



UNIVERSITY VILLAGE
SEATTLE, WASHINGTON

University Village

Early Design Guidance
Meeting #1

June 2, 2008



UNIVERSITY VILLAGE
SEATTLE, WASHINGTON

Perkowitz + Ruth
ARCHITECTS
Project No:07-348

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Vision

To capture and enhance University Village's quintessential attributes of sophistication, design authenticity, and genuine neighborhood connectivity. To address issues of environmental sensitivity and create an urban densification which envisions a vibrant Village destination that evolves over time.

Program

- Engaging signature shopping experience, full of "harmonious diversity" and mix of local and international stores.
- Exciting and fun entertainment, drawing all ages and interests.
- Celebration, relaxation, re-vitalization, where everyday life activities are made new, not by prescription but by a natural environmental fabric that provides "places" where the human drama of life play out spontaneously and genuinely.

Development Goals

- Contextualize the project in the neighborhood and city fabric.
- Incorporate local and cultural history, including University Village history.
- Connect with University of Washington.
- Create hierarchy of open spaces, plazas, and pocket parks that are engaging and compelling social gathering places and amenities.
- Establish a visual and operating "village center" that is the heart of the project.
- Create activated street level for pedestrian circulation.
- Vary building design and massing (allow eclectic design and unique solutions)
- Create integrated way-finding and project orientation.
- Promote sustainable design.

Commercial Square Footage & Parking Stalls

- Bldg 1 (South Bldg) has +/-350,000sf of floor area with 6 total floor levels comprised of ground level retail and structured parking above with a height of +/-65'-0".
Stalls Added: 792 Stalls Displaced: 202 Net Stalls: 590 Occupied SF: 48,000 SF
- Bldg 1A has +/-5,000sf of floor area with 1 floor level of retail use added to an existing retail building at ground level with an overall height of +/-32'-0".
Stalls Added: 0 Stalls Displaced: 21 Net Stalls: -21 Occupied SF: 5,000 SF
- Bldg 2 (Village Center) has +/-20,000sf of floor area with 2 total floor levels comprised of retail uses at both levels with a total building height of +/-35'-0".
Stalls Added: 29 Stalls Displaced: 99 Net Stalls: -70 Occupied SF: 20,000 SF
- Bldg 3 (Gateway Bldg) has +/-32,000sf of floor area with 3 total floor levels comprised of retail and parking uses at level 1, retail at level 2, and office at level 3 with a total building height of +/-48'-0".
Stalls Added: 35 Stalls Displaced: 101 Net Stalls: -66 Occupied SF: 32,000 SF
- Total Parking Summary
Stalls Added: 856 Stalls Displaced: 423 Net Stalls: 433 Occupied SF: 105,000 SF

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University Village Zoning Review

Seattle Municipal Code, Chapter 23.47A Commercial

Zoned C1-65, Commercial zone:

Allowable height: 65'-0"

Floor Area Ratio:

Max: 4.25 : 1

Setbacks:

Possible 5'-0" landscape setback.

Landscape requirements:

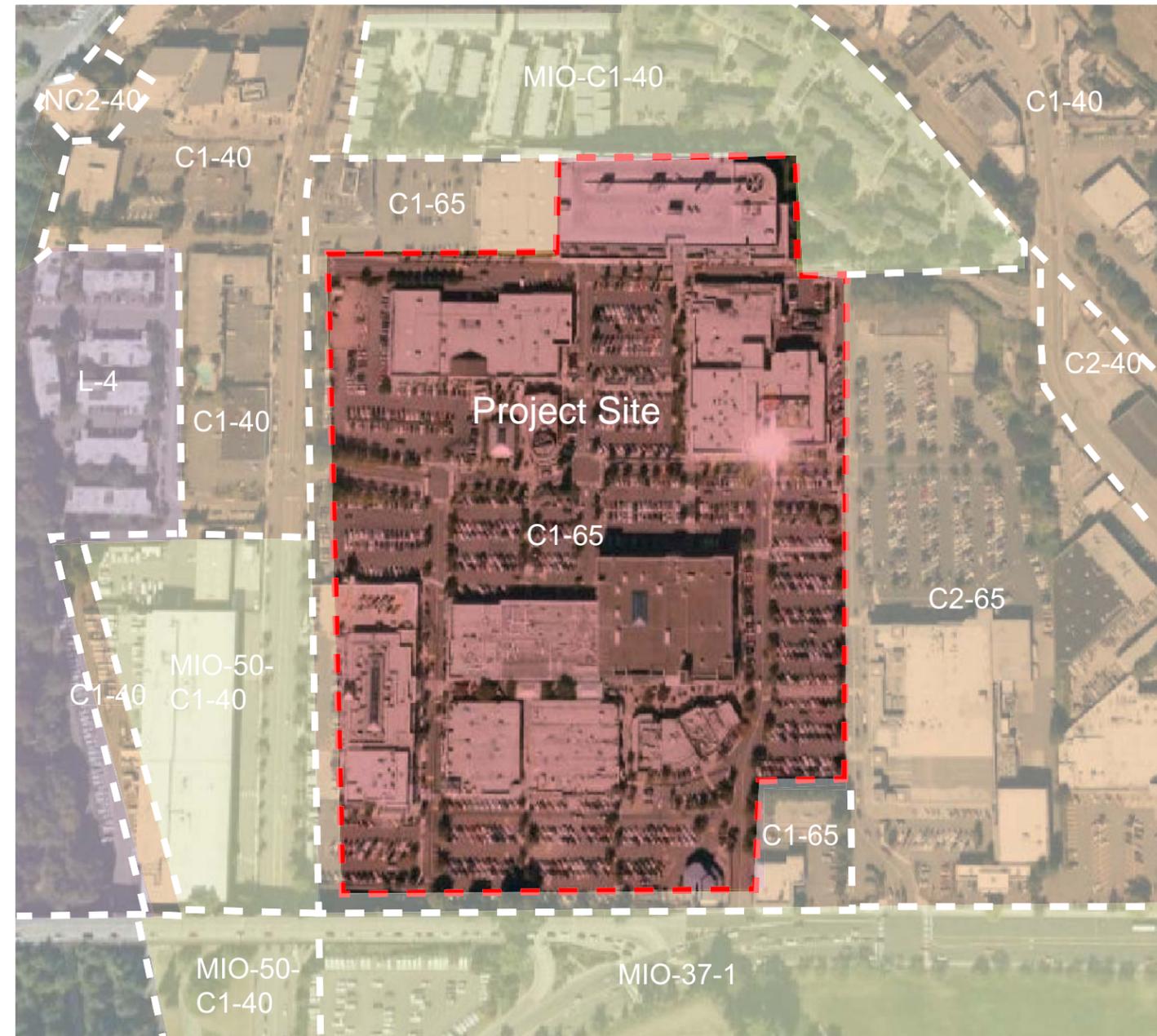
30% of a parcels area must be of qualifying landscaping.

Adjacent Zones:

- C1-40
- C2-40
- C2-65
- MIO-37-1
- MIO-C1-40
- MIO-50-C1-40
- L-4



Vicinity Map



Zoning Map

Municipal Code, Zoning Map and Adjacent Property

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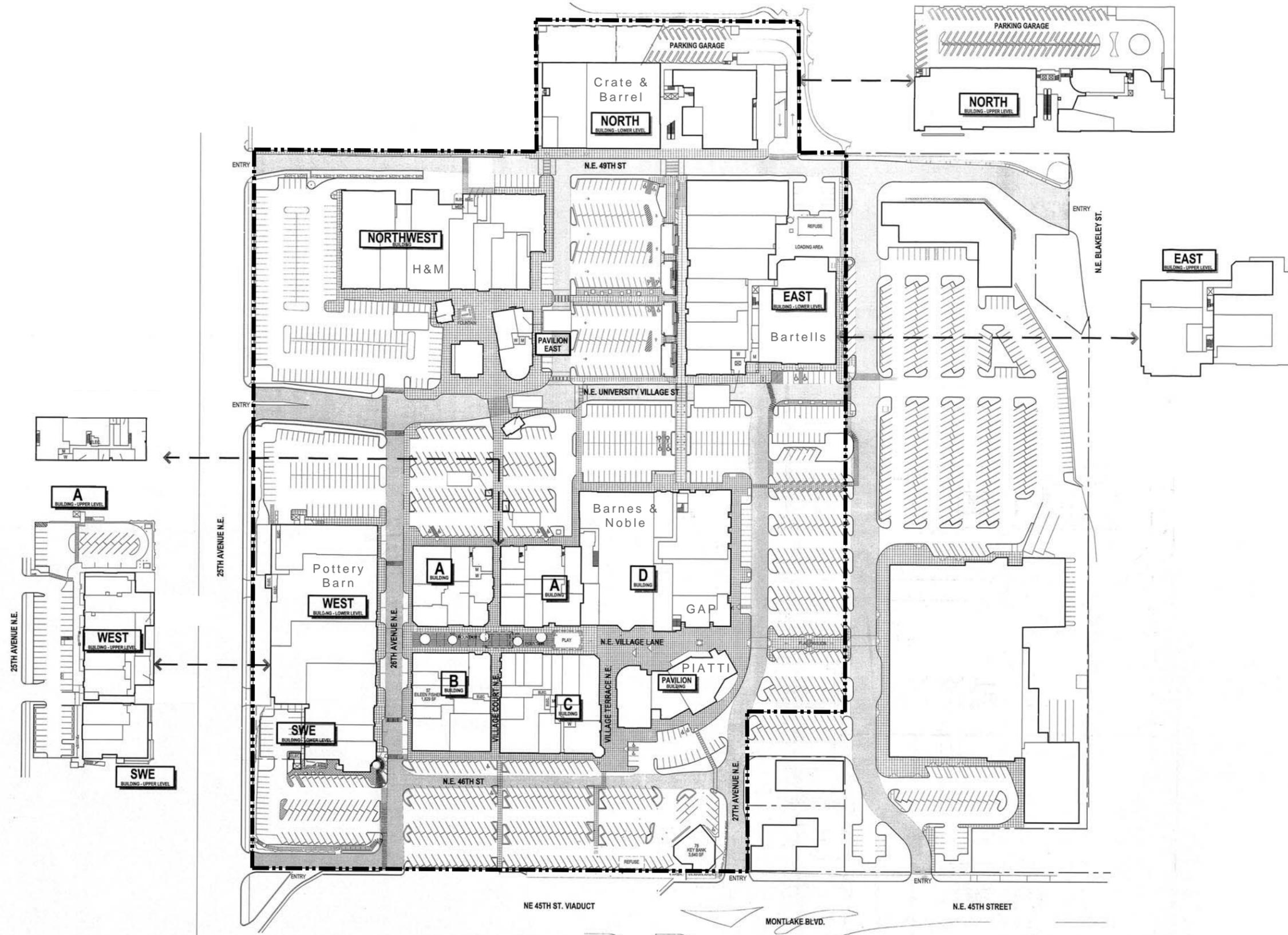
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03 Existing Site Plan

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SCALE: 0 40' 80' 160' 240' 07-348

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PHASE 2

BLDG. 2 - VILLAGE CENTER
 BLDG. HT. = APX. 32FT.
 OCCUPANCY IS PLANNED FOR 2010
 WITH CONSTRUCTION BEGINNING 2010

PHASE 3

BLDG. 3 - VILLAGE GATEWAY
 BLDG. HT. = APX. 48FT.
 OCCUPANCY IS PLANNED FOR 2011
 WITH CONSTRUCTION BEGINNING 2011

PHASE 3

BLDG. 3A
 OCCUPANCY IS PLANNED FOR 2009

PHASE 1

BLDG. 1 - SOUTH BUILDING
 BLDG. HT. = APX. 65FT.
 OCCUPANCY IS PLANNED FOR NOV. 2009
 WITH CONSTRUCTION BEGINNING 1/2009



KEYNOTES

- 1 2 Levels Retail
- 2 2 Levels Retail & 6 Levels Parking Above
- 3 2 Levels Retail & 1 Level Office Above
- 4 2nd Level Retail Addition
- 5 Entry
- 6 Service/Loading
- 7 Existing Bus Stop

LEGEND

- Retail
- Loading Dock
- Existing
- Water Feature
- Landscaped Area

PHASE 1

BLDG. 1A
 OCCUPANCY IS PLANNED FOR 2009-2010

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Phasing Site Plan 04



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Key City Design Guidelines for Commercial Buildings

Sections applicable to University Village:

A. SITE PLANNING

A2: Adjacent pedestrian streetscapes will be complemented with pedestrian-friendly sidewalk connections and shop fronts at ground level.

A3: Building entries will be clearly recognizable and approachable from surrounding streets. Distances between storefront entries will be limited at pedestrian areas.

A4: Human activity at the sidewalk / street edge will be encouraged by use of pedestrian amenities such as lighting, benches, landscape planters, and overhead canopies.

A8: Crossing paths of automobiles and pedestrians will be minimized.

A9: Automobile parking will be located within screened parking structures, away from direct view.

A10: Property corners will be emphasized with architectural features, including raised roofs and prominent building forms.

B. HEIGHT, BULK & SCALE

B1: Buildings will complement the prevailing scale of adjacent development and roadways. At long facades, use of varied architectural forms and stepping of the building mass at it's ends will reduce the appearance of building scale and provide transition to surrounding buildings.

C. ARCHITECTURAL ELEMENTS & MATERIALS

C1: Architectural style, scale and proportions will be compatible with adjacent buildings.

C2: Building massing will create unified, consistent forms, while facade elements will provide distinctive architectural compositions.

C3: Pedestrian activity will be encouraged with human-scale architectural features such as site furniture, overhead canopies for weather protection and streetscape lighting.

C4: Building materials will be of high quality, and varied material façade treatment will give the buildings interest and avoid monotonous views.

C5: Parking structure entries will be located to the sides of buildings and blended into the facade design to reduce the visual prominence of the parking entry.

D. PEDESTRIAN ENVIRONMENT

D1: Pedestrians will be encouraged by use of site furniture, human-scale signage, ample and attractive walking surfaces, overhead weather protection, and architectural lighting.

D5: The façades of parking structures will be treated with architectural forms and screening elements to reduce visual impacts.

D6: Loading, service and utility areas will be housed within buildings, away from view.

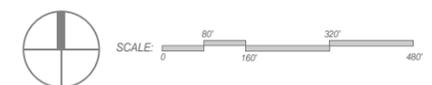
D7: Personal security will be fostered by providing adequate lighting and clear lines of sight, while reducing potential hiding places within the project.

E. LANDSCAPING

E1: Street trees and landscaping will be consistent with the species and patterning of adjacent landscaping.



Aerial Photo



05 Neighborhood Design Guidelines

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PARCEL D DESCRIPTION

THAT PORTION OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 9, TOWNSHIP 25 NORTH, RANGE 4 EAST, W.M., IN KING COUNTY, WASHINGTON,.

SUBJECT TO EASEMENT FOR SEATTLE CITY LIGHT FACILITIES

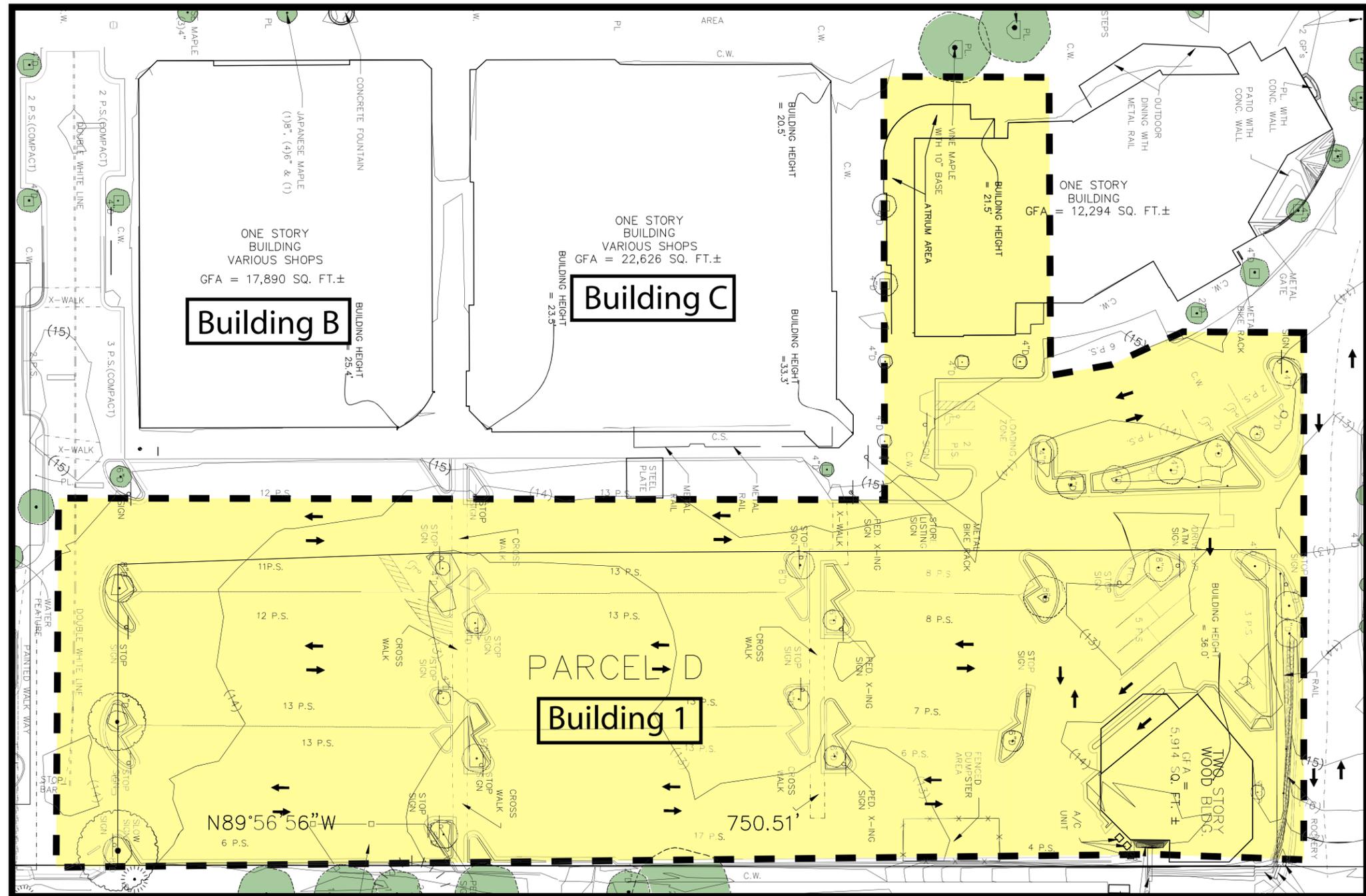
RECORDED UNDER RECORDING NO. 20020510001781;

SUBJECT TO AND TOGETHER WITH EASEMENTS FOR ACCESS, PARKING AND UTILITIES GRANTED UNDER THAT CERTAIN DECLARATION OF RECIPROCAL EASEMENTS AND PARKING COVENANTS RECORDED UNDER RECORDING NO. 20020416002745.

(ALSO KNOWN AS PARCEL D OF CITY OF SEATTLE SHORT SUBDIVISION NO. 2005186, RECORDED UNDER KING COUNTY RECORDING NO. 20020416900005.)

THE PARCEL DESCRIBED ABOVE CONTAINS 60,960 SQUARE FEET (1.40 ACRES), MORE OR LESS.

SITUATE IN THE CITY OF SEATTLE, KING COUNTY, WASHINGTON.



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**BUILDING 1
 SITE SURVEY**

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A. View west adjacent to NE 45th St. viaduct.



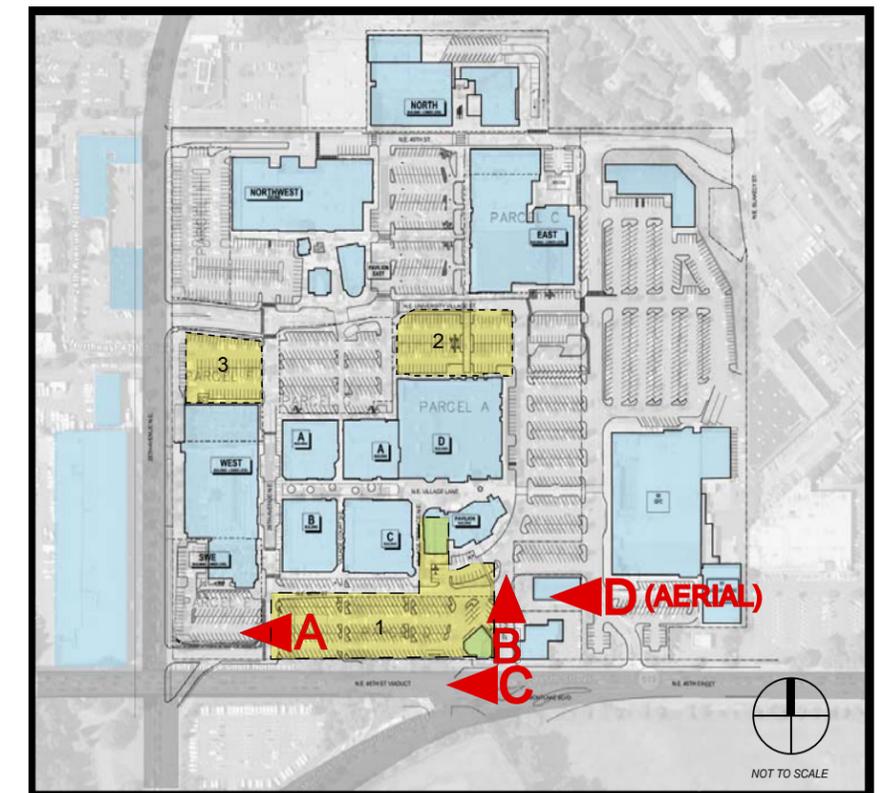
B. View north along 27th Ave. NE



C. Intersection of NE 45th St. and 27th Ave. NE (Key Bank building to be demolished)



D. View west aerial.



09 Building 1 - Site Context Photos

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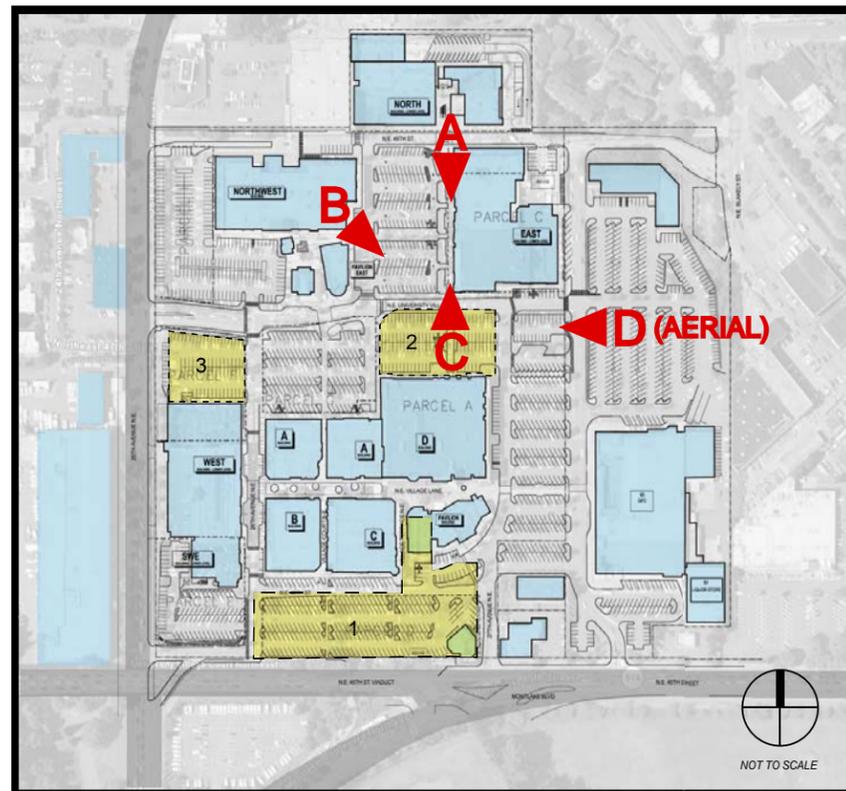
A. View south along pedestrian link toward project site.



B. View southeast.



C. View north along pedestrian link from project site.



D. View west aerial.

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Building 2 -Site Context Photos 10



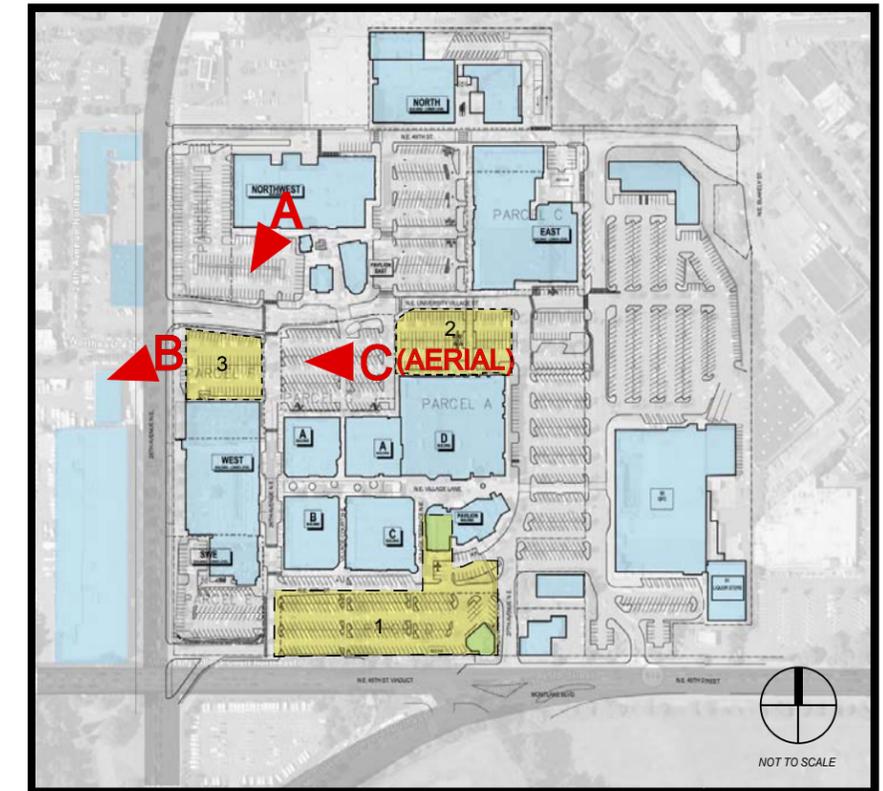
A. View south across NE University Village St.



B. View west across 25th Ave NE



C. View west aerial.



11 Building 3 - Site Context Photos

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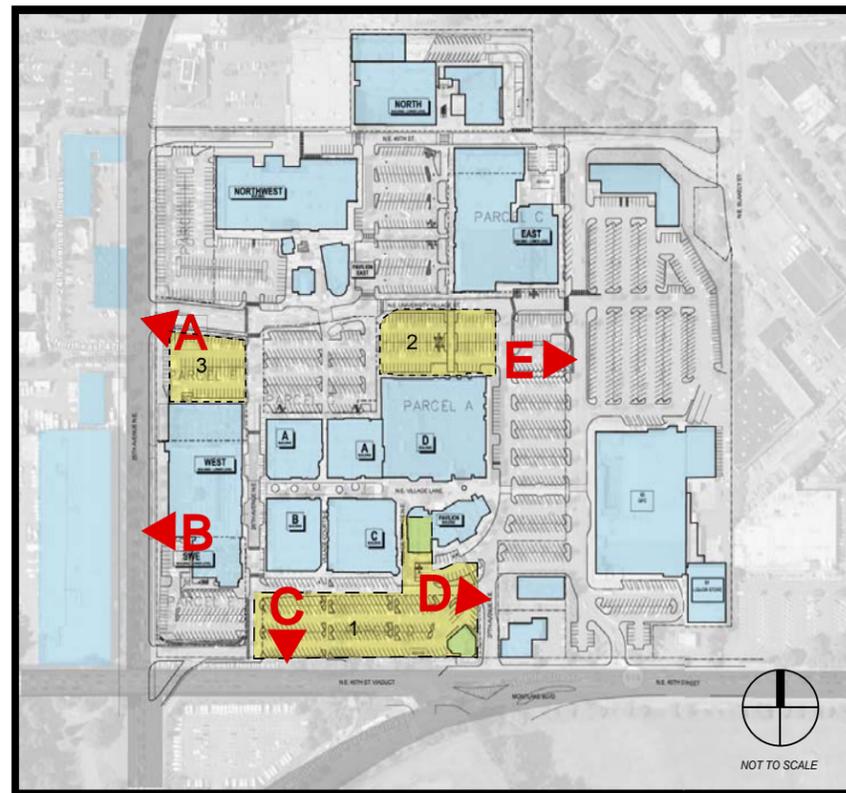
A. View west across 25th Ave. NE.



B. View west across 25th Ave. NE.



C. View south under NE 45th St. viaduct.



D. View east across 27th Ave. NE

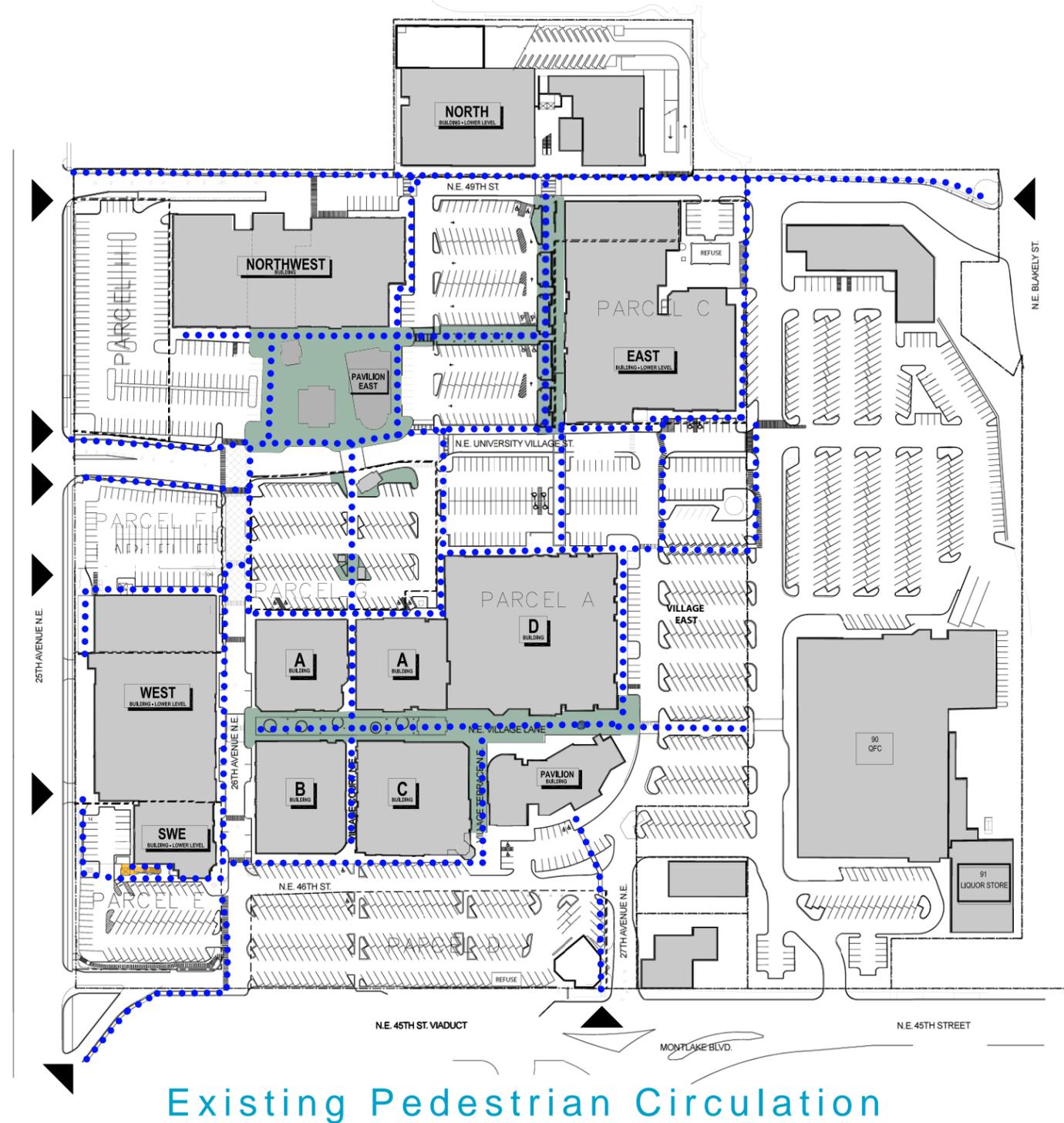


E. View east toward QFC parking lot.

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LEGEND

- Existing Pedestrian Circulation
- Existing Open Space / Plaza
- Vertical Pedestrian Circulation
- Existing Pedestrian Site Access

Uninspired Pedestrian Paths



13 Existing Pedestrian Circulation / Open Space Diagram

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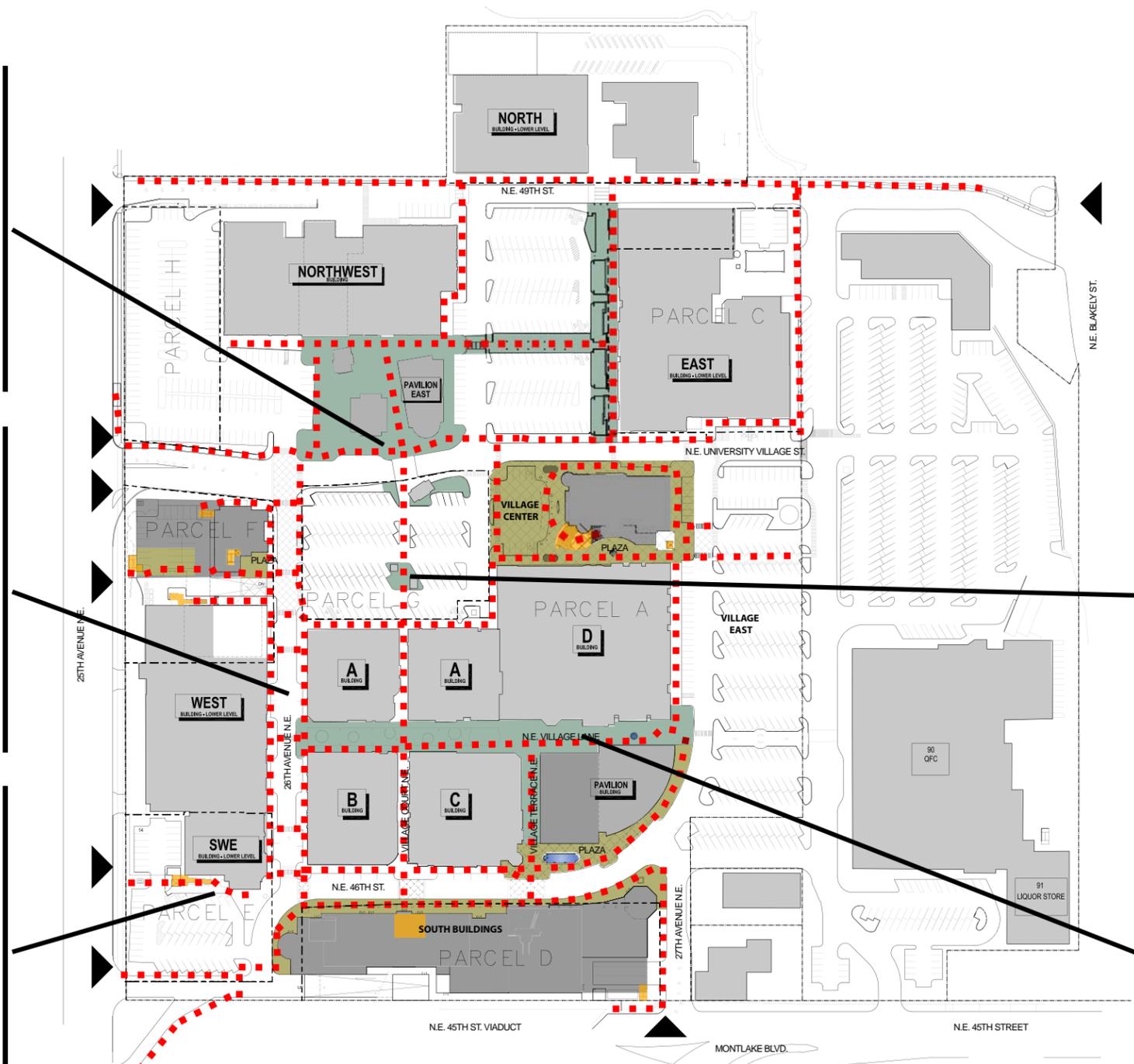
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Inspired Pedestrian Paths



LEGEND

- - - Proposed Pedestrian Circulation
- Proposed Open Space / Plaza
- Existing Open Space / Plaza
- Vertical Pedestrian Circulation
- ▲ Proposed Pedestrian Site Access

Inspired Pedestrian Paths



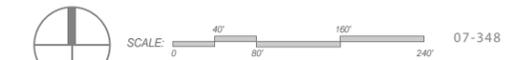
Proposed Pedestrian Circulation

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Conceptual Pedestrian Circulation / Open Space Diagram 14



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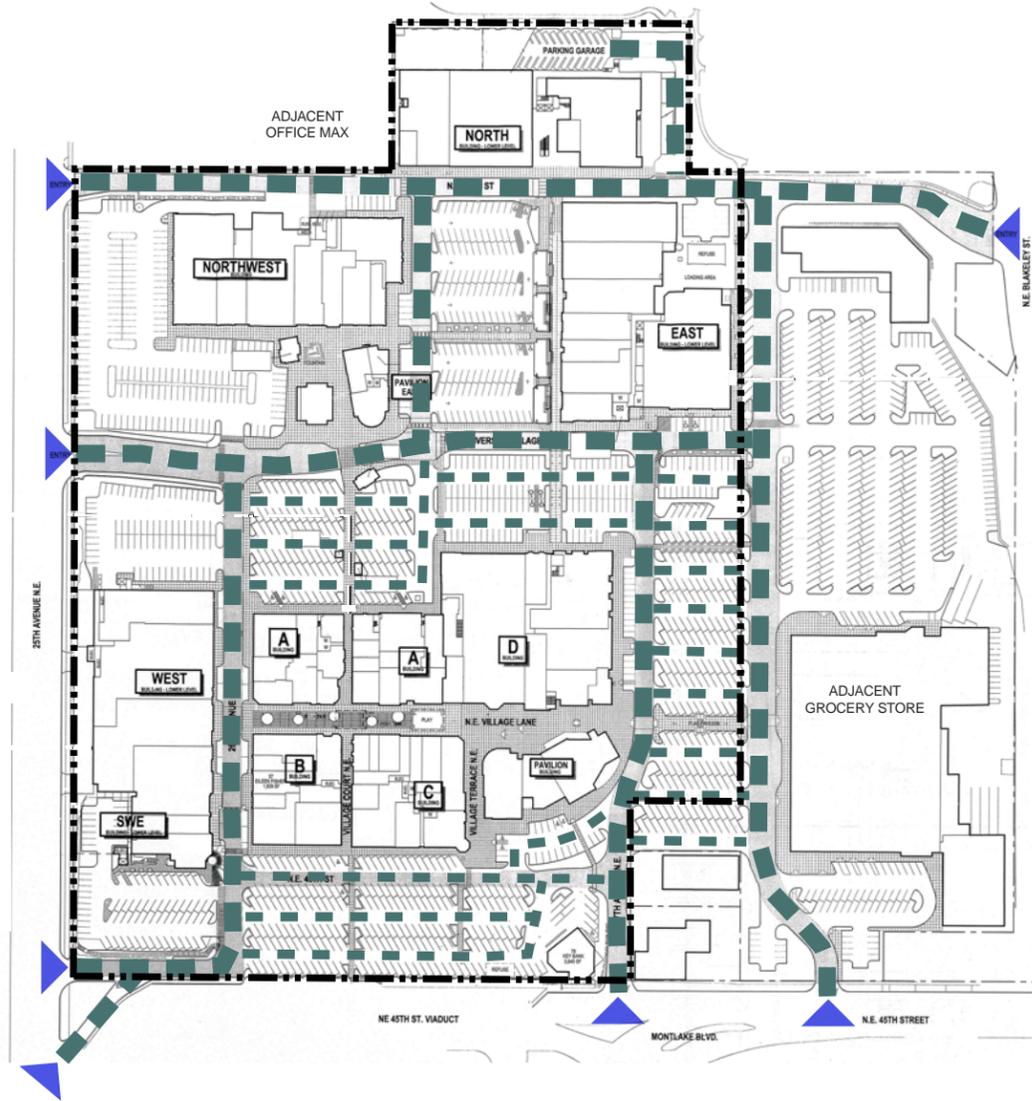


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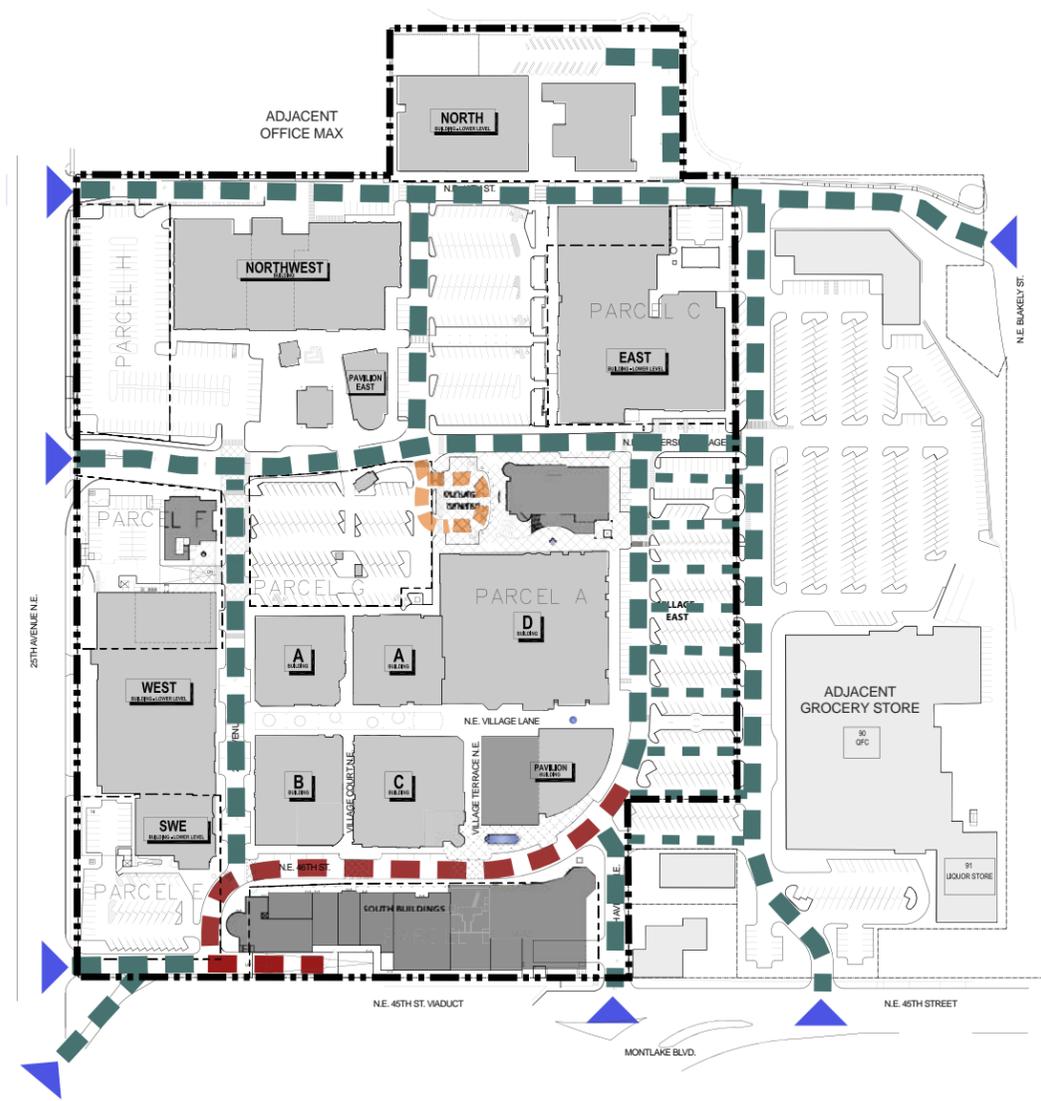


LEGEND

- Existing Primary Vehicular Circulation
- Proposed Primary Vehicular Circulation
- Existing Secondary Vehicular Circulation
- Proposed Secondary Vehicular Circulation
- Primary Point of Access



Existing Vehicular Circulation



Proposed Vehicular Circulation

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15 Conceptual Vehicular Circulation Diagram





Landscaping at Vehicular Street & Parking



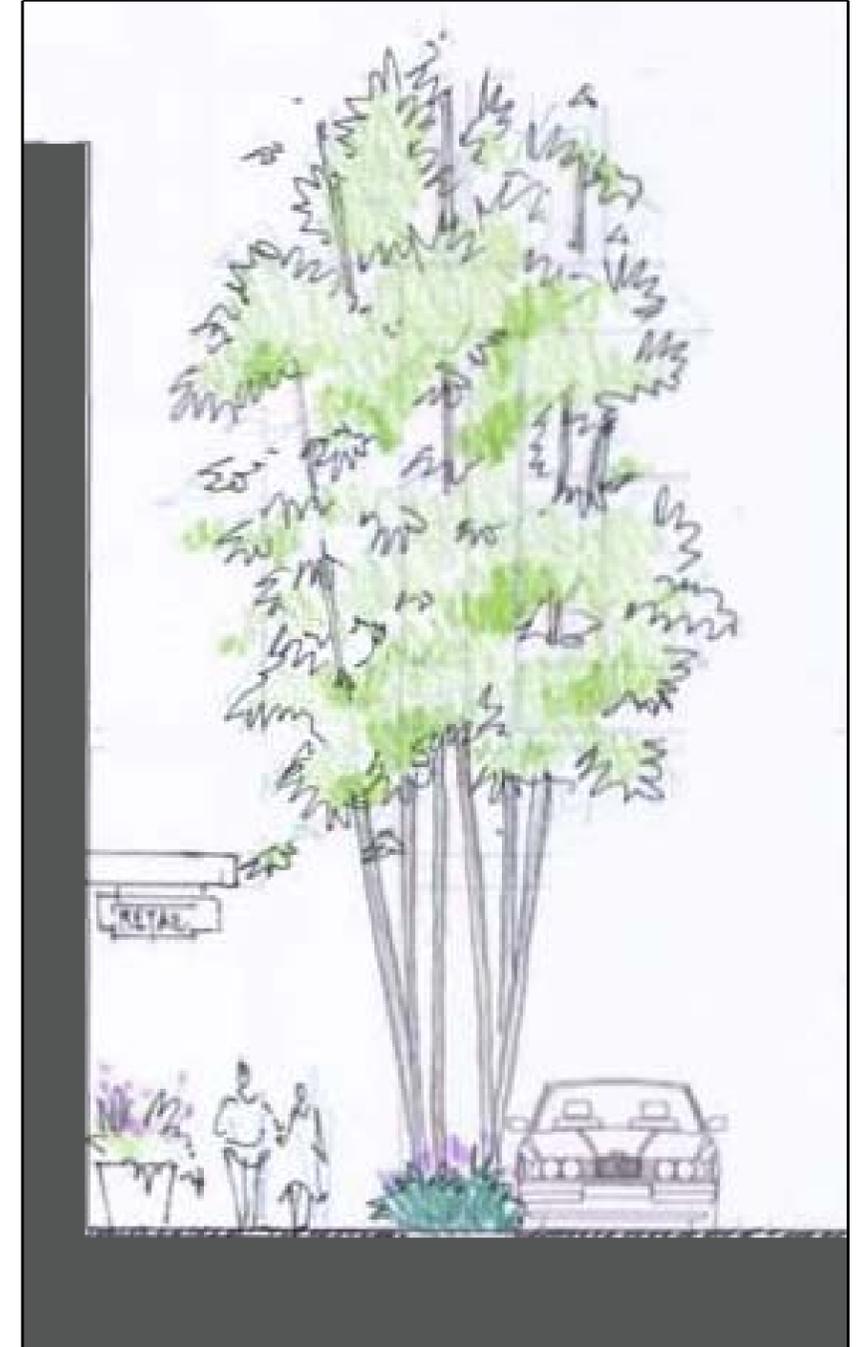
Vehicular Street/Pedestrian Sidewalk Edge



Building Facade/Parking Garage Facade



Pedestrian Sidewalk/Building Storefront Edge



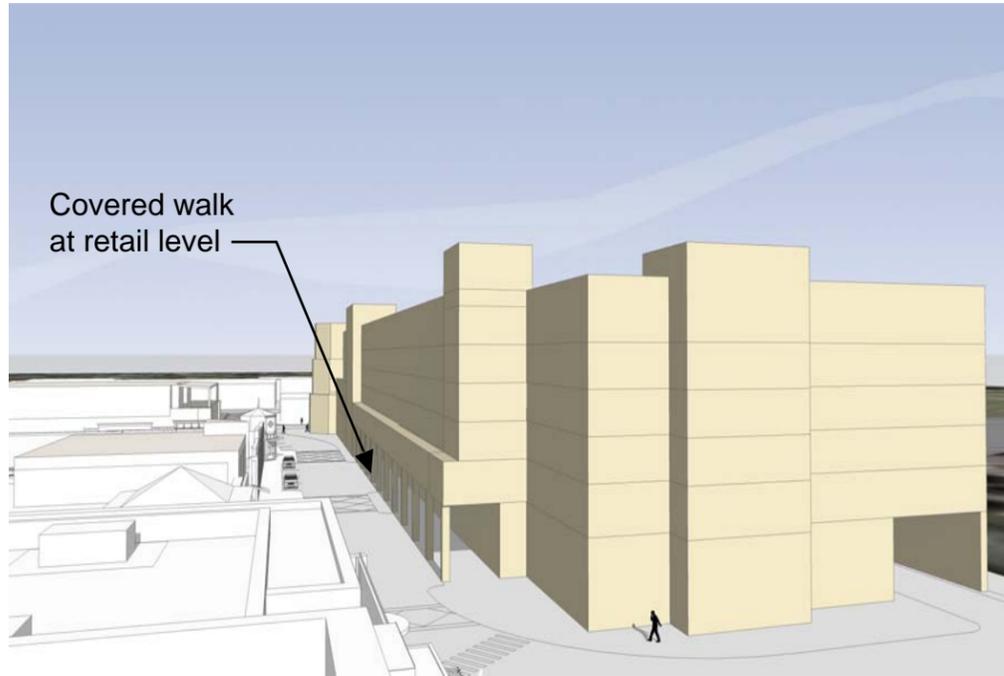
Conceptual Sidewalk Section

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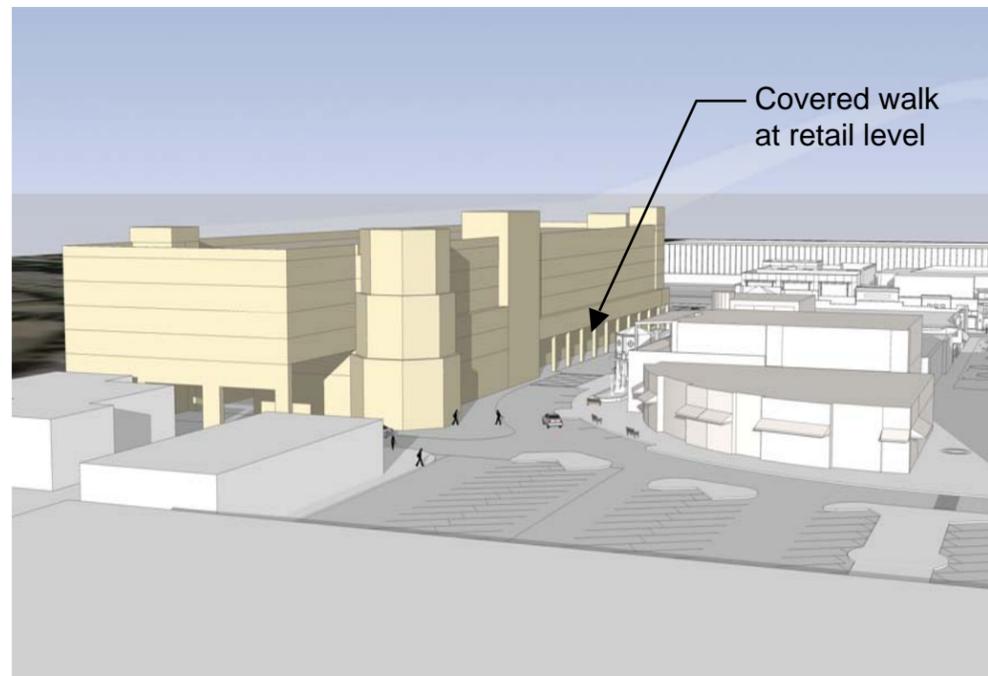


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Green Factor Concepts 16



A: ALTERNATE 1: View from northwest



B: ALTERNATE 1: View from northeast



C: ALTERNATE 1: View from southeast



D: ALTERNATE 1: View from southwest

KEY FEATURES:

PRO:

- Covered walk at retail level for guests provides total weather protection.
- Elevator / escalator lobby is adjacent to pavillion plaza for pedestrian activation of plaza.
- Scale at west end of building broken down for soft-ened experience upon arrival from 25th Ave NE.
- Building will complete streetscape at NE 46th street with street level retail.
- Building will act as a backdrop to University Village and screen Viaduct.
- Access to parking structure is directly off of 25th Ave. NE and will reduce pedestrian / auto conflicts.
- Alternate 2 provides +/-75 more stalls than alternate 3.

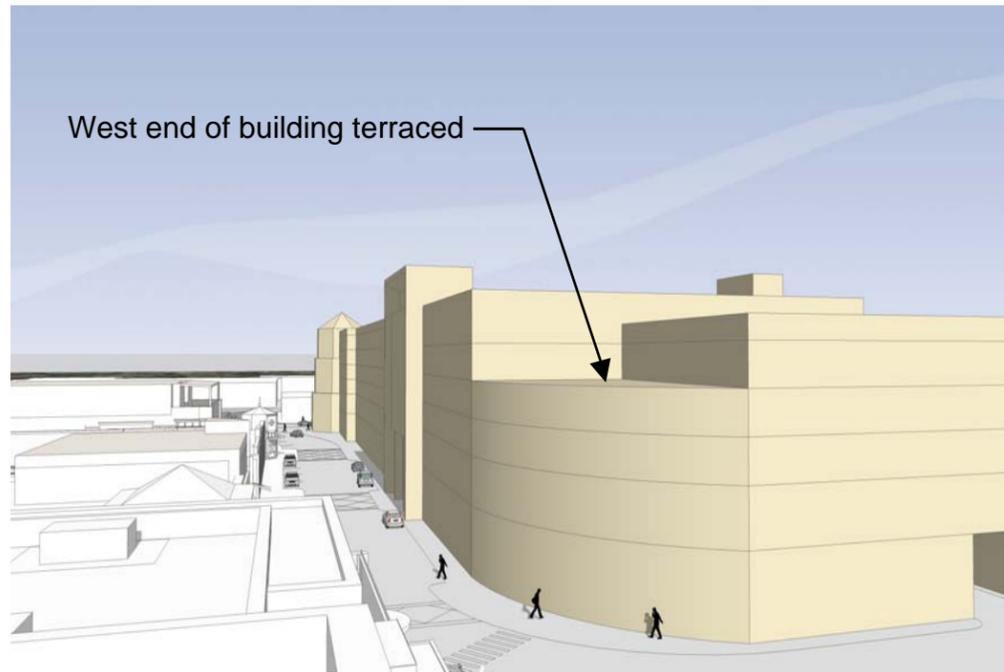
CON:

- Width of building does not allow for parking on each side of private street.
- Covered walk will obscure view of retail tenants.
- Link of elevator / escalator lobby at pavillion may not activate main circulation at Village Court SE and connect to northern half of site.

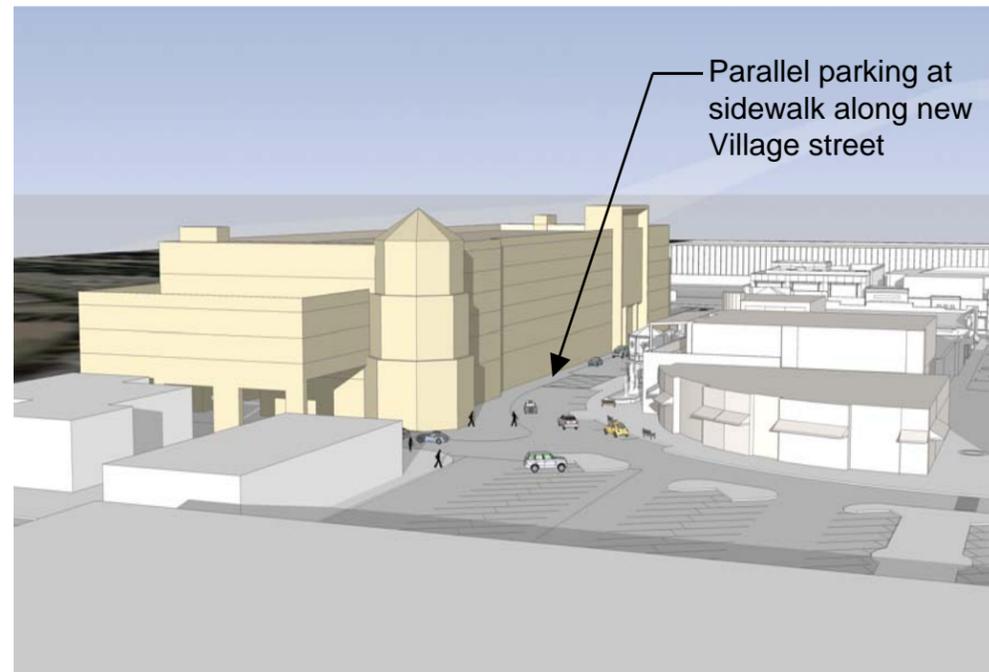


**17 BUILDING 1
SOUTH BUILDING
MASSING ALTERNATE 1**

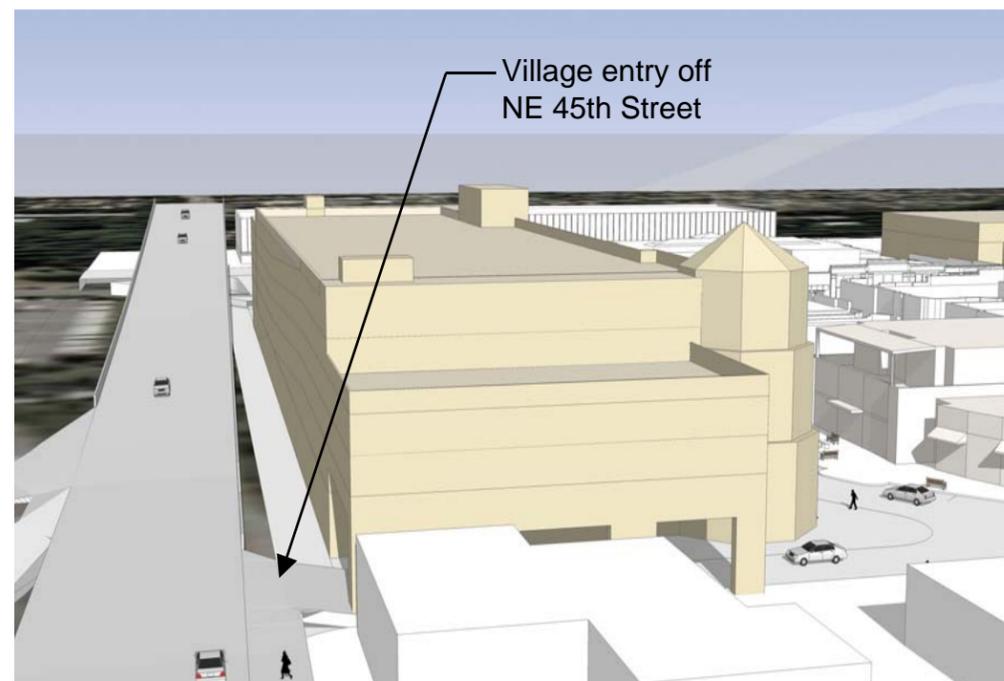




A: ALTERNATE 2: View from northwest



B: ALTERNATE 2: View from northeast



C: ALTERNATE 2: View from southeast



D: ALTERNATE 2: View from southwest

KEY FEATURES:

PRO:

- Elevator / escalator lobby adjacent to Village Court N.E. will activate central portion of University Village.
 - Scale of West end of building is further broken down / softened for better arrival experience.
 - Building will complete streetscape at NE 46th St. with street level retail.
 - Building width reduced for added width of N.E. 46th St. parallel parking on each side of street will add authentic streetscape scale.
 - Building will act as back drop to University Village and will screen Viaduct.
 - Access to parking structure direct off of 25th Ave. NE reducing pedestrian / auto conflicts.
 - Retailers will have more visibility with removal of columns in front of storefront, providing more natural light to retail spaces.
 - Alternate 2 provides +-75 more stalls than alternate 3.
- CON:**
- Pavillion Plaza will lack the added activation from the elevator / escalator lobby when located to West near Village Court N.E.



**BUILDING 1
SOUTH BUILDING
MASSING ALTERNATE 2**

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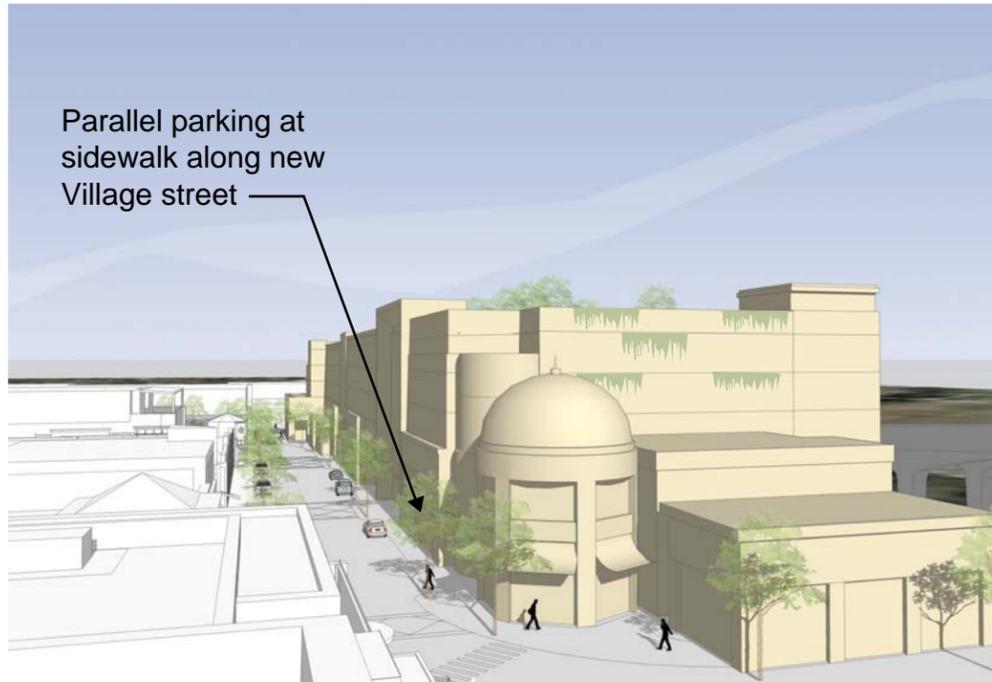
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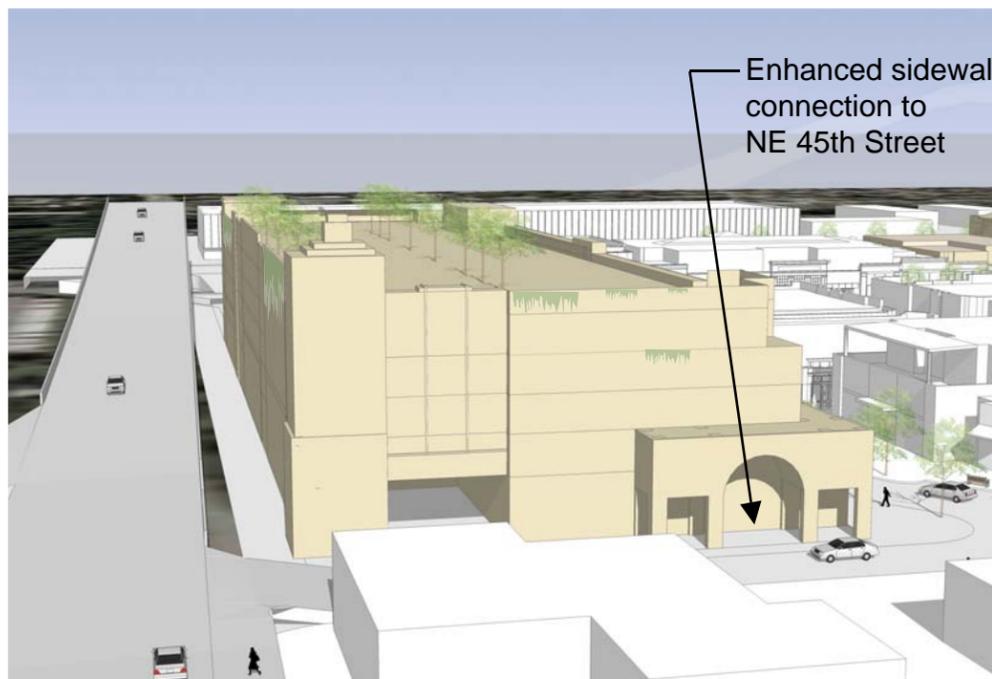
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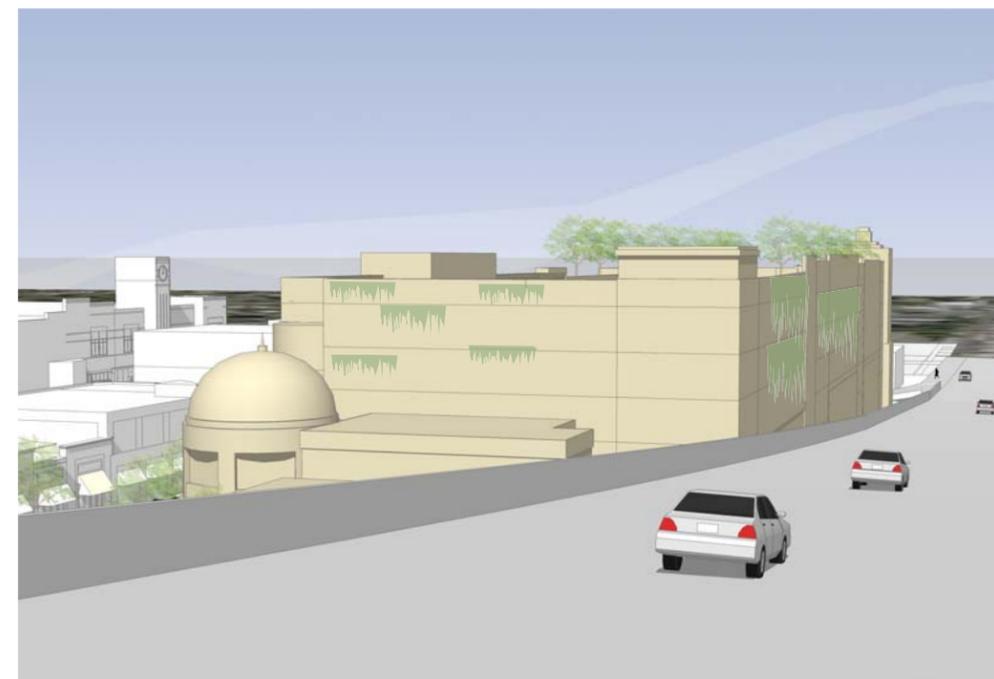
A: PREFERED ALT 3: View from northwest



B: PREFERED ALT 3: View from northeast



C: PREFERED ALT 3: View from southeast



D: PREFERED ALT 3: View from southwest

KEY FEATURES:

PRO:

- Elevator / escalator lobby adjacent to Village Court N.E. will activate central portion of University Village.
- Scale of West end of building is further broken down / softened for better arrival experience.
- Building will complete streetscape at NE 46th St. with street level retail.
- Building width reduced for added width of N.E. 46th St. parallel parking on each side of street will add authentic streetscape experience.
- Building will act as back drop to University Village and will screen Viaduct.
- Access to parking structure direct off of 25th Ave. NE reducing pedestrian / auto conflicts.
- Removal of parking above NE 45th St. entry will allow for unobstructed truck loading access.
- West end "Boutique" to act as visual termination to 25th Ave. NE.
- Retailers will have more visibility with removal of columns in front of storefront, providing more natural light to retail spaces.

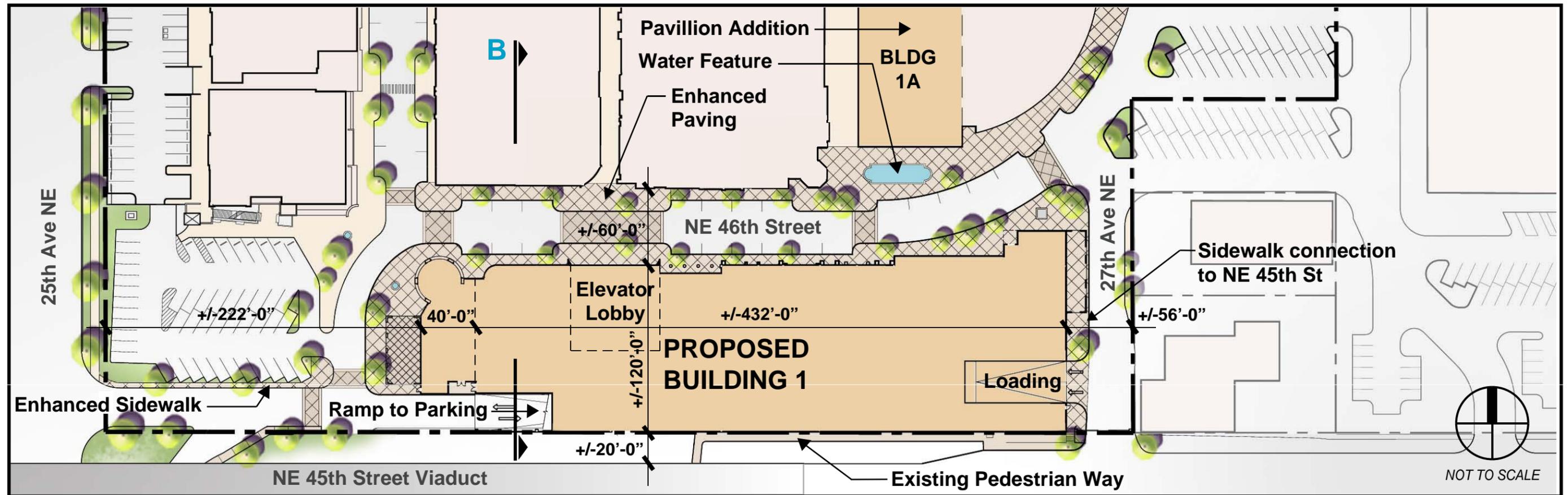
CON:

- Pavillion Plaza will lack the added activation from the elevator / escalator lobby when located to West near Village Court N.E.

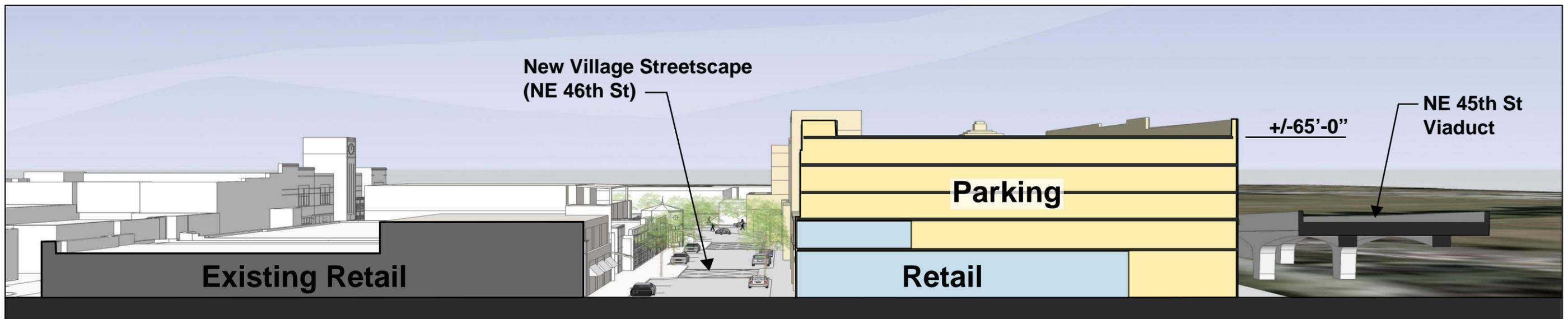


**19 BUILDING 1
SOUTH BUILDING
MASSING ALTERNATE 3 (Preferred Option)**





A. Building 1 Site Plan



B. Building 1 Section - Looking East

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**BUILDING 1
SOUTH BUILDING
SITE PLAN & SECTION**

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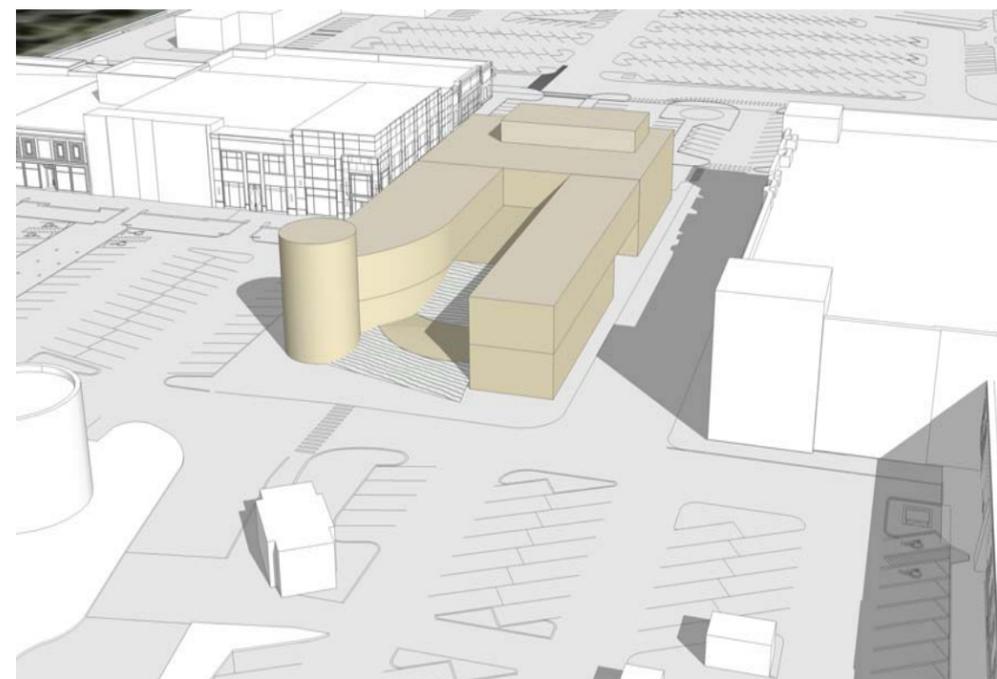
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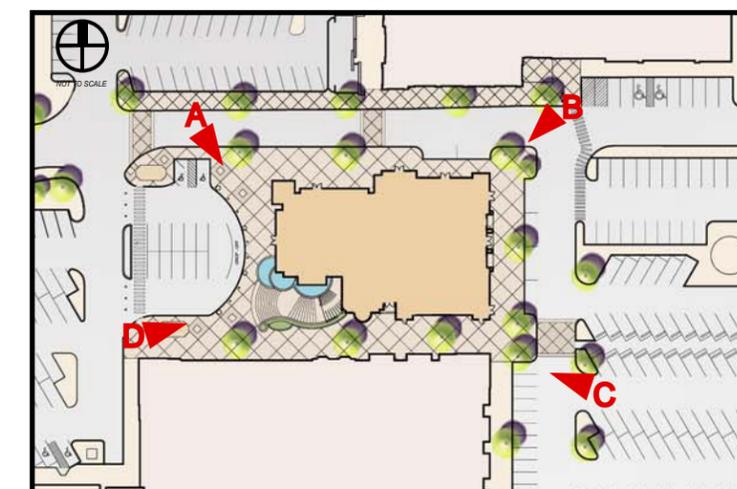
KEY FEATURES:

PRO:

- Connects North and South regions of University Village with continuous retail space.
- “Village steps” provide exterior gathering space at the heart of University Village.
- Building acts as icon for University Village and is focal point upon arrival from 25th Ave NE.
- 2nd floor restaurant space will provide over view of University Village.
- East side of building continues retail - streetscape of 27th Ave NE.

CON:

- South edge of building may crowd adjacent building “D”.
- Building covers large parking field without provisions for guest drop off.
- Building may be too large for this location at village center.



**21 BUILDING 2
VILLAGE CENTER
MASSING ALTERNATE 1**





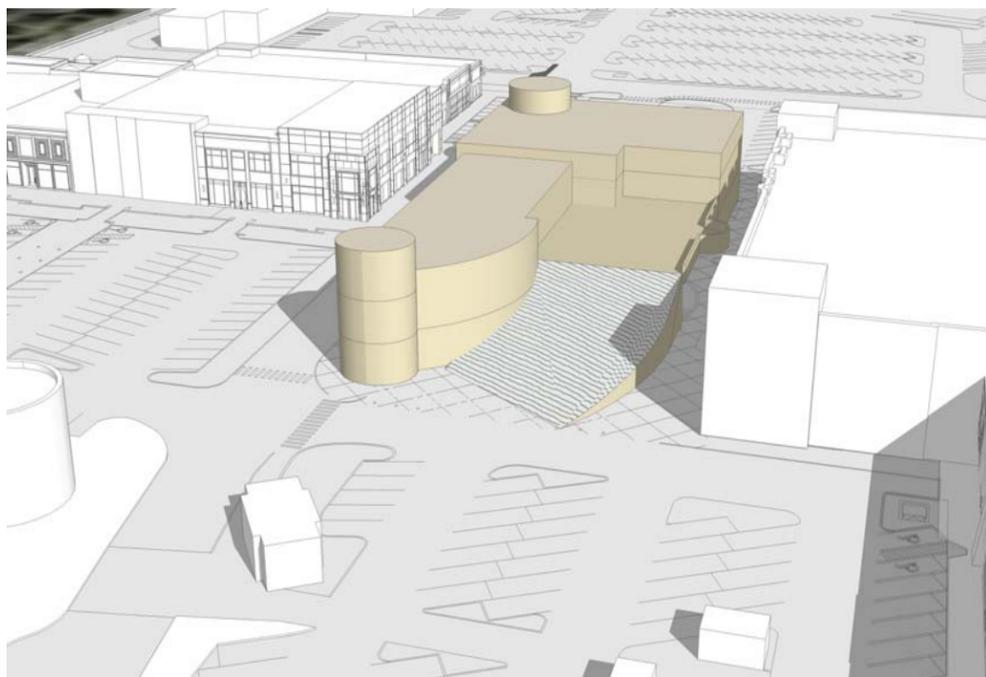
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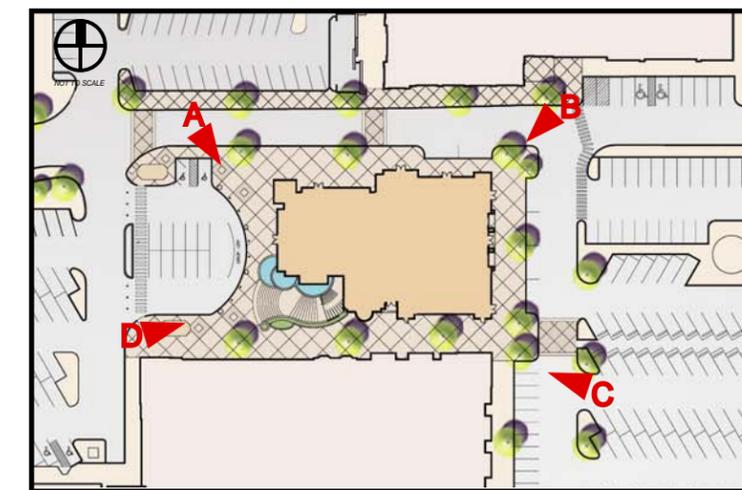
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- Connects North and South regions of University Village with continuous retail space.
- “Village steps” provide exterior gathering space at the heart of University Village.
- Building acts as icon for University Village and is focal point upon arrival from 25th Ave NE.
- 2nd floor restaurant space will provide over view of University Village.
- East side of building continues retail - streetscape of 27th Ave NE.
- Reduction of southern portion of building will reduce crowding of building “D” allowing for more natural light near “spanish steps”.

CON:

- Building covers large parking field without provisions for guest drop off.
- Scale and expanse of building may be too large for this location of Village Center.



**BUILDING 2
VILLAGE CENTER
MASSING ALTERNATE 2**

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A: PREFERRED ALTERNATE 3: View from northwest



B: PREFERRED ALTERNATE 3: View from northeast



C: PREFERRED ALTERNATE 3: View from southeast



D: PREFERRED ALTERNATE 3: View from southwest

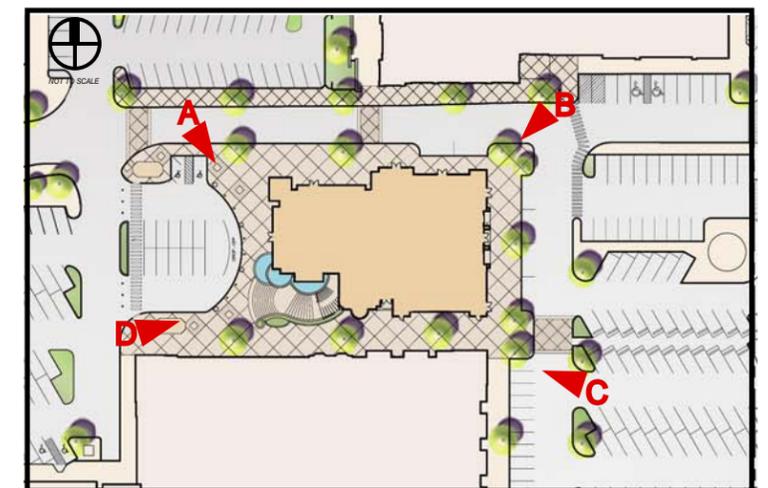
KEY FEATURES:

PRO:

- “Village steps” provide exterior west facing gathering space at the heart of University Village.
- Building acts as icon for University Village and is focal point upon arrival from 25th Ave NE.
- 2nd floor restaurant space will provide over look of University Village.
- East side of building continues retail - streetscape of 27th Ave NE with trees and enhanced sidewalk.
- Reduction of southern portion of building will reduce crowding of building “D” allowing for more natural light near “village steps”.
- Reduced massing, more appropriate for Village Center site.
- Parking drop off area provided at west side of building and potential plaza area.

CON:

- Building will block visibility of some shops in building “D”.

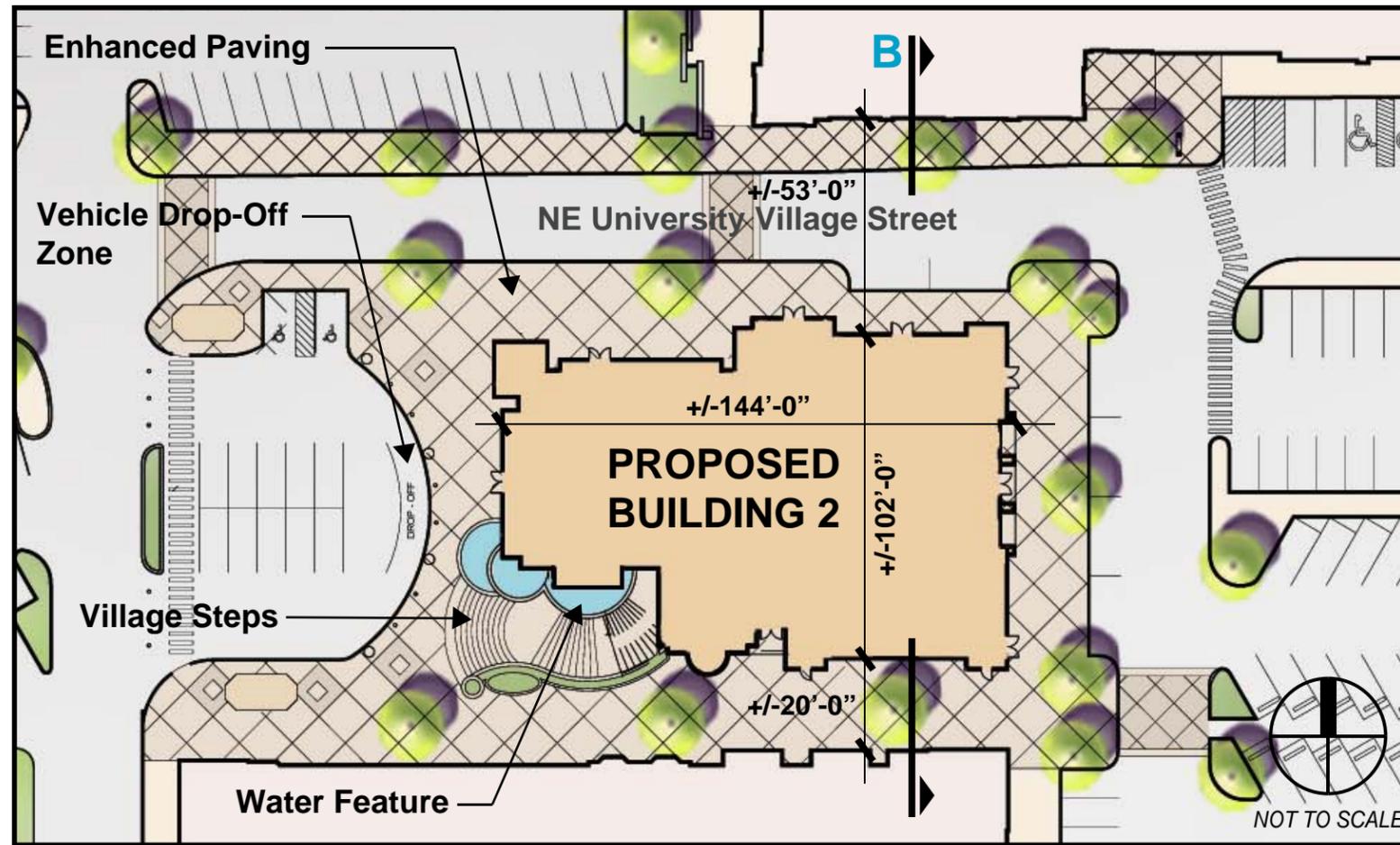


**23 BUILDING 2
VILLAGE CENTER
MASSING ALTERNATE 3
(Preferred Option)**

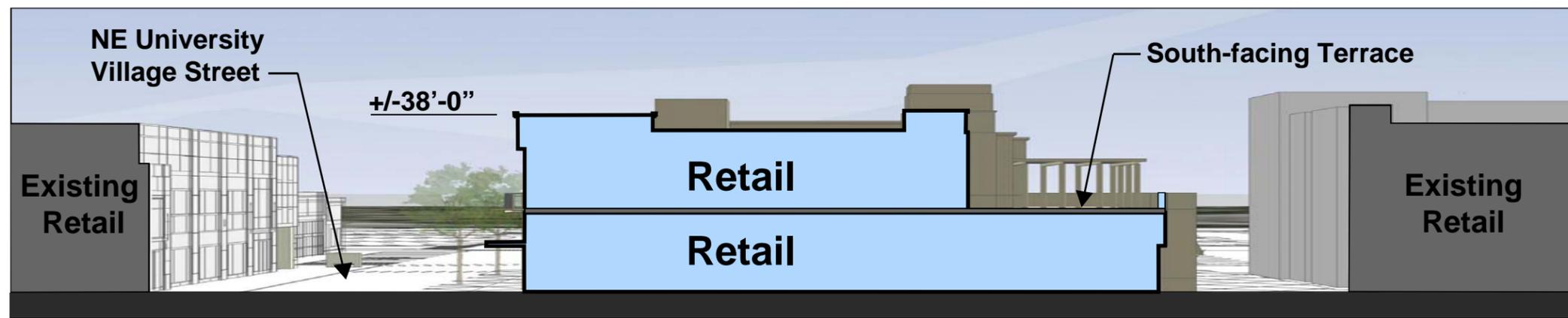
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A. Building 2 Site Plan



B. Building 2 Section - Looking East

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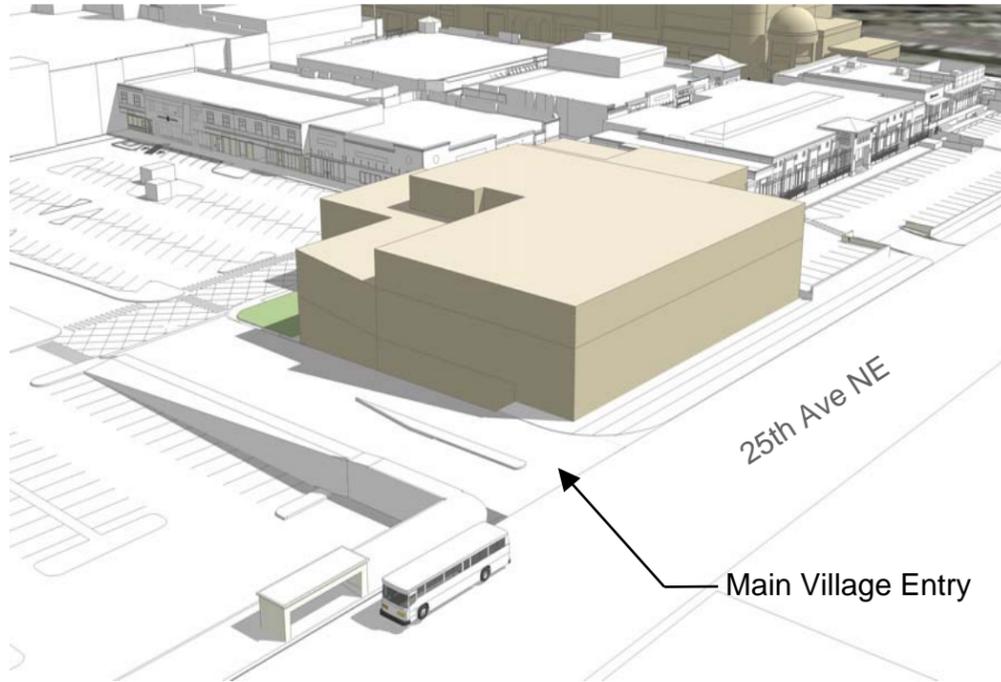


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BUILDING 2
VILLAGE CENTER
SITE PLAN & SECTION

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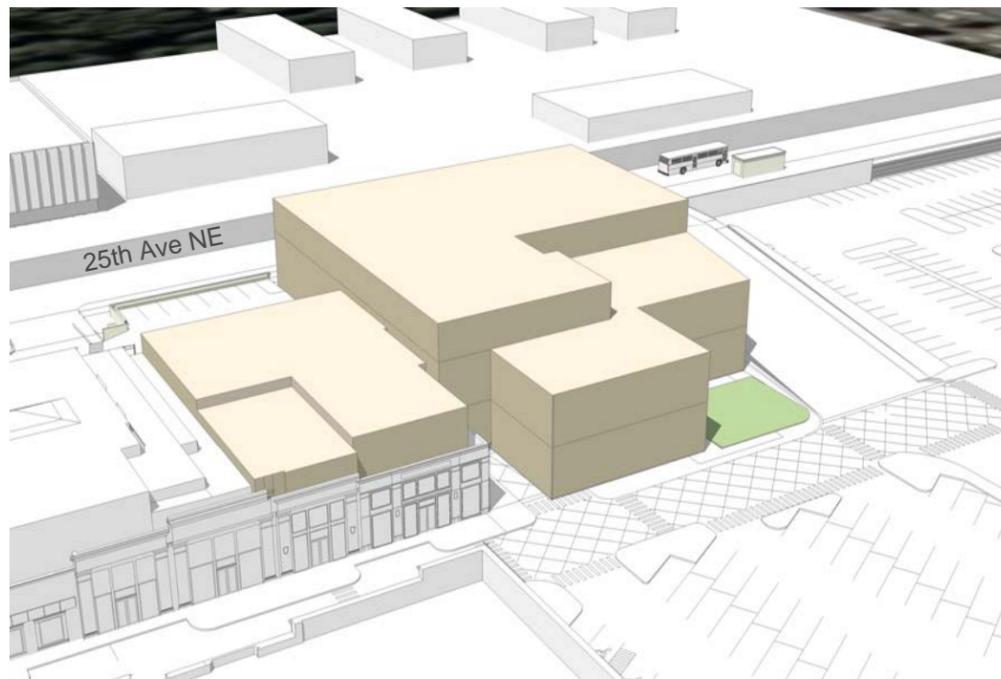




A: ALTERNATE 1: View from northwest



B: ALTERNATE 1: View from northeast



C: ALTERNATE 1: View from southeast



D: ALTERNATE 1: View from southwest

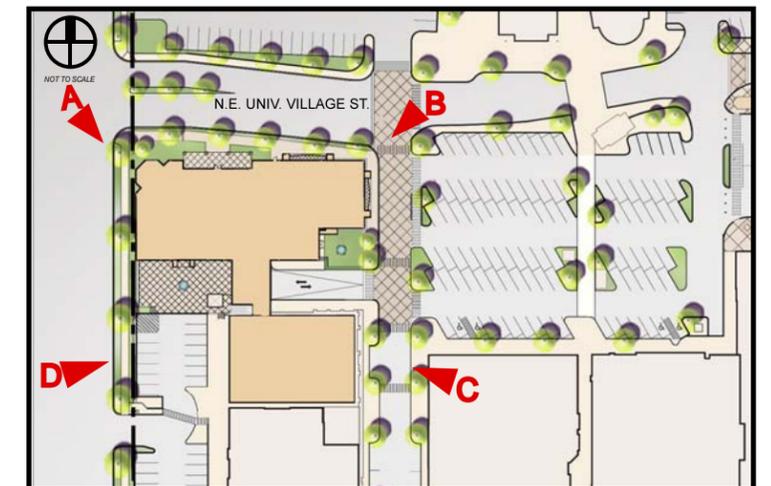
KEY FEATURES:

PRO:

- Retail space engages 25th Ave. NE.
- Building bookends retail at 25th Ave. NE.
- Building continues streetscape of 26th Ave. NE inside University Village.
- Plan provides for plaza at corner of NE 26th St. and entry.

CON:

- Plaza may be located as to erode entry element of building.
- Parking field lost with plaza and building footprint.
- Plaza will only get morning sun.



**25 BUILDING 3
GATEWAY SOUTH
MASSING ALTERNATE 1**

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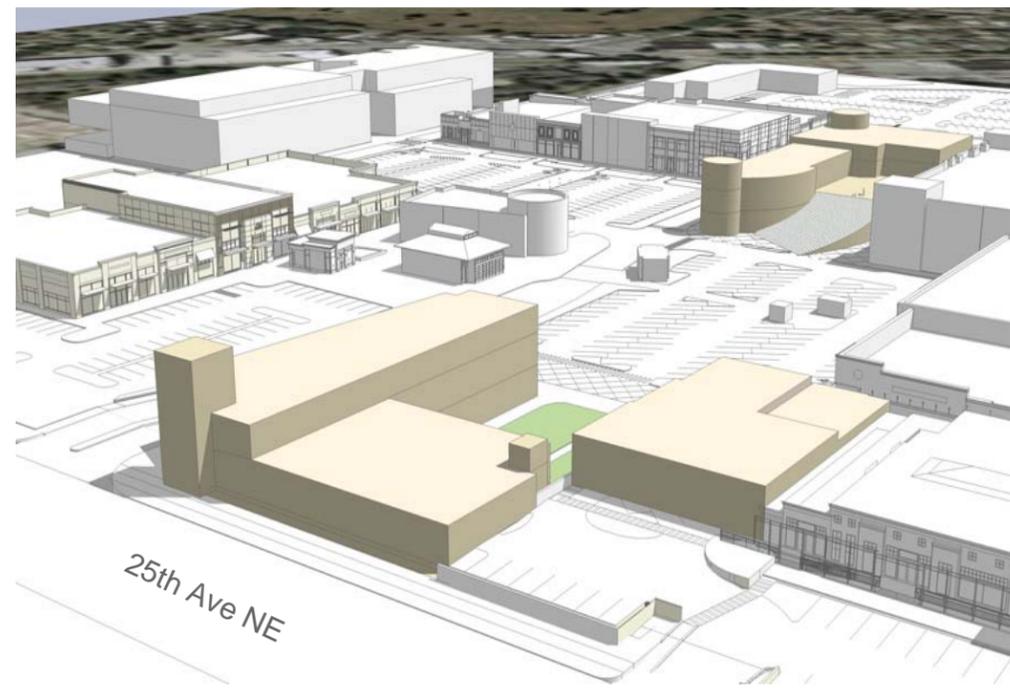
A: ALTERNATE 2: View from northwest



C: ALTERNATE 2: View from southeast



B: ALTERNATE 2: View from northeast



D: ALTERNATE 2: View from southwest

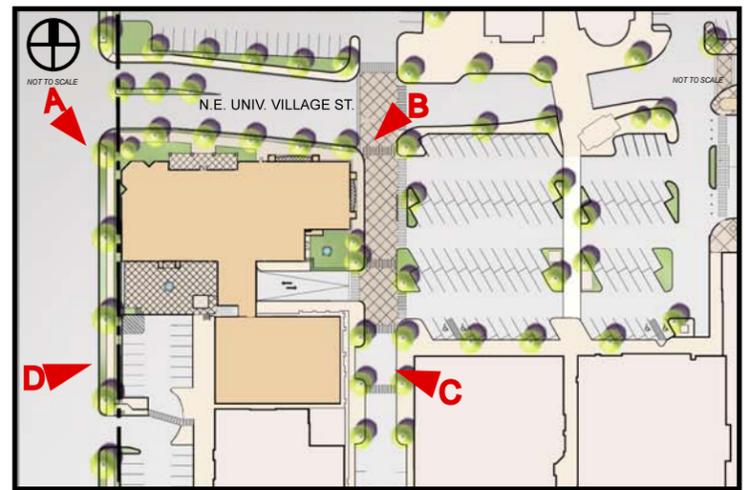
KEY FEATURES:

PRO:

- Retail space engages 25th Ave. NE.
- Building bookends retail at 25th Ave. NE.
- Building continues streetscape of 26th Ave. NE inside University Village.
- Building creates strong entry point off 25th Ave. NE.
- Building continues 25th Ave. NE streetscape north to entry intersection.
- Generous plaza gives relief to 26th Ave. NE mass.

CON:

- Plaza may be too large and out of scale for 26th Ave. NE.
- Parking field lost with plaza and building footprint.



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**BUILDING 3
GATEWAY SOUTH
MASSING ALTERNATE 2**

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A: PREFERRED ALTERNATE 3: View from northwest



B: PREFERRED ALTERNATE 3: View from northeast



C: PREFERRED ALTERNATE 3: View from southeast



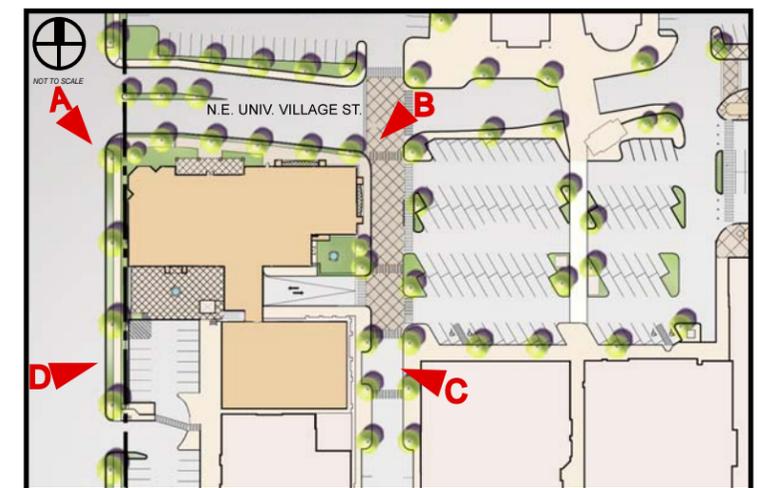
D: PREFERRED ALTERNATE 3: View from southwest

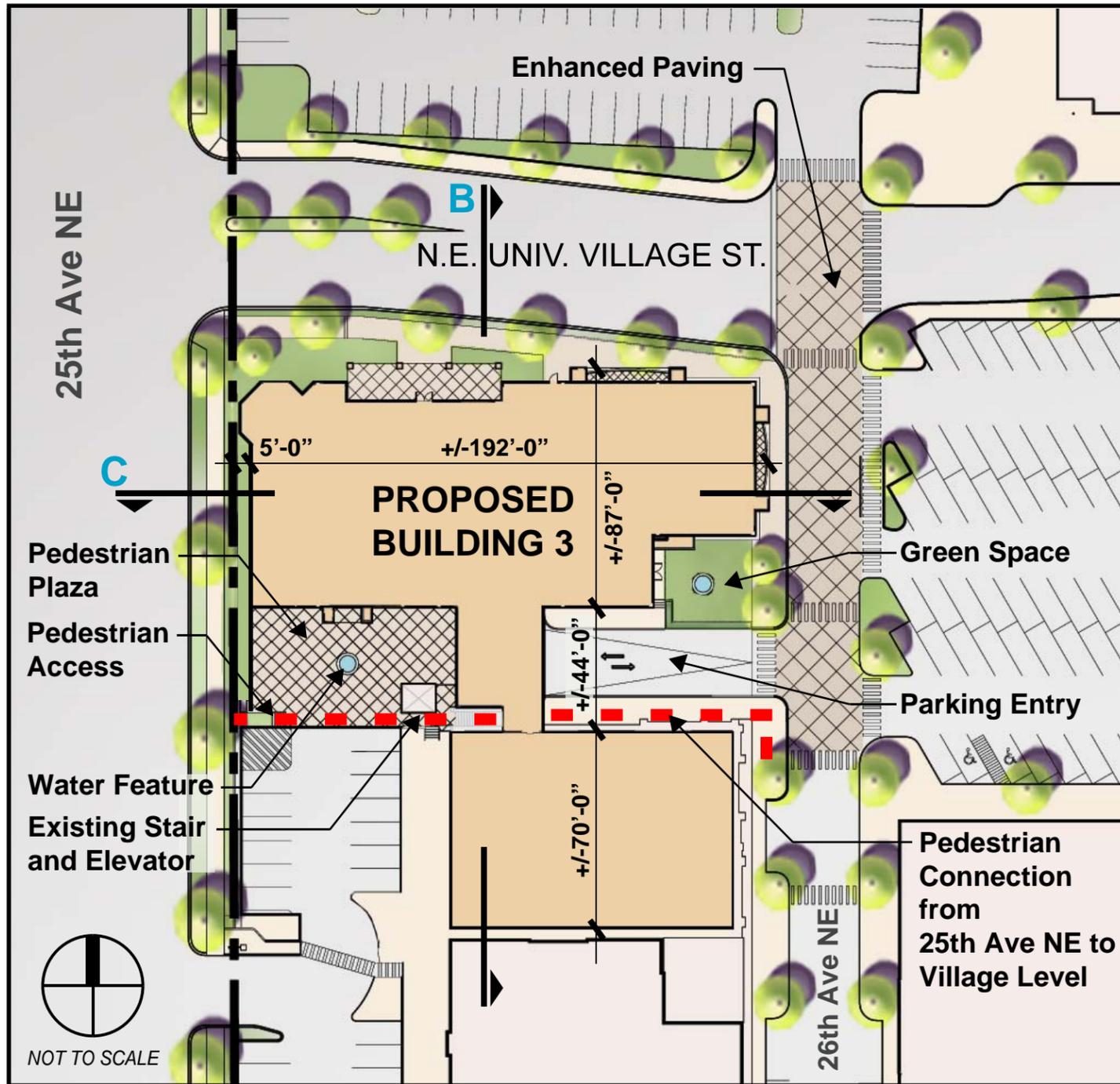
KEY FEATURES:

PRO:

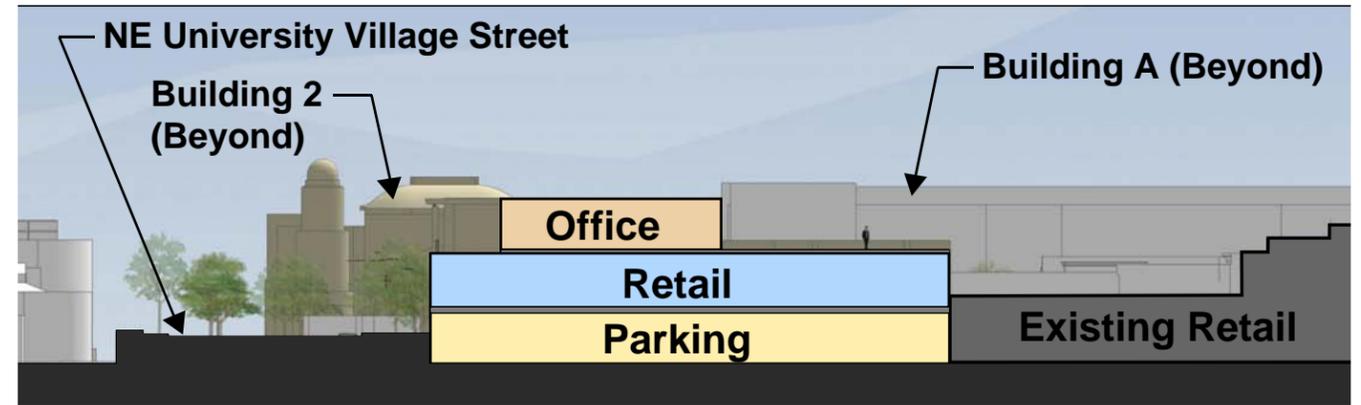
- Retail space engages 25th Ave. NE.
- Building bookends retail at 25th Ave. NE.
- Building continues streetscape of 26th Ave. NE inside University Village.
- Building creates strong entry point off 25th Ave. NE.
- Building continues 25th Ave. NE streetscape north to entry intersection.
- Scale of plaza appropriate to scale of 26th Ave. NE.
- Parking field maintained as covered parking off of 26th Ave. NE.
- 3rd floor office added.
- North retail creates "Gateway" to University Village.

CON:

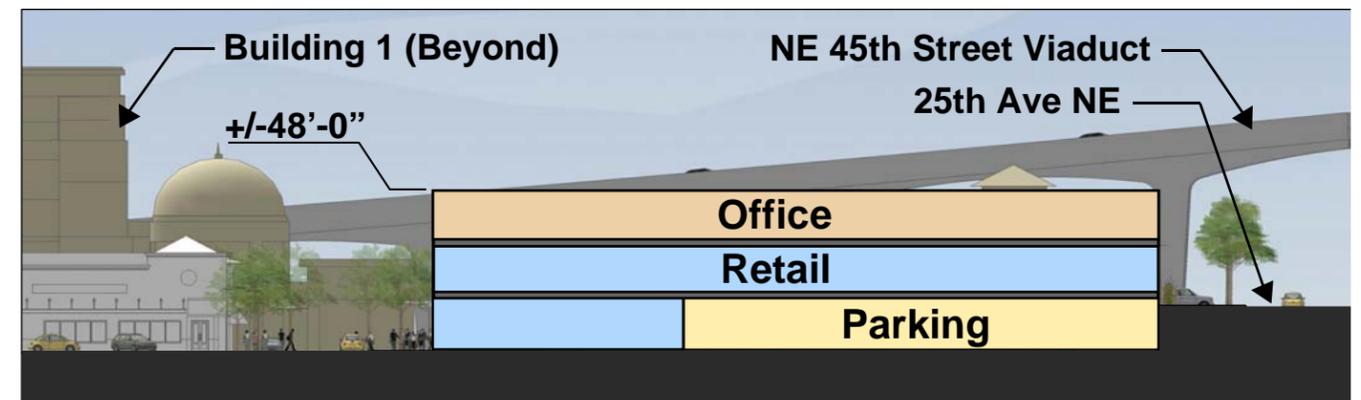




A. Building 3 Site Plan



B. Building 3 Section - Looking East



C. Building 3 Section - Looking South

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[702] 892.8500 Las Vegas, NV

**BUILDING 3
GATEWAY SOUTH
SITE PLAN & SECTIONS**

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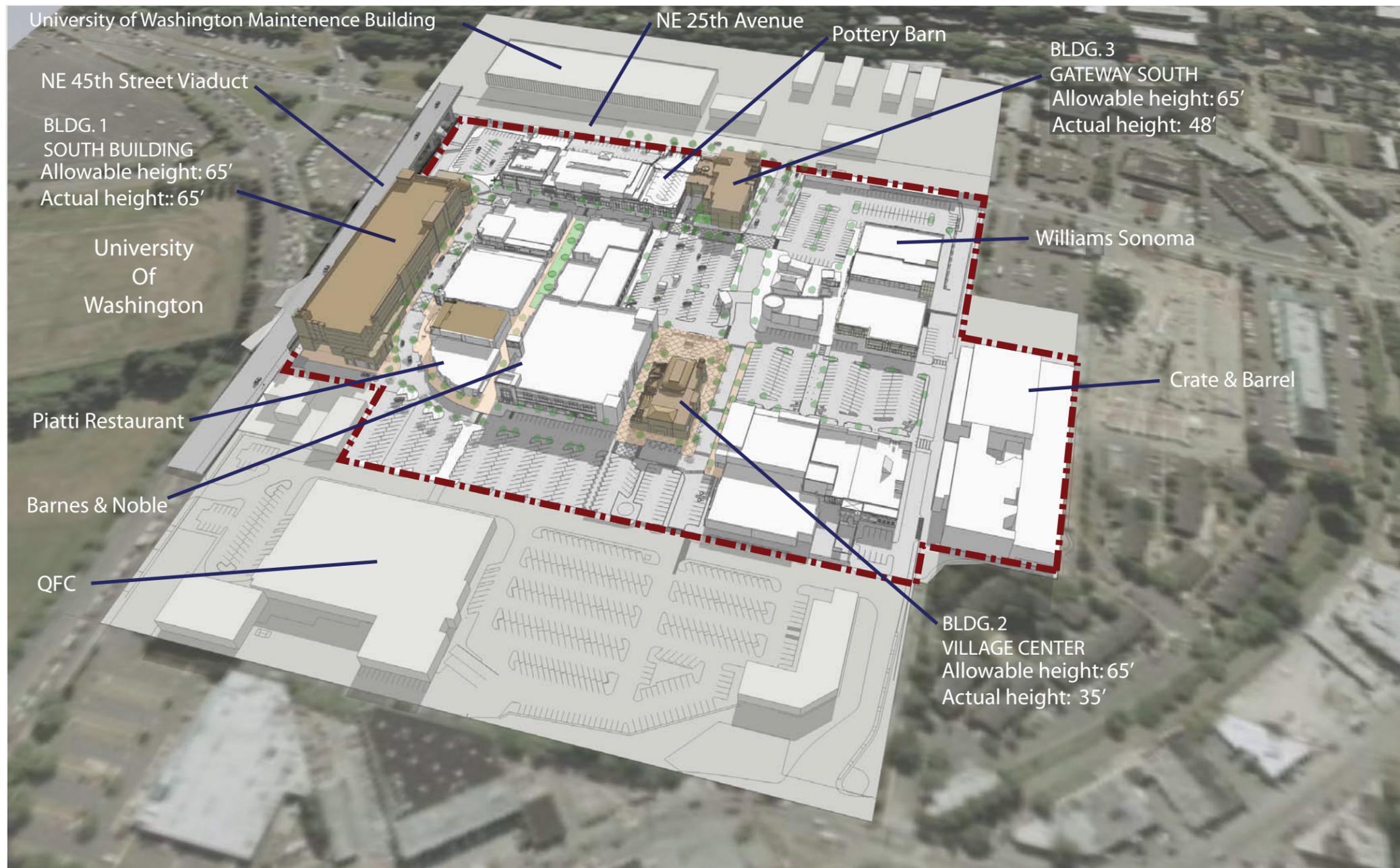
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**POTENTIAL DEVELOPMENT
STANDARD DEPARTURES:**

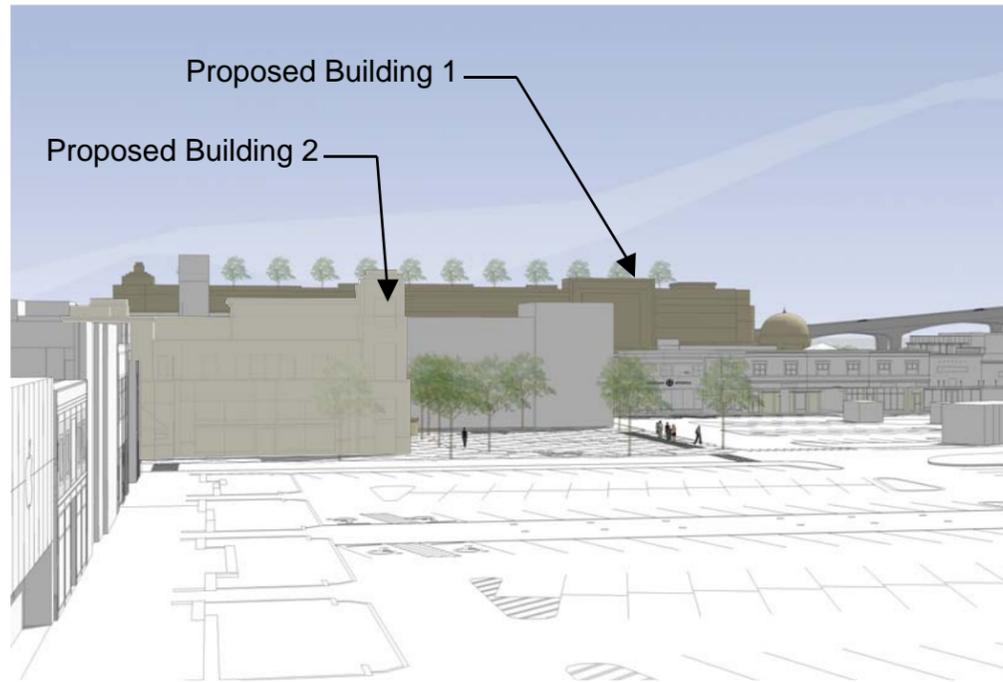
BLDG. 1, 2 & 3:
No departures are anticipated at this time.



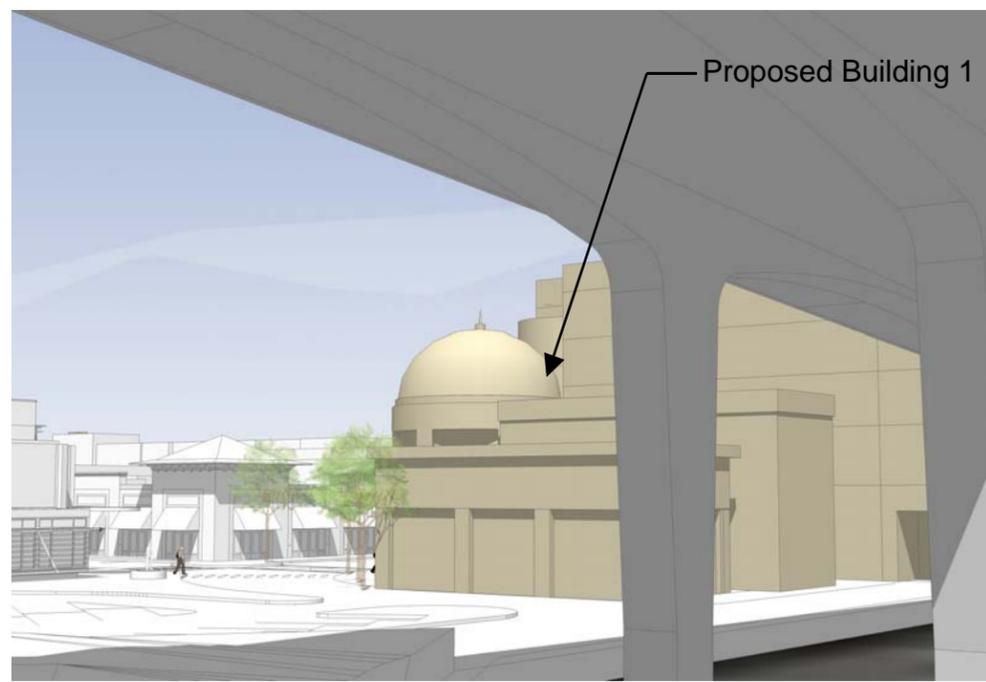
**29 SITE AERIAL &
CODE COMPLIANCE**

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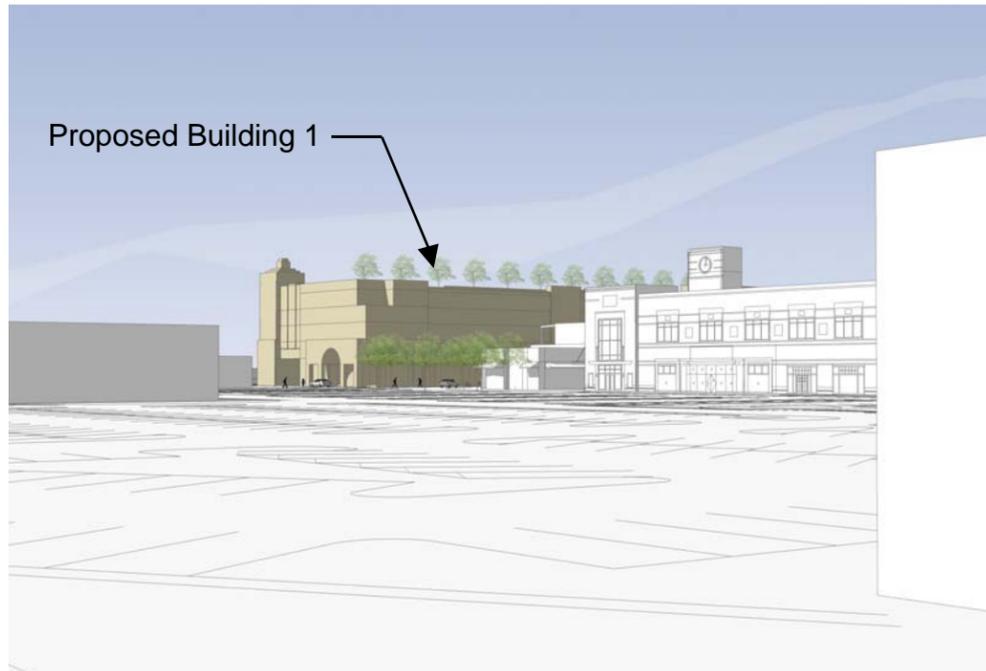
A: View from northeast.



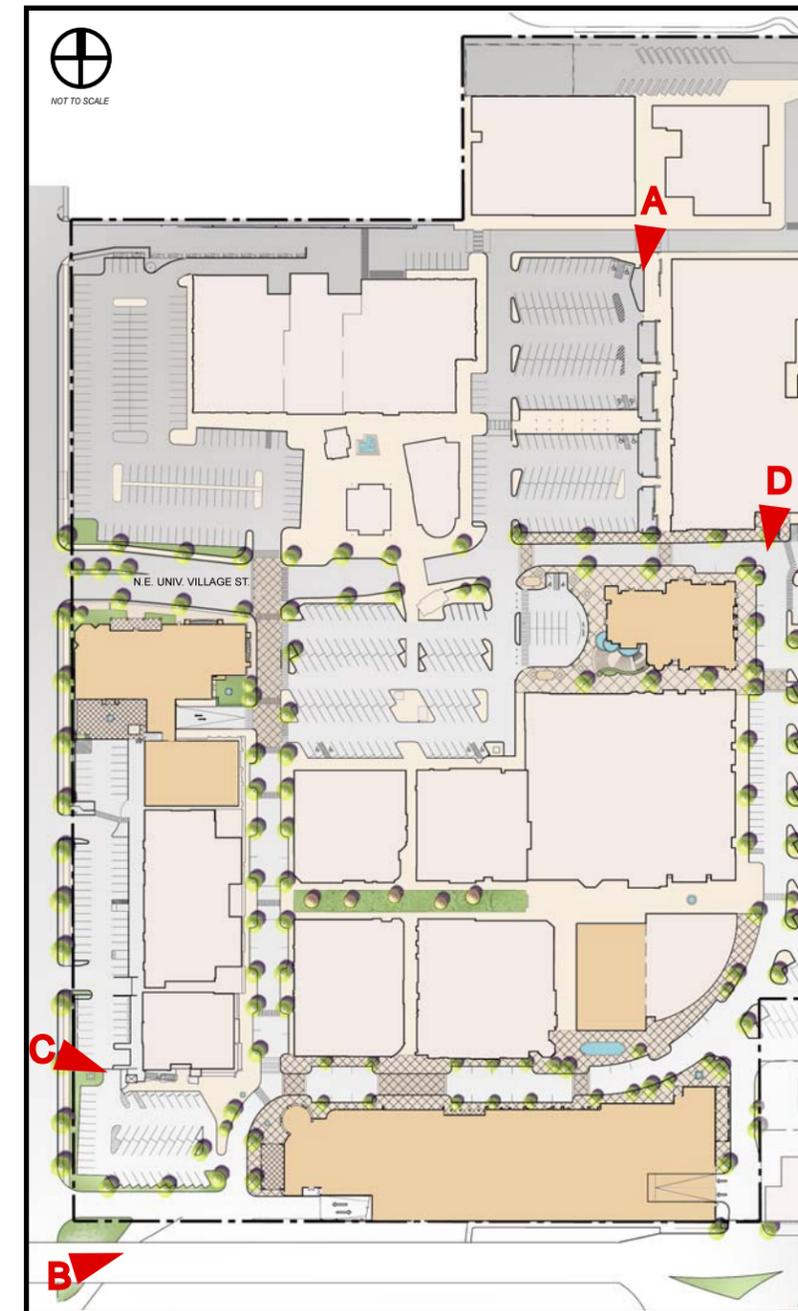
B: View from NE 45th St. viaduct.



C: Street level view from NE 25th Avenue.



D: View from southeast. (North of QFC)



**BUILDING 1
SOUTH BUILDING
CONTEXT STUDIES**

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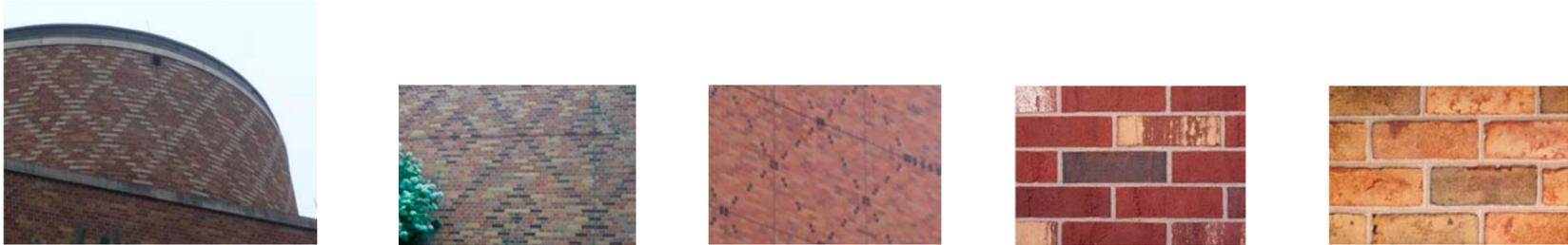
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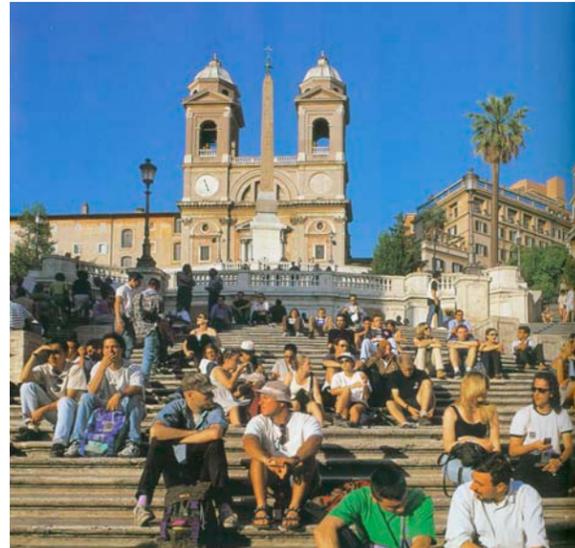
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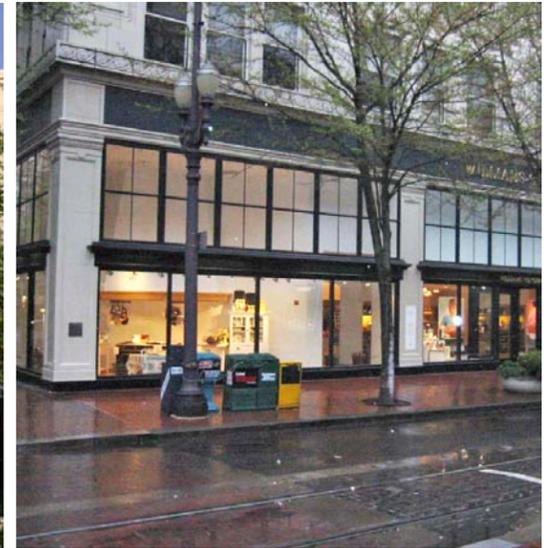
Building 1- Architectural Character, Materials, and Color



Streetscape & Public Spaces



Building 2- Architectural Character, Materials, and Color



Building 3- Architectural Character, Materials, and Color

31 Concept Images - Project Experiences

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