

# CANDELA HOTEL & RESIDENCES

Early Design Guidance  
May 27, 2008

Project Number: 3009156  
(Formerly 2403964)



Gustafson Guthrie Nichol Ltd



VIEW FROM 2ND AVENUE LOOKING SOUTH



2nd Avenue and Pike St., MacDougall & Southwick Dept. Store, 1934



MacDougall & Southwick Fashions, 1924



"Streetwise" image 2nd Ave. @ Pike St., 1983

## INTRODUCTION

The 2nd and Pike project started the Design Review process in the summer of 2004. An Early Design Guidance Package, dated July 15, 2004, was prepared and presented at that time.

In April of 2006, the city council enacted major revisions to the downtown zoning code which resulted in a re-consideration of the development proposal. An Early Design Guidance packet was generated and presented on July 20, 2006. Valuable feedback and recommendations were given by the Design Review Board at that time.

In July of 2007, an opportunity was presented to the 2nd and Pike project with the addition of Candela Hotels to the project team. The revision to the program afforded by this partnership, demanded a formal and thorough investigation of the possibilities. This revised architectural response is a product of that effort. The current project consists of a substantially reduced number of parking stalls as compared to the all condominium proposal and integrates previous Design Review Board comments when applicable.

## PROJECT VISION STATEMENT

Candela Hotel & Residencies will provide the missing link in the pedestrian intensive Pike/Pine corridor. The project will restore this once significant corner to its place as an iconic landmark and an extension of the region's ambition. In doing so, it will respond to its unique location and history with a multi-faceted building which is both transparent and dynamic.

The Southeast corner of 2nd Avenue and Pike Street was the home to the MacDougall Southwick Department Store from the turn of the 20th century until 1964. Once the center of the Seattle Retail Core and across the street from the Bon Marche, the area began to experience a downturn once the core began to move East. The area eventually became neglected and urban renewal resulted in the destruction of many of the adjacent historic buildings. The 2nd and Pike intersection has since been relegated to serving the retail core by providing surface and garage parking. The goal of this project is to inject the site with a vitality and humanity it has not seen for decades.

Urban Visions has established itself as a leading force in large sustainable designed projects. The Candela Hotels & Residencies building will be the culmination of this commitment. The building will achieve LEED Gold certification and will gather sun and wind from the site.

The building will feature the flagship location of locally based Candela Hotels, a Seattle based company dedicated to constructing a hotel which will acknowledge the specifics of this place and its climate. Candela's commitment to building responsibly will not stop simply in its construction, but will serve as a foundation for its operations.

A large street level restaurant and below grade spa will further insure the buildings engagement with its neighborhood and contribute to the richness of the Pike/Pine Corridor.

# PROJECT OBJECTIVES

Residential	98 Condominium Units 130 Hotel Guest Suites
Retail	+7,000 SF
Parking	248 Stalls
Potential Departures Proposed:	Maximum Tower Width Facade Transparency Minimum Street Facade

## PROJECT DESCRIPTION

### NUMBER OF FLOORS:

35 Floors above grade, including partial Mezzanine above Ground Floor, semi-private garden courtyard at Ground Floor, B1 & B2 Levels, semi-private roof garden amenity space at 4th and 19th floors, semi-private amenity space at roof and 40' Mechanical penthouse above roof level.

### BUILDING HEIGHT:

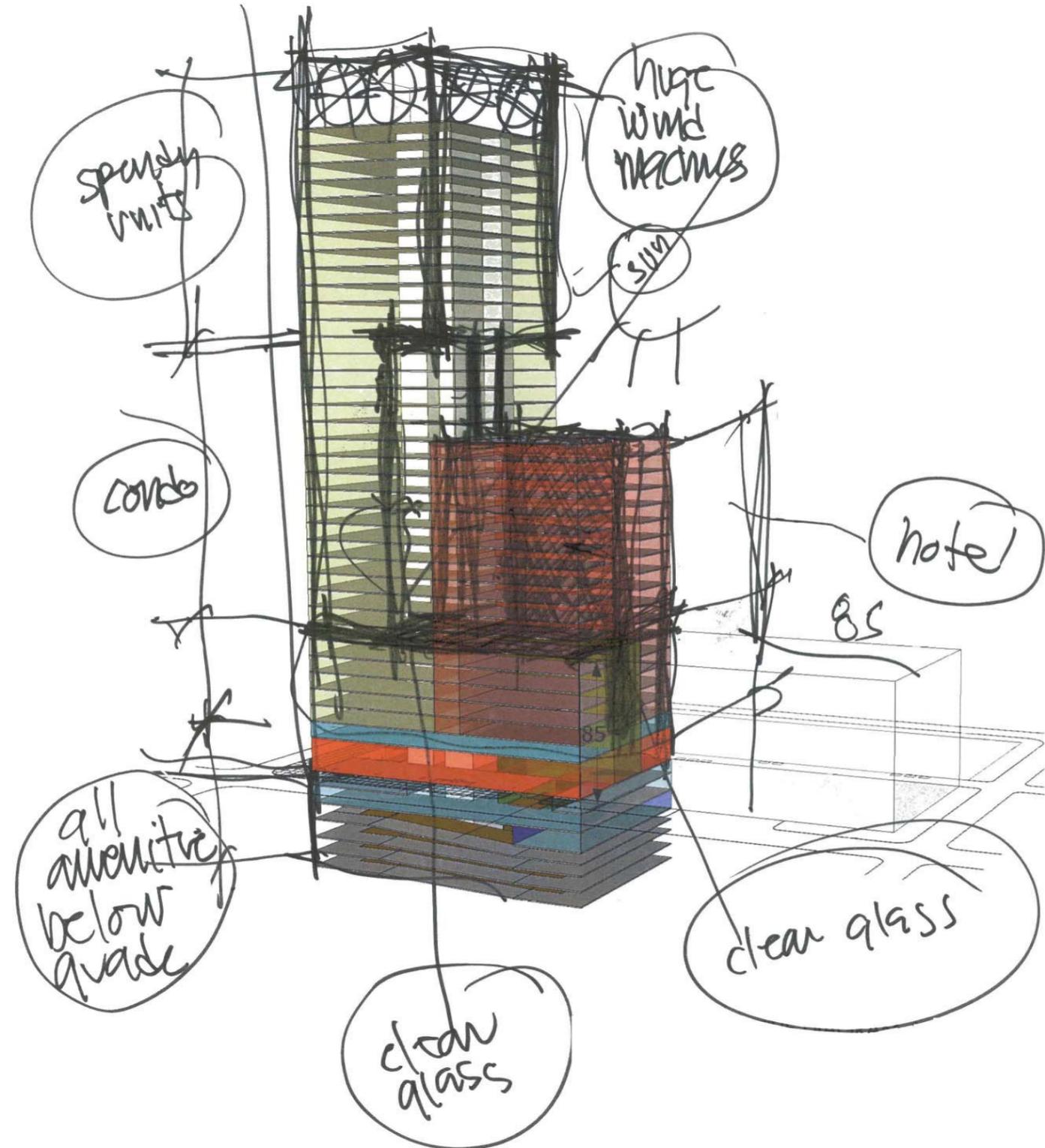
440' Maximum height above grade at midpoint of 2nd Avenue property line to include:

400' Maximum proposed Residential height plus  
40' Maximum Mechanical penthouse above roof level.

209' Maximum proposed Commercial height.

### POSSIBLE DEPARTURES:

1. Maximum Tower width above 85'
2. Property line facade requirement - set-back proposed at 2nd Avenue Ground Floor storefront for increased sidewalk width. (SMC 23.49.056)
3. Minimum Facade Transparency.



# ZONING DIAGRAM

**Property Address** 1430 2nd Avenue  
**King County Assessor Parcel #** 1975700480  
**Zoning** DMC 240/290-400  
**Applicable Code Section** 23.49 Downtown Zoning  
**Design Review** (SMC 23.41)  
 General Info, Application Instructions, and Submittal Requirements

**Open space** (SMC 23.49.016.5)  
 < 85,000 sf of new office Exempt

**Overhead Weather Protection and Lighting** (SMC 23.49.018)  
 Required along the entire street frontage except facade located 5' from street property line or widened sidewalk on private property

**Parking quantity** (SMC 23.49.019-A.1)  
 No parking, either long-term or short-term, is required for uses on lots in Downtown zones

Max Allowed:	Retail 5,000sf	5 stalls (1 per 1,000 sf nonres.)
	100 Hotel keys	65 stalls
	<b>Total:</b>	<b>70 stalls</b>

Existing surface: 74 stalls

Proposed:	Retail 6,000sf	6 stalls
(below grade)	130 Hotel keys	50 stalls
	96 Condomiums	192 stalls (1 per bedroom)
	<b>Total</b>	<b>248 stalls</b>

**Bicycle Parking** (Chart 23.49.019 A)  
 Hotel .05 spaces per hotel room  
 130 rooms x .05 = 7  
 Residential 1 space for every 2 dwelling units  
 96 apts / 2 = 48  
 Required: 55 bicycle stalls

**Curb Cut Location** (SMC 23.49.019.H.1.a)  
 When a lot abuts an alley, alley access shall be required

Required: none

Existing: 2 curb cuts on 2nd Avenue  
 0 curb cuts on Pike Street  
 1 driveway in alley

Proposed: 1 curb cut on 2nd Avenue  
 1 driveway in alley

**Structure Height** (SMC 23.49.008)  
 Maximum Height Limit 400'  
 Roof Features 40' above the applicable height limit  
 Stair penthouses and Mechanical equipment permitted 15' above the applicable height limit.

**Street-level use requirements** (SMC 23.49.009)  
 75% of each street frontage must be occupied by applicable commercial uses.

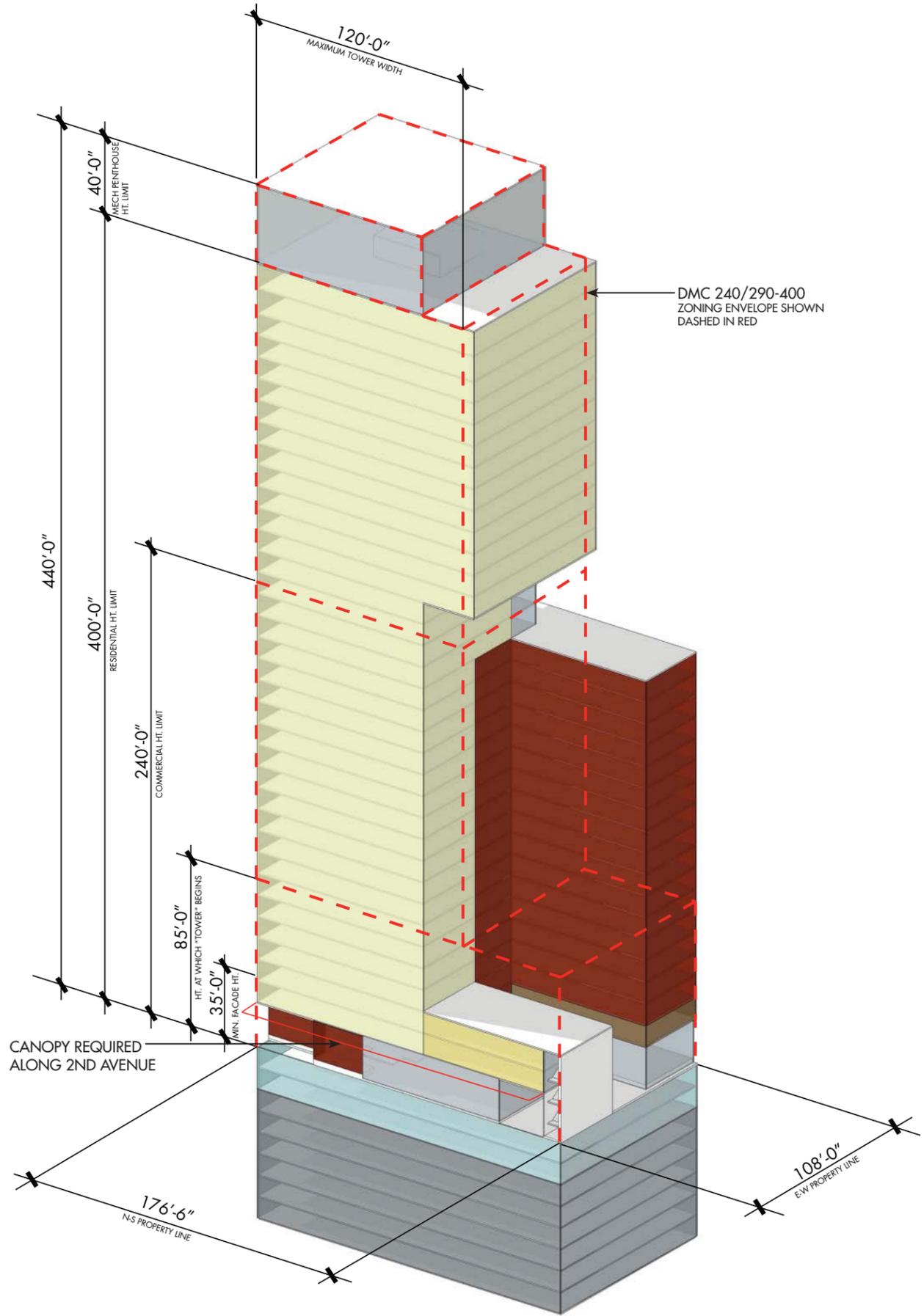
25% of the street frontage may contain other permitted uses and/or pedestrian or vehicular entrances.

**General requirements for residential uses** (SMC 23.49.010.B)  
 Common recreation area (5) percent of the total gross floor area in residential use  
 (50) percent maybe enclosed  
 open space at street level counted twice

Residential	244,000	
Required	$244,000 \times .05 =$	12,200 sf

**Base and Maximum Floor Area Ratios (FARs)** (SMC-Chart 23.49.011.A1)

DMC 240/290-400	Base	5
	Max	7
Mechanical equipment allowance		3 1/2 percent
Residential exempt (SMC 23.49.011.B.1.c.3.f)		> 20,000 sf



**Minimum sidewalk and alley width**

(SMC 23.49.022-A)  
Minimum sidewalk widths are established by Map 1C.1

Required: Pike Street 18', 2nd Avenue 15'  
Existing: Pike Street 18', 2nd Avenue 18'  
Proposed: Maintain minimum sidewalk widths throughout with incorporated sidewalk improvements as described elsewhere.

**View corridor requirements**

(SMC 23.49.024) Not required per Map 1D

**Odor, noise, light/glare, and solid waste recyclable materials storage space standards**

(SMC 23.49.025)  
Venting 10' above finished sidewalk grade, and directed away from residential uses within 50' feet of the vent.

**DMC street facade and street setback requirements**

(SMC 23.49.056)  
Minimum Facade Height Class I Pedestrian Streets  
DMC: 25 feet

Facade Setback Limits  
Between the elevations of 15 and 35 feet above sidewalk grade, the facade shall be located within 2' of the street property line, except that:

maximum setback	10'
maximum area setback	40% of facade area between the elevations of 15' and 35'
maximum setback width	20'
Facade Transparency	Class I pedestrian streets 60% street level transparent
Blank Facade Limit	15' wide

**DMC upper-level development standards**

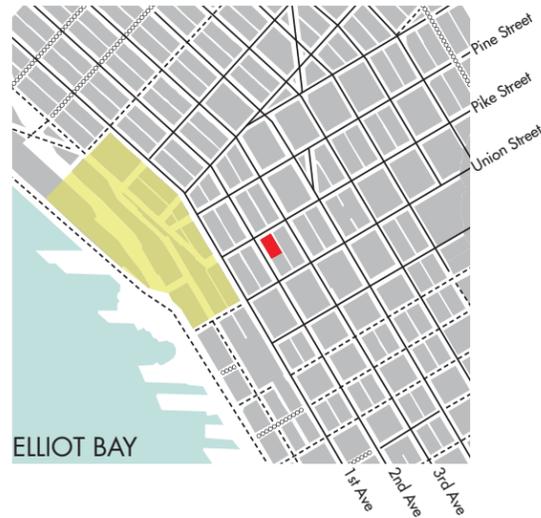
(SMC 23.49.058)  
Facade Modulation  
1st Ave 15' setback above 85'  
Stewart St N/A per SMC Chart 23.49.058A

Upper Level Setbacks  
Required: 15' setback above 65' on 1st Avenue  
Proposed: Flexibility in prescriptive development standards to better meet the intent of the Belltown Design guidelines as demonstrated in this packet.

**Alley improvements in all zones**

(SMC 23.53.030)  
Required: 20'  
Existing: 16'  
Proposed: 18' (2' dedication)

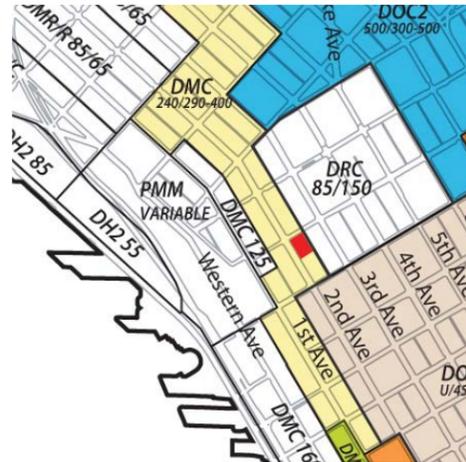
**PEDESTRIAN STREET CLASSIFICATIONS**



- Class I
- - - - Class II
- ⋯ Green Street
- Pedestrian Street Classifications regulated by Special Review or Historic District Regulations, except that Green Street setbacks in the International District Residential zone are regulated by Section 23.49.248

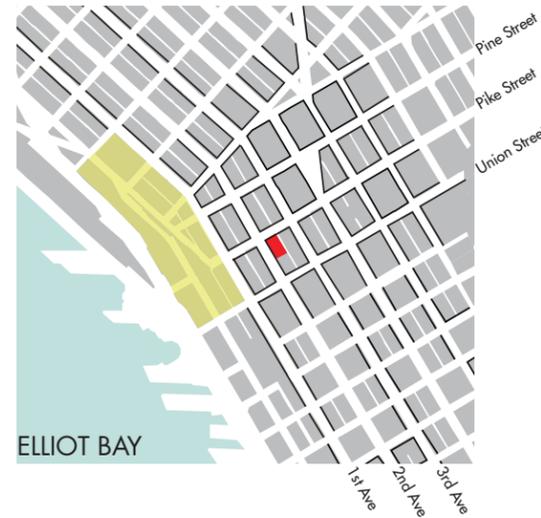
■ Candela Hotel & Residences  
1430 2nd Avenue  
Seattle, WA 98101

**SEATTLE ZONING MAP EXCERPT**



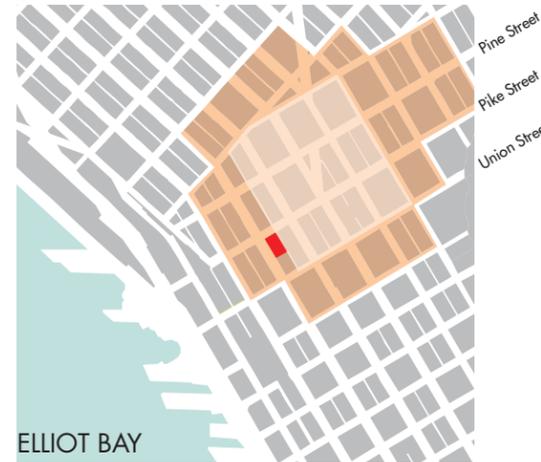
■ Candela Hotel & Residences  
1430 2nd Avenue  
Seattle, WA 98101

**PROPERTY LINE FACADES**



- Property Line Facades Required
- Street Facades regulated by Special Review or Historic District Regulations
- Candela Hotel & Residences  
1430 2nd Avenue  
Seattle, WA 98101

**PUBLIC AMENITY**



- Major Retail Store and Shopping Atrium (FAR Exemption Only - No Bonus)
- Shopping Corridor Bonus
- Candela Hotel & Residences  
1430 2nd Avenue  
Seattle, WA 98101

**VIEW CORRIDORS**



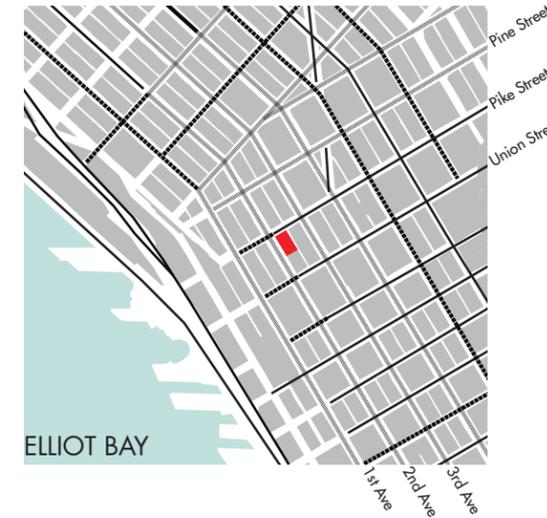
- View Corridors established in Downtown View Corridor Map, Exhibit 3.5.C of Resolution 30297 (line indicates extent of View Corridor)
- Arrow indicates direction of View
- Portions of View Corridor requiring View Corridor setbacks according to Section 23.49.024
- Candela Hotel & Residences  
1430 2nd Avenue  
Seattle, WA 98101

**SIDEWALK WIDTHS**



- ⋯ Variable 12' applies to all unmarked streets
- 15'
- ⋯ 18' (when on a one-way street, only the side with transit stops shall be 18'; the other side shall be 15')
- Sidewalk widths addressed by Special Review or Historic District regulations
- Candela Hotel & Residences  
1430 2nd Avenue  
Seattle, WA 98101

**STREET CLASSIFICATIONS**



- ⋯ Principal Transit Street
- - - - Minor Arterial (other than Principal Transit Street)
- Principal Arterial (other than Principal Transit Street)
- Candela Hotel & Residences  
1430 2nd Avenue  
Seattle, WA 98101

**VIEW CORRIDORS**



- Street-Level Uses Required
- Street Level Use Regulated by Special Overlay District
- Candela Hotel & Residences  
1430 2nd Avenue  
Seattle, WA 98101



RAINIER SQUARE COURTYARD



INN AT THE MARKET COURTYARD



PIKE PLACE MARKET



WESTLAKE PLAZA



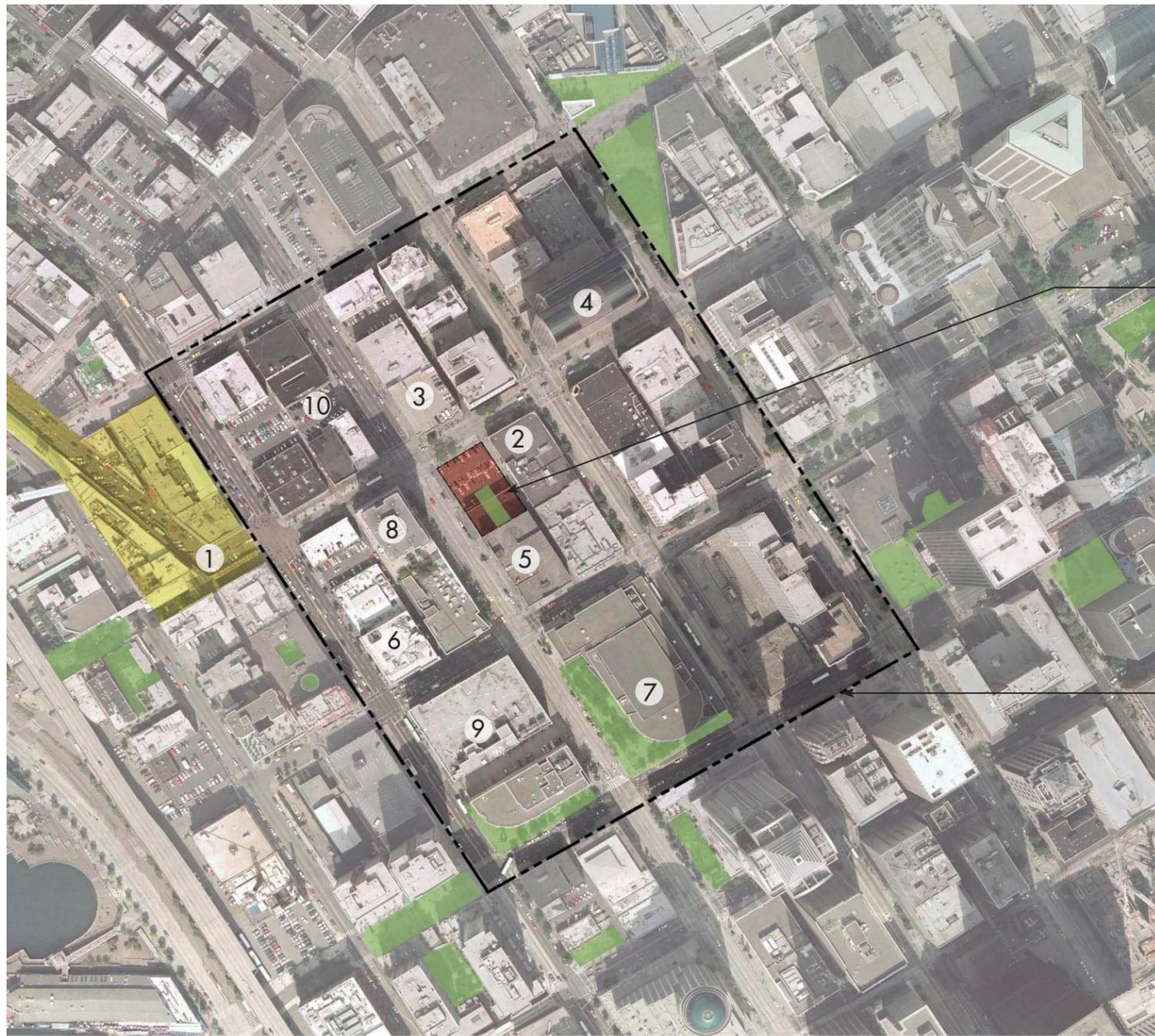
WASHINGTON MUTUAL PLAZA



HILLCLIMB COURT



COURTYARD IN PIKE PLACE MARKET



PINE ST.

PIKE ST.

UNION ST.

UNIVERSITY ST.  
(GREEN STREET IMPLEMENTED & PROPOSED)

SENECA ST.

SPRING ST.  
(GREEN STREET IMPLEMENTED & PROPOSED)

MADISON ST.

CANDELA HOTEL & RESIDENCE  
1430 2ND AVENUE  
SEATTLE, WA 98101

9-BLOCK CONTEXT  
OUTLINED AS DASH.

POCKET PARKS AND COURTYARDS  
IN NEIGHBORING VICINITY

WESTERN AVE.

FIRST AVE.

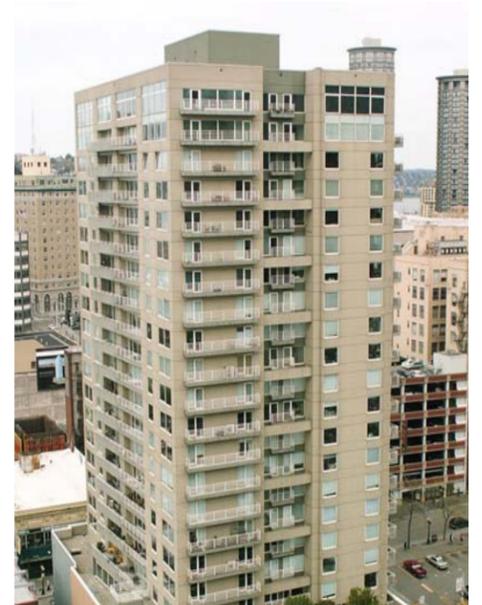
SECOND AVE.

THIRD AVE.

FOURTH AVE.



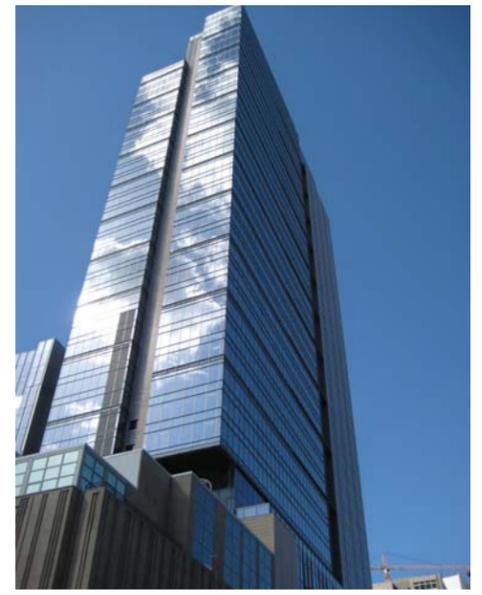
4. CENTURY SQUARE



8. THE NEWMARK



5. PARKING GARAGE



9. WAMU TOWER



6. HAROLD POLL BUILDING



10. 1521 SECOND AVENUE



1. PIKE PLACE MARKET  
(HIGHLIGHTED IN YELLOW ABOVE)



2. KRESS BUILDING  
(FUTURE IGA GROCERY STORE)



3. PARKING GARAGE



7. BENAROYA HALL



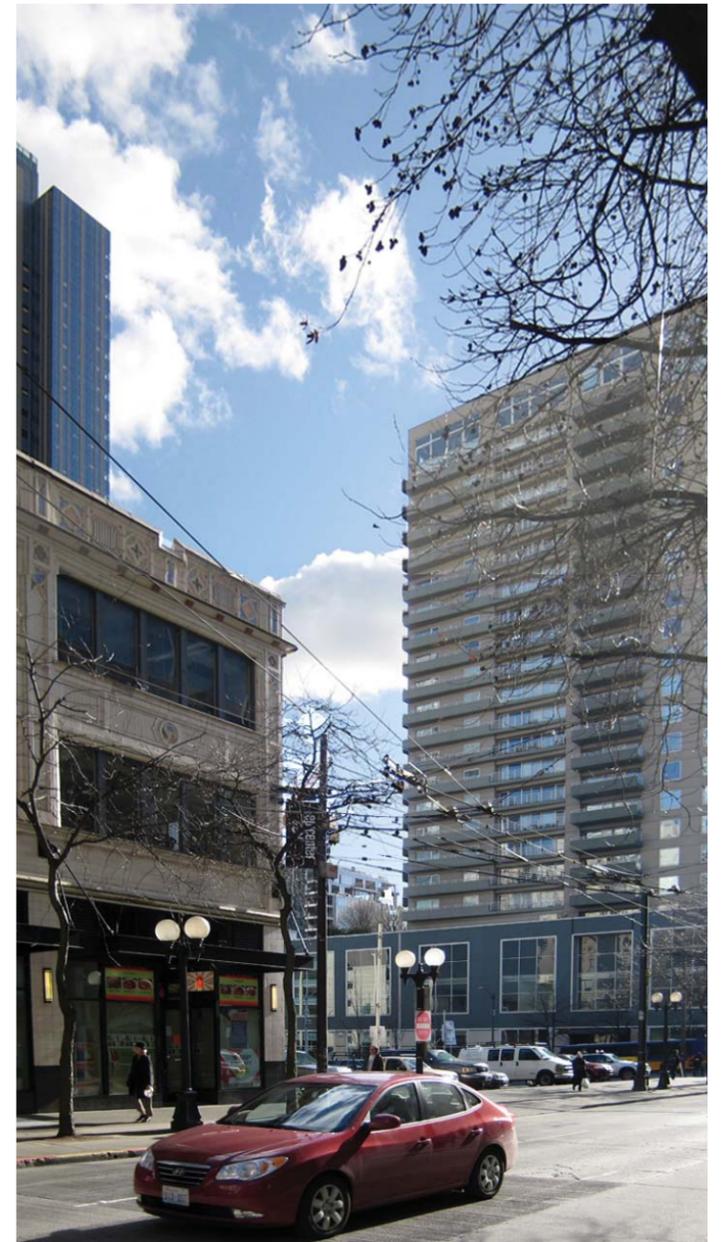
1. 7th Avenue & Pike Street



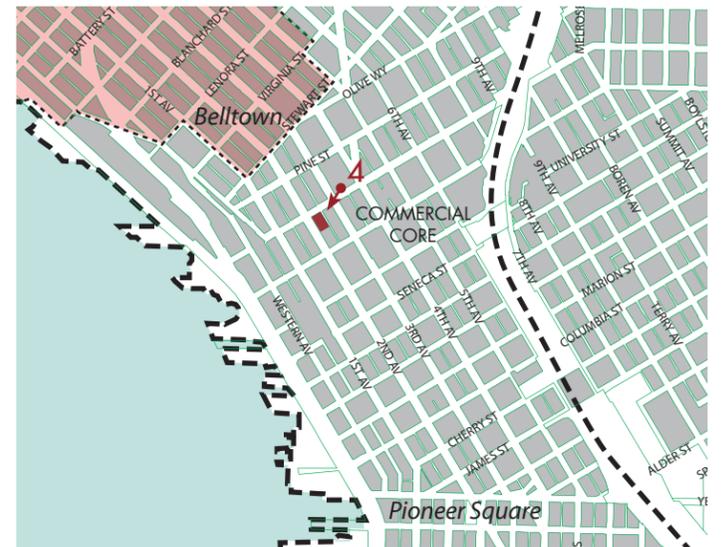
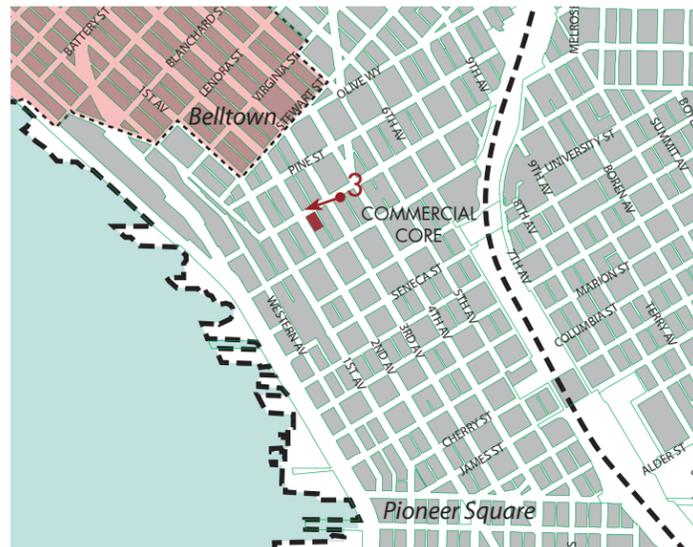
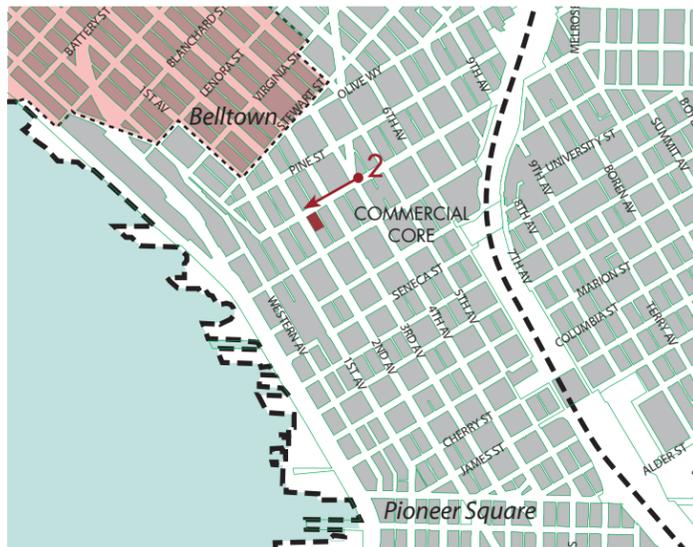
2. 4th Avenue & Pike Street



3. 3rd Avenue & Pike Street



4. 3rd Avenue & Pike Street





5. 2nd Avenue & Jackson



6. 2nd Avenue & Madison



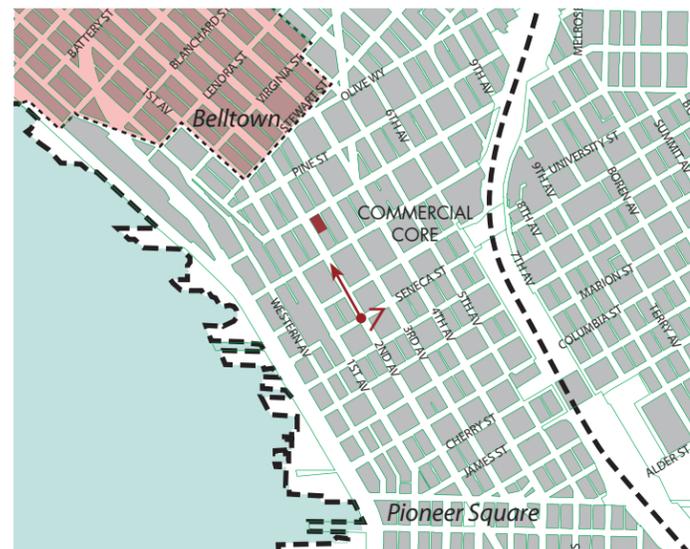
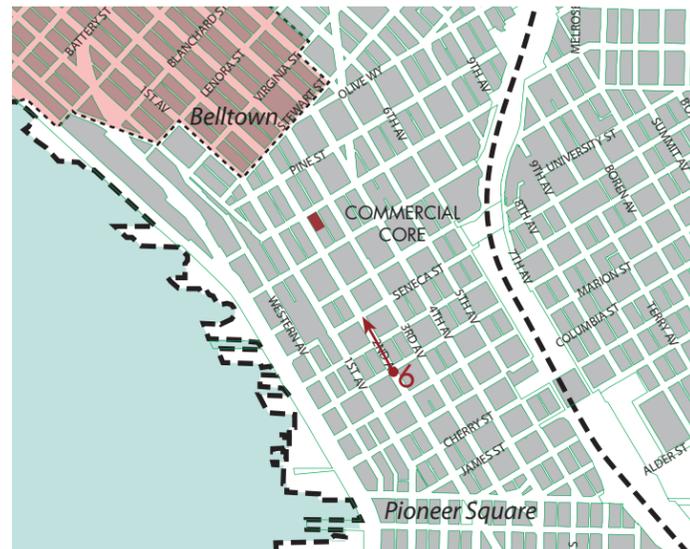
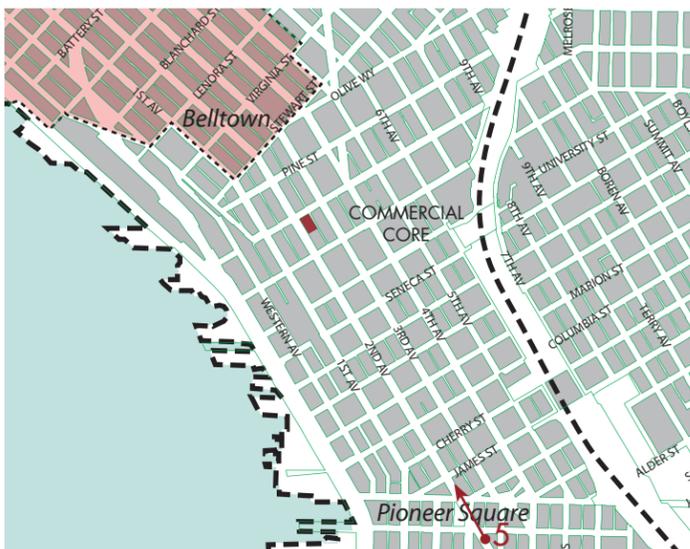
7. 2nd Avenue & Seneca Street



9. 2nd Avenue & Pine Street



8. 2nd Avenue & University Street



Pike St.

Candela Hotel & Residences  
1430 2ND AVENUE  
SEATTLE, WA  
176'-6"



CURRENT SITE CONDITIONS,  
SURFACE PARKING LOT FOR  
74 VEHICLES

Union St.



2ND AVENUE ELEVATION FROM SIDEWALK

4th St.

3rd Ave.

Candela Hotel & Residences  
1430 2ND AVENUE  
SEATTLE, WA  
108'-0"

2nd Ave.

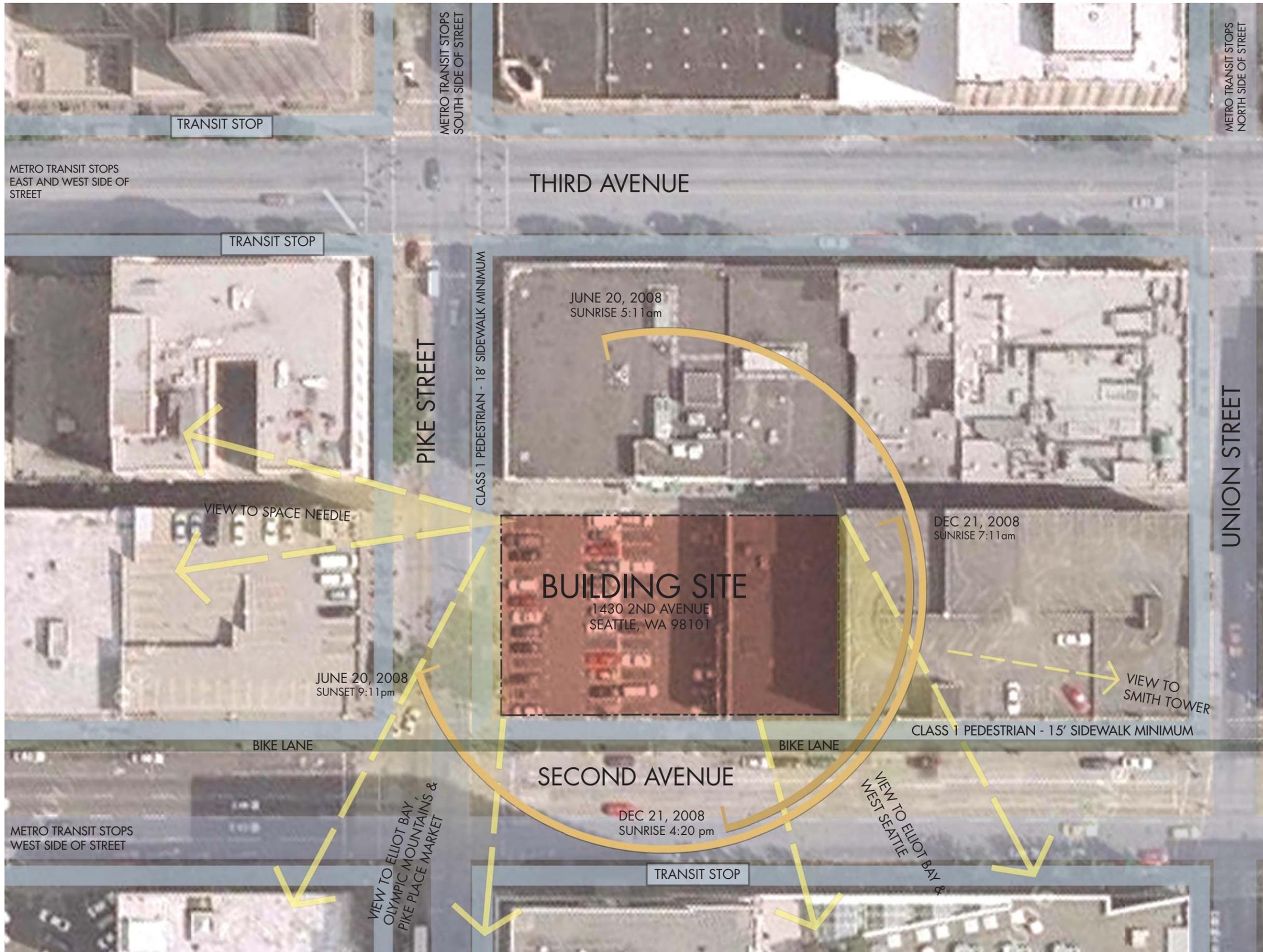


1st Ave.

PIKE PLACE MARKET



PIKE STREET ELEVATION FROM SIDEWALK

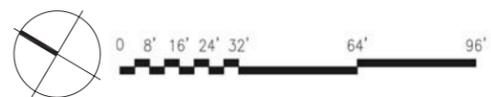
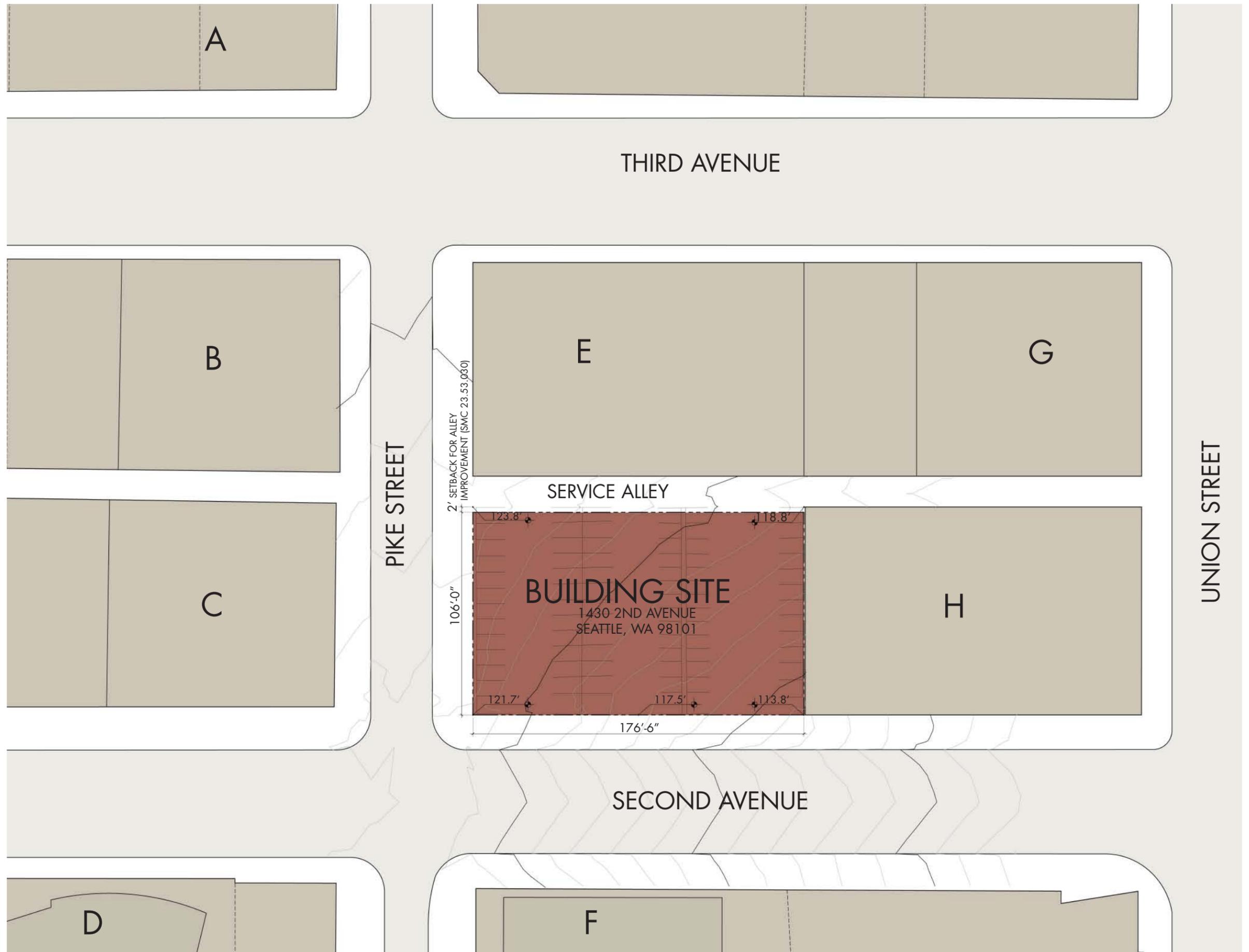


**NEIGHBORING BUILDINGS:**

- A CENTURY SQUARE**  
COMMERCIAL TOWER, 36 STORIES  
380'-0" TALL
- B MELBOURNE TOWER**  
COMMERCIAL TOWER, 11 STORIES  
165'-0" TALL
- C PARKING GARAGE**  
MIXED USE COMMERCIAL, 7 STORIES  
100'-0" TALL
- D 1521 2ND AVENUE**  
MIXED USE RESIDENTIAL / COMMERCIAL,  
36 STORIES, 440'-0" TALL
- E KRESS BUILDING**  
COMMERCIAL BUILDING, 3 STORIES
- F NEWMARK TOWER**  
MIXED USE RESIDENTIAL / COMMERCIAL,  
24 STORIES, 230'-0" TALL
- G WILD GINGER**  
RESTAURANT, 2 STORIES
- H SORREANO PARKING GARAGE**  
MIXED USE COMMERCIAL, 9 STORIES,  
95'-0" TALL

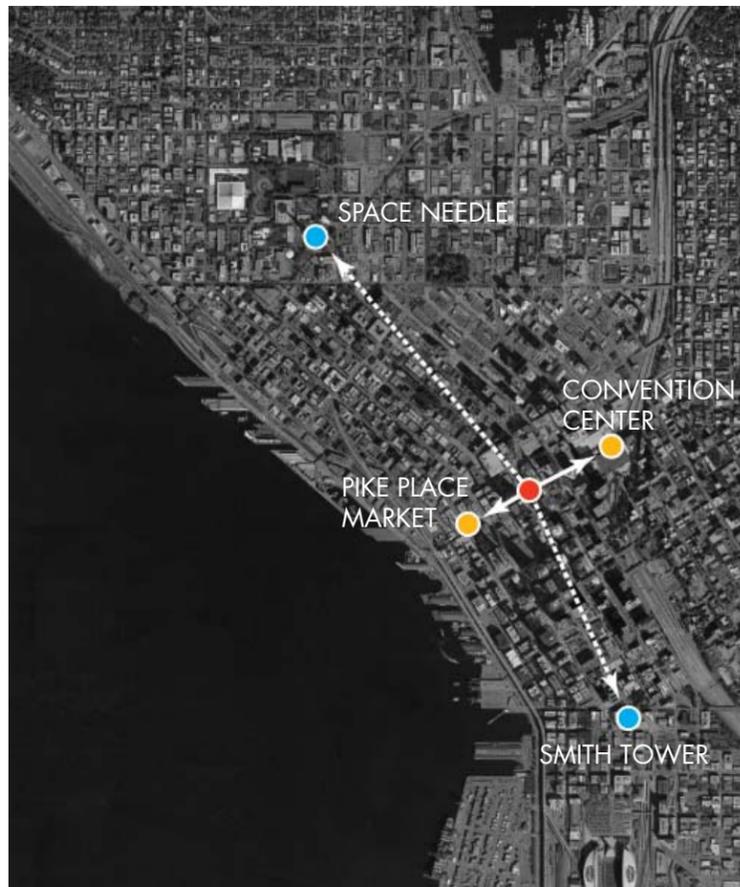
**CURRENT SITE CONDITION:**

Site dimensions approximately	108' by 176'
Site area approximately	19,062 SF
Existing Parking	74 stalls
Curbcuts	2
Alley access	1 driveway
Alley width	16'
Grade change	+10' across site

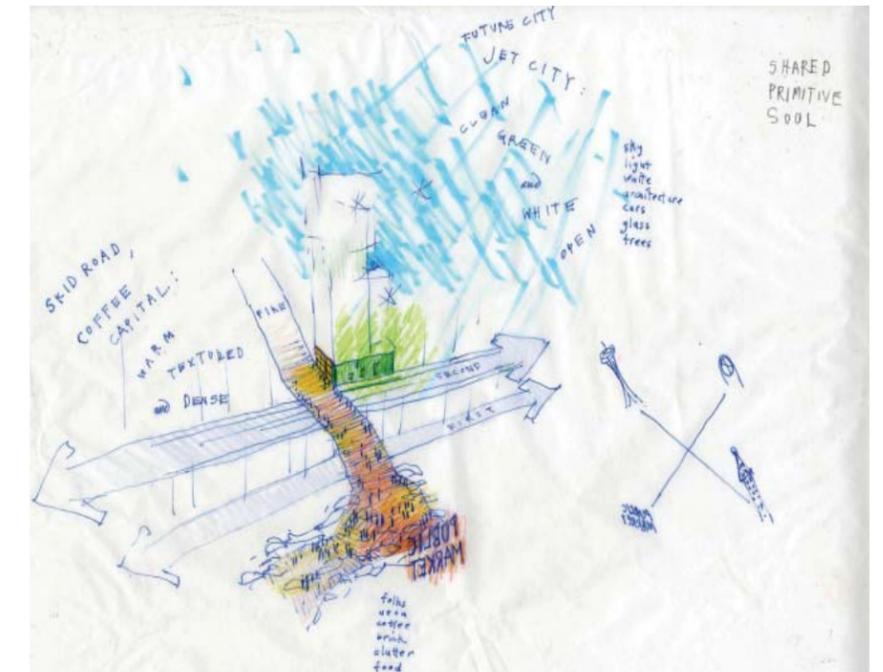




3 WHITE TOWERS



HOME TO MARKET



SHARED PRIMITIVE SOUL

## SITE CONCEPTS

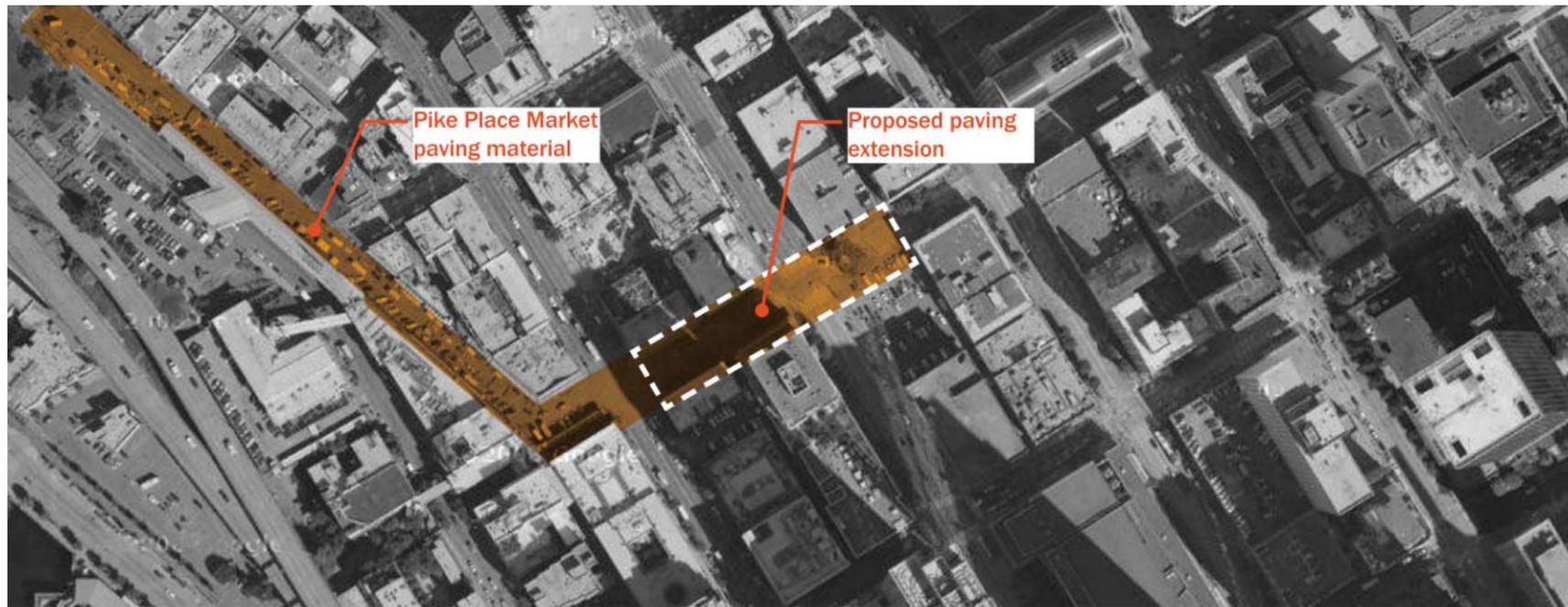
The project site is located in downtown Seattle, on the southeast corner of 2nd Avenue and Pike Street. The intersection of these two contrasting streets within a relatively flat terrain creates a topographically distinct and visually prominent corner in Seattle.

2nd Avenue is characterized by a diversity of architectural styles and building scales linking distinct neighborhoods from Lower Queen Anne and Belltown to Downtown, Pike Place Market, Pioneer Square and the International District. As a primary north-south transit route for city and regional buses, 2nd Avenue's image as an urban "main street" is reinforced by one's perceptions of movement, light and activity at street level.

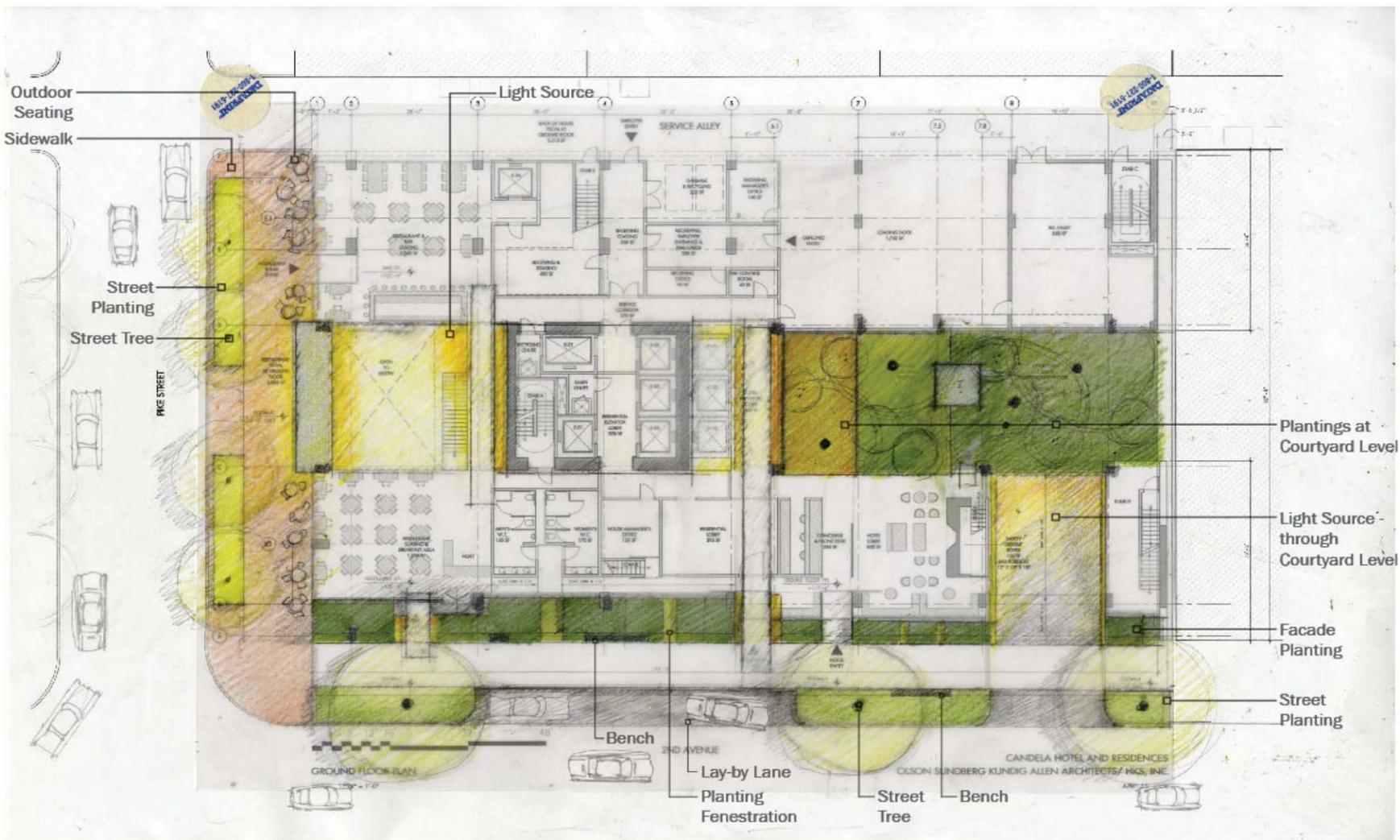
Pike Street runs east-west from the edge of the waterfront across Interstate 5 to reach Capitol Hill. Beginning at Pike Place Market, Pike Street is historically a main route to the Market for residents and visitors. With a smaller scale than 2nd Avenue, Pike Street is characterized by wide pedestrian filled sidewalks, animated storefronts and slower vehicular traffic.

The streetscape design for the 2nd Avenue and Pike Street site will achieve the following design goals:

- Acknowledge the role of the streets as public space; a continuation of Seattle's network of public spaces.
- Create a streetscape of usable and meaningful amenities for the occupants, guests and pedestrians.
- Emphasize the intersection as a crossroads - of the city and Market
- Emphasize the intersection as a threshold – from the city to the Market area.
- Develop a streetscape and landscape design that complements the activity and transparency of the building ground floor architecture and programs.
- Develop a streetscape and landscape design that responds to the prominence of the corner location and provides a distinct character for 2nd Avenue and Pike Street.



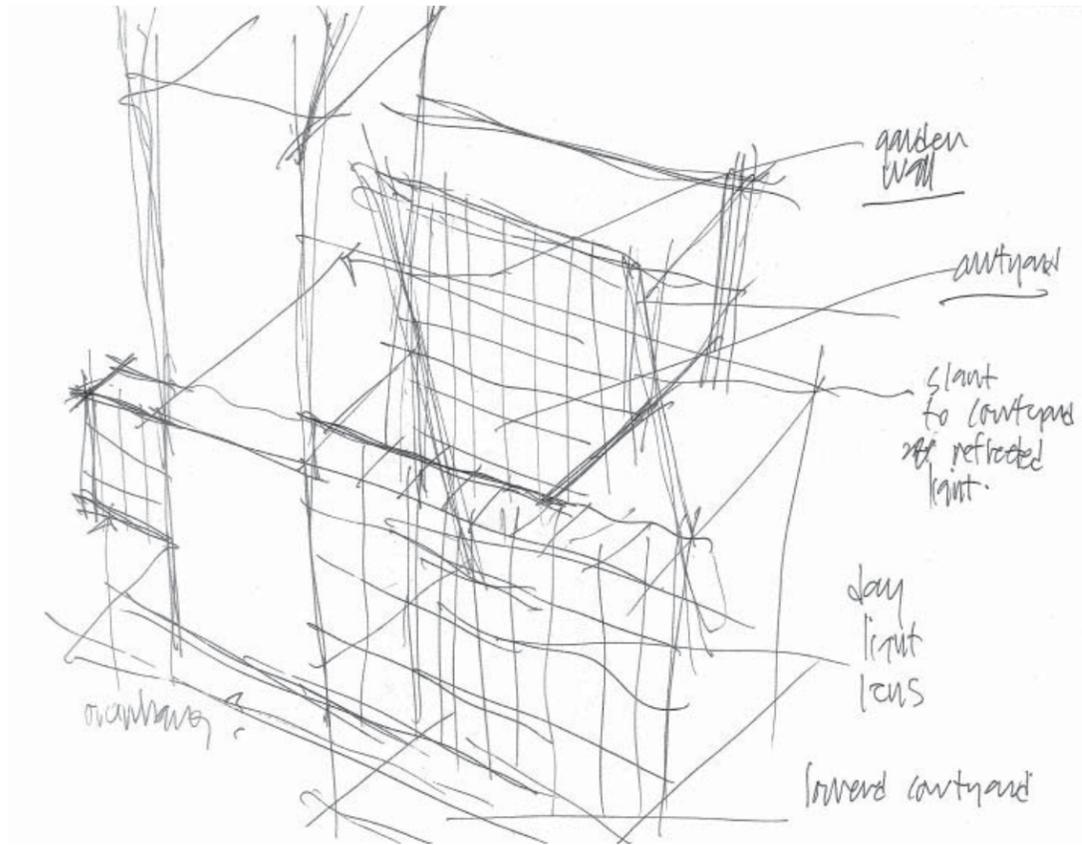
EXTEND THE MARKET



CONCEPT SITE PLAN



VIEW FROM 2ND AVENUE AND UNIVERSITY LOOKING NORTH WITH CANDELA HOTEL & RESIDENCES



COURTYARD CONCEPT SKETCH



FATIGUED LIGHT

## BUILDING CONCEPTS

The building is conceived as two separate parts oriented around a multi-leveled courtyard. Each part attains a distinct presence and location on the site. The condominium portion holds the corner of 2nd Ave & Pike Street and acknowledges it as a key intersection in the city. The hotel component is pulled back to the easternmost portion of the site. This allows it to provide a backdrop to the courtyard and serves as a transition to the much taller condominium portion. It also allows for a buffer between it and the Newmark Condominium Tower to the West. A lower entry wing transitions between street and courtyard.

The condominium portion will be about light and the sky. The lower floors of the condominium volume will feature inset balconies and white opaque glass framing views between neighboring buildings. The hotel wing will feature additional layers of texture and materiality to reference the city and urban grid. The texture will house a system of planters to serve as a vertical extension of the courtyard below.

The project will feature "hybrid" plans which allow both hotel guest suites and condominium to be placed on the same floor. This allows for the site to be fully utilized and acknowledged. There will be two condominium units per floor with one having views oriented to the Pike Place Market and Puget Sound, the other will orient towards the courtyard and southern light. The hotels rooms will have a similar split with one half of the suites oriented to the courtyard and the other to city views to the East.

The courtyard will be recessed into the site for two floors in order to provide a below-grade spa with natural light and ventilation. Additional recreational spaces will be provided on the many green rooftops creating a triple canopy of vegetation.





LARGE OPERABLE STEEL AND GLASS WINDOW TO CREATE INDOOR/OUTDOOR SPACE



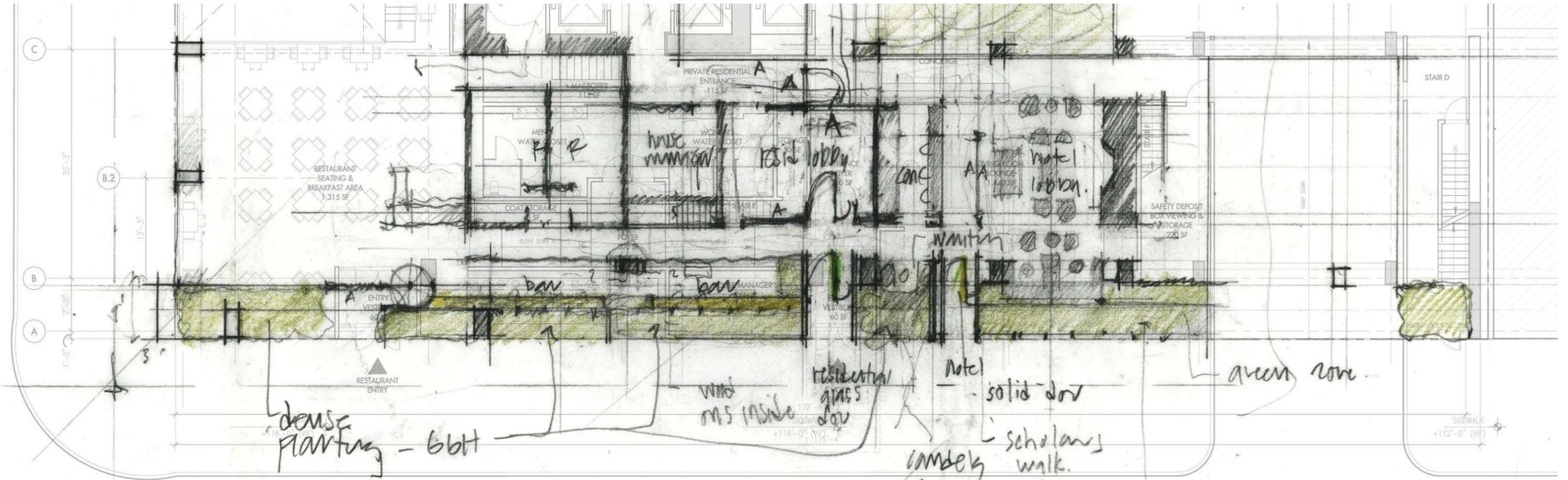
LUSH EDGE GREEN LANDSCAPE MEETING BUILDING



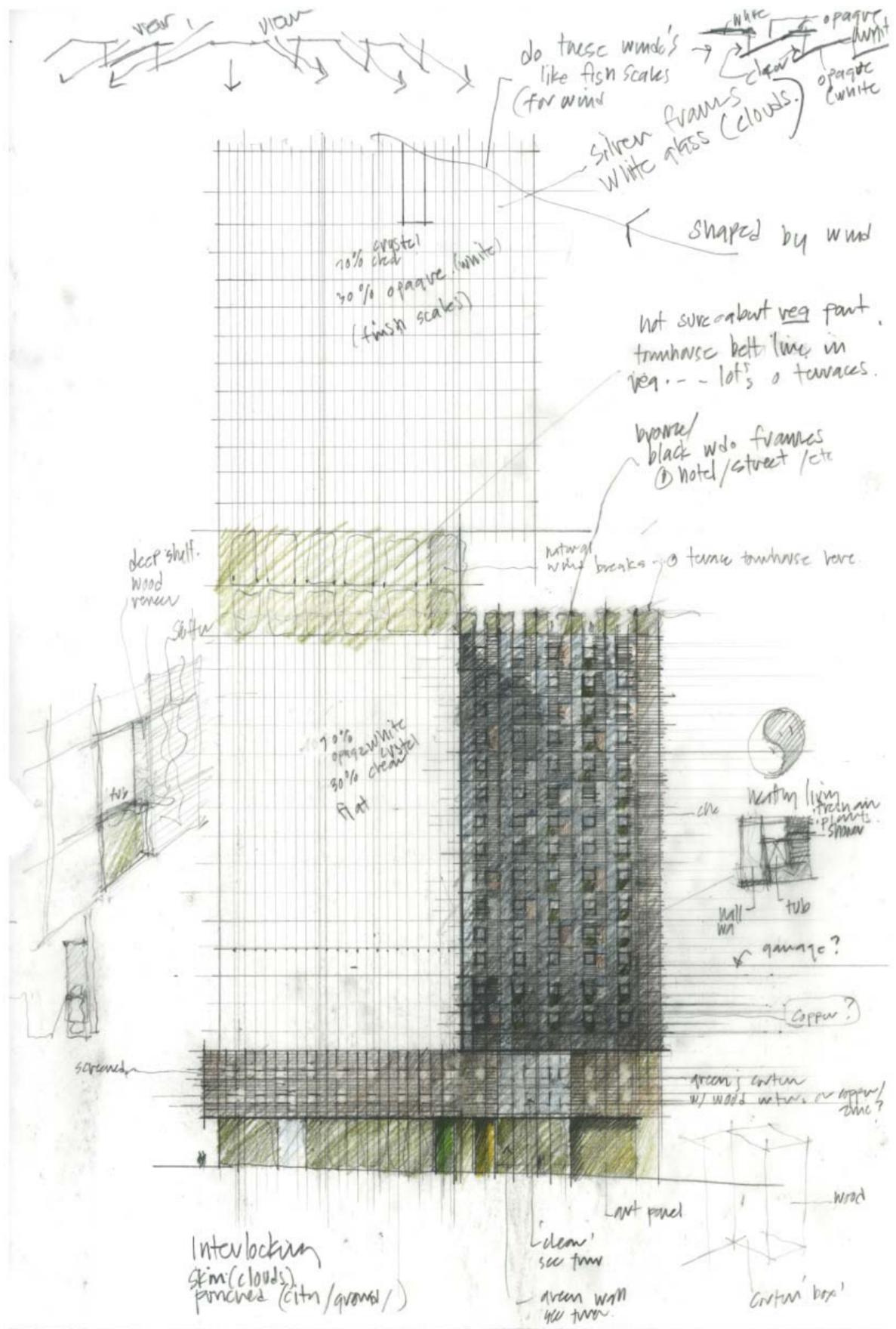
PROMINENT STEEL ENTRY DOOR



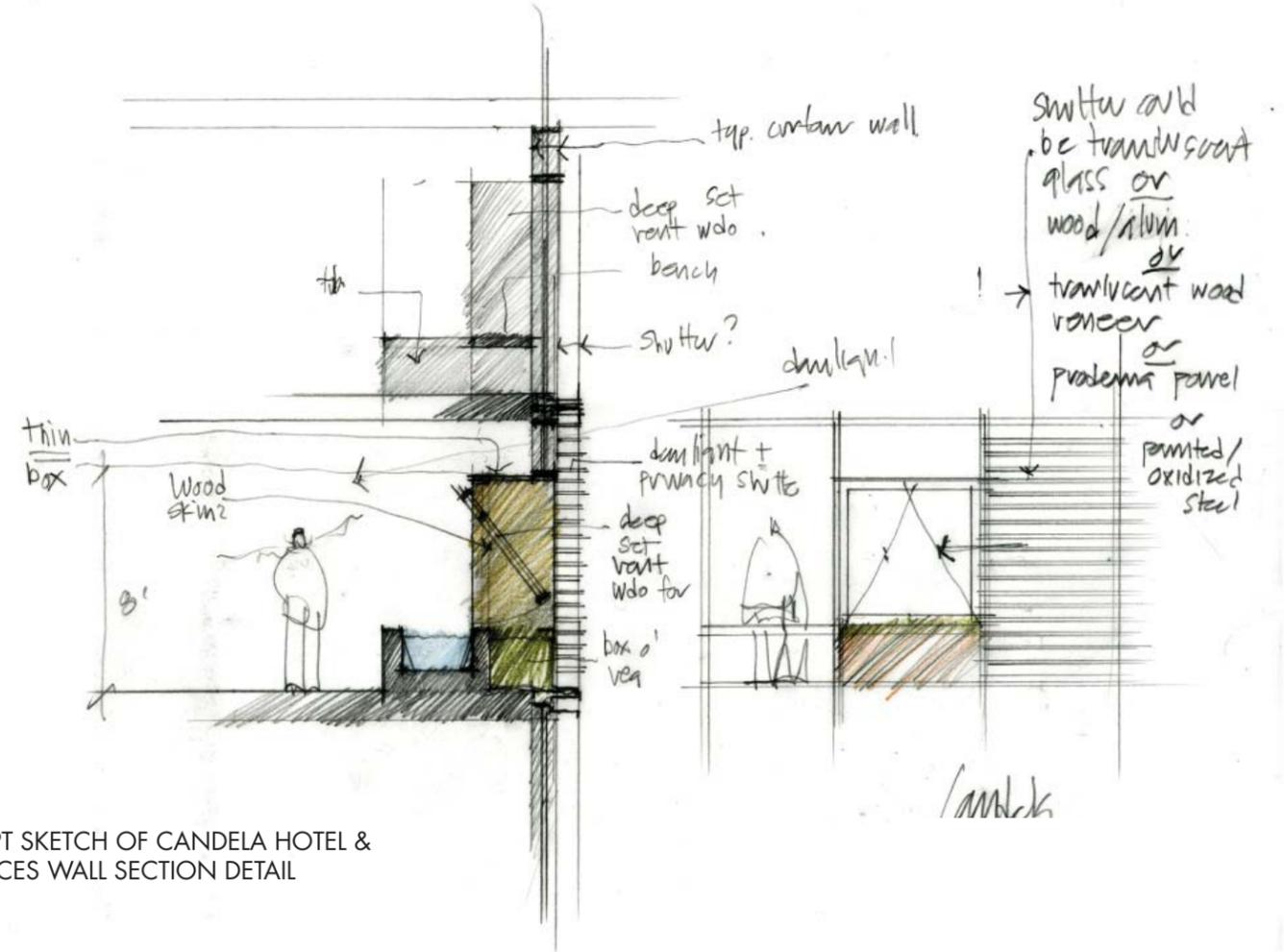
LARGE OPENING FOR GATHERED VIEW



CONCEPT SKETCH OF CANDELA HOTEL & RESIDENCES GROUND FLOOR STREET LEVEL & STOREFRONT



CONCEPT SKETCH OF CANDELA HOTEL & RESIDENCE 2ND AVENUE BUILDING ELEVATION



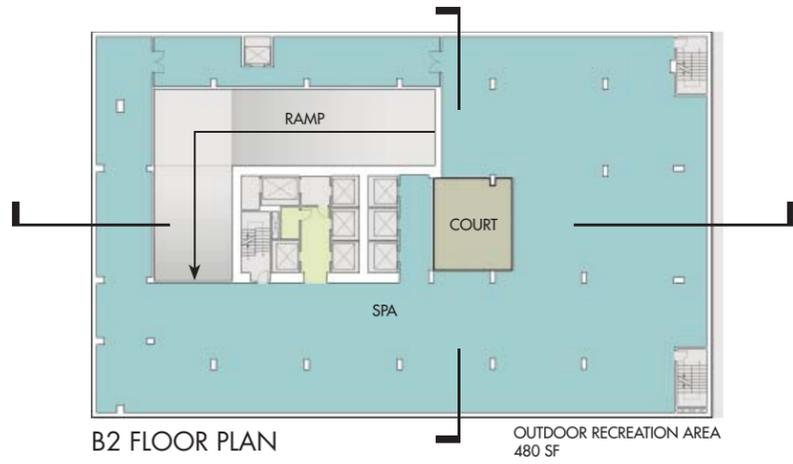
CONCEPT SKETCH OF CANDELA HOTEL & RESIDENCES WALL SECTION DETAIL



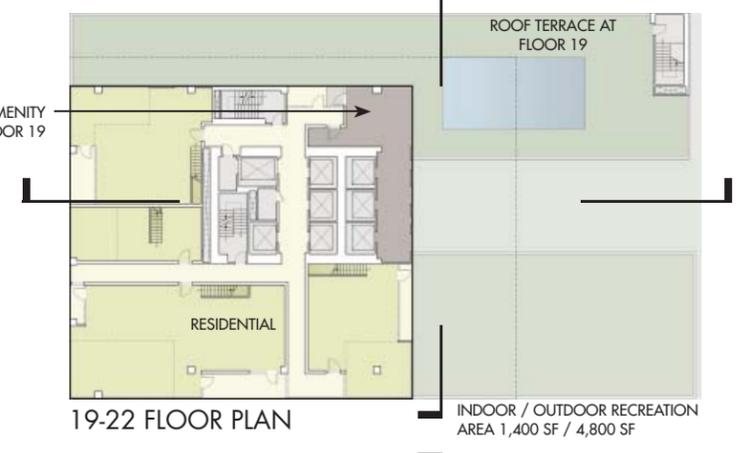
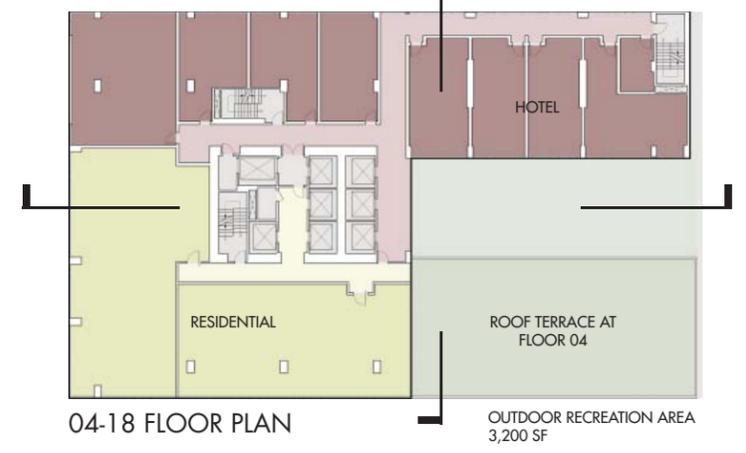
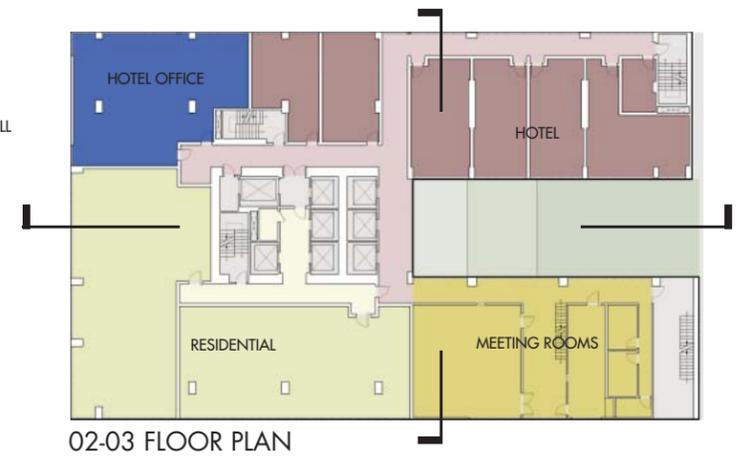
LARGE OPERABLE WINDOW MECHANISM DETAIL

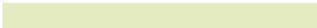


FACADE DETAIL W/ VEGETATION



ALT. 1: POTENTIAL TO REMOVE WALL TO CONNECT TO NEIGHBORING BUILDING TO PROVIDE SHARED ENTRANCE AT 2ND AVENUE.



MECHANICAL -	
RESIDENTIAL -	
HOTEL -	
RETAIL -	
PUBLIC AREA -	
HOTEL EMPLOYEE FACILITIES- SPA -	
PARKING -	
OFFICE -	

**POSSIBLE DEPARTURES:**

1. Maximum tower width.
2. Property line facade requirement - set-back proposed at 2nd Avenue Ground Floor storefront for increased sidewalk width. (SMC 23.49.056)
3. Minimum Facade Transparency.

**RECREATION AREA:**

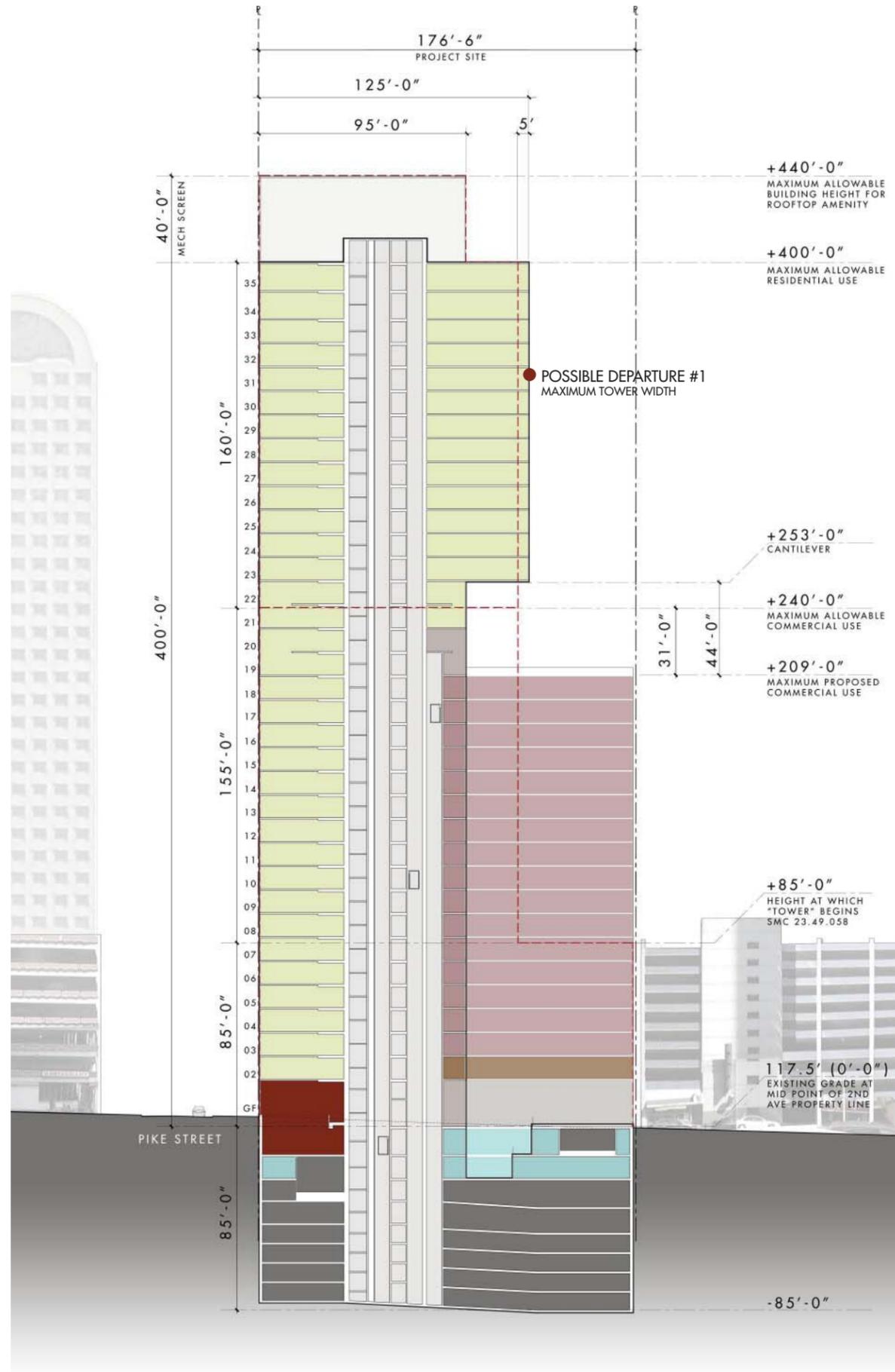
FLOOR B2:	480 SF
FLOOR B1:	550 SF
GROUND FLOOR:	1,300 SF
FLOOR 04:	3,200 SF
FLOOR 19:	4,800 SF
FLOOR 19 INDOOR:	1,400 SF
FLOORS 23-35: 270 SF/FLOOR=	3,510 SF
ROOFTOP:	1,900 SF
<hr/>	
	17,140 SF

**ADVANTAGES:**

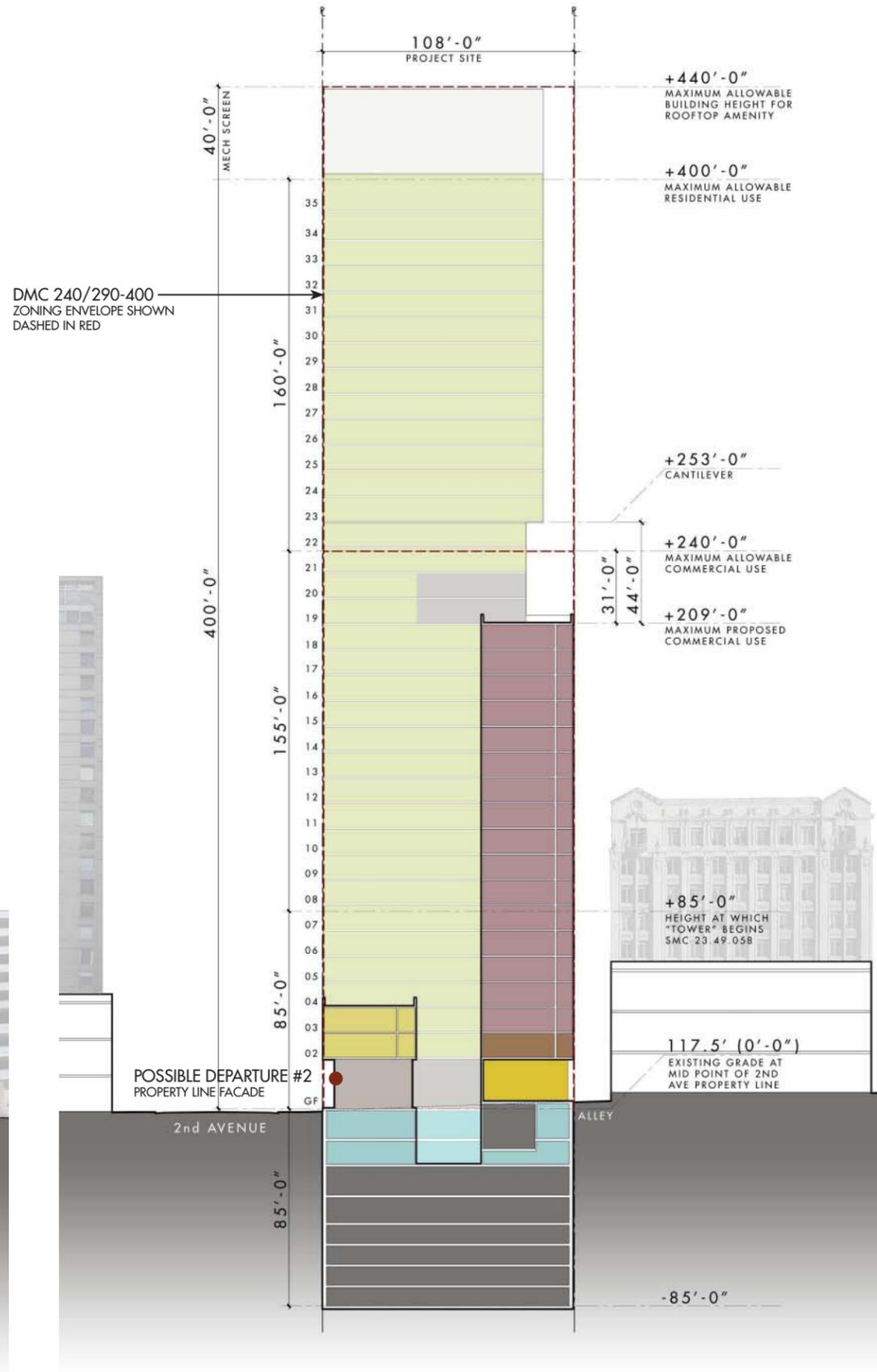
1. Lower West Entry Wing allows for more human-scaled facade along 2nd Avenue and provides pedestrians views of courtyard landscaping rising above.
2. Lower West Entry Wing allows for hotel massing to move further east in order to provide buffer between hotel rooms and Newmark Condominium building units. Public meeting rooms will occupy the entry wing.
3. Lower West Entry Wing allows for hybrid floor plans to be implemented. This eliminates the typical configuration of hotel base with condominiums above and allows for a building which is more expressive in responding to program and site.
4. Additional light provided by Lower West Entry Wing allows the courtyard to extend two floors below grade and provide the spa levels with natural light and ventilation.
5. Provides most and varied recreational area on site.

**CHALLENGES:**

1. Requires the most departures.



BUILDING SECTION LOOKING EAST



BUILDING SECTION LOOKING NORTH



- 1 **WaMu CENTER**  
MIXED USE COMMERCIAL, 45 STORIES,  
600'-0" TALL
- 2 **SEATTLE ART MUSEUM**  
ART MUSEUM, 6 STORIES
- 3 **BENAROYA HALL**  
PERFORMING ARTS CENTER, 3 STORIES
- 4 **NEWMARK TOWER**  
MIXED USE RESIDENTIAL / COMMERCIAL,  
24 STORIES, 230'-0" TALL
- 5 **PUGET SOUND PLAZA**  
MIXED USE COMMERCIAL, 20 STORIES,  
290'-0" TALL
- 6 **WILD GINGER**  
RESTAURANT, 2 STORIES
- 7 **MELBOURNE TOWER**  
COMMERCIAL TOWER, 11 STORIES,  
165'-0" TALL
- 8 **CANDELA HOTEL & RESIDENCES**  
MIXED USE RESIDENTIAL / COMMERCIAL,  
35 STORIES, 400'-0" TALL
- 9 **1521 2ND AVENUE**  
MIXED USE RESIDENTIAL / COMMERCIAL,  
36 STORIES, 440'-0" TALL
- 10 **CENTURY SQUARE**  
COMMERCIAL TOWER, 36 STORIES  
380'-0" TALL

- 1 **WaMu CENTER**  
MIXED USE COMMERCIAL, 45 STORIES,  
600'-0" TALL
- 2 **SEATTLE ART MUSEUM**  
ART MUSEUM, 6 STORIES
- 3 **BENAROYA HALL**  
PERFORMING ARTS CENTER, 3 STORIES
- 4 **NEWMARK TOWER**  
MIXED USE RESIDENTIAL / COMMERCIAL,  
24 STORIES, 230'-0" TALL
- 5 **PUGET SOUND PLAZA**  
MIXED USE COMMERCIAL, 20 STORIES,  
290'-0" TALL
- 6 **WILD GINGER**  
RESTAURANT, 2 STORIES
- 7 **MELBOURNE TOWER**  
COMMERCIAL TOWER, 11 STORIES  
165'-0" TALL
- 8 **CANDELA HOTEL & RESIDENCES**  
MIXED USE RESIDENTIAL / COMMERCIAL,  
35 STORIES, 400'-0" TALL
- 9 **1521 2ND AVENUE**  
MIXED USE RESIDENTIAL / COMMERCIAL,  
36 STORIES, 440'-0" TALL
- 10 **CENTURY SQUARE**  
COMMERCIAL TOWER, 36 STORIES  
380'-0" TALL
- 11 **PIKE PLACE MARKET**  
PUBLIC MARKET
- 12 **WASHINGTON MUTUAL TOWER**  
MIXED USE COMMERCIAL, 55 STORIES,  
770'-0" TALL



AERIAL PHOTO LOOKING NORTHWEST



EXISTING VIEW FROM 2ND AVENUE & PINE STREET WITHOUT CANDELA HOTEL & RESIDENCES



PROPOSED VIEW FROM 2ND AVENUE & PINE STREET WITH CANDELA HOTEL & RESIDENCES



VIEW FROM 3RD AVENUE AND UNION STREET WITH CANDELA HOTEL & RESIDENCES



EXISTING VIEW FROM WATERFRONT WITHOUT CANDELA HOTEL & RESIDENCES



PROPOSED VIEW FROM WATERFRONT WITH CANDELA HOTEL & RESIDENCES

WaMu CENTER  
600' TALL

WASHINGTON MUTUAL  
TOWER  
770' TALL

FOUR SEASONS  
224' TALL

US BANK CENTRE  
580' TALL

1521 SECOND AVE  
440' TALL

NEWMARK TOWER  
230' TALL

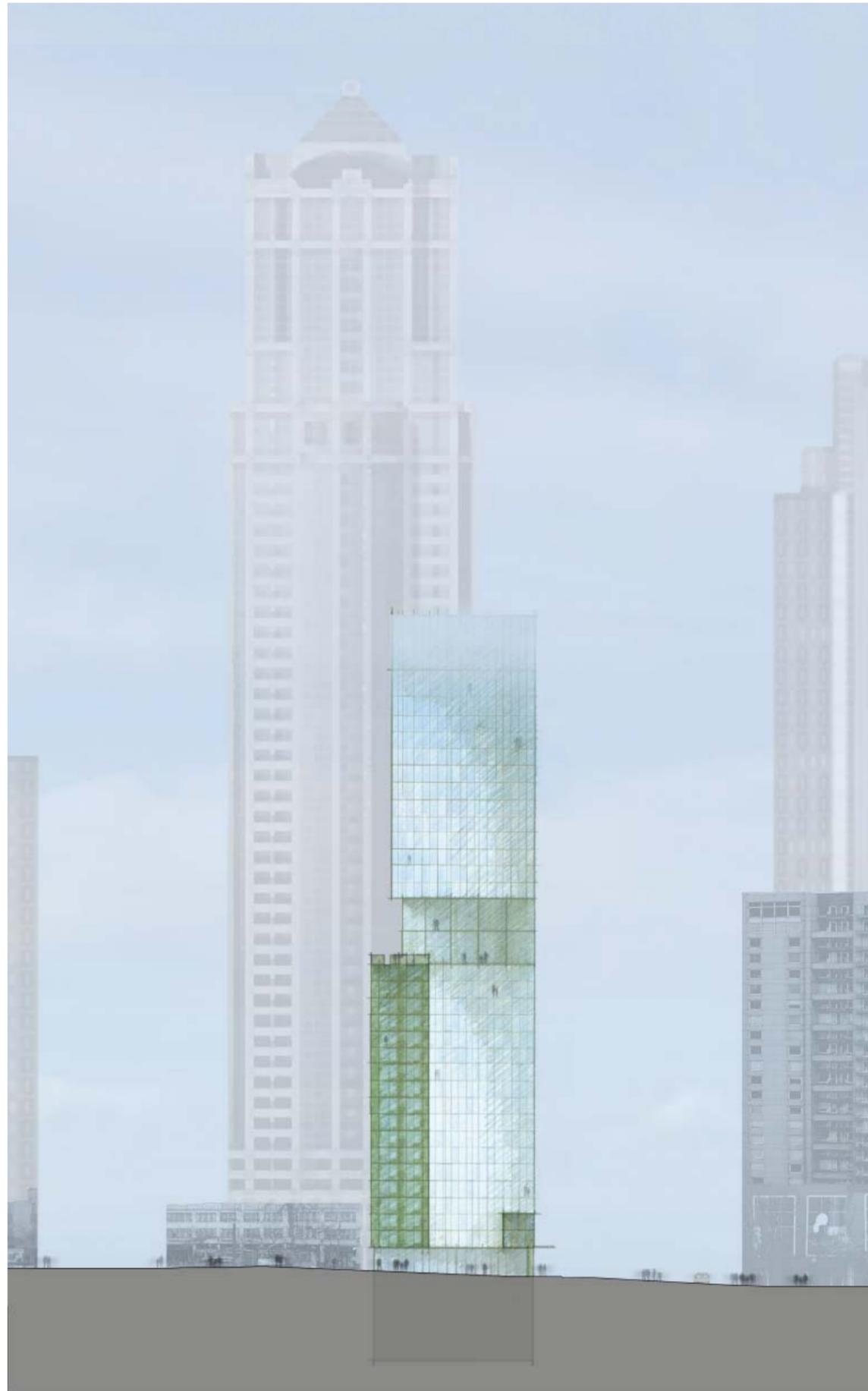
CANDELA HOTEL &  
RESIDENCES  
400' TALL



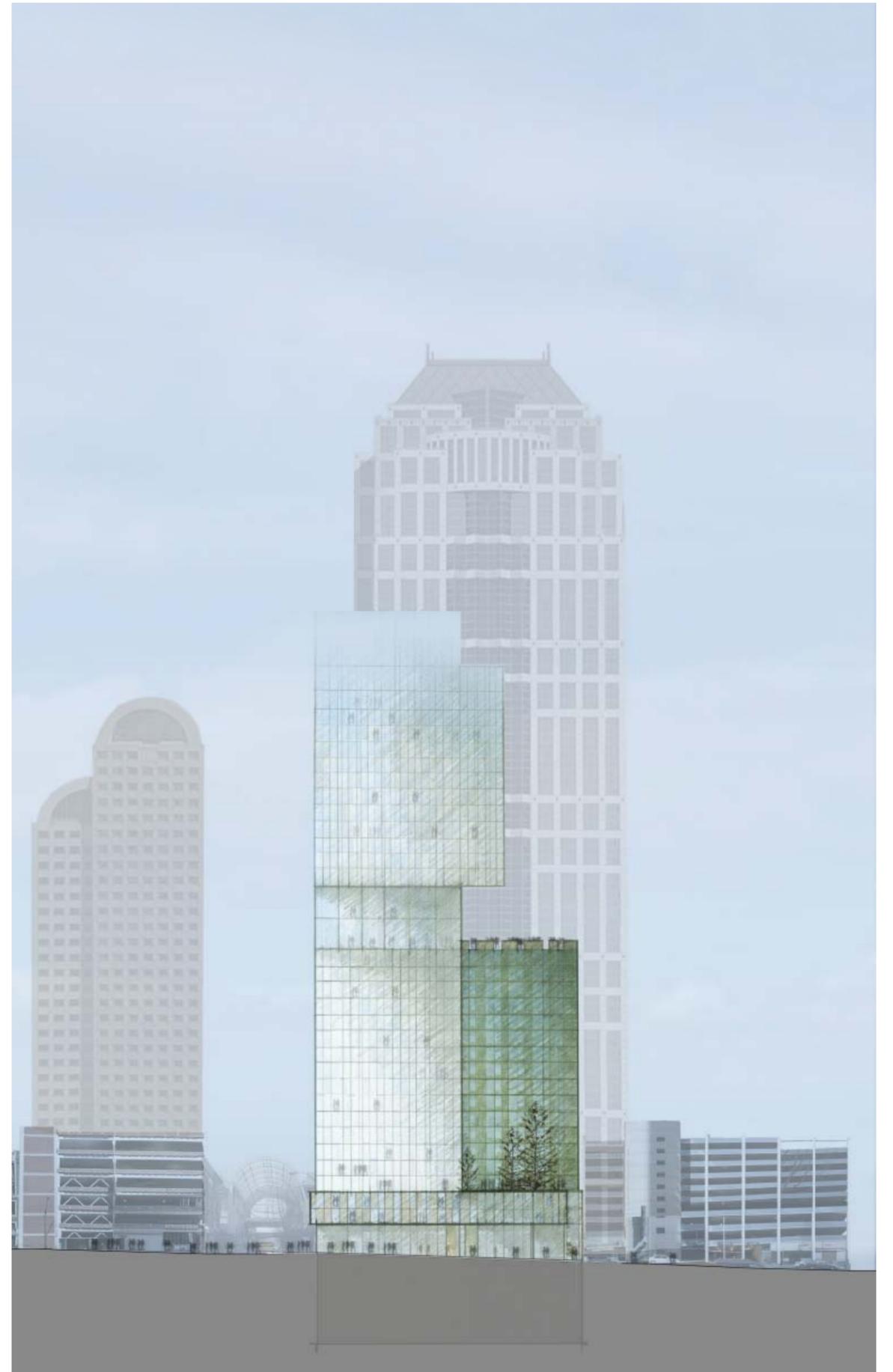
CANDELA HOTEL & RESIDENCES SOUTH ELEVATION CUT AT SOUTH PROPERTY LINE



CANDELA HOTEL & RESIDENCES EAST ELEVATION CUT AT ALLEY



CANDELA HOTEL & RESIDENCES NORTH ELEVATION CUT AT PIKE STREET



CANDELA HOTEL & RESIDENCES WEST ELEVATION CUT AT 2ND AVENUE



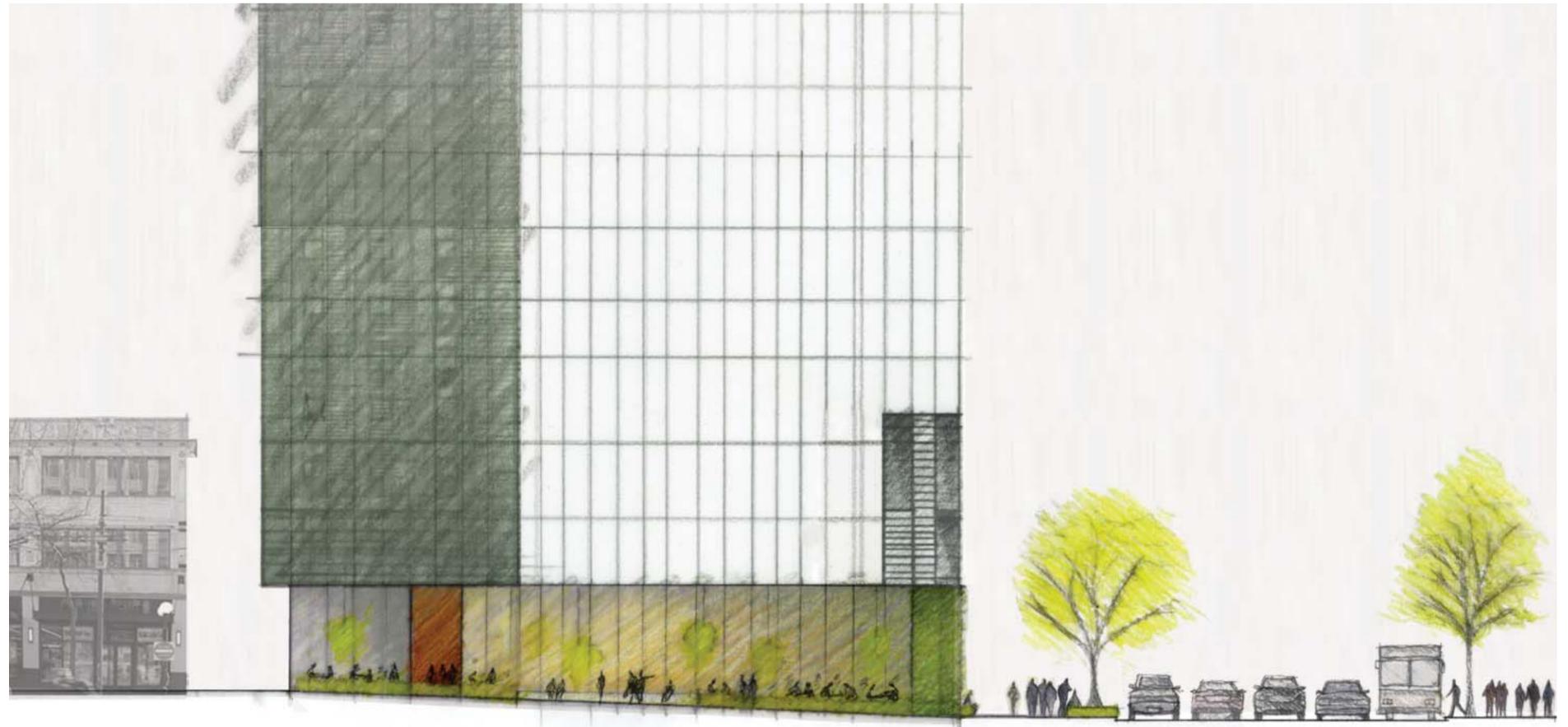
LANDSCAPE CONCEPT PERSPECTIVE ALONG PIKE ST.



ACTIVE STREETScape CONCEPT REFERENCE IMAGES



STEEL AND GLASS PIVOT DOOR AT BUILDING ENTRY



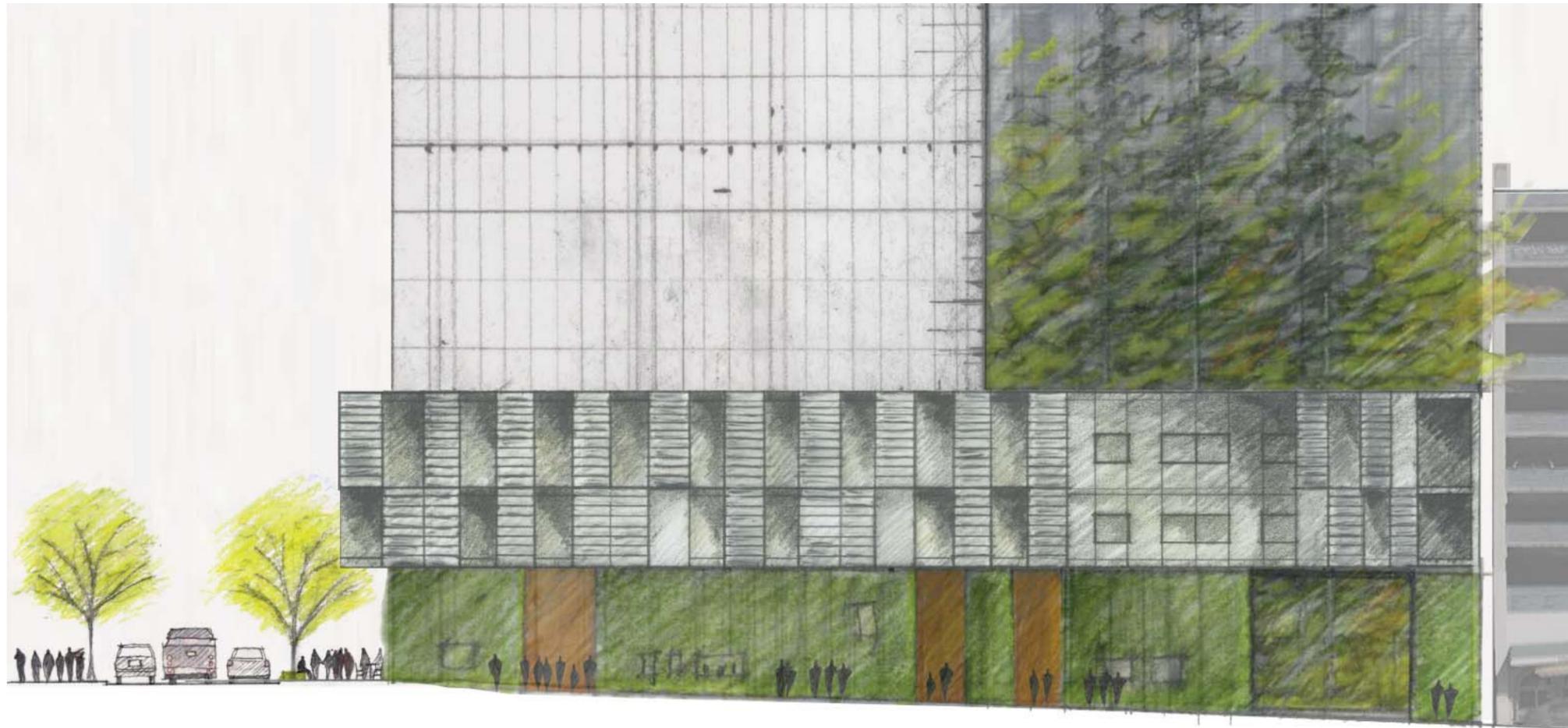
CONCEPT SKETCH OF CANDELA HOTEL & RESIDENCES STREET LEVEL ELEVATION AT PIKE STREET



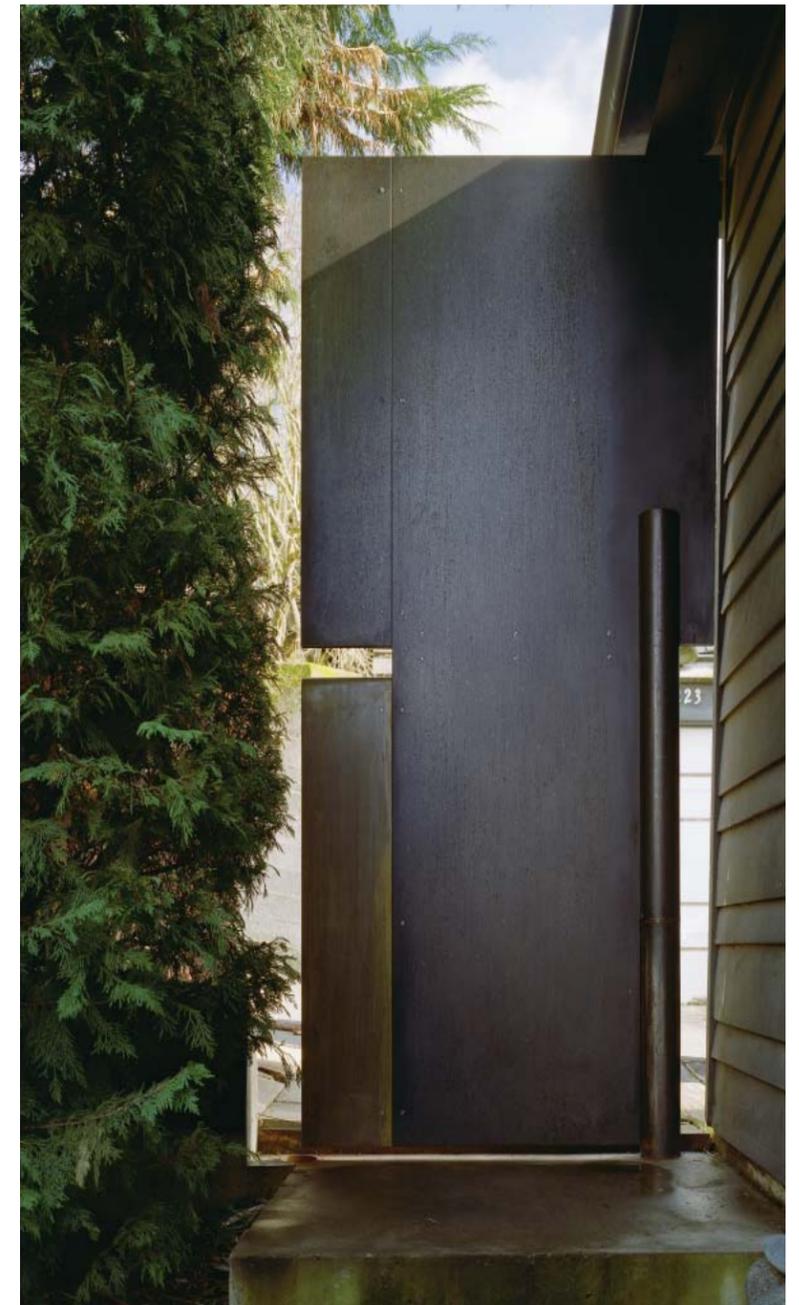
LANDSCAPE CONCEPT REFERENCE IMAGES



LANDSCAPE CONCEPT PERSPECTIVE ALONG 2ND AVENUE



CONCEPT SKETCH OF CANDELA HOTEL & RESIDENCES STREET LEVEL ELEVATION AT 2ND AVENUE

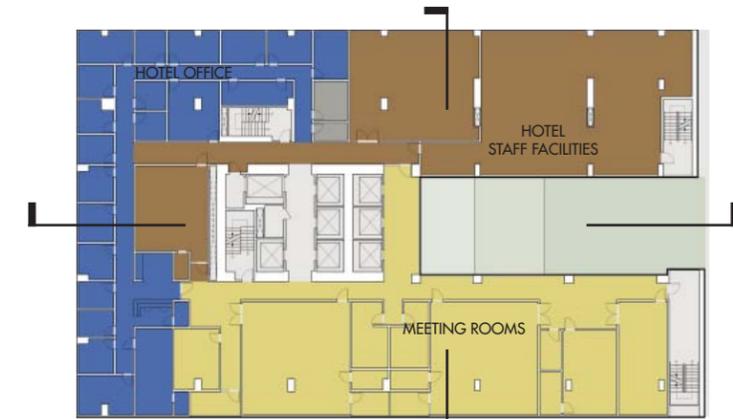


PROMINENT STEEL PIVOT DOOR DETAIL AT BUILDING ENTRY



GROUND FLOOR PLAN

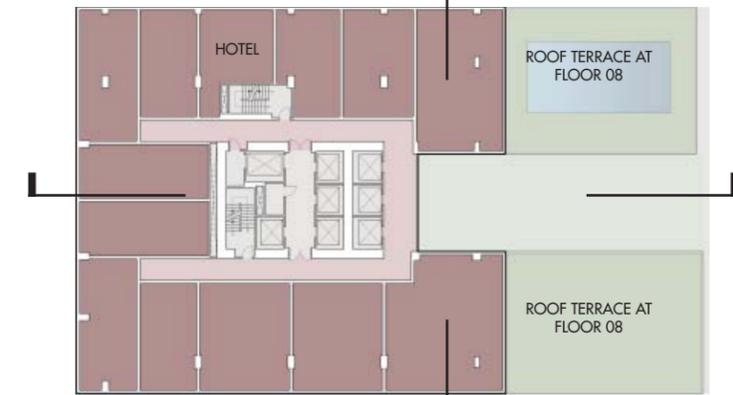
This access alternative is provided for comparison only. As noted in the 4/30/08 access letter to DPD, alley access is not operationally feasible due to impedance of alley driveways on Pike and Union Streets.



02 FLOOR PLAN



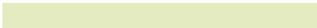
03-07 FLOOR PLAN



08-10 FLOOR PLAN



11-35 FLOOR PLAN

MECHANICAL -	
RESIDENTIAL -	
HOTEL -	
RETAIL -	
PUBLIC AREA -	
HOTEL EMPLOYEE FACILITIES- SPA -	
PARKING -	
OFFICE -	

**POSSIBLE DEPARTURE:**

- Property line facade requirement - set-back proposed at 2nd Avenue Ground Floor storefront for increased sidewalk width. (SMC 23.49.056)

**RECREATION AREA:**

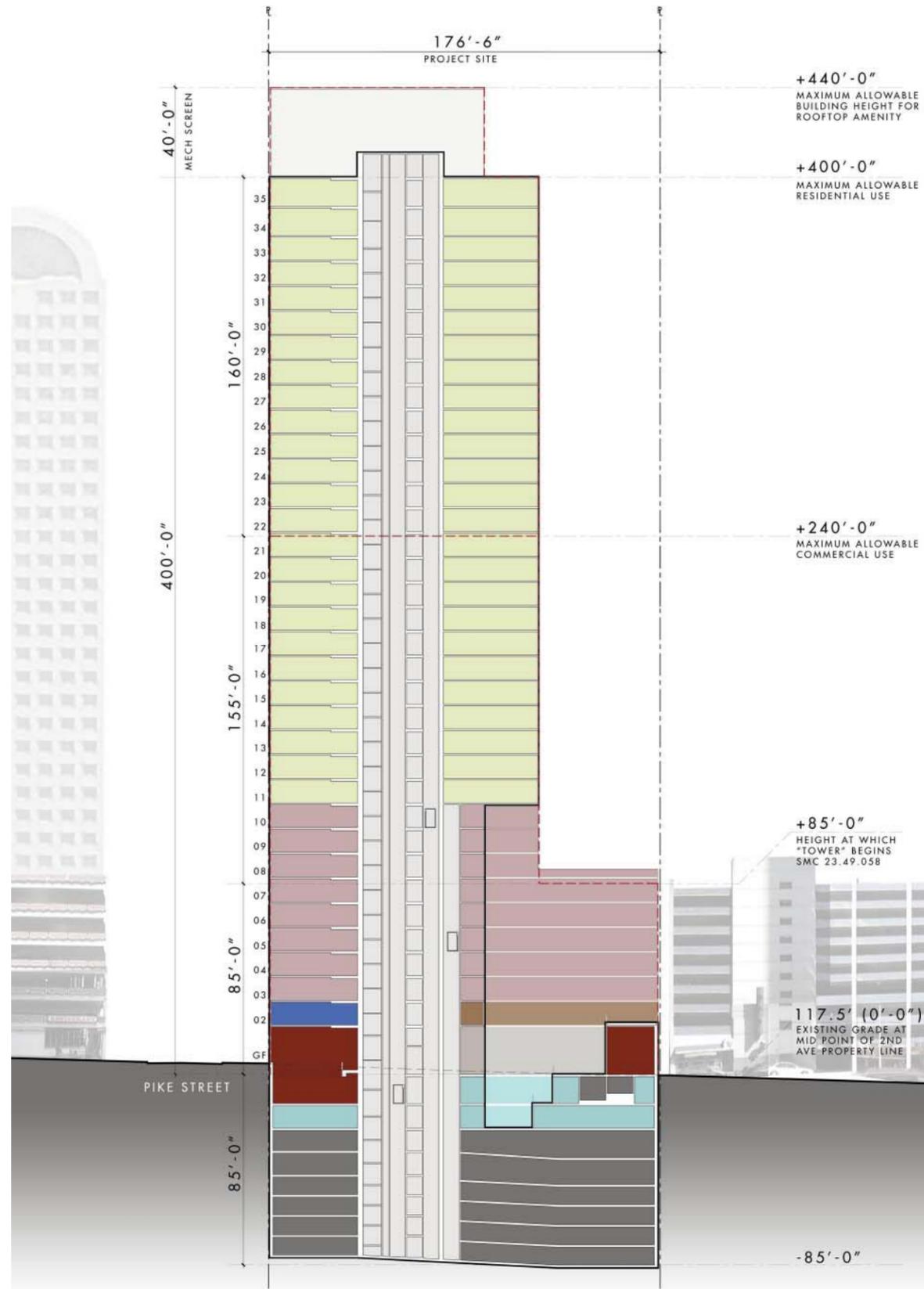
FLOOR B2:	480 SF
FLOOR B1:	550 SF
GROUND FLOOR:	615 SF
FLOOR 08:	4,365 SF
FLOOR 11:	2,120 SF
ROOFTOP:	1,900 SF
<hr/>	
	10,030 SF

**ADVANTAGES:**

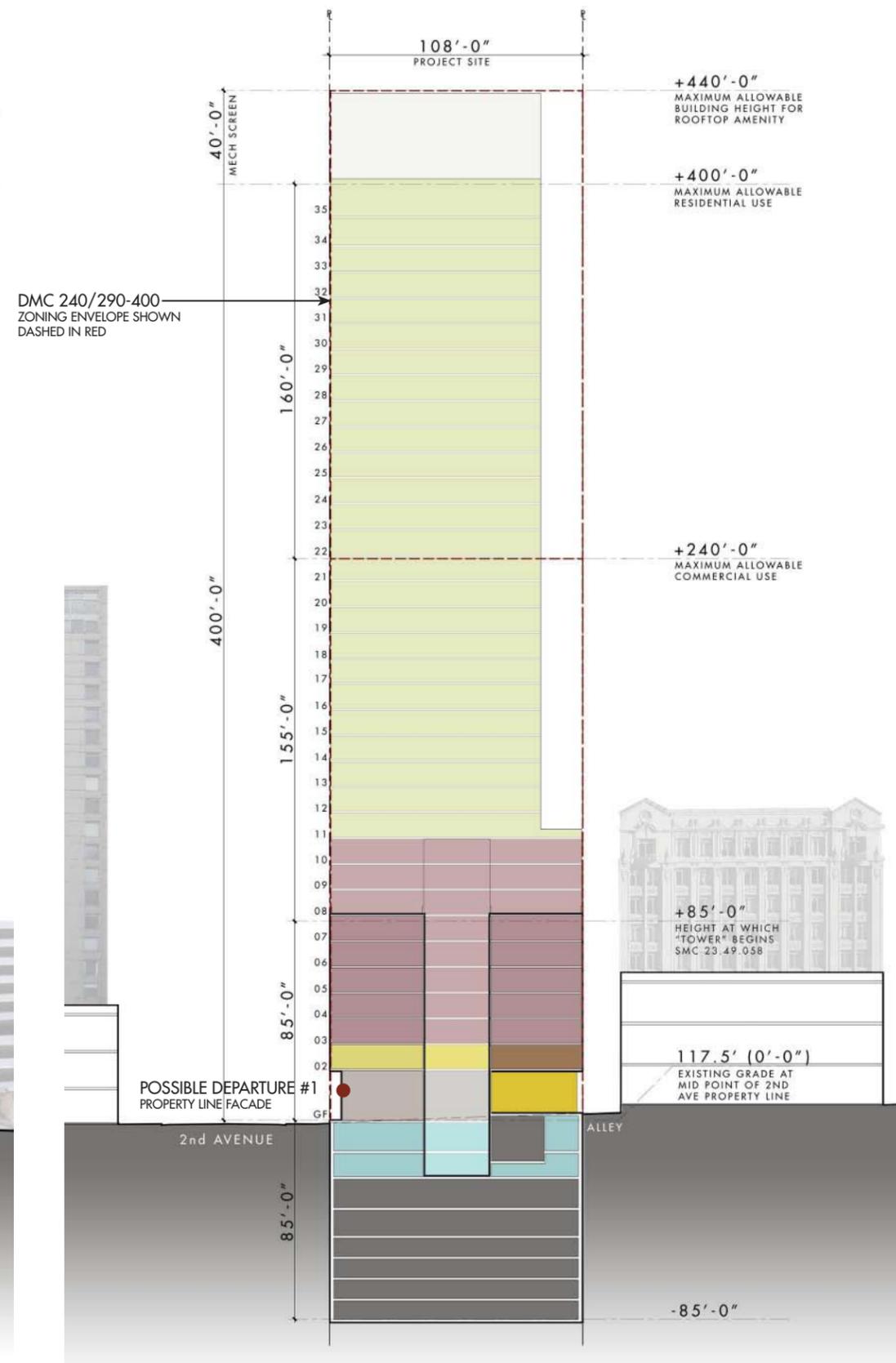
- Minimizes 2nd Avenue Access

**CHALLENGES:**

- Does not acknowledge existing high volume traffic & loading in alley.
- Does not acknowledge existing high volume pedestrian traffic along Pike Street.
- Reduced amount of recreational area compared to preferred scheme.



BUILDING SECTION LOOKING EAST

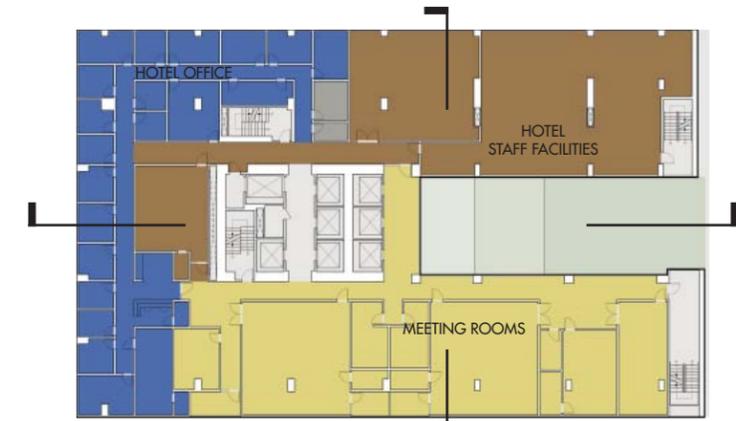


BUILDING SECTION LOOKING NORTH



GROUND FLOOR PLAN

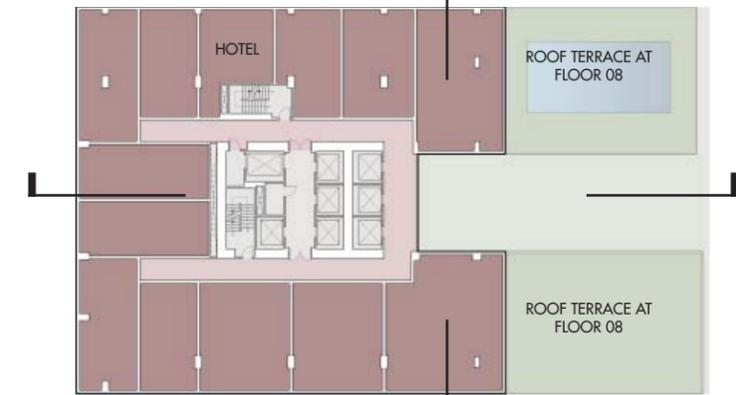
This access alternative is provided for comparison only. As noted in the 4/30/08 access letter to DPD, alley access is not operationally feasible due to impedance of alley driveways on Pike and Union Streets.



02 FLOOR PLAN



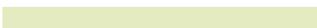
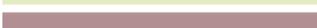
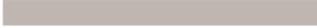
03-07 FLOOR PLAN



08-10 FLOOR PLAN



11-35 FLOOR PLAN

MECHANICAL -	
RESIDENTIAL -	
HOTEL -	
RETAIL -	
PUBLIC AREA -	
HOTEL EMPLOYEE FACILITIES- SPA -	
PARKING -	
OFFICE -	

**POSSIBLE DEPARTURES:**

- Property line facade requirement - set-back proposed at 2nd Avenue Ground Floor storefront for increased sidewalk width. (SMC 23.49.056)

**RECREATION AREA:**

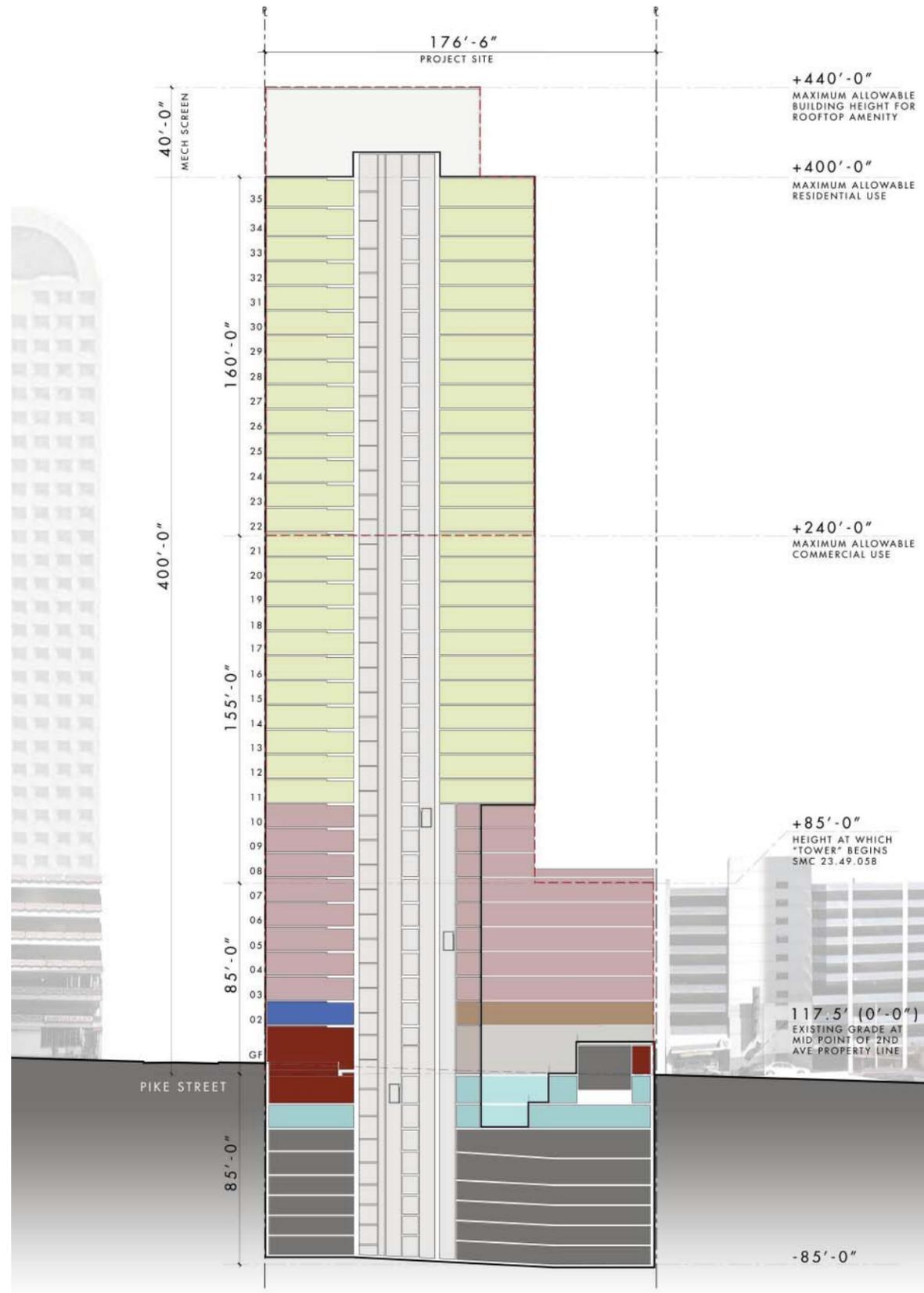
FLOOR B2:	480 SF
FLOOR B1:	550 SF
GROUND FLOOR:	350 SF
FLOOR 08:	4,365 SF
FLOOR 11:	2,120 SF
ROOFTOP:	1,900 SF
<hr/>	
	9,765 SF

**ADVANTAGES:**

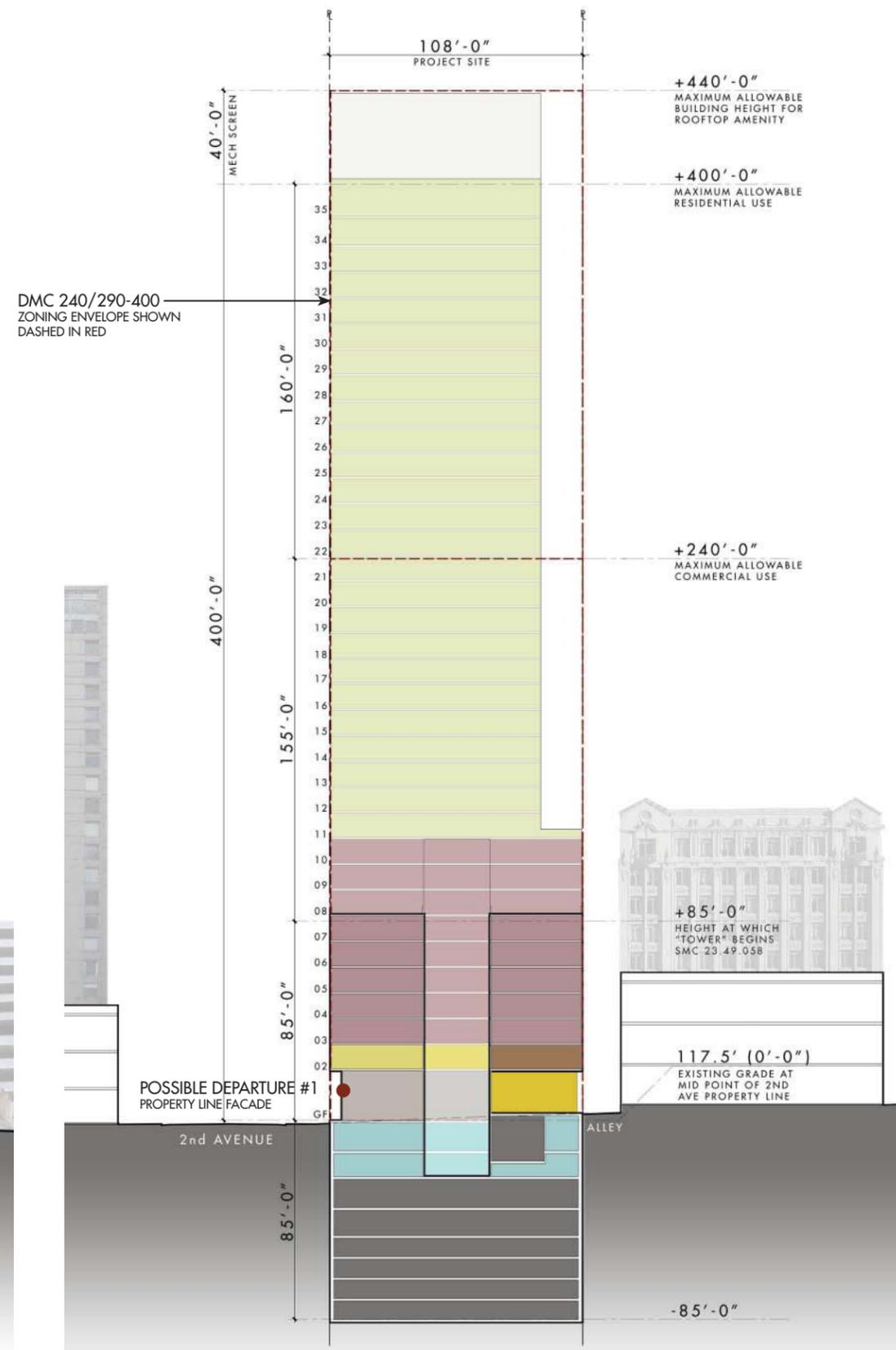
- Conforms to alley development standards.

**CHALLENGES:**

- Does not acknowledge existing high volume traffic & loading in alley.
- Does not acknowledge existing high volume pedestrian traffic along Pike Street.
- Reduced amount of recreational area compared to preferred scheme.



BUILDING SECTION LOOKING EAST

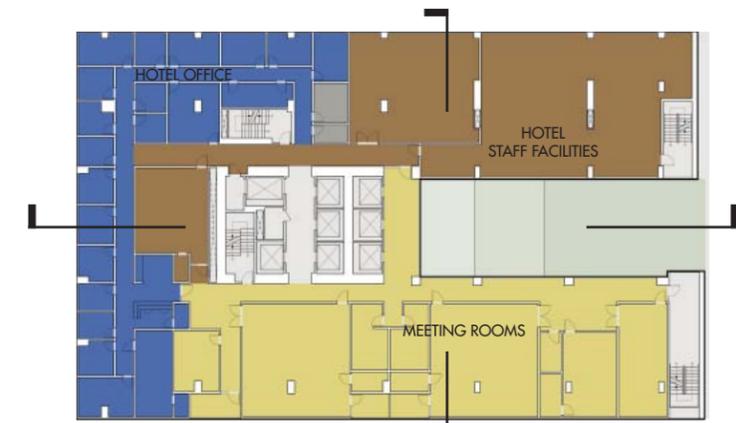


BUILDING SECTION LOOKING NORTH



GROUND FLOOR PLAN

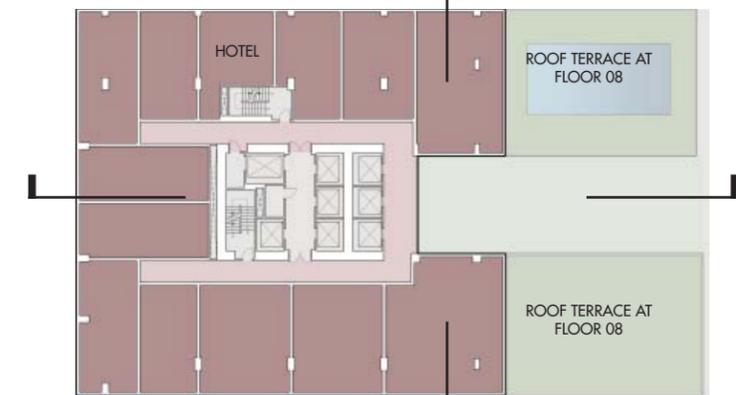
This access alternative is provided for comparison only. As noted in the 4/30/08 access letter to DPD, alley access is not operationally feasible due to impedance of alley driveways on Pike and Union Streets.



02 FLOOR PLAN



03-07 FLOOR PLAN



08-10 FLOOR PLAN



11-35 FLOOR PLAN

- MECHANICAL -
- RESIDENTIAL -
- HOTEL -
- RETAIL -
- PUBLIC AREA -
- HOTEL EMPLOYEE FACILITIES-
- SPA -
- PARKING -
- OFFICE -

**POSSIBLE DEPARTURES:**

1. Property line facade requirement - set-back proposed at 2nd Avenue Ground Floor storefront for increased sidewalk width. (SMC 23.49.056)

**RECREATION AREA:**

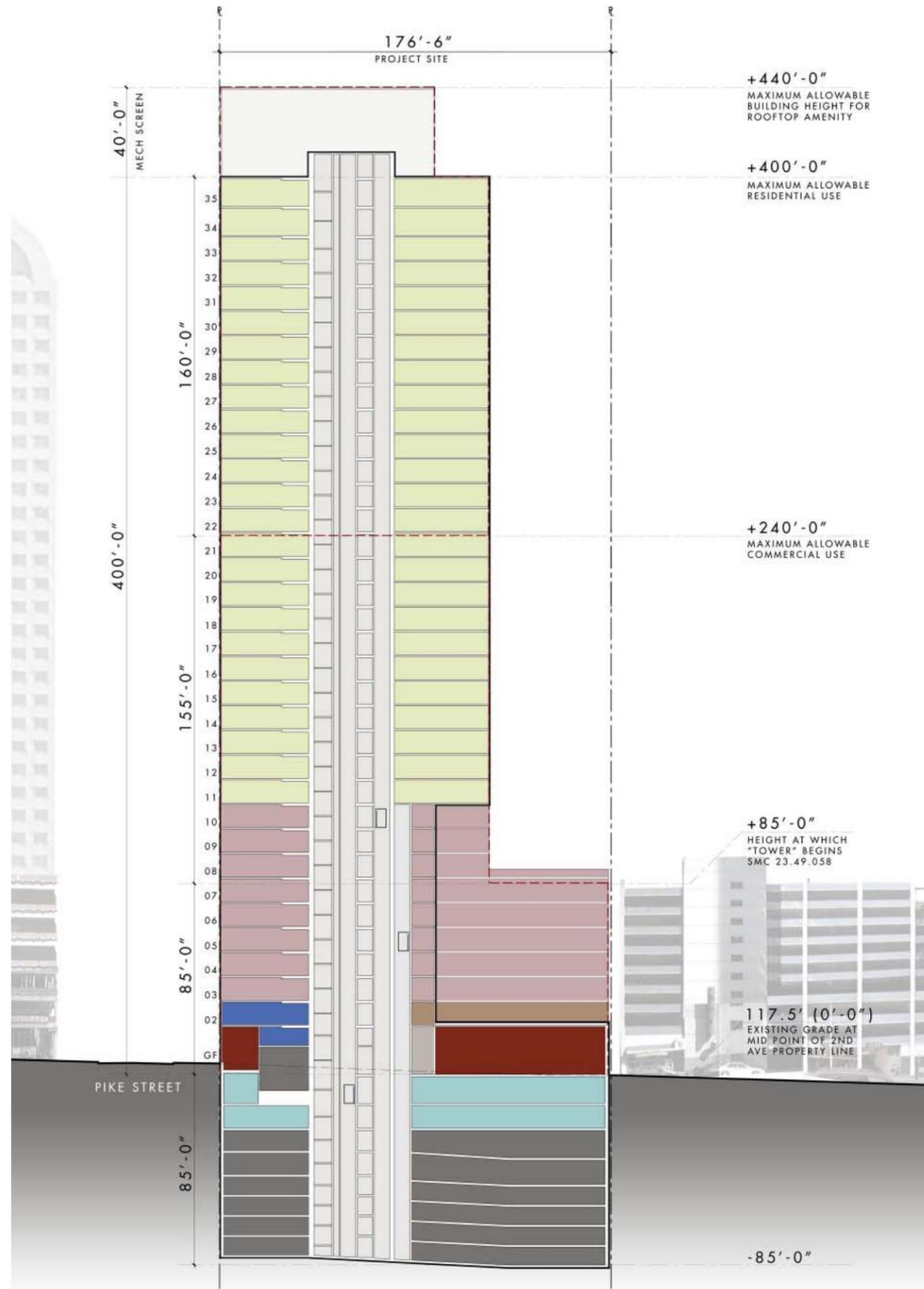
FLOOR 08:	4,365 SF
FLOOR 11:	2,120 SF
ROOFTOP:	1,900 SF
<b>TOTAL:</b>	<b>8,385 SF</b>

**ADVANTAGES:**

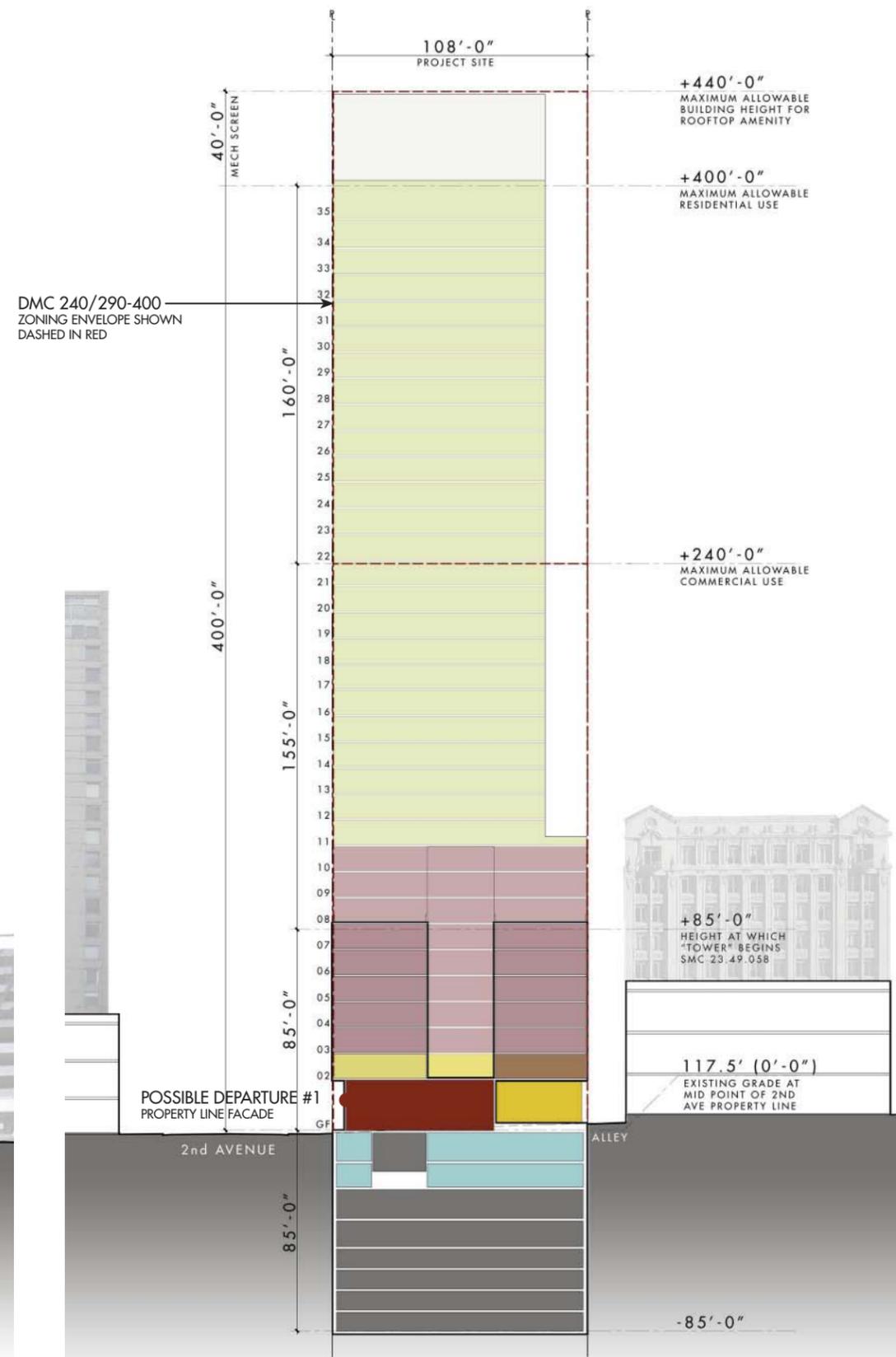
1. Conforms to alley development standards.

**CHALLENGES:**

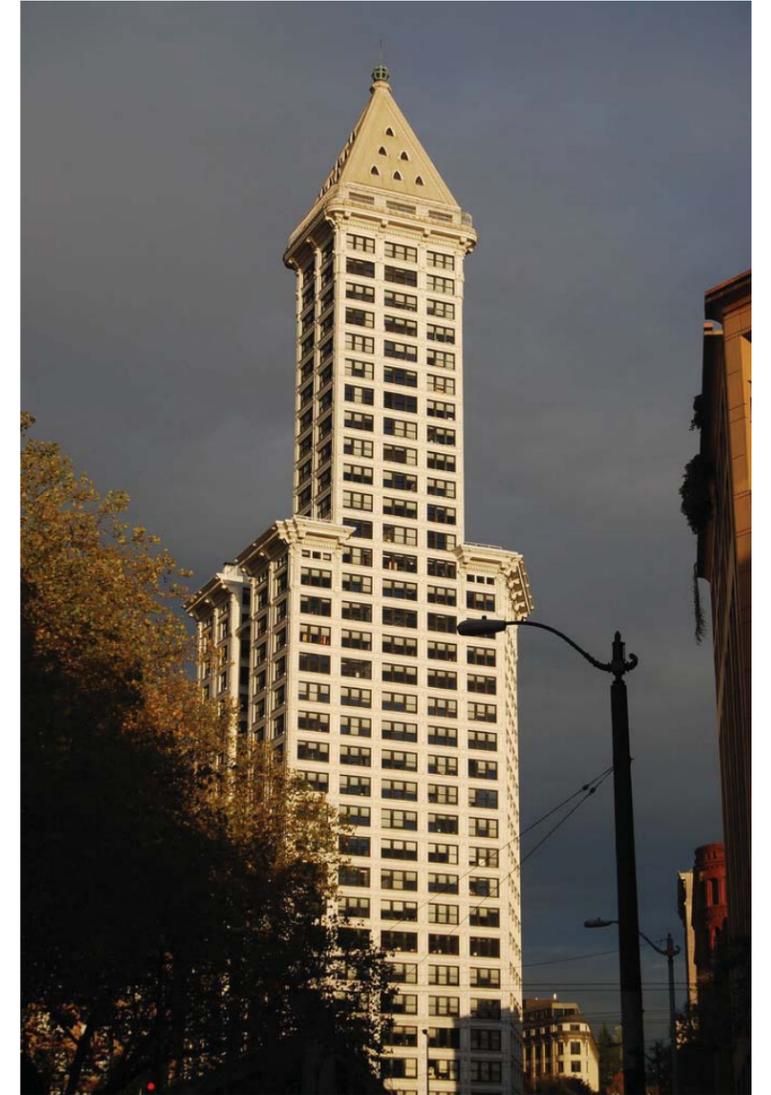
1. Does not acknowledge existing high volume traffic & loading in alley.
2. Does not acknowledge existing high volume pedestrian traffic along Pike Street.
3. Reduced amount of recreational area compared to preferred scheme.



BUILDING SECTION LOOKING EAST



BUILDING SECTION LOOKING NORTH



3 WHITE TOWERS



CANDELA HOTEL & RESIDENCES

SEATTLE SKYLINE WITH CANDELA HOTEL & RESIDENCES