grade, and directed away from residential uses within 50' feet of the vent.

DMC street facade and street setback requirements

(SMC 23.49.056)

Minimum Facade Height Class I Pedestrian Streets
DMC: 25 feet

Facade Setback Limits

Between the elevations of 15 and 35 feet above sidewalk grade, the facade shall be located within 2' of the street property line, except that:

maximum setback	10'
maximum area setback	40% of facade area between the elevations of 15' and 35'
maximum setback width	20'
Facade Transparency	Class I pedestrian streets 60% street level transparent
Blank Facade Limit	15' wide

DMC upper-level development standards

(SMC 23.49.058)

Facade Modulation

2nd Ave	15' setback above 85'
Pike Street	N/A per SMC Chart 23.49.058A

Alley improvements in all zones

(SMC 23.53.030)

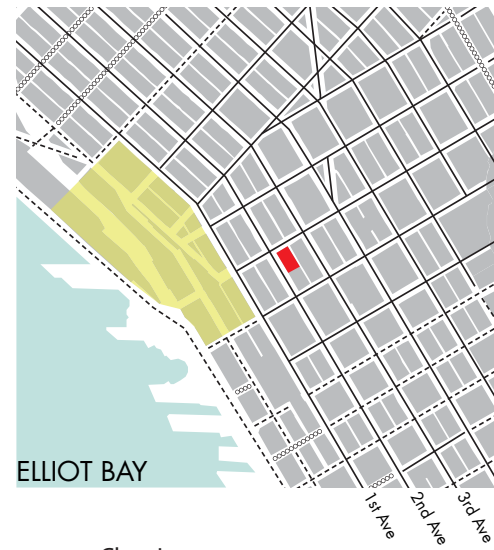
Required:	20'
Existing:	16'
Proposed:	18' (2' dedication)

Loading Berth Requirements and Standards

(SMC 23.54.035)

Min. Number Required (Per Table A):	2
Proposed	2
Min. Length Required	35'
Proposed	30'

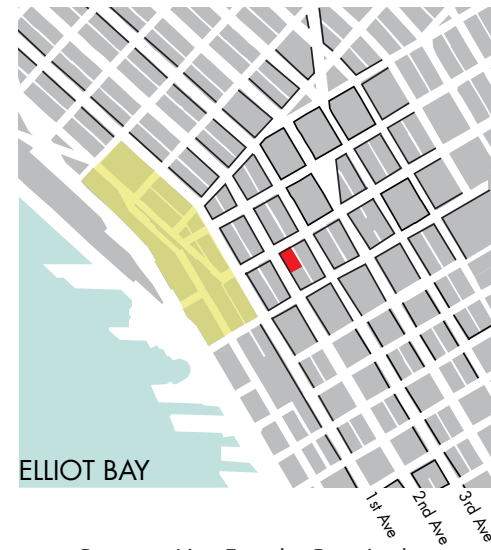
PEDESTRIAN STREET CLASSIFICATIONS



- Class I
- - - - Class II
- ⋯ Green Street
- Pedestrian Street Classifications regulated by Special Review or Historic District Regulations, except that Green Street setbacks in the International District Residential zone are regulated by Section 23.49.248

■ 2nd & Pike Tower
1430 2nd Avenue
Seattle, WA 98101

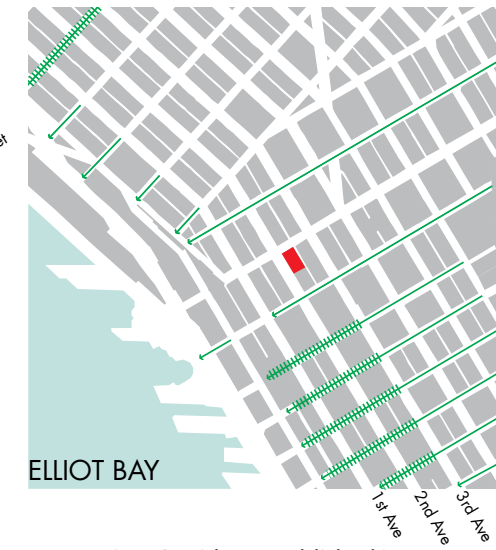
PROPERTY LINE FACADES



- Property Line Facades Required
- Street Facades regulated by Special Review or Historic District Regulations

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1430 2nd Avenue
Seattle, WA 98101

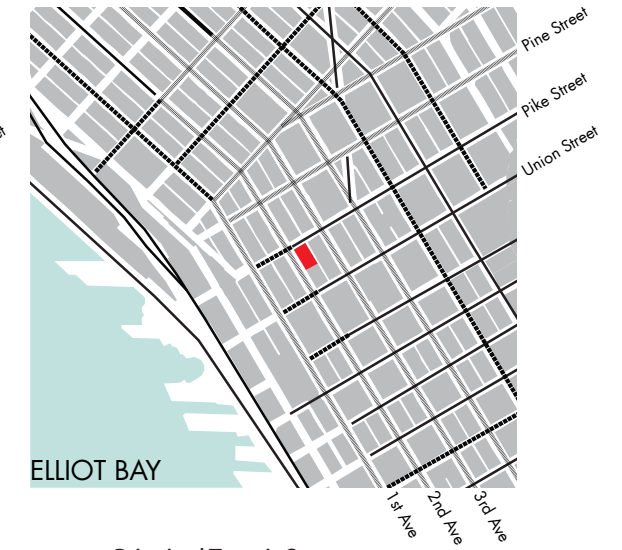
VIEW CORRIDORS



- View Corridors established in Downtown View Corridor Map, Exhibit 3.5.C of Resolution 30297 (line indicates extent of View Corridor)
- ← Arrow indicates direction of View
- ▤ Portions of View Corridor requiring View Corridor setbacks according to Section 23.49.024

■ 2nd & Pike Tower
1430 2nd Avenue
Seattle, WA 98101

STREET CLASSIFICATIONS



- Principal Transit Street
- - - Minor Arterial (other than Principal Transit Street)
- Principal Arterial (other than Principal Transit Street)

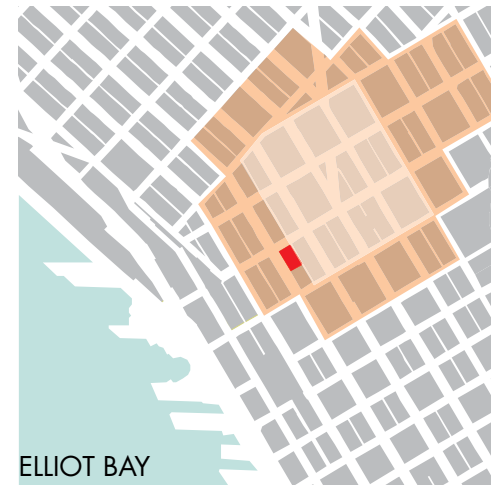
■ 2nd & Pike Tower
1430 2nd Avenue
Seattle, WA 98101

SEATTLE ZONING MAP EXCERPT



■ 2nd & Pike Tower
1430 2nd Avenue
Seattle, WA 98101

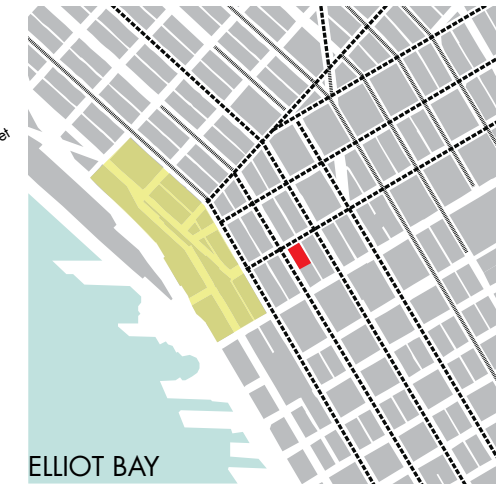
PUBLIC AMENITY



- Major Retail Store and Shopping Atrium (FAR Exemption Only - No Bonus)
- Shopping Corridor Bonus

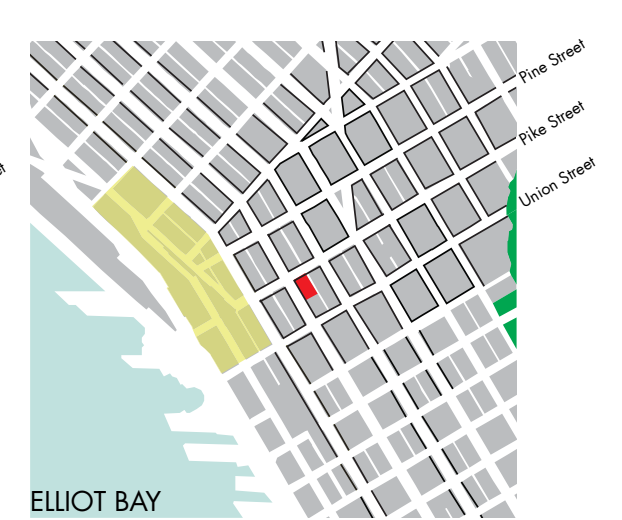
■ 2nd & Pike Tower
1430 2nd Avenue
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SIDEWALK WIDTHS



- ⋯ Variable 12' applies to all unmarked streets
- 15'
- - - 18' (when on a one-way street, only the side with transit stops shall be 18'; the other side shall be 15')
- Sidewalk widths addressed by Special Review or Historic District regulations

■ 2nd & Pike Tower
1430 2nd Avenue
Seattle, WA 98101



- Street-Level Uses Required
- Street Level Use Regulated by Special Overlay District

■ 2nd & Pike Tower
1430 2nd Avenue
Seattle, WA 98101



RAINIER SQUARE COURTYARD



INN AT THE MARKET COURTYARD



PIKE PLACE MARKET



WESTLAKE PLAZA



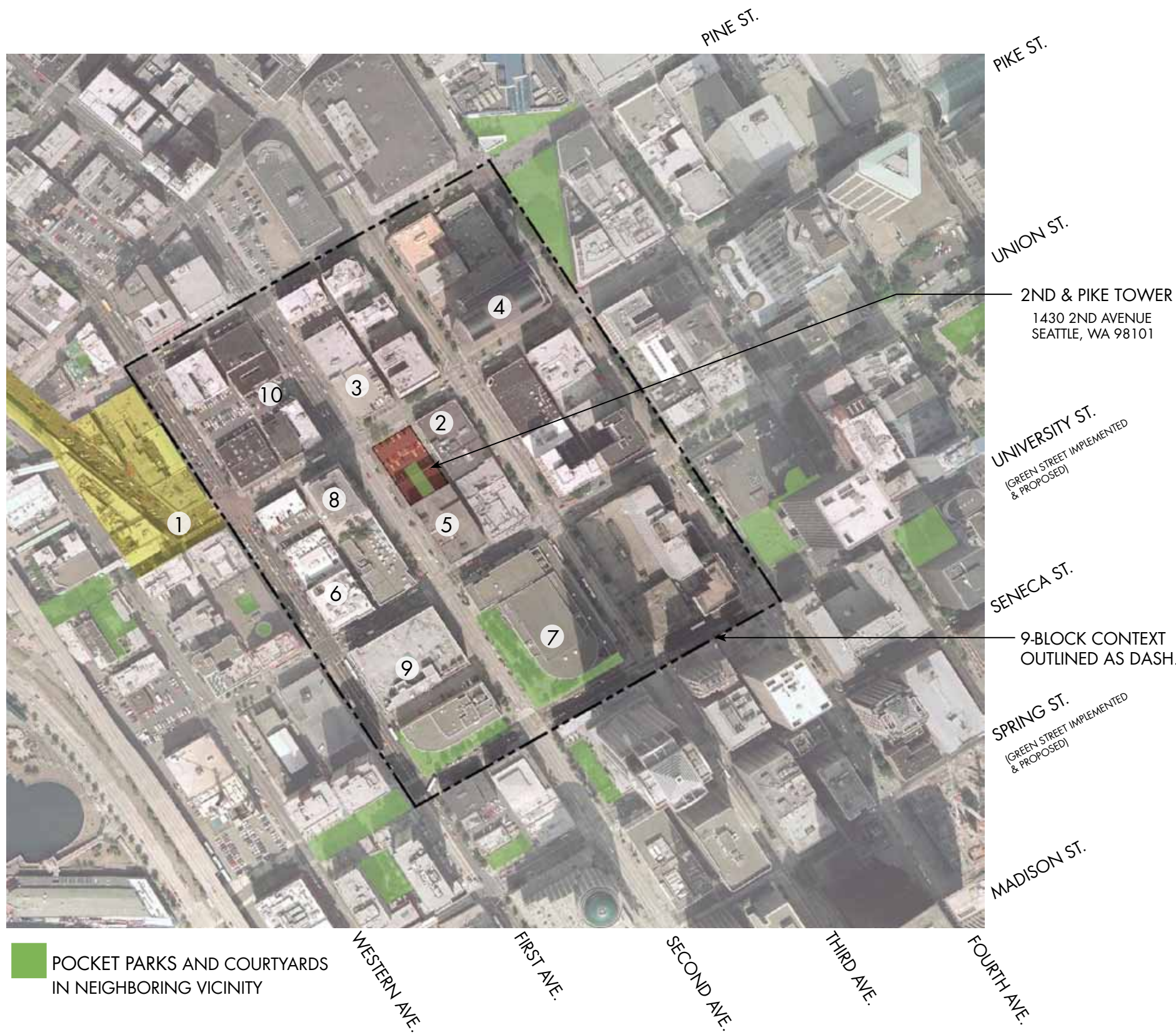
WASHINGTON MUTUAL PLAZA



HILLCLIMB COURT



COURTYARD IN PIKE PLACE MARKET



4. CENTURY SQUARE



8. THE NEWMARK



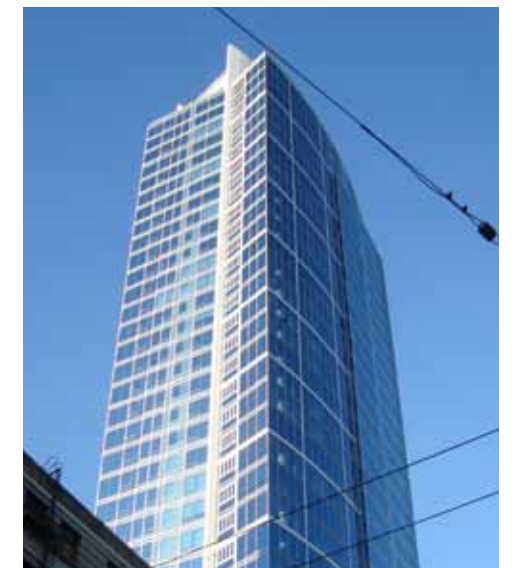
5. PARKING GARAGE



9. RUSSELL INVESTMENTS CENTER



6. HAROLD POLL BUILDING



10. 1521 SECOND AVENUE



1. PIKE PLACE MARKET
(HIGHLIGHTED IN YELLOW ABOVE)



2. KRESS BUILDING
(FUTURE IGA GROCERY STORE)



3. PARKING GARAGE



7. BENAROYA HALL



1. 7th Avenue & Pike Street



2. 4th Avenue & Pike Street



3. 3rd Avenue & Pike Street



4. 3rd Avenue & Pike Street

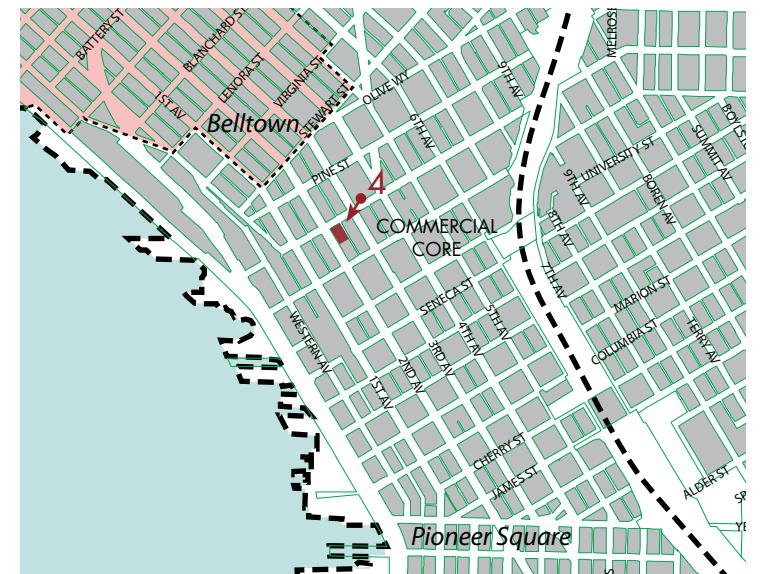


PHOTO SEQUENCE OF PIKE STREET PROMENADE



5. 2nd Avenue & Jackson Street



6. 2nd Avenue & Madison Street



7. 2nd Avenue & Seneca Street



9. 2nd Avenue & Pine Street



8. 2nd Avenue & University Street



PHOTO SEQUENCE OF 2ND AVENUE PROMENADE

Pike St.

2nd & Pike Tower
1430 2ND AVENUE
SEATTLE, WA
176'-6"



CURRENT SITE CONDITIONS,
SURFACE PARKING LOT FOR
74 VEHICLES

Union St.



2ND AVENUE ELEVATION FROM SIDEWALK

4th St.

3rd Ave.

2nd & Pike Tower
1430 2ND AVENUE
SEATTLE, WA
108'-0"

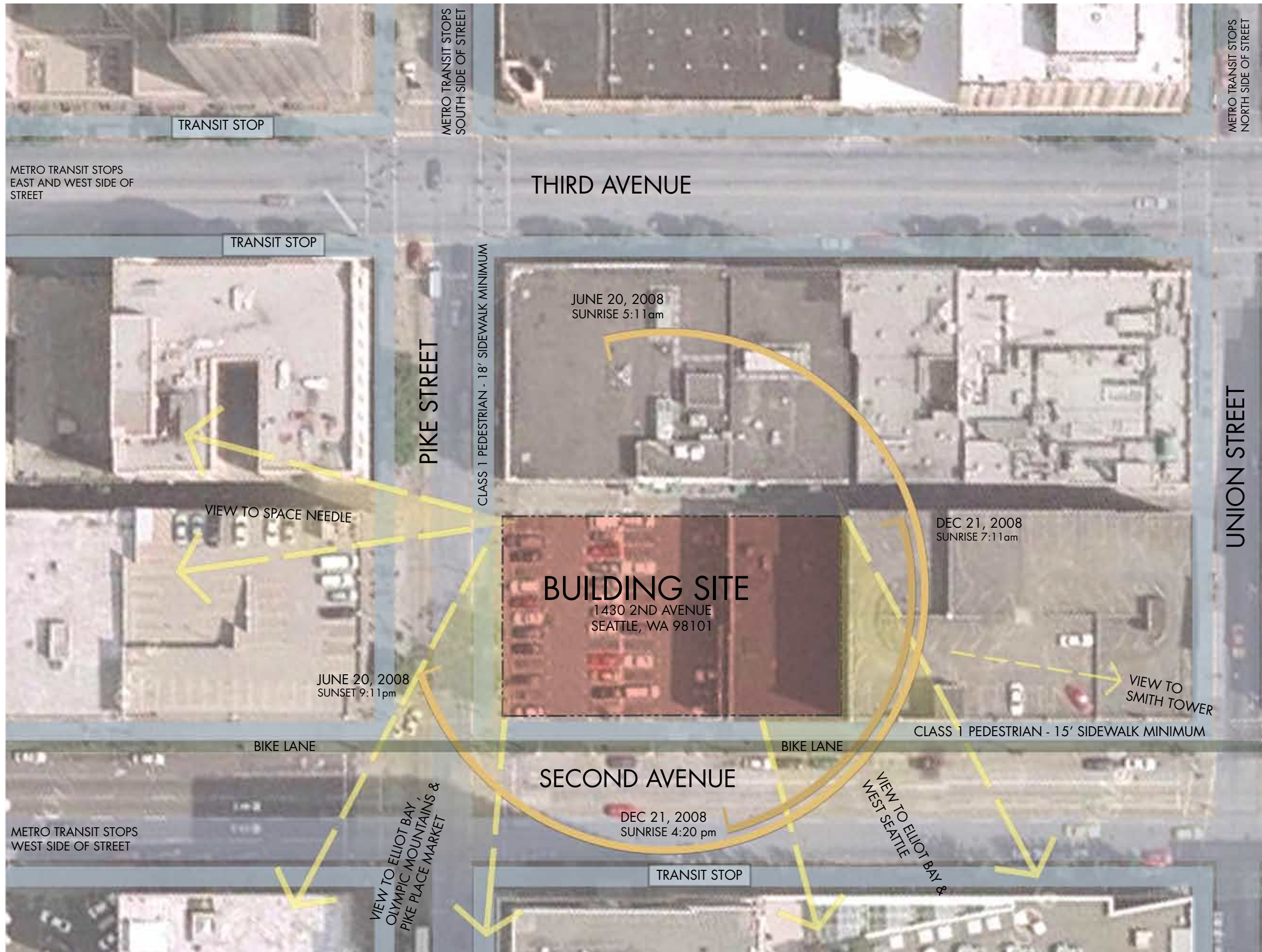
2nd Ave.



1st Ave. ————— PIKE PLACE MARKET



PIKE STREET ELEVATION FROM SIDEWALK



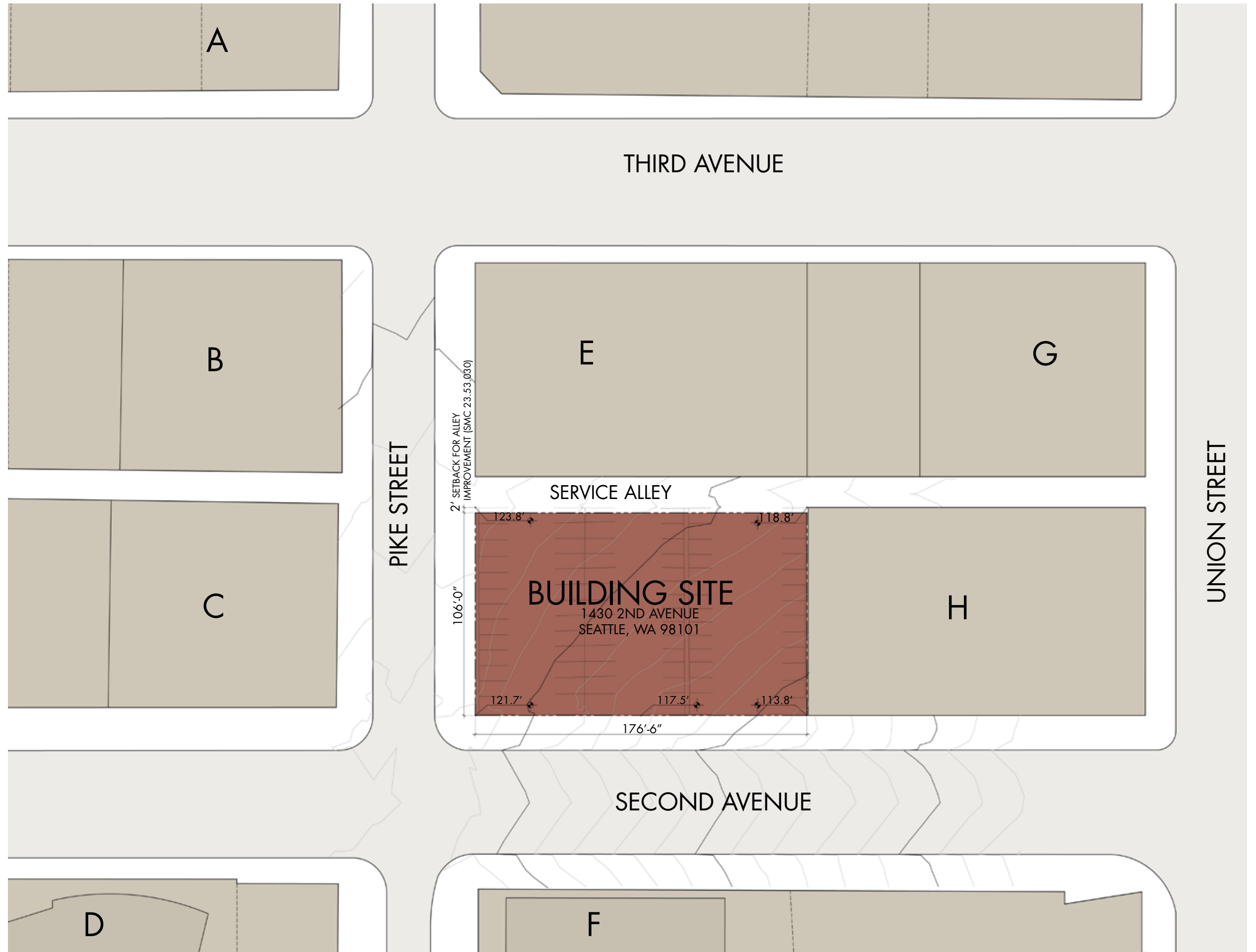
SITE ANALYSIS

NEIGHBORING BUILDINGS:

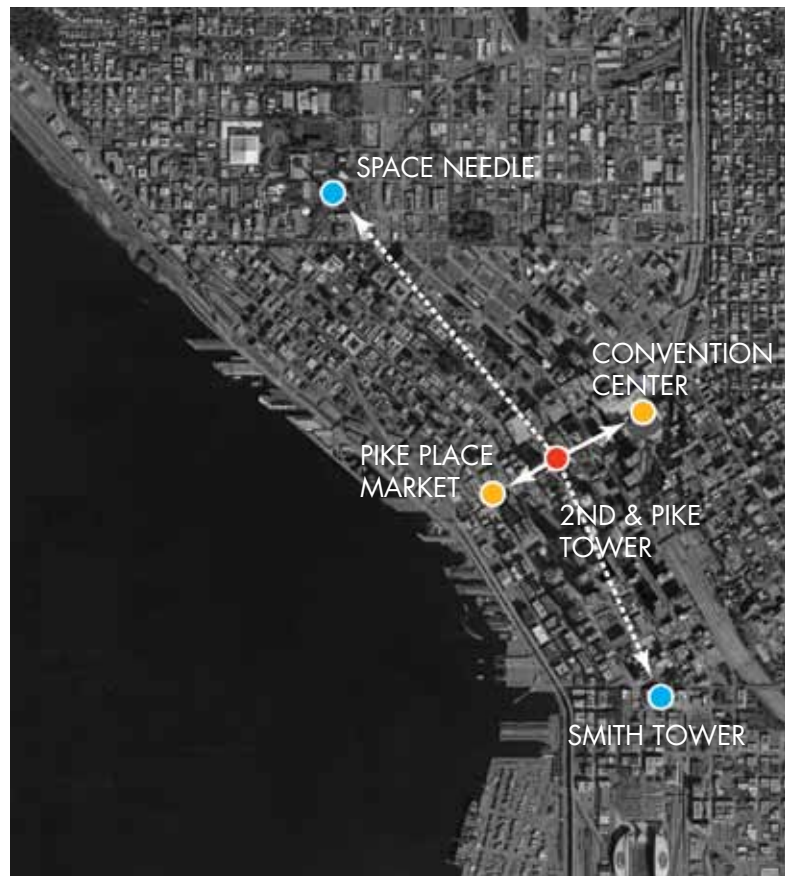
- A CENTURY SQUARE**
COMMERCIAL TOWER, 36 STORIES
380'-0" TALL
- B MELBOURNE TOWER**
COMMERCIAL TOWER, 11 STORIES
165'-0" TALL
- C PARKING GARAGE**
MIXED USE COMMERCIAL, 7 STORIES
100'-0" TALL
- D 1521 2ND AVENUE**
MIXED USE RESIDENTIAL / COMMERCIAL,
36 STORIES, 440'-0" TALL
- E KRESS BUILDING**
COMMERCIAL BUILDING, 3 STORIES
- F NEWMARK TOWER**
MIXED USE RESIDENTIAL / COMMERCIAL,
24 STORIES, 230'-0" TALL
- G WILD GINGER**
RESTAURANT, 2 STORIES
- H SORREANO PARKING GARAGE**
MIXED USE COMMERCIAL, 9 STORIES,
95'-0" TALL

CURRENT SITE CONDITION:

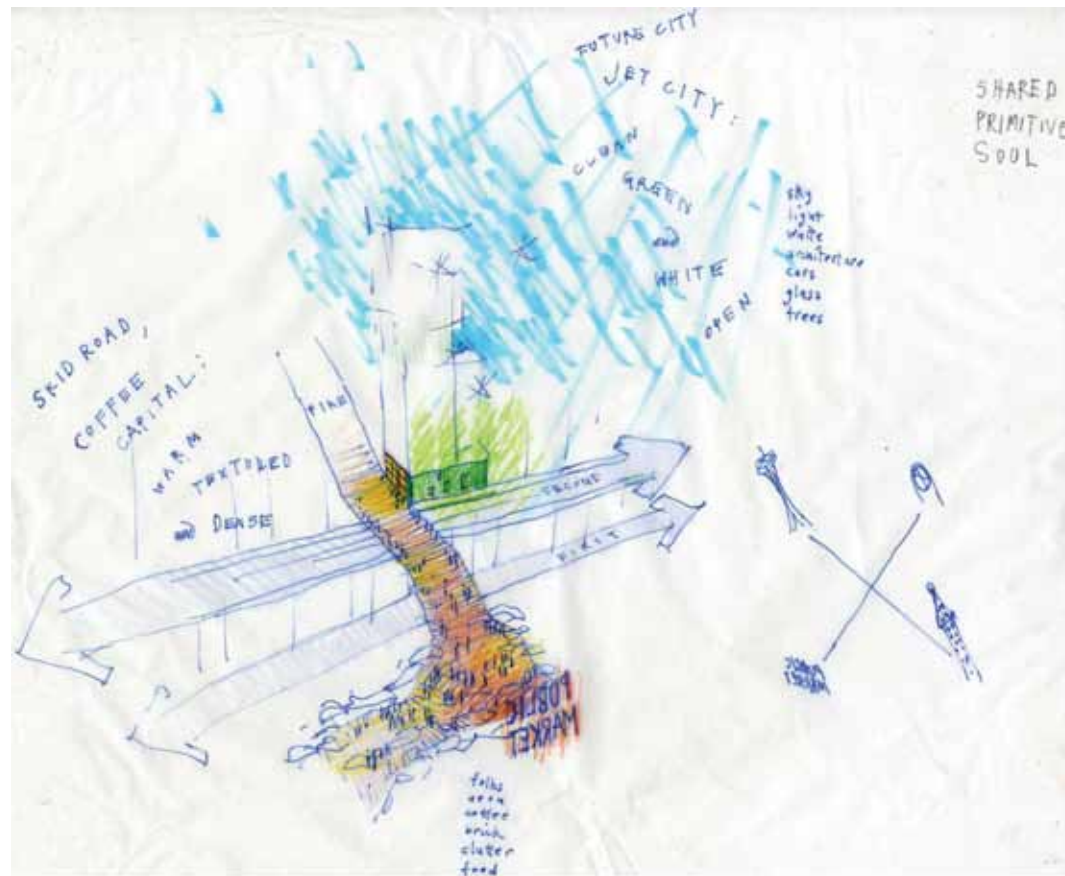
Site dimensions approximately	108' by 176'
Site area approximately	19,062 SF
Existing Parking	74 stalls
Curbcuts	2
Alley access	1 driveway
Alley width	16'
Grade change	+10' across site



EXISTING SITE CONDITIONS



HOME TO MARKET



SHARED PRIMITIVE SOUL

SITE CONCEPTS

The project site is located in downtown Seattle, on the southeast corner of 2nd Avenue and Pike Street. The intersection of these two contrasting streets within a relatively flat terrain creates a topographically distinct and visually prominent corner in Seattle.

2nd Avenue is characterized by a diversity of architectural styles and building scales linking distinct neighborhoods from Lower Queen Anne and Belltown to Downtown, Pike Place Market, Pioneer Square and the International District. As a primary north-south transit route for city and regional buses, 2nd Avenue's image as an urban "main street" is reinforced by one's perceptions of movement, light and activity at street level.

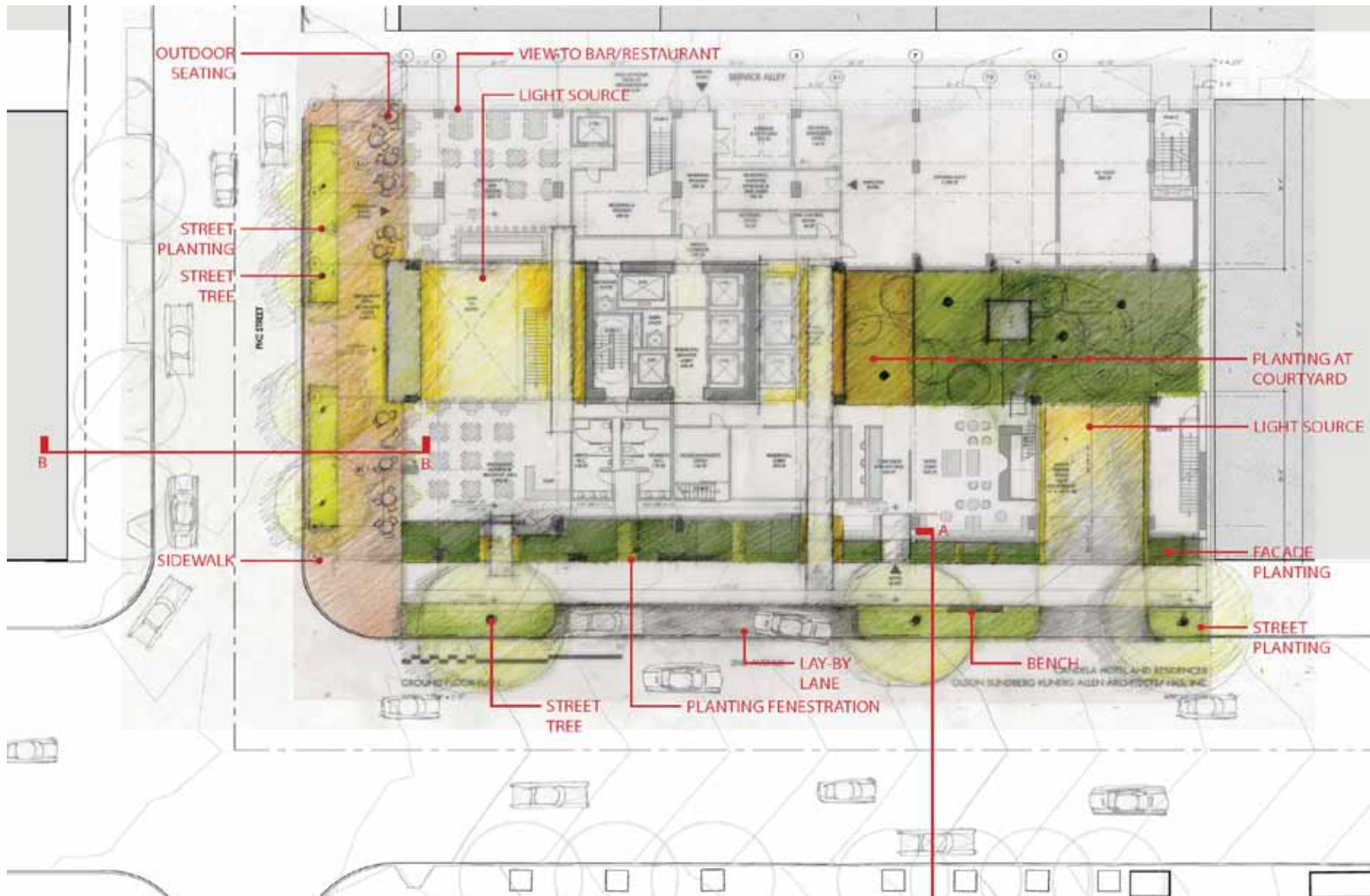
Pike Street runs east-west from the edge of the waterfront across Interstate 5 to reach Capitol Hill. Beginning at Pike Place Market, Pike Street is historically a main route to the Market for residents and visitors. With a smaller scale than 2nd Avenue, Pike Street is characterized by wide pedestrian filled sidewalks, animated storefronts and slower vehicular traffic.

The streetscape design for the 2nd Avenue and Pike Street site will achieve the following design goals:

- Acknowledge the role of the streets as public space; a continuation of Seattle's network of public spaces.
- Create a streetscape of usable and meaningful amenities for the occupants, guests and pedestrians.
- Emphasize the intersection as a crossroads - of the city and Market
- Emphasize the intersection as a threshold – from the city to the Market area.
- Develop a streetscape and landscape design that complements the activity and transparency of the building ground floor architecture and programs.
- Develop a streetscape and landscape design that responds to the prominence of the corner location and provides a distinct character for 2nd Avenue and Pike Street.



EXTEND THE MARKET



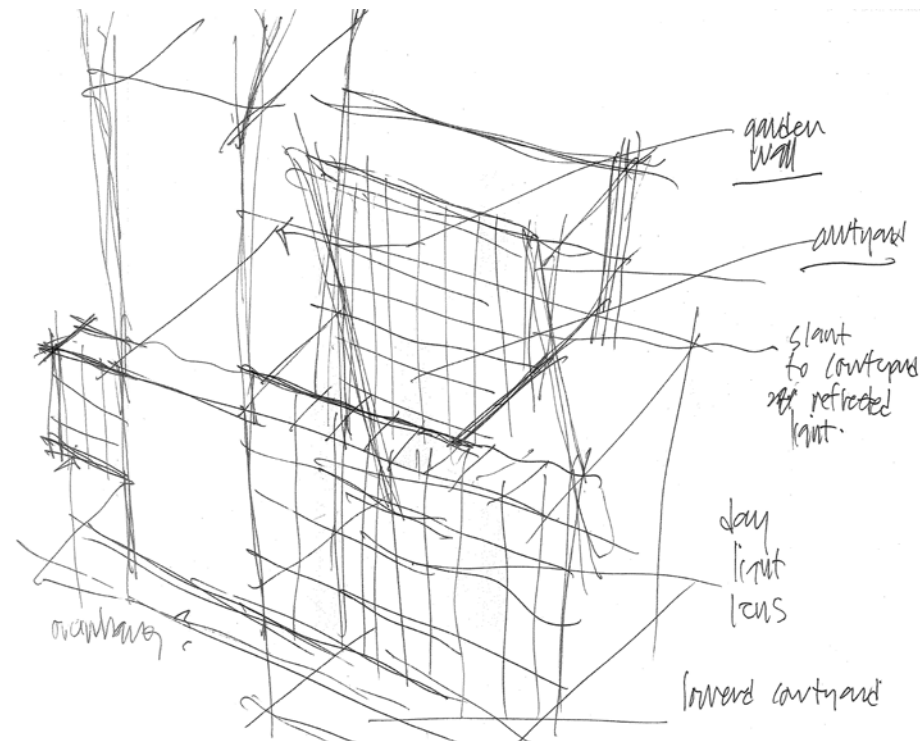
ORIGINAL CONCEPT SITE PLAN



VIEW FROM 3RD AVENUE & UNION STREET WITH 2ND AND PIKE TOWER



FATIGUED LIGHT



COURTYARD CONCEPT SKETCH



LAYERED COURTYARD VIEW CONCEPT



GARDEN COURTYARDS WITH FLOWING WATER

BUILDING CONCEPTS

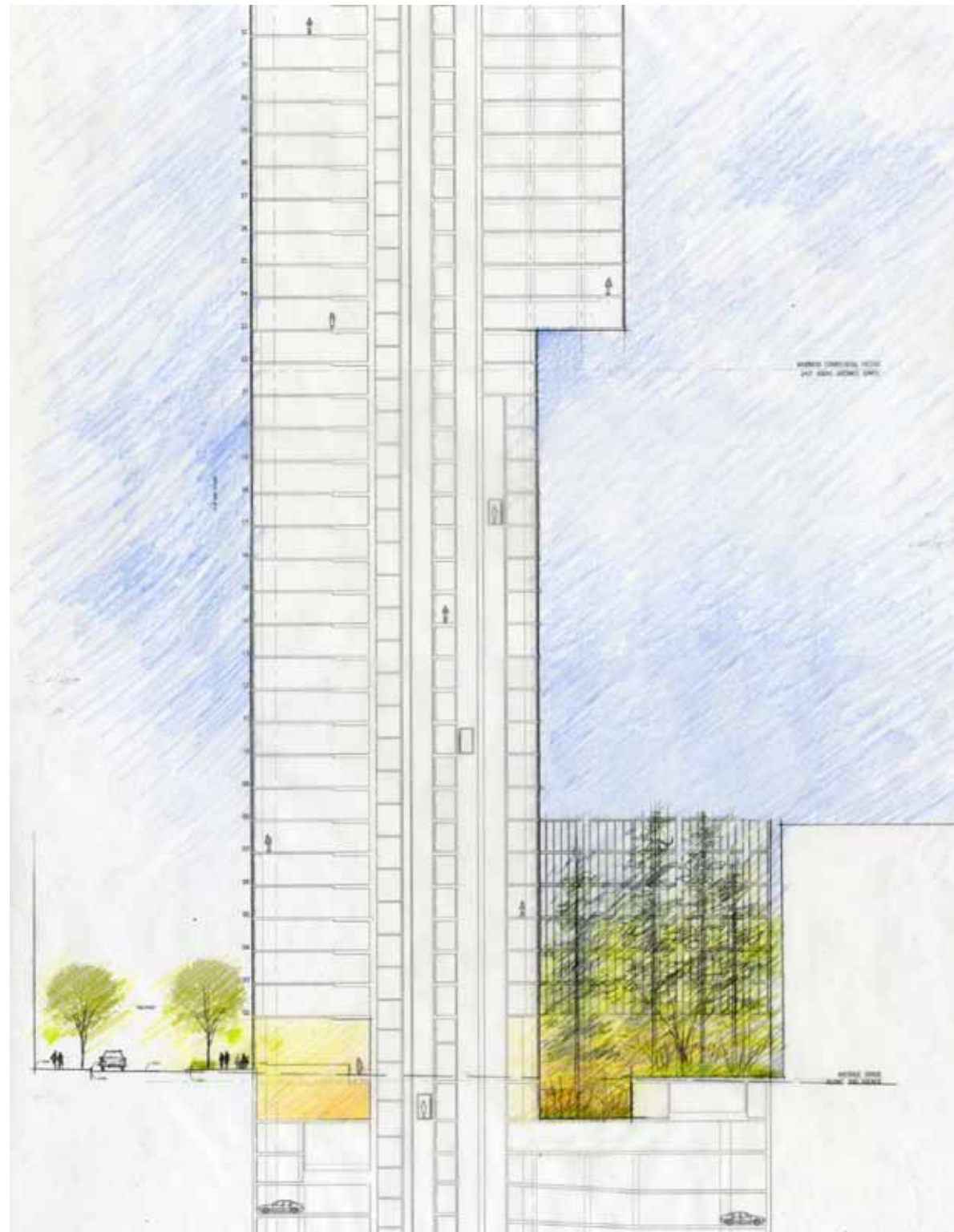
The building is conceived as separate volumes oriented around a multi-level courtyard. Each part attains a distinct presence on the site:

The lower tower levels include apartments, loft residences and retail. This volume holds the corner of 2nd Avenue & Pike Street, acknowledging it as a key city intersection. The loft wing along 2nd Avenue creates a transitional buffer between public street and private courtyard. The courtyard features lightwells that provide natural light and ventilation for the parking and storage levels. Additional recreational spaces will be provided on rooftops creating a layered canopy of vegetation. Apartment units will feature distant views of Pike Place Market and Puget Sound, while the loft units capture more local views of the urban streetscape and central courtyard with southern light. Although the ground level retail spaces are fully glazed to allow visual connections between pedestrians and retail activity, the residential levels up to the Skybar level are clad in a metal mesh to provide privacy. At nighttime, these spaces glow from within, creating an intricate layered reading from the street to the courtyard.

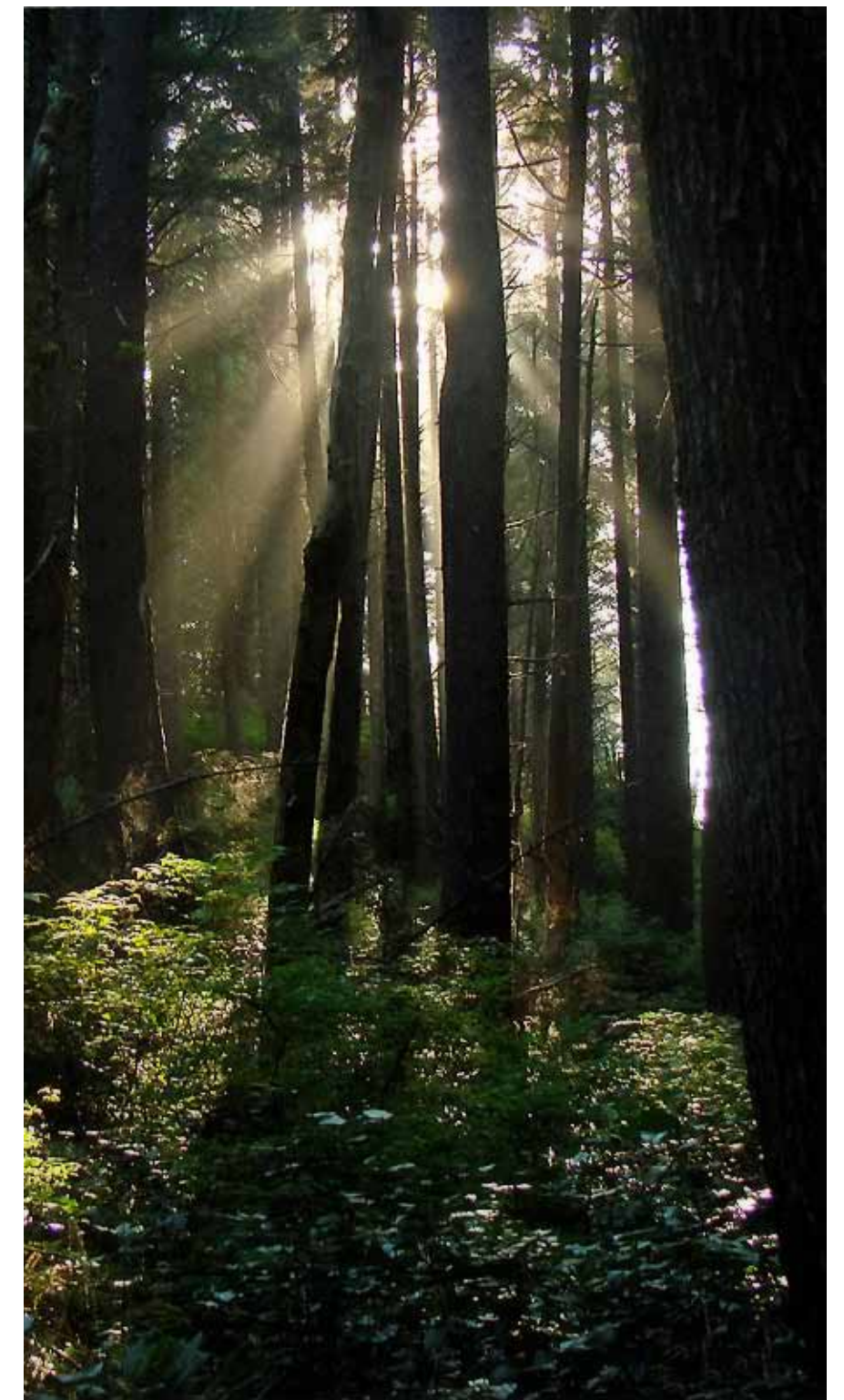
The upper tower condominium levels will be about light and sky. The condos feature inset balconies and white opaque glass framing views between neighboring buildings. Metal mesh screens provide privacy and windbreaks at the balconies, with sections peeled back to frame key views. The mesh will also act as an armature for lower level landscaping to extend up the face of the tower.



LAYERED PLANES OF VEGETATION



CROSS-SECTION AT COURTYARD



FILTERED LIGHT OF A FOREST FLOOR



LARGE OPERABLE STEEL AND GLASS WINDOW TO CREATE INDOOR/OUTDOOR SPACE



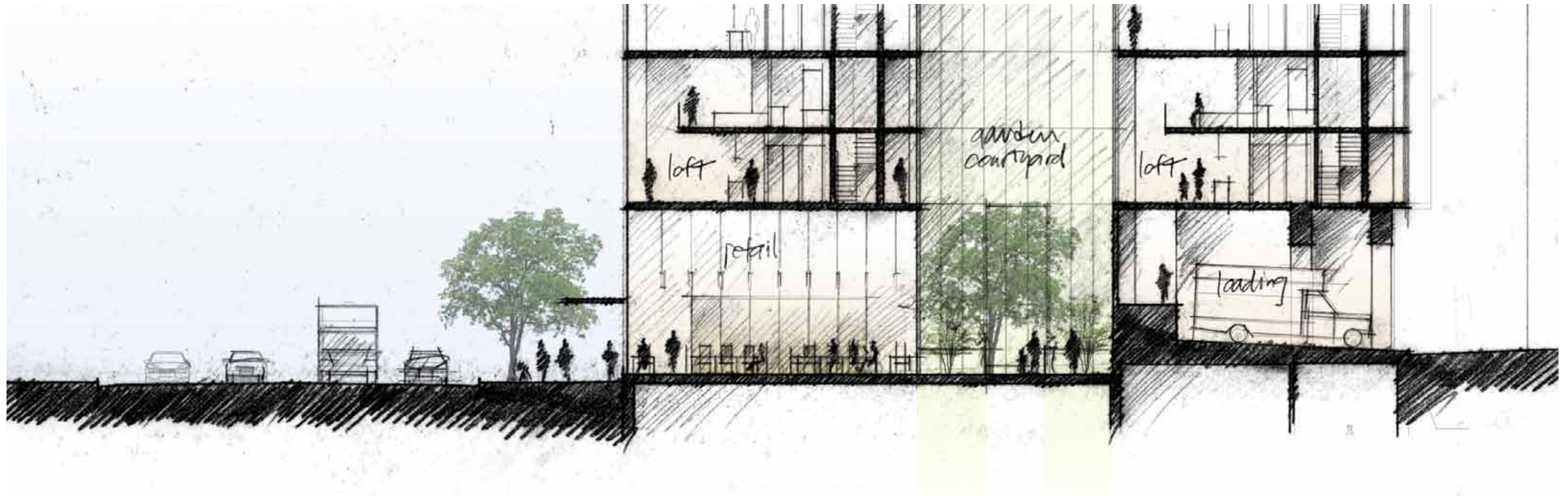
LUSH EDGE GREEN LANDSCAPE MEETING BUILDING



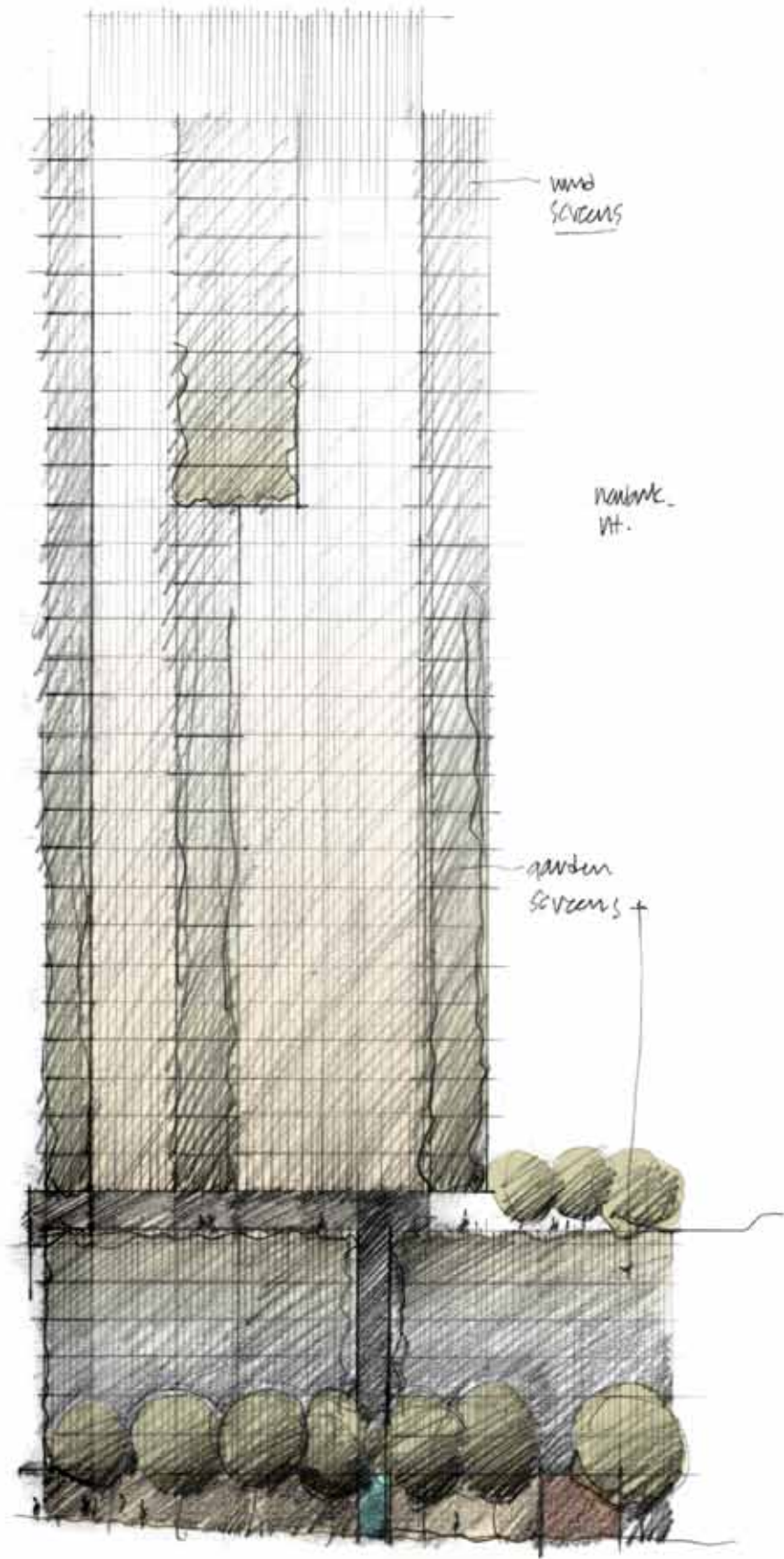
PROMINENT STEEL ENTRY DOOR



LARGE OPENING FOR GATHERED VIEW

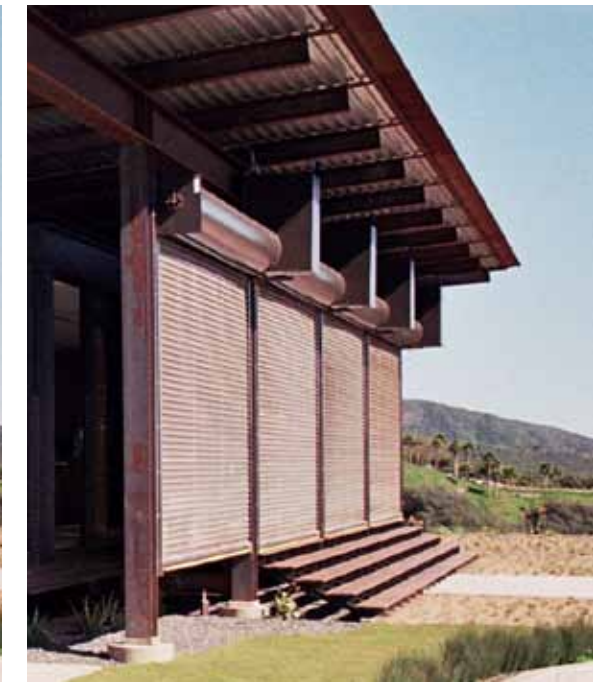


CONCEPT SECTION OF 2ND & PIKE TOWER THROUGH 2ND AVENUE AND GARDEN COURTYARD



nest
 2nd Pike
 Ian Sunberg Kundig Allen Architects
 159 South Jackson Street, Suite 600
 Seattle, Washington 98104

CONCEPT SKETCH OF 2ND AVENUE BUILDING ELEVATION



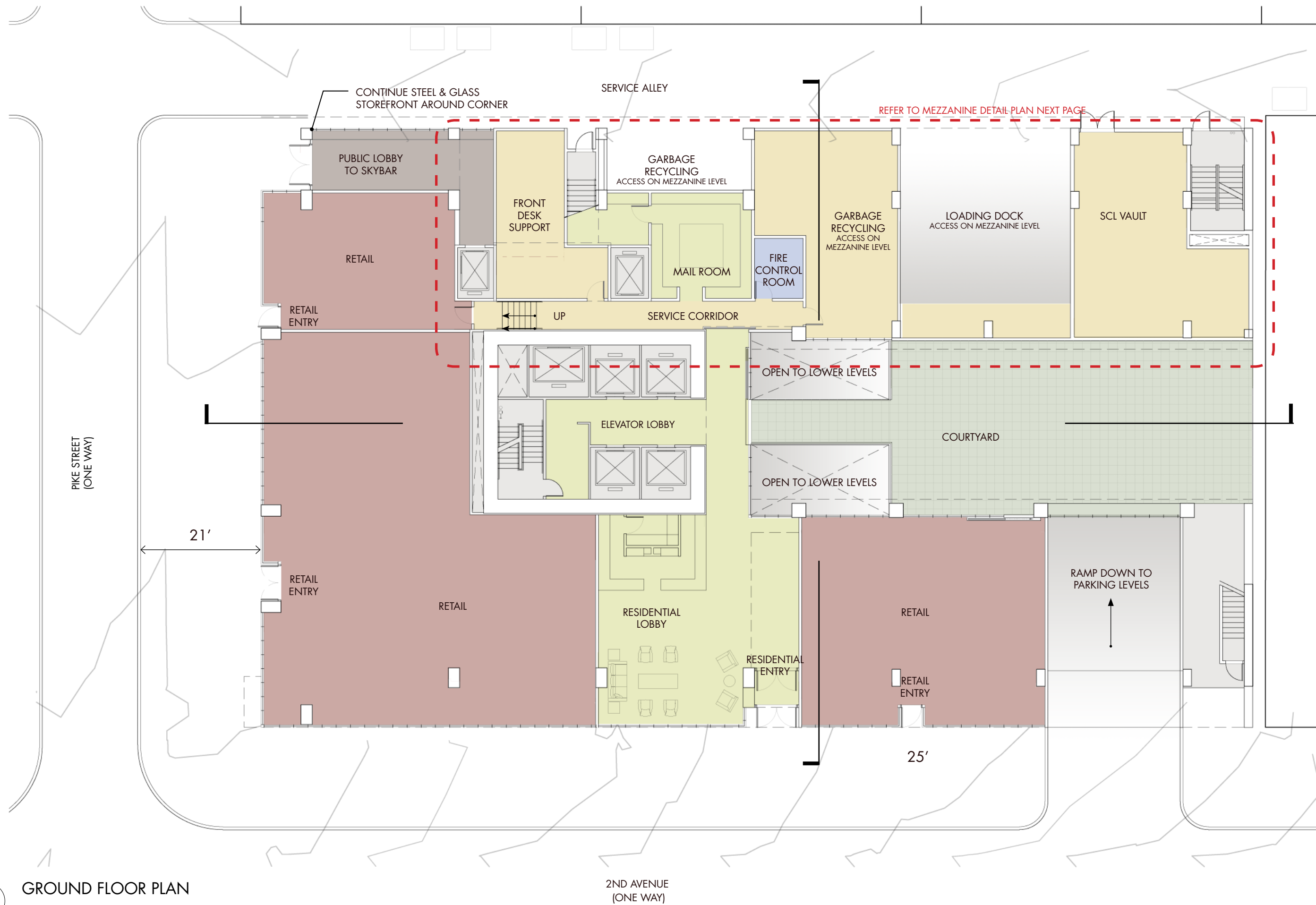
SHUTTERS FOR PRIVACY AND WIND BREAKS



LARGE OPERABLE WINDOW MECHANISM DETAIL

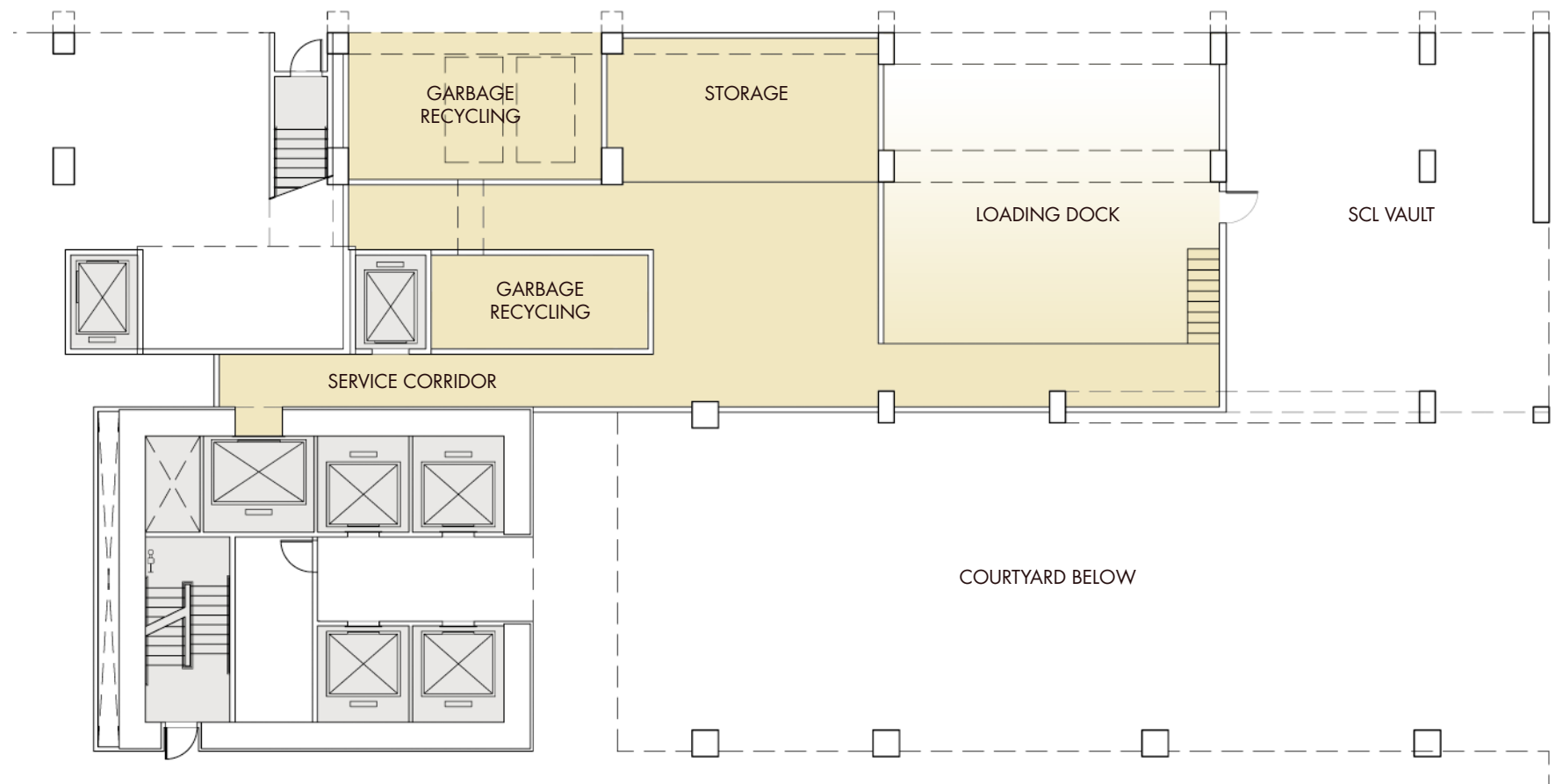


FACADE DETAIL W/ VEGETATION



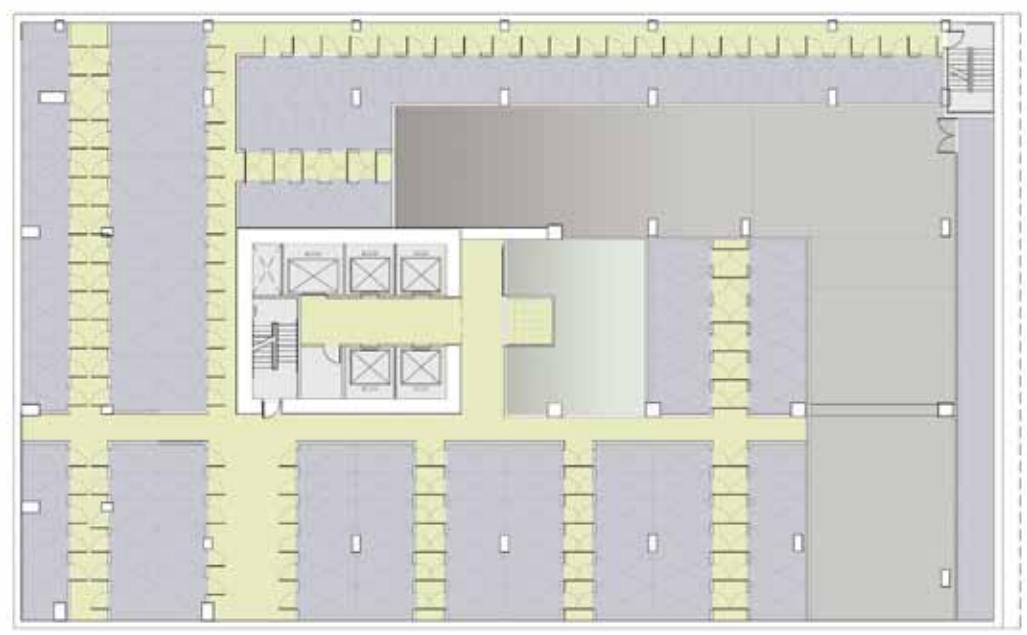
- RESIDENTIAL
- RETAIL
- SERVICE
- OFFICES
- PARKING
- EXTERIOR DECK
- STORAGE
- PUBLIC AREAS
- COURTYARD
- CORE

GROUND FLOOR PLAN
 OUTDOOR RECREATION AREA: 2,685 SF

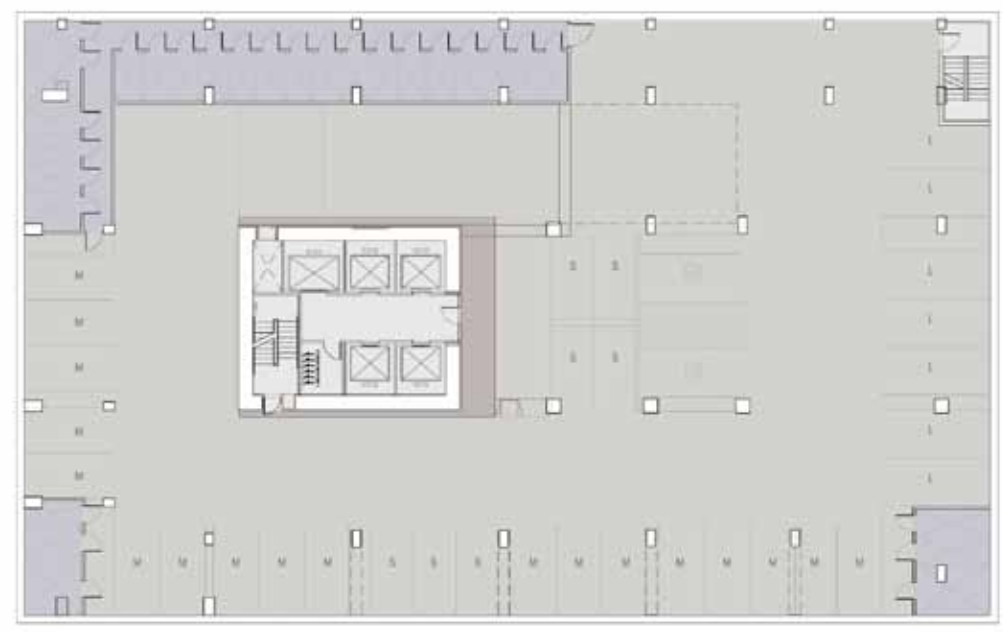


MEZZANINE DETAIL FLOOR PLAN
+9'-6" above ground level

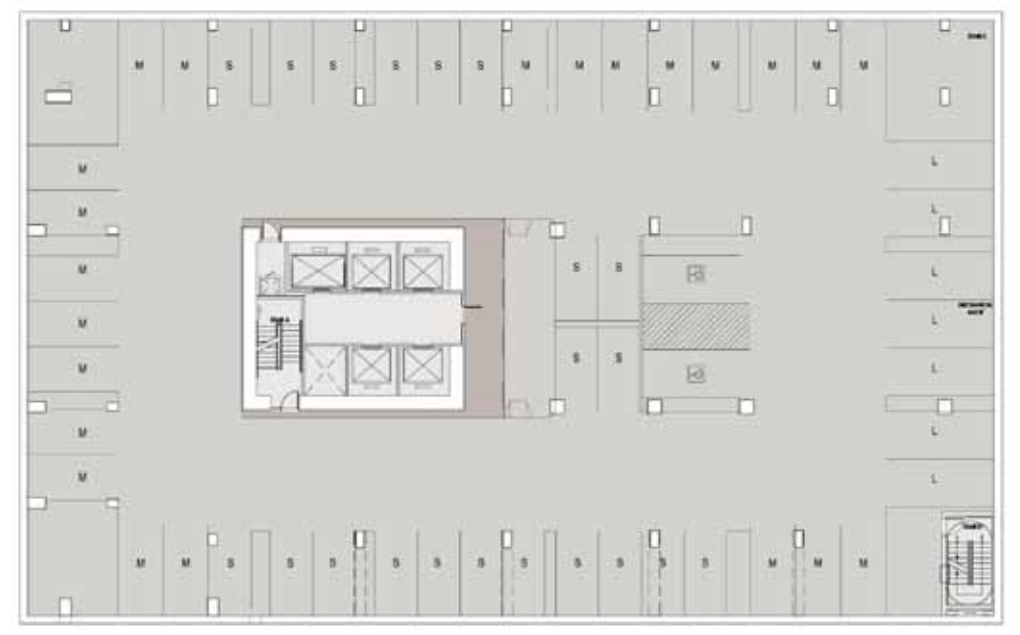
RESIDENTIAL	
RETAIL	
SERVICE	
OFFICES	
PARKING	
EXTERIOR DECK	
STORAGE	
PUBLIC AREAS	
COURTYARD	
CORE	



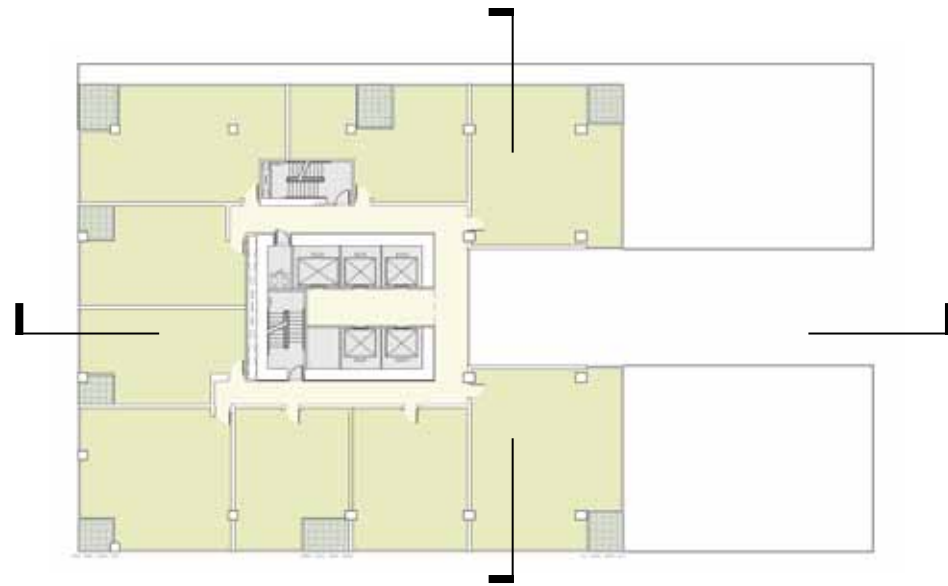
B1 FLOOR PLAN



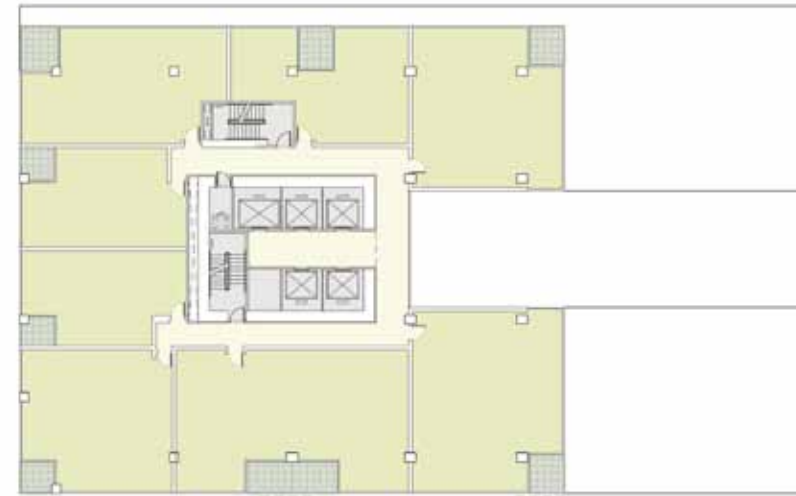
B2 FLOOR PLAN



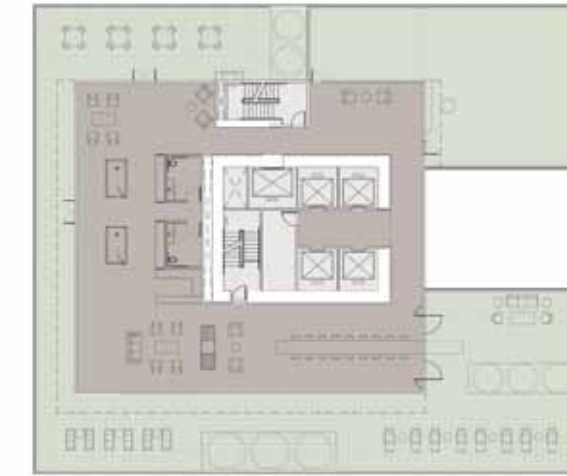
B3-B8 FLOOR PLAN



10-21 FLOOR PLAN



22-35 FLOOR PLAN



ROOF PLAN

INDOOR RECREATION AREA: 1,910 SF
 OUTDOOR RECREATION AREA: 7,550 SF



2-7 FLOOR PLAN

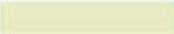

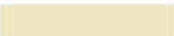






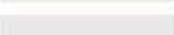


8 FLOOR PLAN



9 FLOOR PLAN

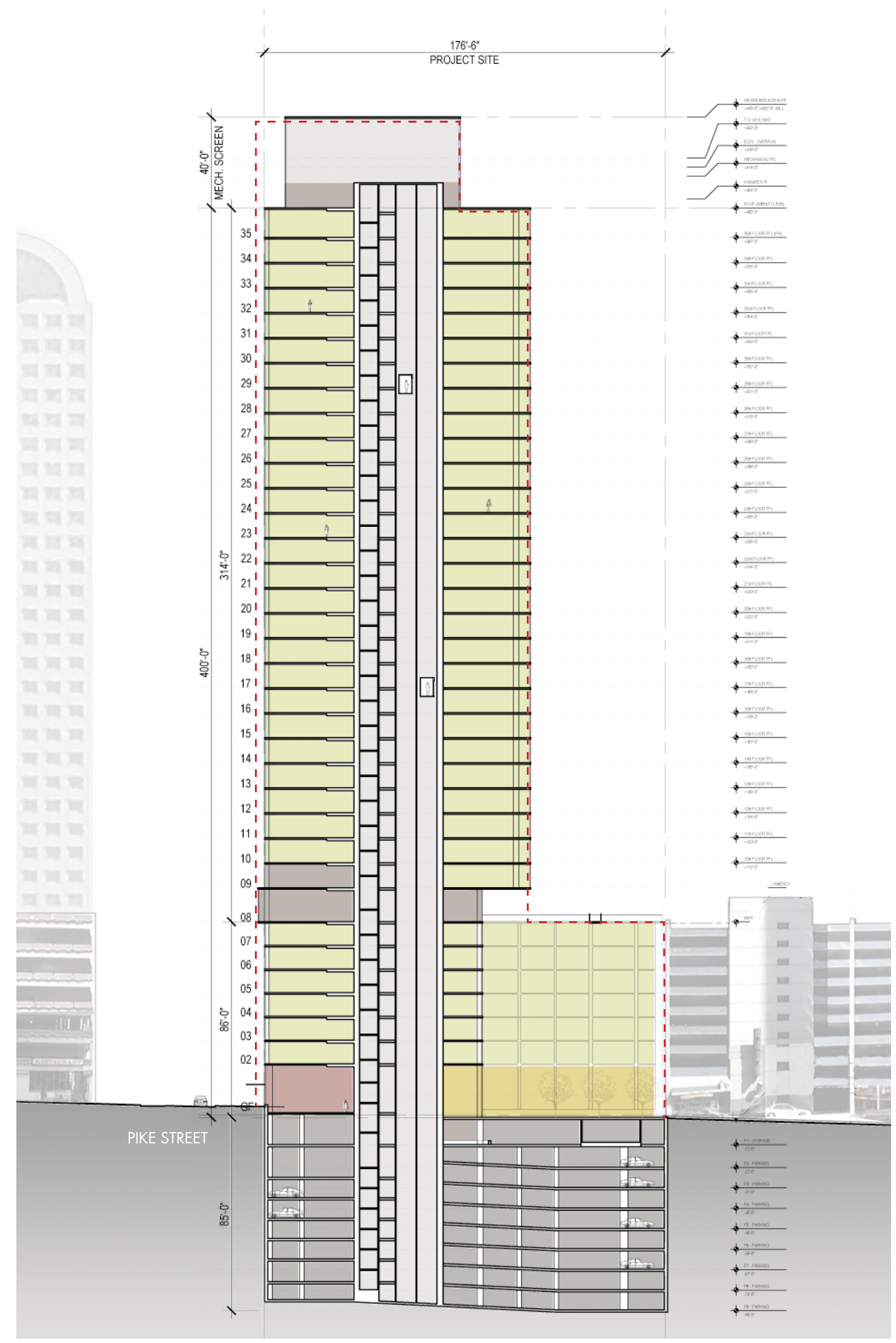
INDOOR RECREATION AREA: 3,780 SF
 OUTDOOR RECREATION AREA: 215 SF

RESIDENTIAL	
RETAIL	
SERVICE	
OFFICES	
PARKING	
EXTERIOR DECK	
STORAGE	
PUBLIC AREAS	
COURTYARD	
CORE	

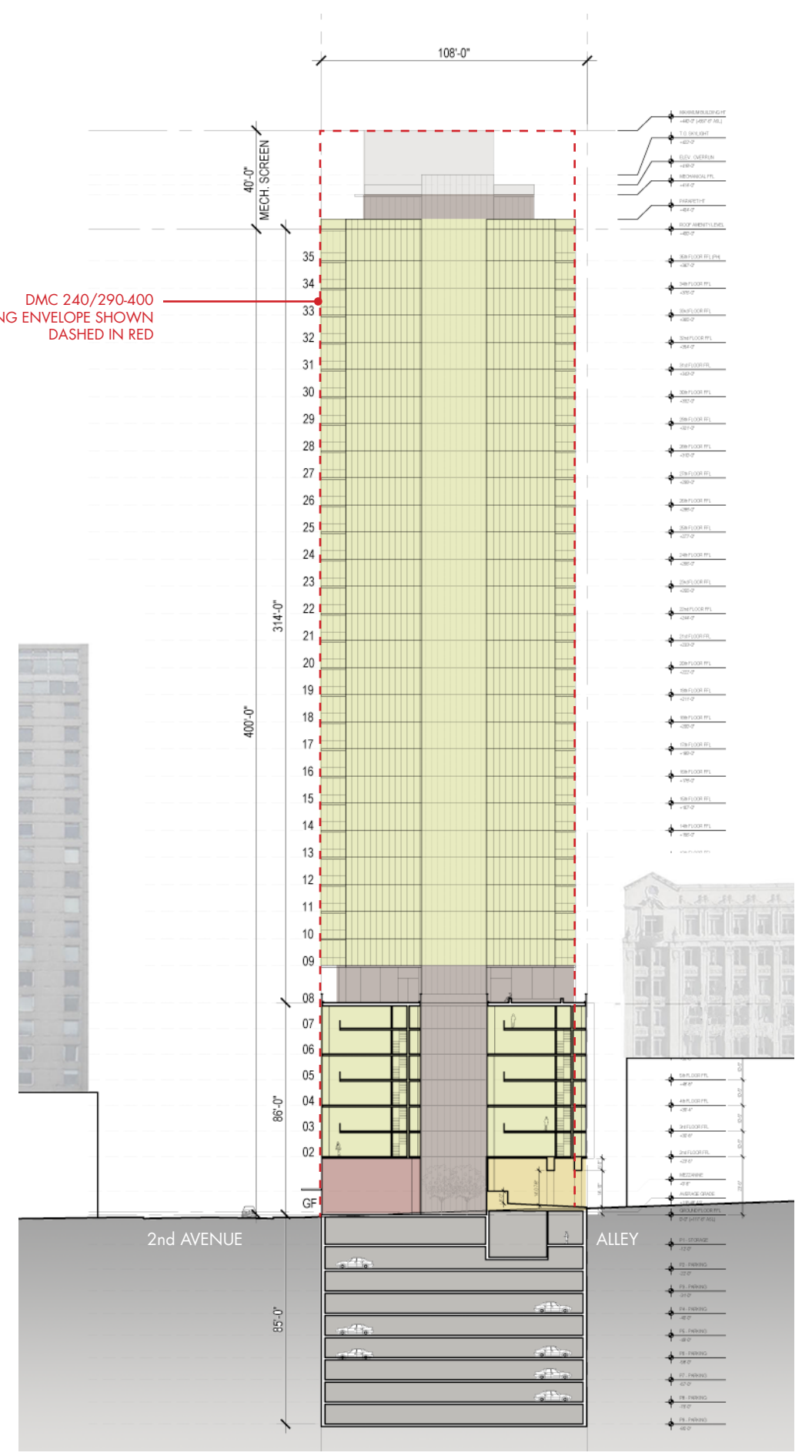
RECREATION AREA:

GROUND FLOOR:	2,685 SF
FLOOR 9:	3,780 SF + 280 SF = 4,060 SF
ROOFTOP:	1,910 SF + 7,550 SF = 9,460 SF
<hr/>	
	16,205 SF

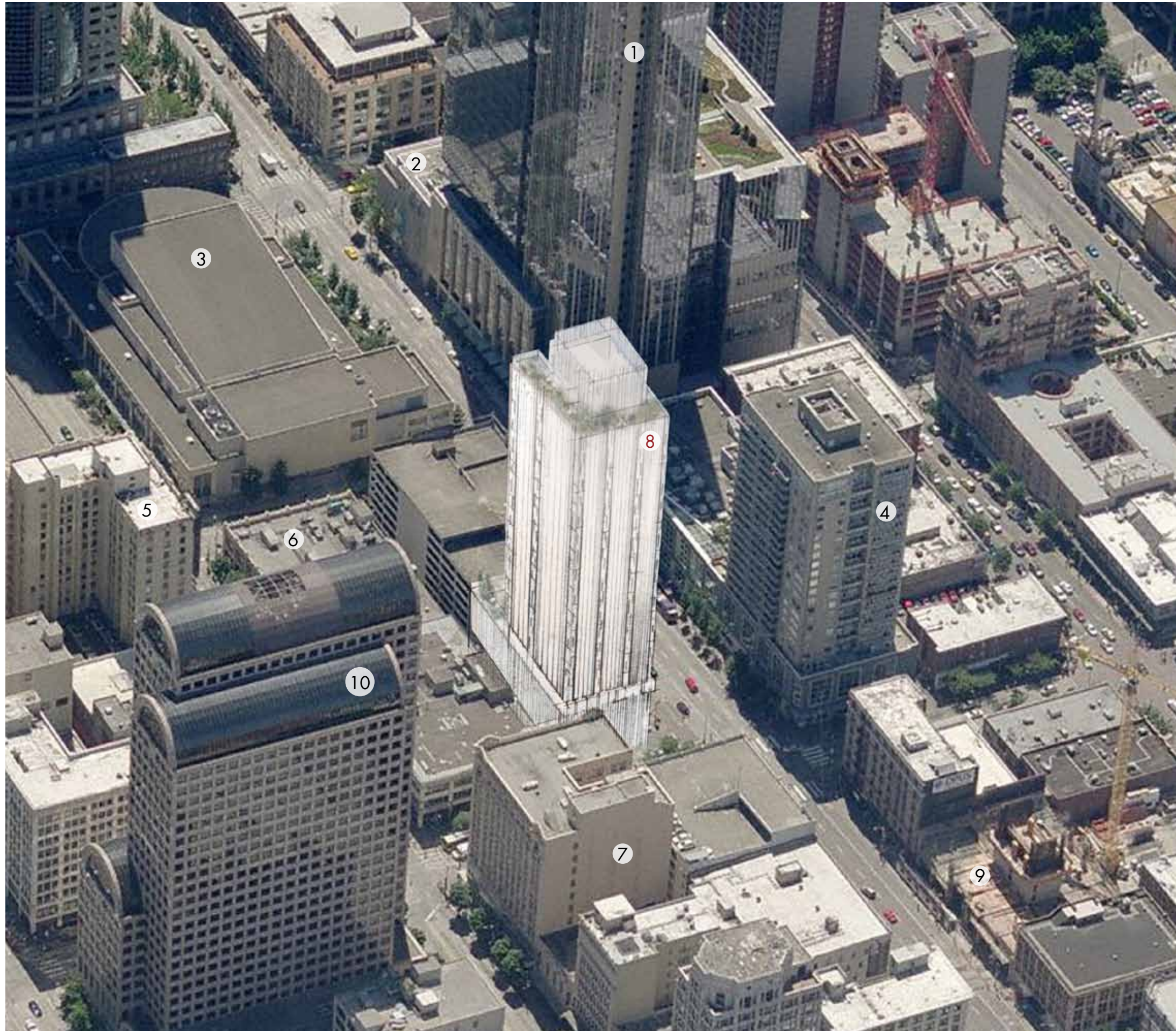
- RESIDENTIAL
- RETAIL
- SERVICE
- OFFICES
- PARKING
- EXTERIOR DECK
- STORAGE
- PUBLIC AREAS
- COURTYARD
- CORE



BUILDING SECTION LOOKING EAST



BUILDING SECTION LOOKING NORTH



- 1 RUSSELL INVESTMENTS CENTER
MIXED USE COMMERCIAL, 45 STORIES, 600'-0" TALL
- 2 SEATTLE ART MUSEUM
ART MUSEUM, 6 STORIES
- 3 BENAROYA HALL
PERFORMING ARTS CENTER, 3 STORIES
- 4 NEWMARK TOWER
MIXED USE RESIDENTIAL / COMMERCIAL, 24 STORIES, 230'-0" TALL
- 5 PUGET SOUND PLAZA
MIXED USE COMMERCIAL, 20 STORIES, 290'-0" TALL
- 6 WILD GINGER
RESTAURANT, 2 STORIES
- 7 MELBOURNE TOWER
COMMERCIAL TOWER, 11 STORIES, 165'-0" TALL
- 8 **2ND & PIKE TOWER**
MIXED USE RESIDENTIAL / COMMERCIAL, 35 STORIES, 400'-0" TALL
- 9 1521 2ND AVENUE
MIXED USE RESIDENTIAL / COMMERCIAL, 36 STORIES, 440'-0" TALL
- 10 CENTURY SQUARE
COMMERCIAL TOWER, 36 STORIES, 380'-0" TALL

AERIAL SITE PHOTO LOOKING SOUTHWEST

- 1 RUSSELL INVESTMENTS CENTER
MIXED USE COMMERCIAL, 45 STORIES, 600'-0" TALL
- 2 SEATTLE ART MUSEUM
ART MUSEUM, 6 STORIES
- 3 BENAROYA HALL
PERFORMING ARTS CENTER, 3 STORIES
- 4 NEWMARK TOWER
MIXED USE RESIDENTIAL / COMMERCIAL, 24 STORIES, 230'-0" TALL
- 5 PUGET SOUND PLAZA
MIXED USE COMMERCIAL, 20 STORIES, 290'-0" TALL
- 6 WILD GINGER
RESTAURANT, 2 STORIES
- 7 MELBOURNE TOWER
COMMERCIAL TOWER, 11 STORIES, 165'-0" TALL
- 8 **2ND & PIKE TOWER**
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- 10 CENTURY SQUARE
COMMERCIAL TOWER, 36 STORIES, 380'-0" TALL
- 11 PIKE PLACE MARKET
PUBLIC MARKET



AERIAL PHOTO LOOKING NORTHWEST



EXISTING VIEW FROM 2ND AVENUE & PINE STREET WITHOUT 2ND & PIKE TOWER



PROPOSED VIEW FROM 2ND AVENUE & PINE STREET WITH 2ND & PIKE TOWER



VIEW FROM 2ND AVENUE AND UNIVERSITY STREET LOOKING NORTH



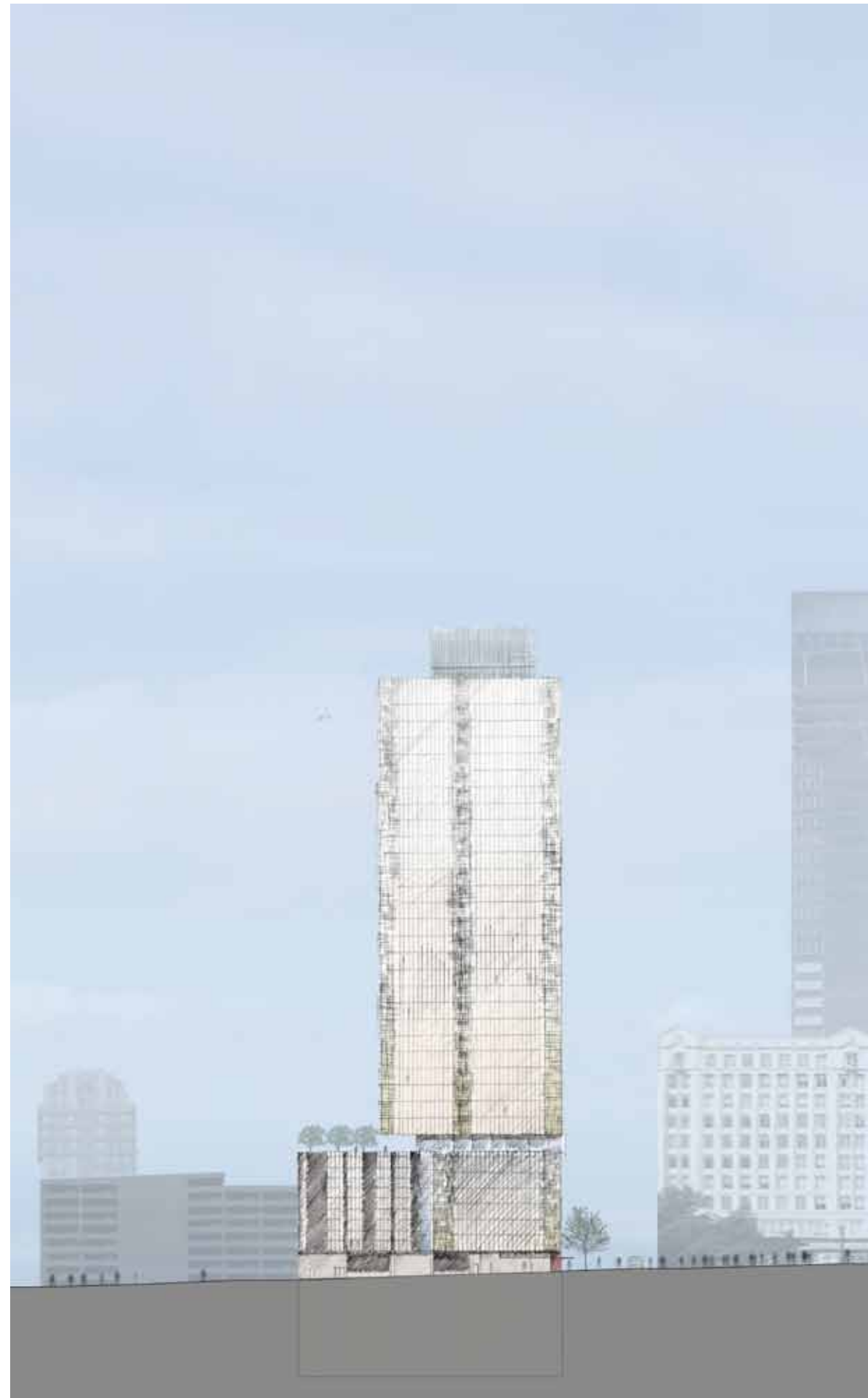
EXISTING VIEW FROM WATERFRONT WITHOUT 2ND & PIKE TOWER



PROPOSED VIEW FROM WATERFRONT WITH 2ND & PIKE TOWER



2ND & PIKE TOWER SOUTH ELEVATION CUT AT SOUTH PROPERTY LINE



2ND & PIKE TOWER EAST ELEVATION CUT AT ALLEY



2ND & PIKE TOWER NORTH ELEVATION CUT AT PIKE STREET



2ND & PIKE TOWER WEST ELEVATION CUT AT 2ND AVENUE



LANDSCAPE CONCEPT PERSPECTIVE ALONG PIKE ST.



ACTIVE STREETScape CONCEPT REFERENCE IMAGES



STEEL AND GLASS PIVOT DOOR AT BUILDING ENTRY



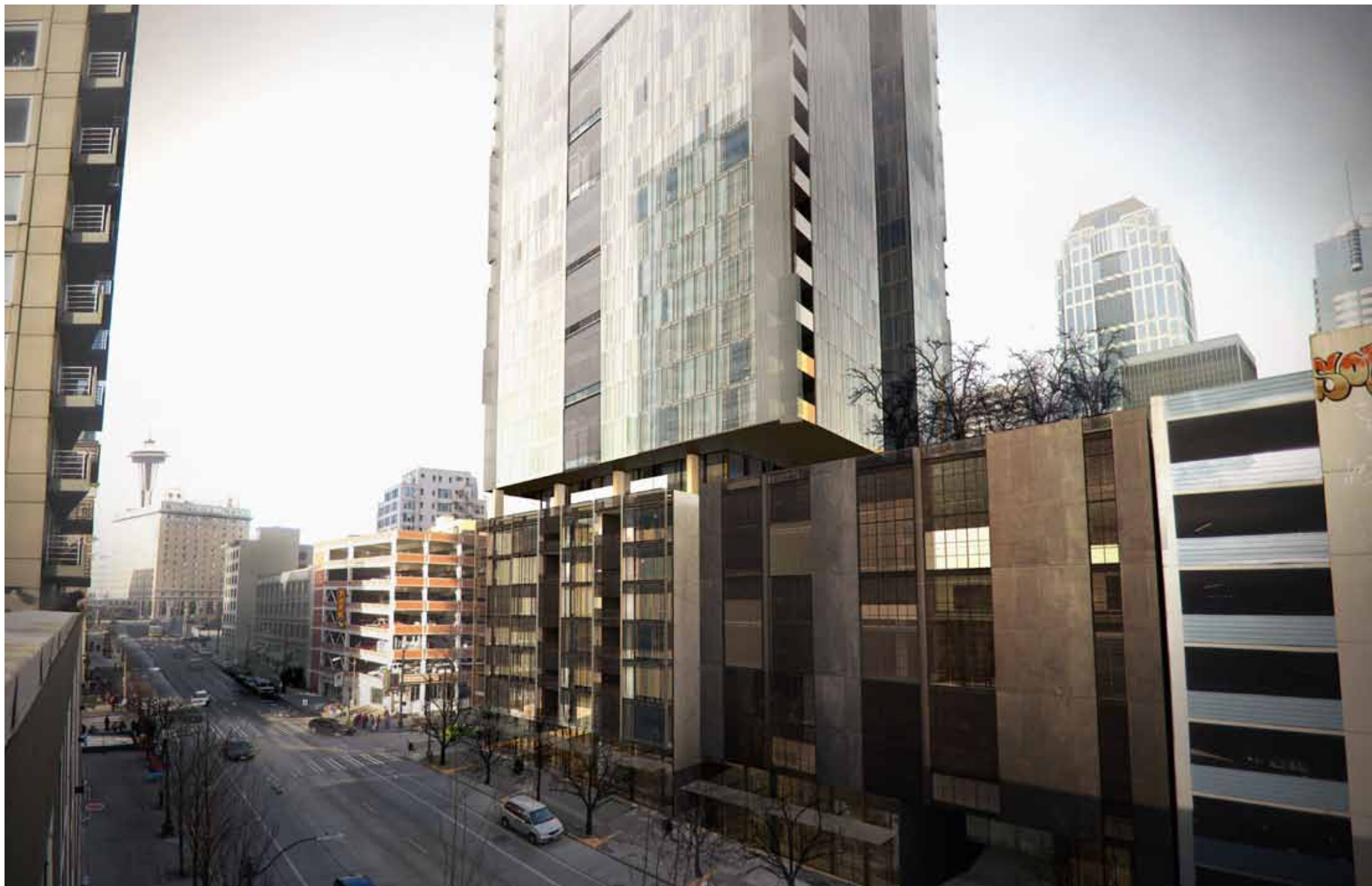
CONCEPT SKETCH OF 2ND & PIKE TOWER STREET LEVEL ELEVATION AT PIKE STREET



LANDSCAPE CONCEPT REFERENCE IMAGES



LANDSCAPE CONCEPT PERSPECTIVE ALONG 2ND AVENUE



ELEVATED VIEW ACROSS 2ND AVENUE FROM NEWMARK BUILDING



PROMINENT STEEL PIVOT DOOR DETAIL AT BUILDING ENTRY



2ND & PIKE TOWER

SEATTLE SKYLINE WITH 2ND & PIKE TOWER