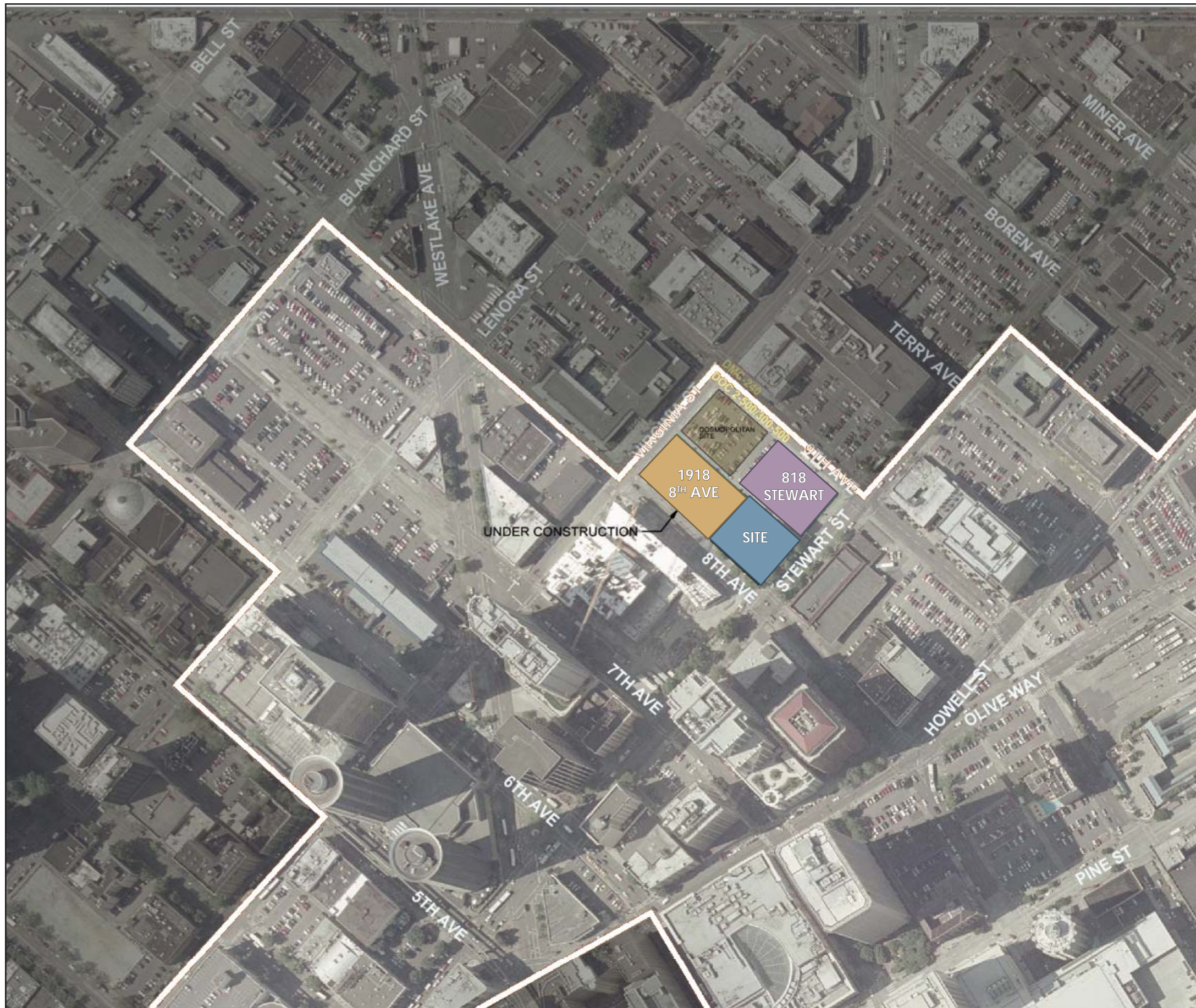


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## SITE

SITE IS BOUNDED BY 1918 8TH AVE BUILDING TO THE NORTH, STEWART ST TO THE SOUTH, ALLEY TO THE EAST, AND 8TH AVE TO THE WEST

SITE DIMENSIONS 136' X 120'; AREA IS 16,320 SQ. FT.

## ZONING SUMMARY

ZONING IS DOC2 500/300-500

MAXIMUM HEIGHT IS 500'.

FAR - BASE IS 5, MAX IS 14, ALL SITES. RESIDENTIAL FAR IS NOT CHARGEABLE, RETAIL FAR IS NOT CHARGEABLE.

PARKING REQUIRED - NO PARKING IS REQUIRED

STREET CLASSIFICATION - STEWART IS A PRINCIPLE TRANSIT STREET, 8TH AVE IS A CLASS I PEDESTRIAN ST / MINOR ARTERIAL.

STREET-LEVEL USES - ARE REQUIRED ON ALL SURROUNDING STREETS. 8TH AVE & STEWART ST.

ALLEY WIDTH IS CURRENTLY 16', BUT MUST BE WIDENED TO 20' (2' FROM EACH ADJACENT PROPERTY).

MINIMUM SIDEWALK WIDTH STEWART ST: 18', 8TH AVE: 15'.

MINIMUM FACADE HEIGHT STEWART ST: 35', 8TH AVE: 35'.

FACADE TRANSPARENCY REQUIREMENTS AT STREET STEWART ST: 60%, 8TH AVE: 60%.

BLANK FACADE LIMITS ON STREET LEVEL STEWART ST: 15', 8TH AVE: 15'.

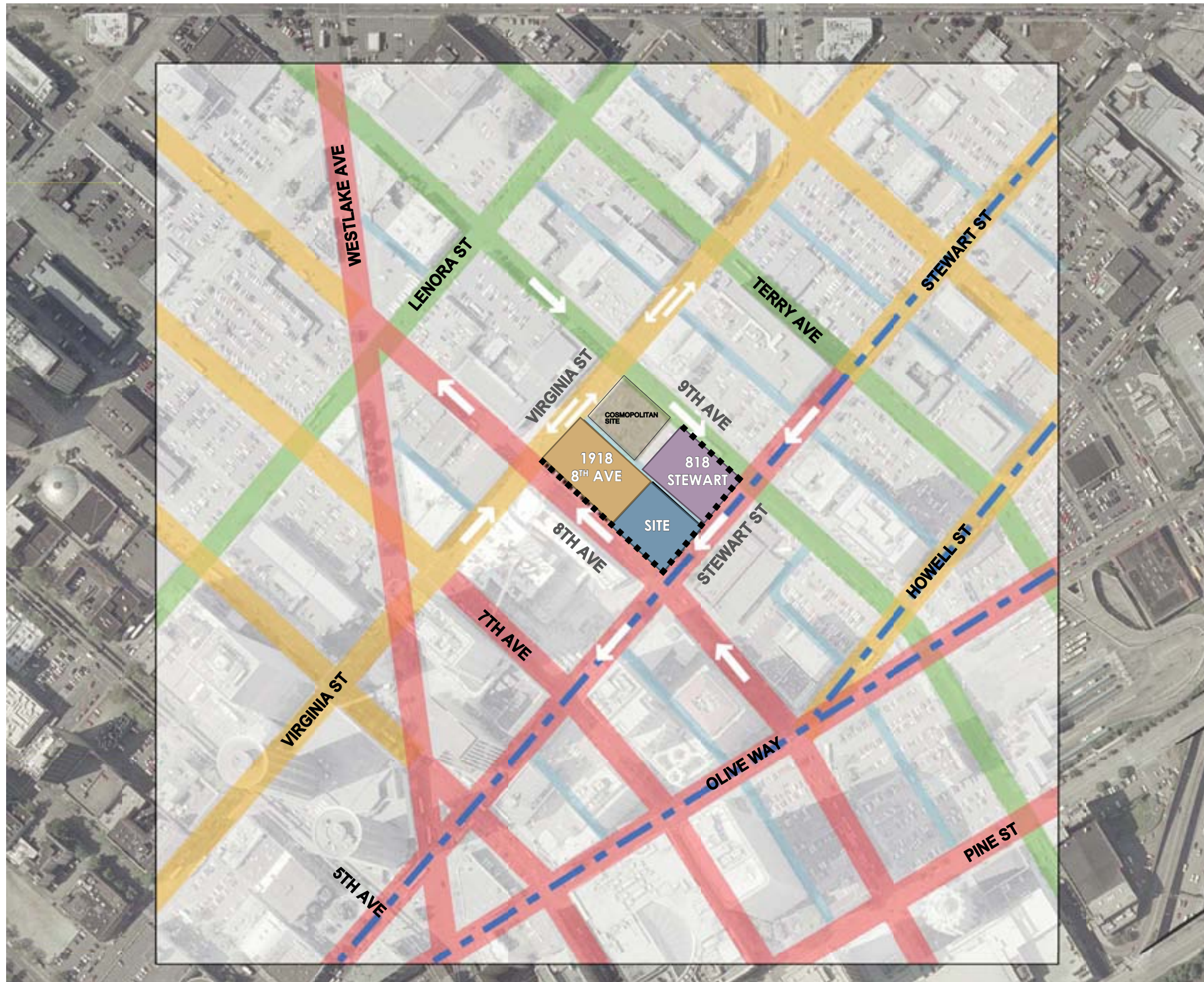
STREET TREES ARE REQUIRED ON ALL SURROUNDING STREETS.

OPEN SPACE OFFICE: 20 SQ FT REQUIRED FOR EACH 1,000 SQ FT. OFFICE.

OVERHEAD WEATHER PROTECTION:  
HEIGHT: MIN. 10', MAX 15'  
8' FROM BUILDING WALL







## KEY

- PEDESTRIAN STREET CLASS I
- STREET LEVEL USE
- PEDESTRIAN STREET CLASS II
- GREEN STREET
- PRINCIPLE TRANSIT STREET
- ALLEYS

NOTE: REQUIRED SIDEWALK WIDTHS  
18' AT STEWART  
15' AT 8TH







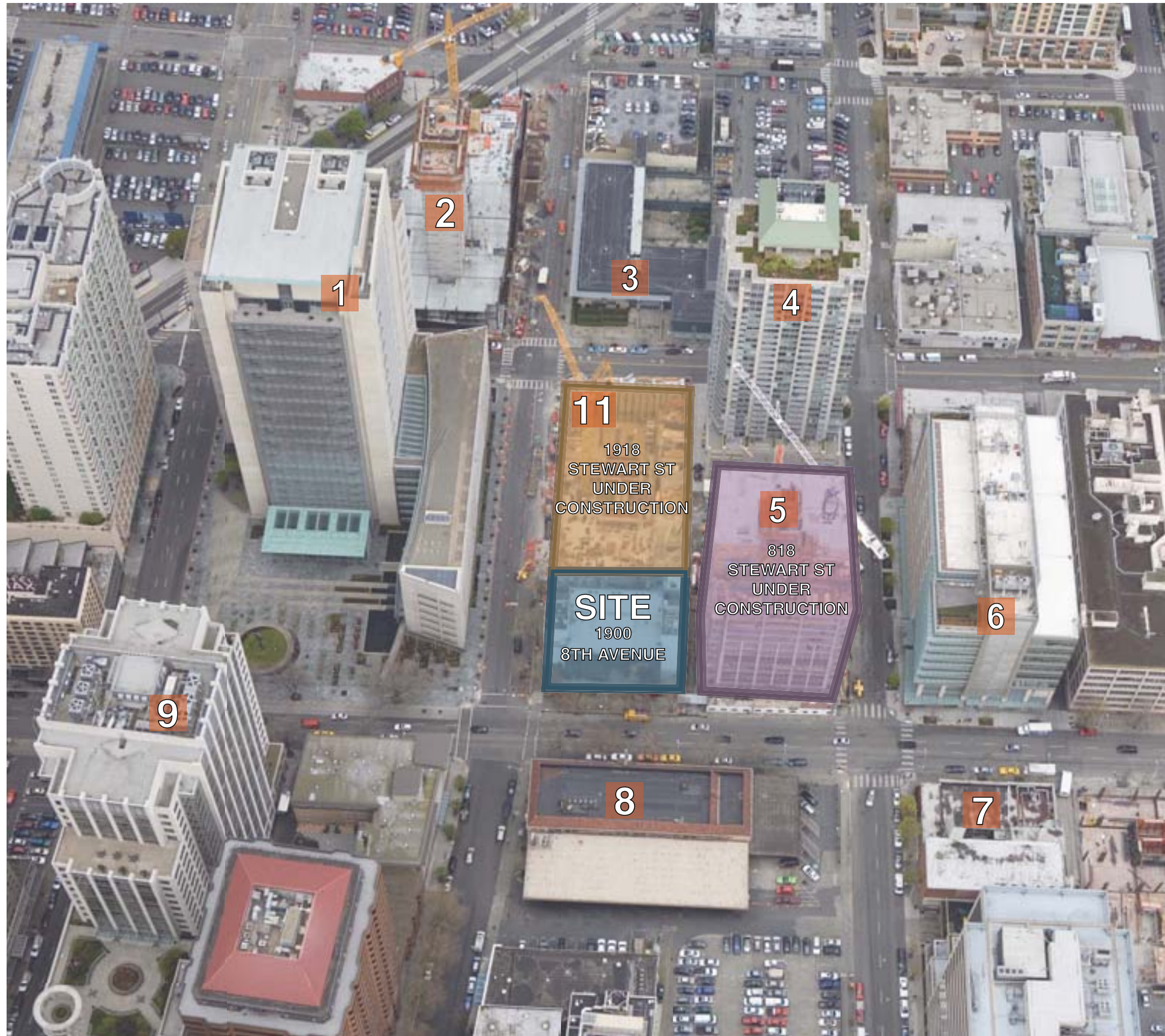
FEDERAL COURTHOUSE  
19 STORIES **1**



WEST 8TH  
27 STORIES **2**



SEATTLE POLICE DEPARTMENT  
2 STORIES **3**



**11**  
1918  
STEWART ST  
UNDER  
CONSTRUCTION

**SITE**  
1900  
8TH AVENUE

**5**  
818  
STEWART ST  
UNDER  
CONSTRUCTION



**4** COSMOPOLITAN RESIDENTIAL TOWER  
34 STORIES



**5** 818 STEWART ST  
14 STORIES



**6** 9TH & STEWART LIFE SCIENCE BUILDING  
12 STORIES





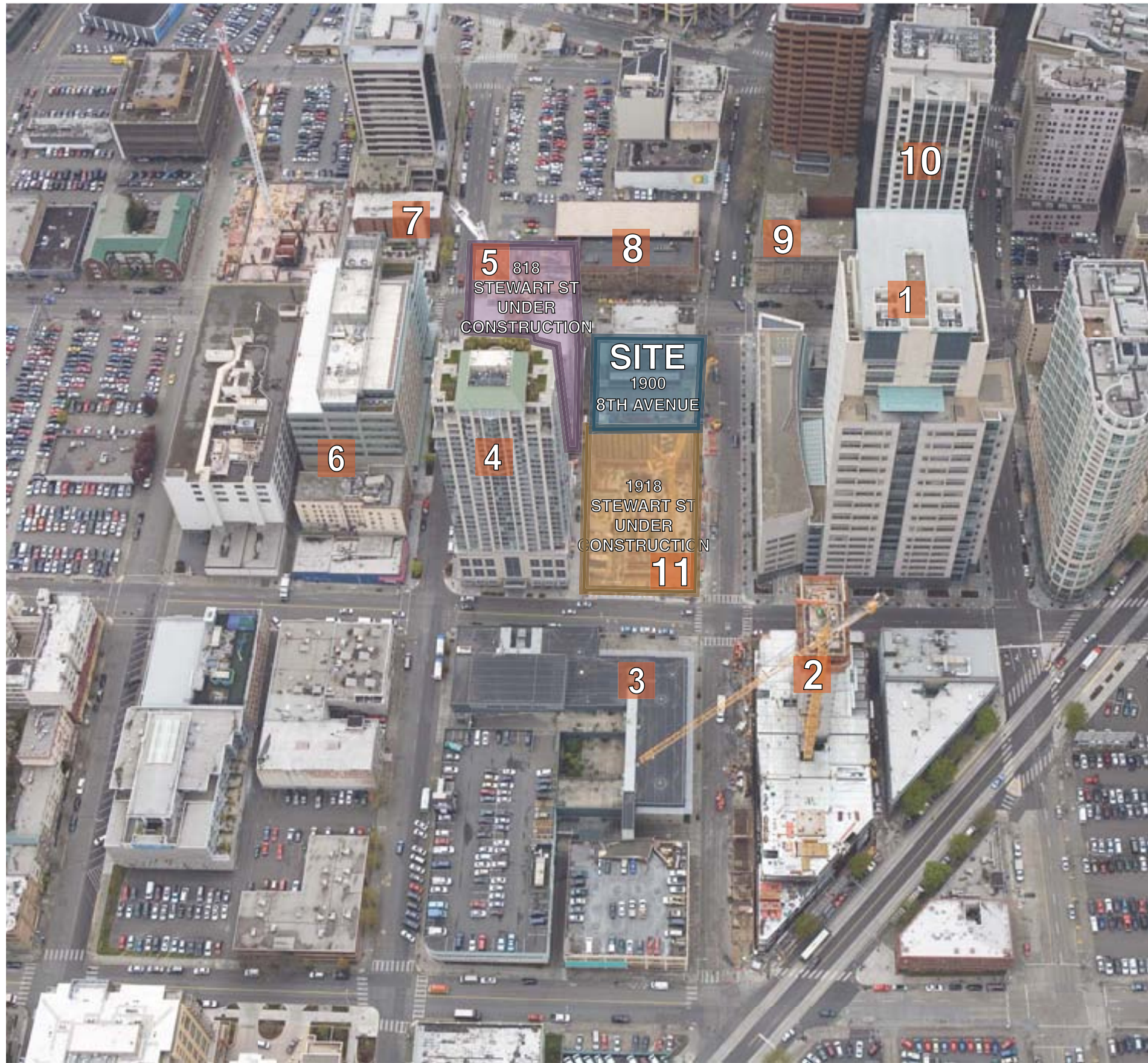
FEDERAL COURTHOUSE  
19 STORIES **1**



GETHSEMANE LUTHERAN CHURCH  
2 STORIES **7**



NORDSTROM BUILDING  
23 STORIES **8**



**9** OFFICE BLOCK  
4 STORIES



**10** NORDSTROM BUILDING  
23 STORIES

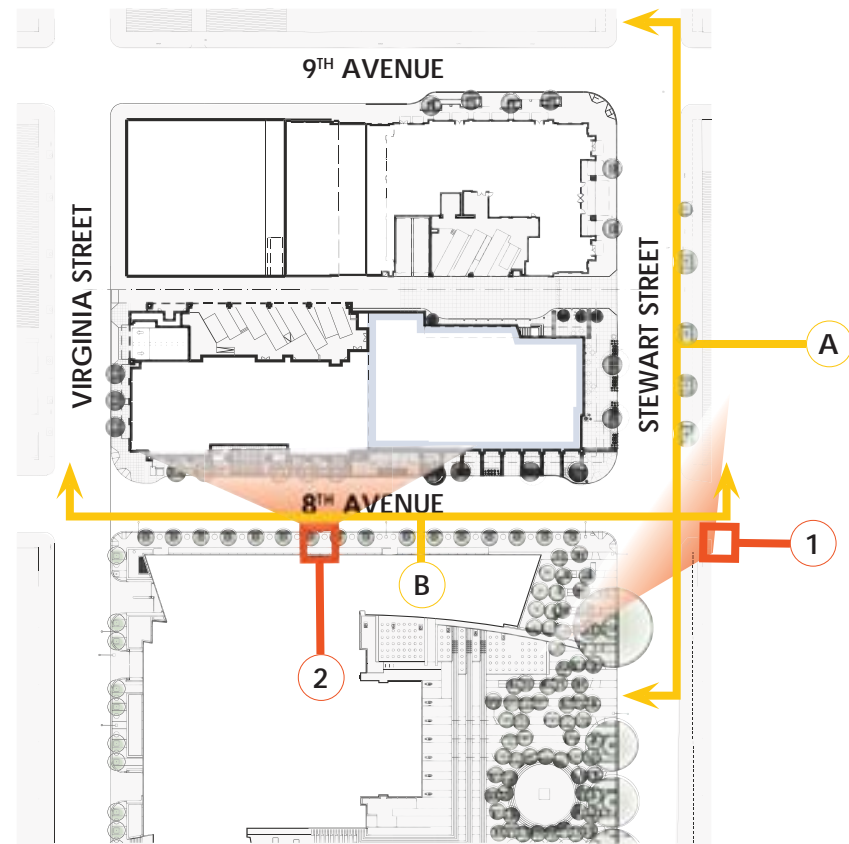
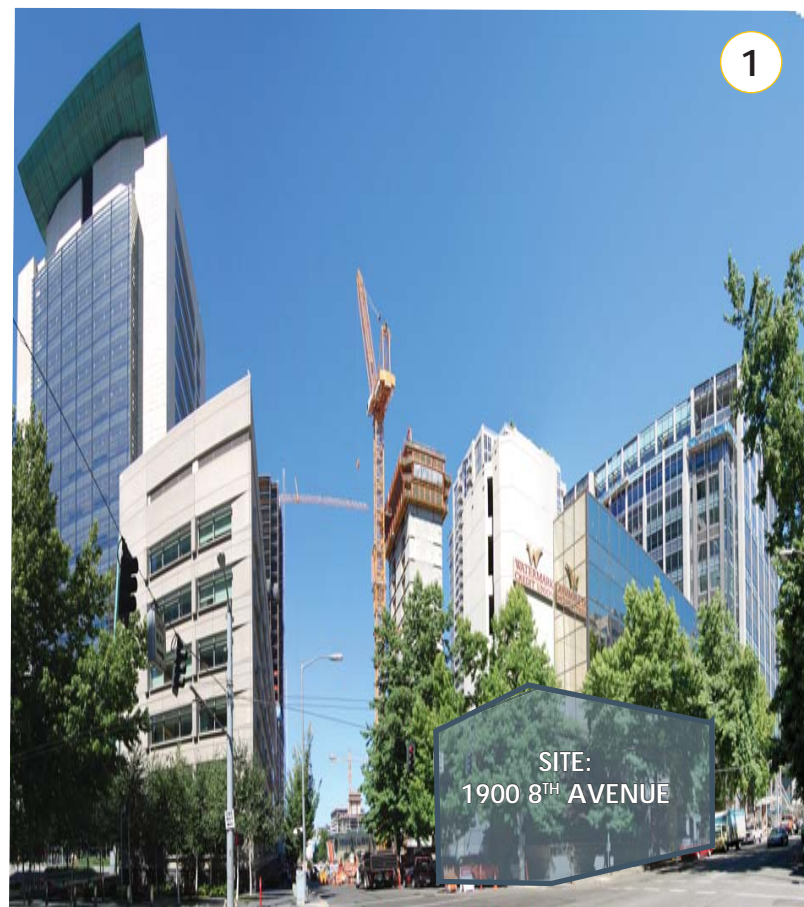
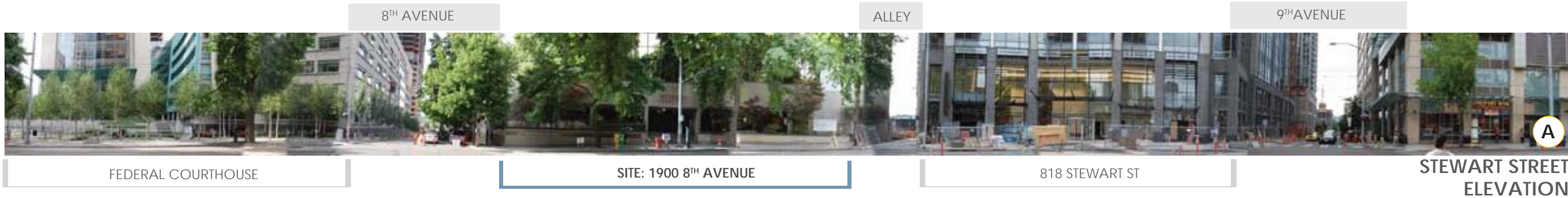


**11** 1918 STEWART STREET  
37 STORIES

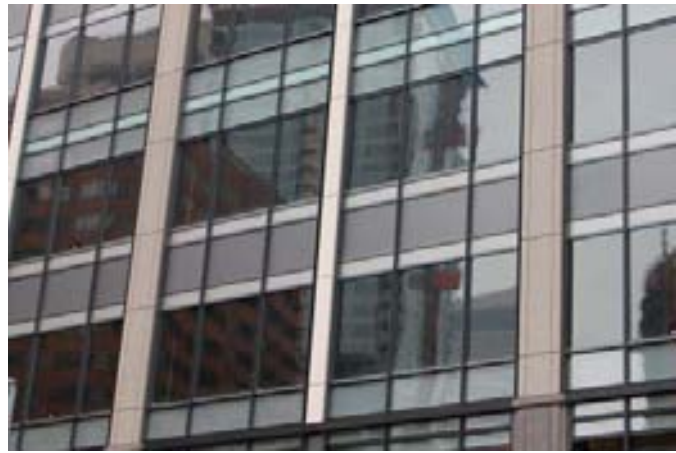


























## DESIGN INTENT:

The Eighth & Stewart addition to 1918 Eighth Avenue completes the composition of office buildings that occupy three quarters of the block defined by Stewart / 8th / Virginia / 9th. The design is both uniquely distinct and yet part of the language of the two previously approved buildings.

The original buildings are strong, classical designs with glazed openings organized within a predominant precast concrete matrix. The addition, in contrast, holds the highly visible corner with a glass 'lantern', topped with a natural cornice formed by an allée of trees framing the edge of the urban roof garden. While the materiality of the lantern addition is distinctly different from its larger siblings, it is still definitively part of the family in its proportions, rhythm, order and detailing.

The base of the addition continues the pedestrian-friendly language of the precast colonnade and transparent retail frontage. The profiled metal column covers of the lantern repeat the rhythm and scale of the white precast vertical accents of the main towers and are enhanced by extruded detailing to echo the crisp shadow lines created by the mullion fins. The overall verticality of all three buildings is reinforced in the new addition by emphasizing the vertical column covers in both the 'lantern' and the 'box'.

The desired glassy character of the lantern is enhanced by raising the interior ceiling height at the perimeter to eleven feet, in effect reducing the horizontal spandrel panels at each floor to a narrow two feet deep. The spandrels are also detailed as transparent shadow boxes, contrasted against the stronger metal vertical column covers.





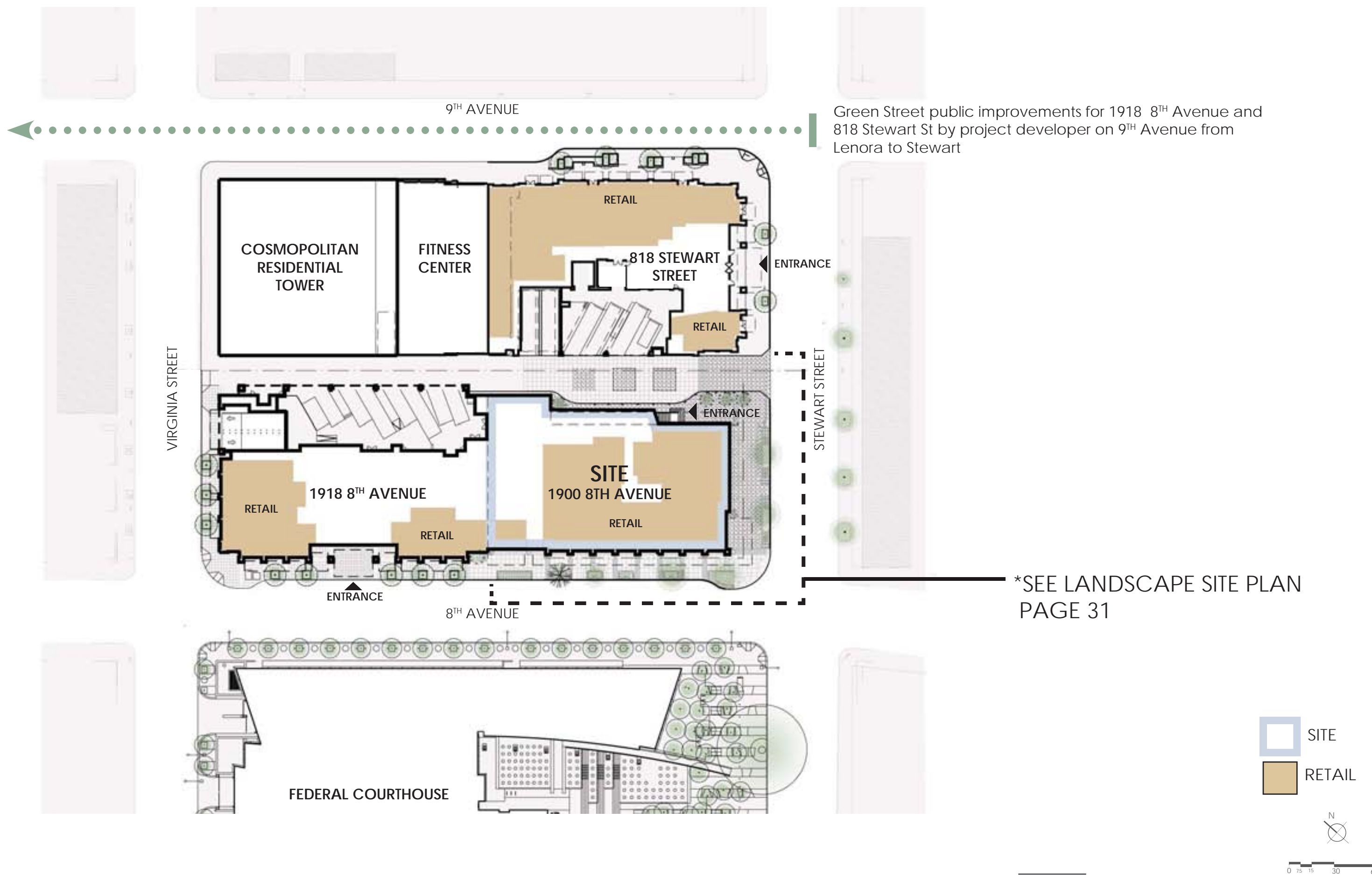
## PLACEMAKING:

The design transforms the service alley from a background infrastructure element into a foreground place of arrival. The widened alley serves as both a valet drop-off for the complex and a pedestrian short-cut from Stewart up onto the main Commons level of 1918 8th Ave, providing access to the banks of elevators serving all floors of the tower and new addition.

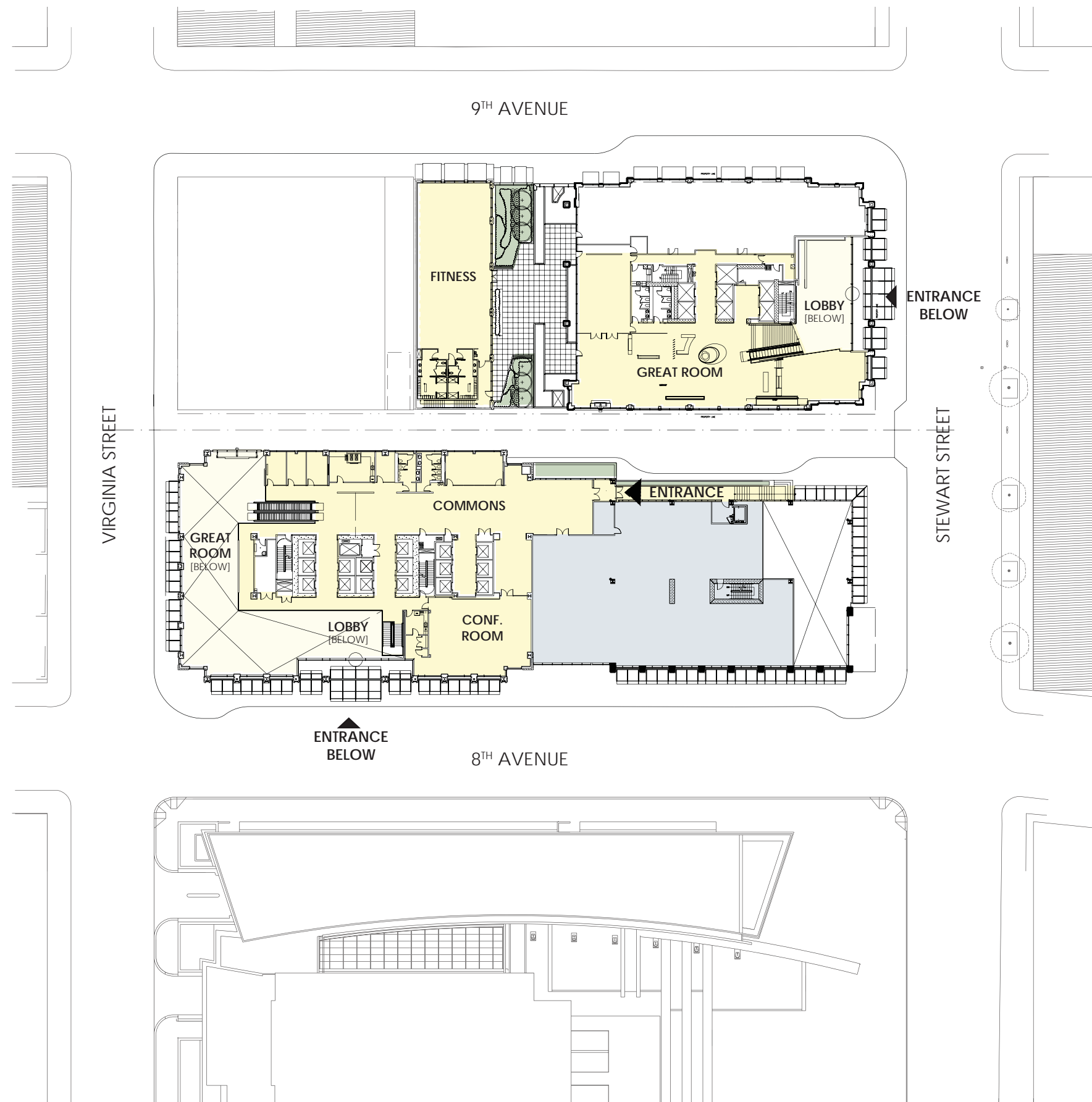
While neither Stewart nor Eighth are designated as Green Streets, the widened sidewalks are landscaped and detailed with finishes that will enhance the public realm and the pedestrian experience. This upgraded sidewalk landscaping extends and compliments the open plaza of the Federal Courthouse on Stewart while mitigating the somewhat severe solid base of the Courthouse on Eighth Avenue.







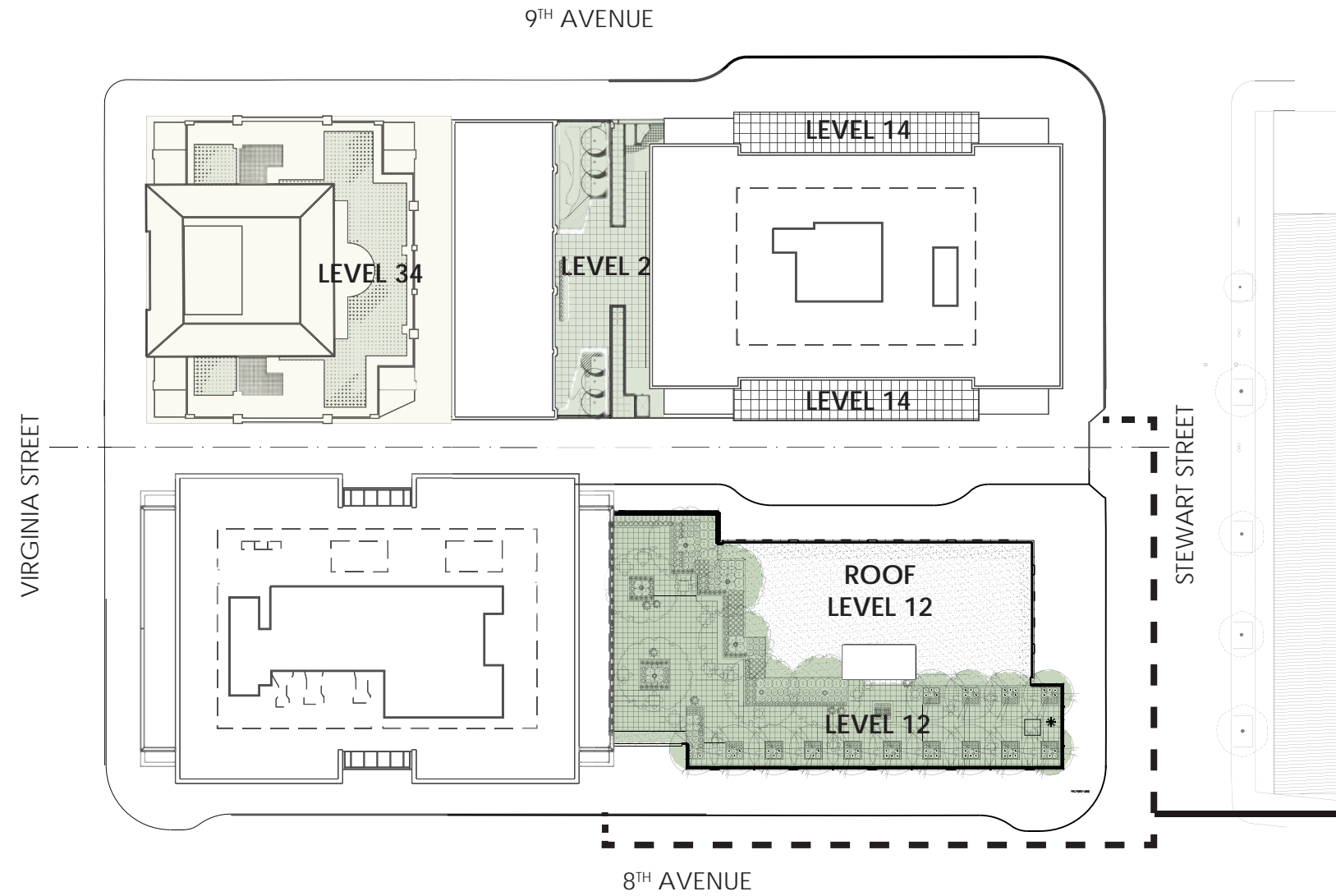




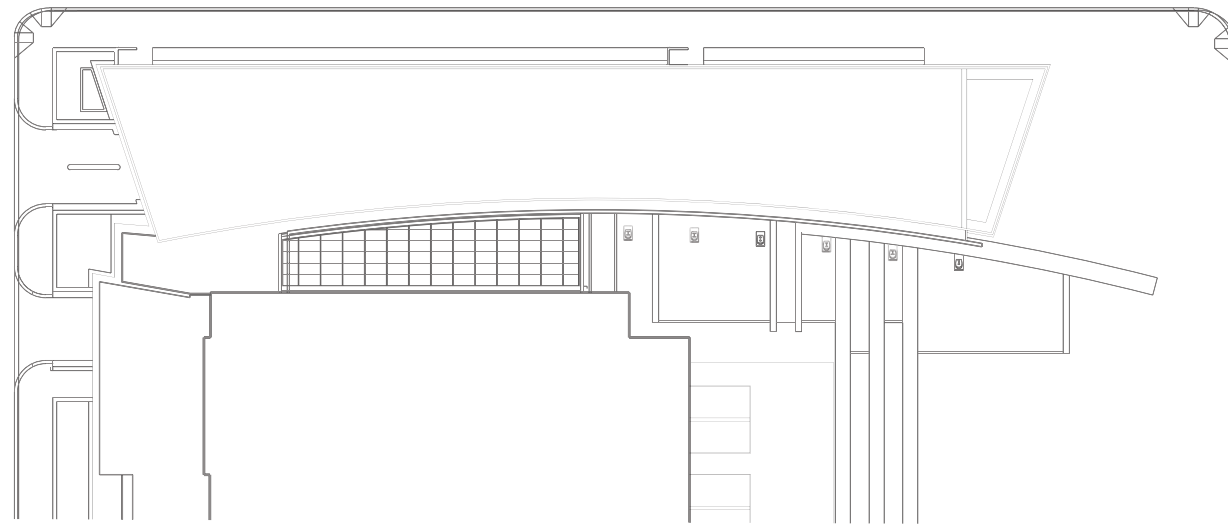








\*SEE LANDSCAPE ROOF PLAN  
PAGE 32

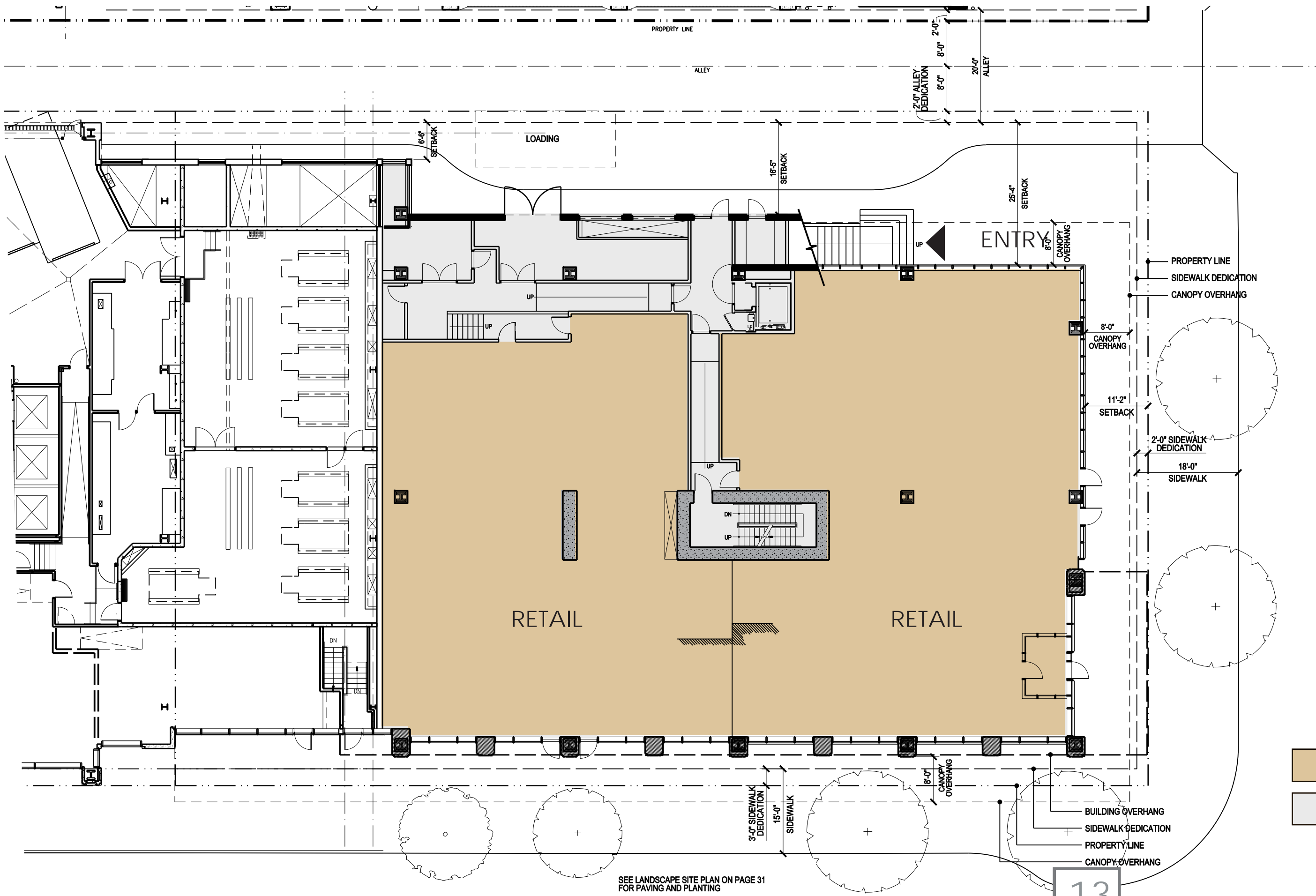


GREEN  
SPACE



0 75 15 30 60





SEE LANDSCAPE SITE PLAN ON PAGE 31  
FOR PAVING AND PLANTING

RETAIL

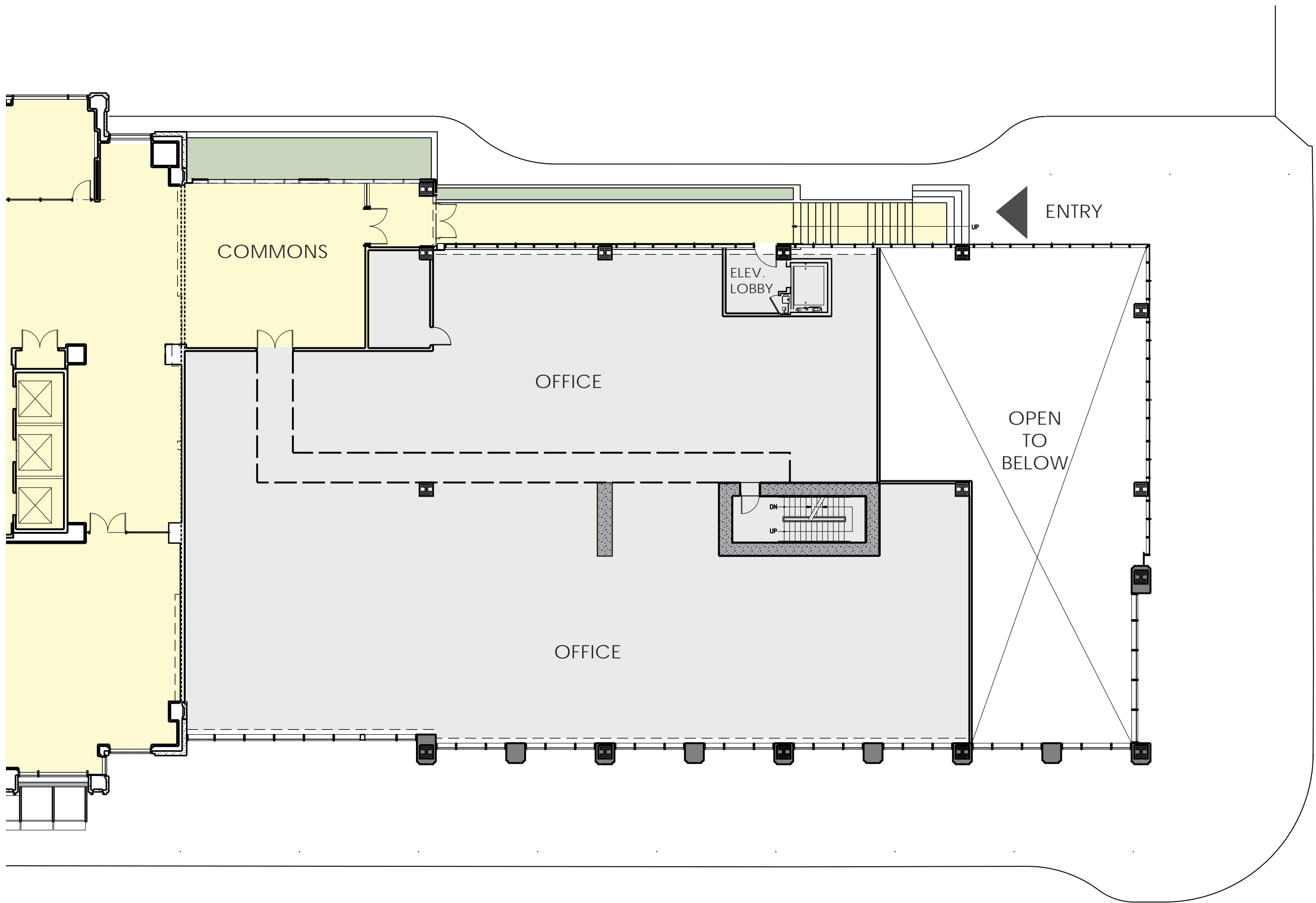
SUPPORT

13

0 2 4 8 16

nbbj





- PLANTING
- COMMONS
- OFFICE

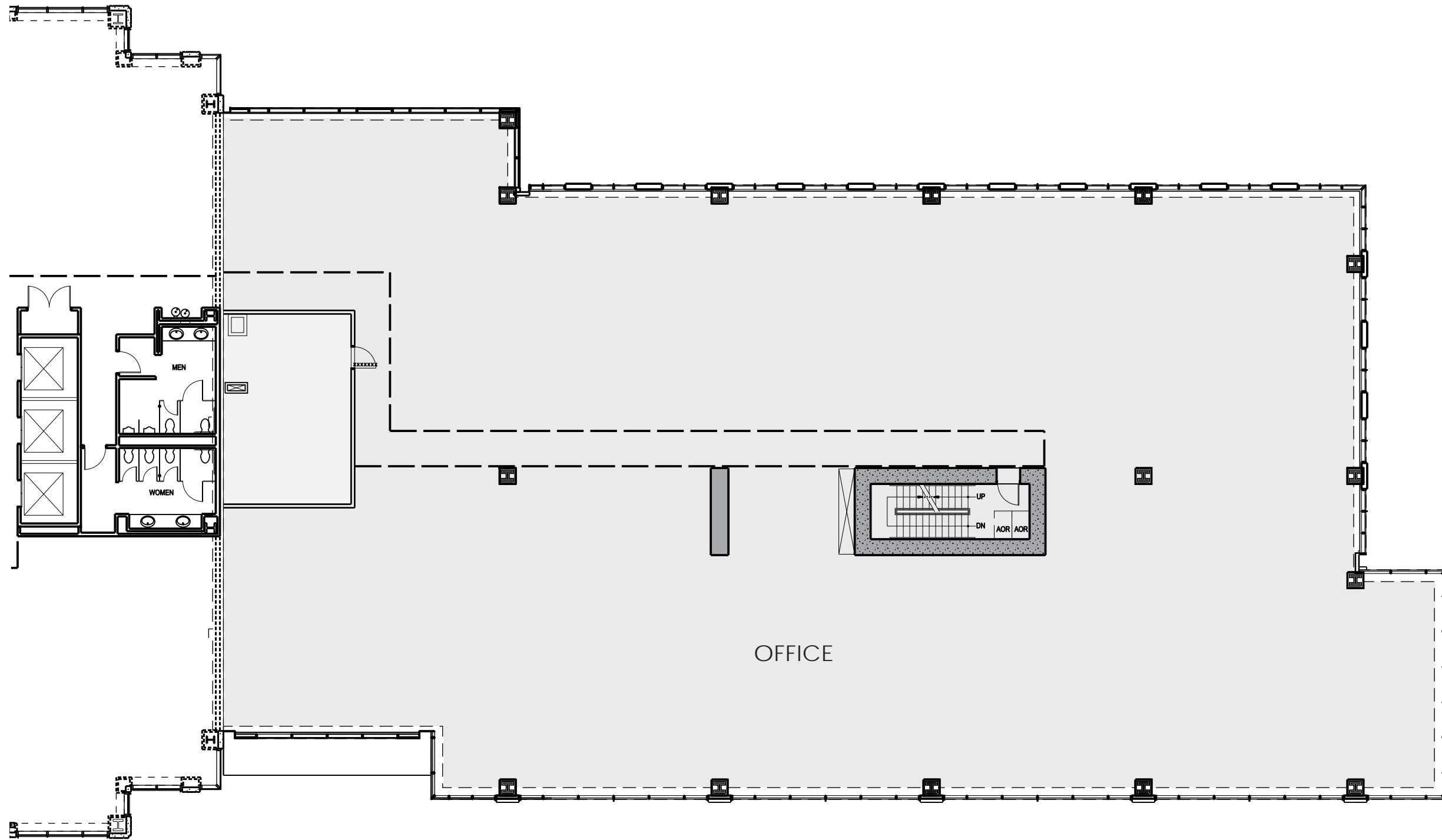


0 2 4 8 16

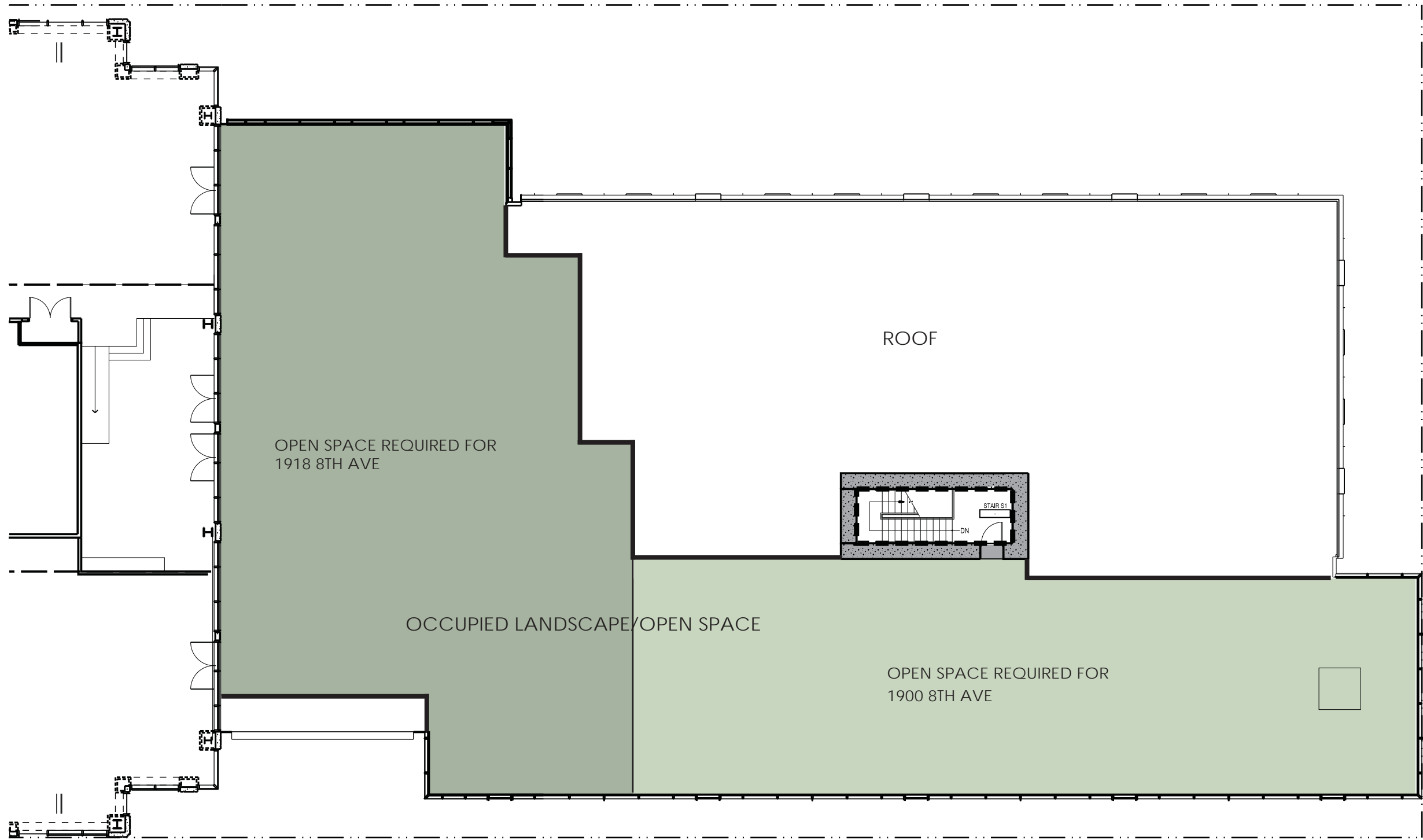
14

THIRD FLOOR PLAN









\* SEE PAGE 32 LANDSCAPE  
ROOF PLAN FOR ADDITIONAL  
INFORMATION

LANDSCAPE CALCULATIONS			
OPEN SPACE	1918 8TH AVE.	REQUIRED	PROVIDED
	1900 8TH AVE.	3,182 S.F.	3,190 S.F.
TOTAL		<u>2,530 S.F.</u>	<u>2,550 S.F.</u>
		5,712 S.F.	5,740 S.F.
LANDSCAPE AREA	1918+1900	1,108 S.F.	1,110 S.F.
(20% OPEN SPACE AREA)			

  OPEN SPACE









\* NOTE: TREES @ 5 YEARS POST COMPLETION

- CORNICE LIGHTING
- SHADOW BOX SPANDREL PANEL
- VISION GLASS
- FIN MULLION CAP
- ALUMINUM COLUMN COVER
- PRECAST CONCRETE
- METAL AND GLASS CANOPY WITH CANOPY LIGHTING
- STONE CLADDING @ BASE

SEE PAGE 20 FOR ENLARGED ELEVATION

0 4 8 16 32

ELEVATION - 8<sup>TH</sup> AVENUE

17



\* NOTE: TREES @ 5 YEARS POST COMPLETION

- CORNICE LIGHTING
- SHADOW BOX SPANDREL PANEL
- VISION GLASS
- FIN MULLION CAP
- ALUMINUM PANEL
- PRECAST CONCRETE
- METAL AND GLASS CANOPY WITH CANOPY LIGHTING
- STONE CLADDING @ BASE



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\* NOTE: TREES @ 5 YEARS POST COMPLETION

SHADOW BOX SPANDREL  
PANEL

VISION GLASS

ALUMINUM PANEL

SHADOW BOX SPANDREL  
PANEL

PRECAST CONCRETE  
METAL AND GLASS CANOPY  
WITH CANOPY LIGHTING  
STONE CLADDING @ BASE

SEE PAGE 22 FOR ENLARGED ELEVATION

0 4 8 16 32













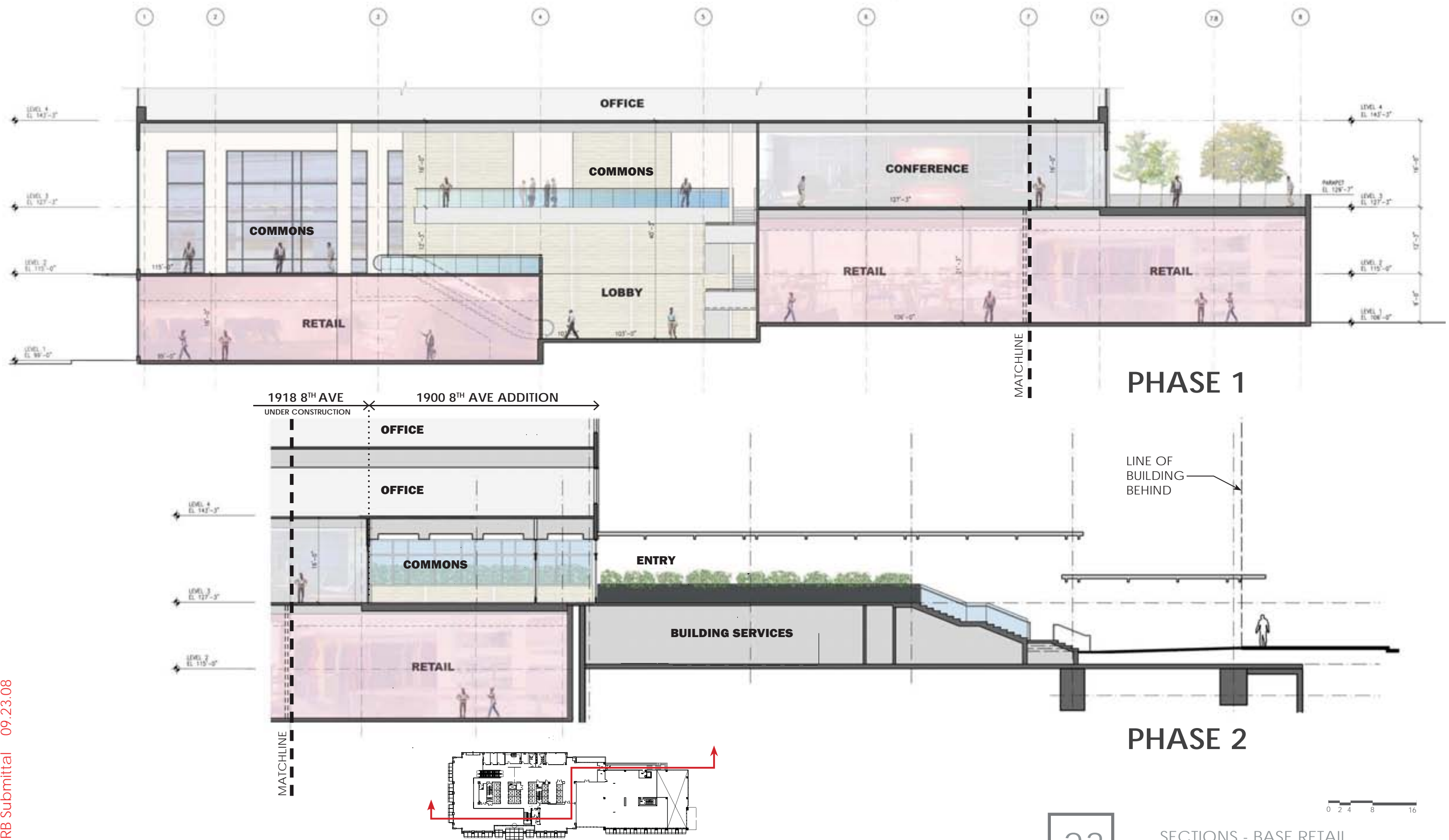


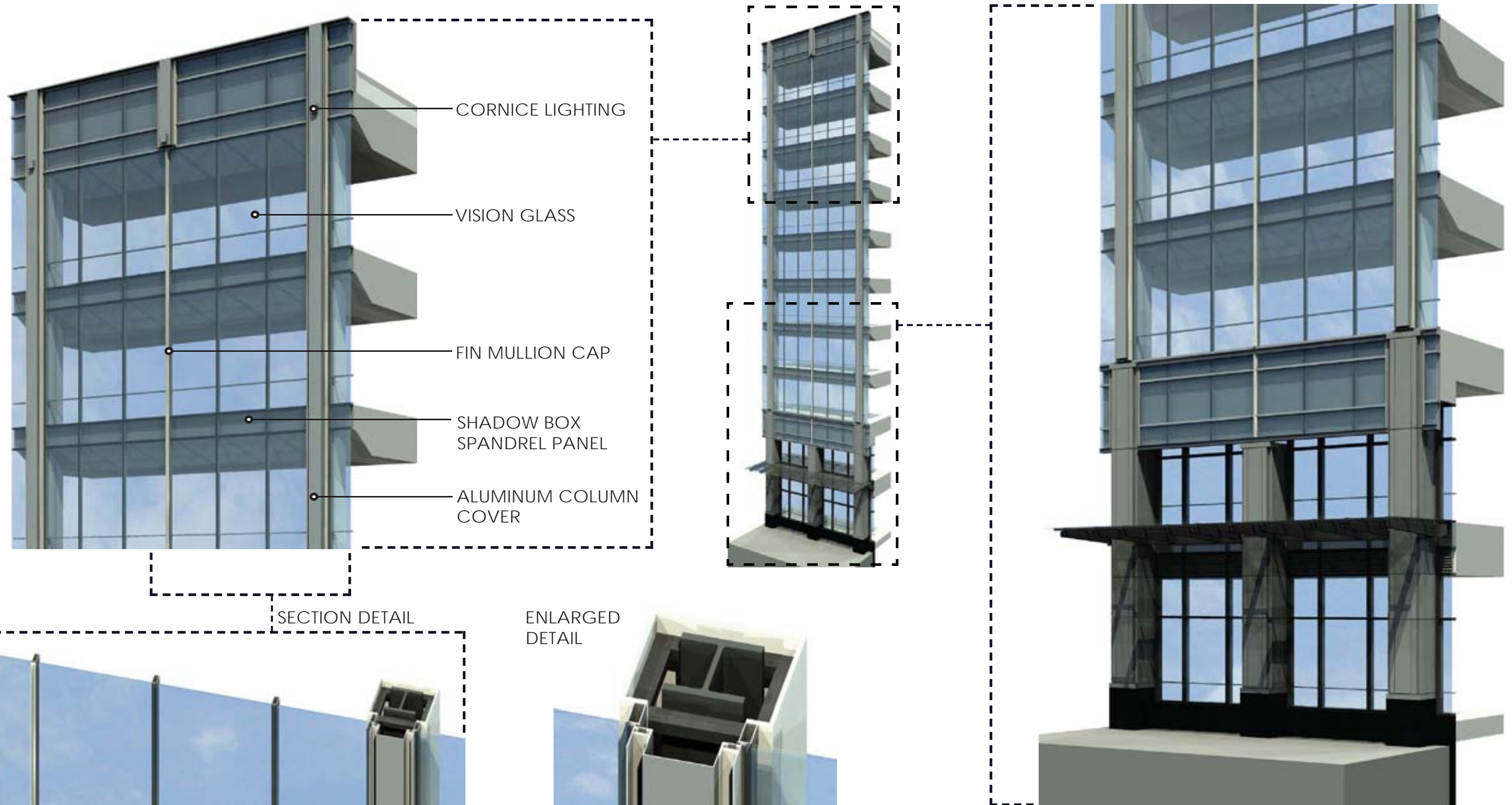






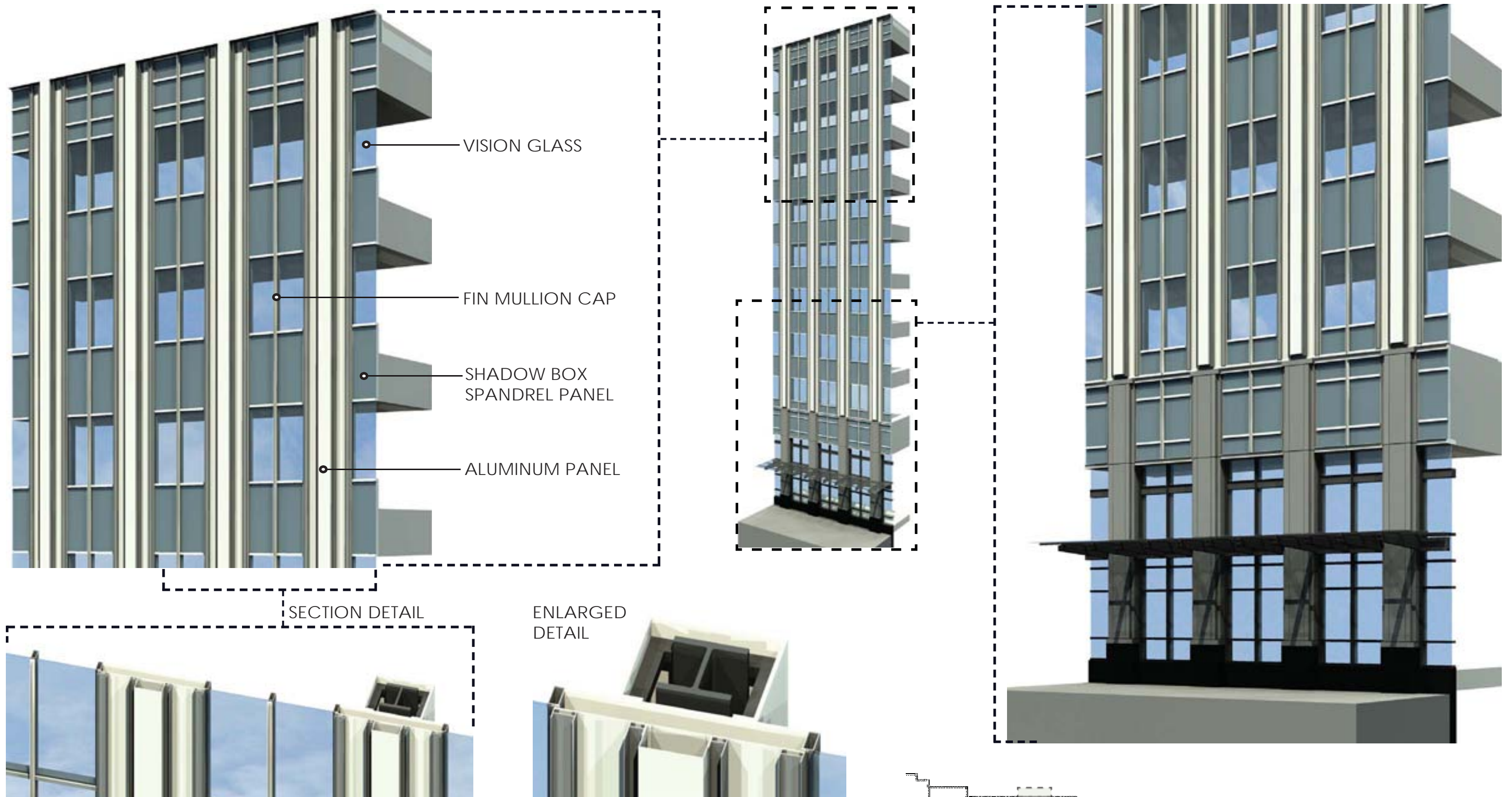




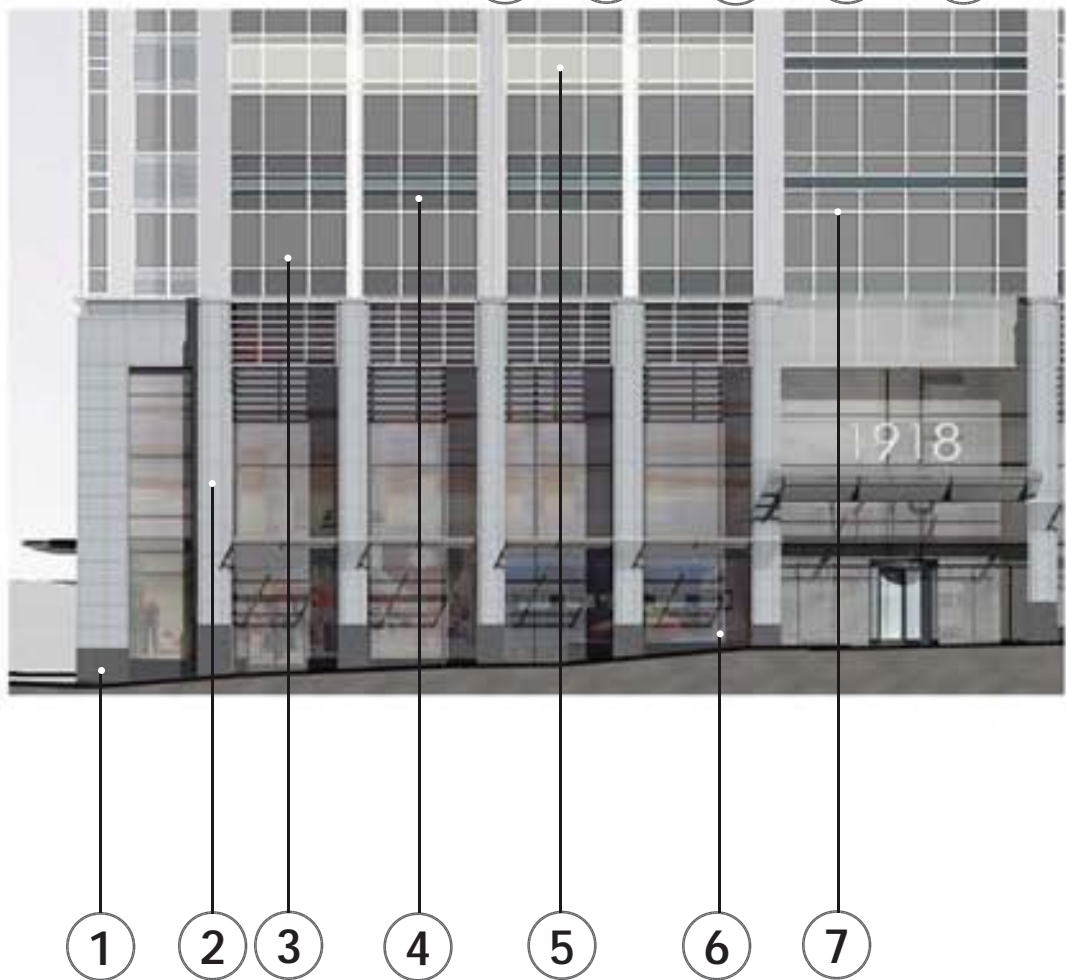
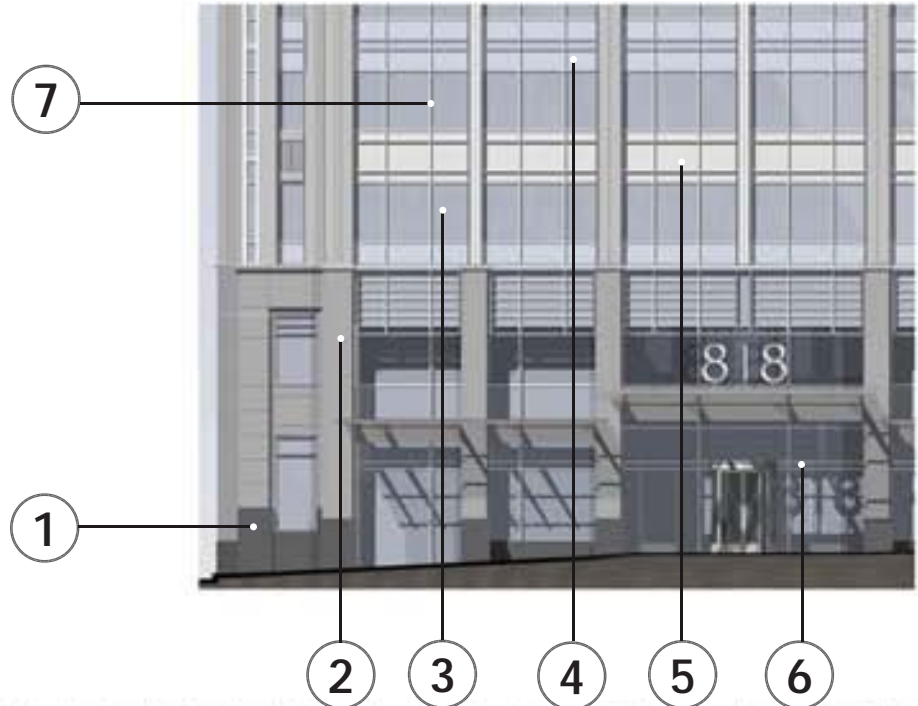


LANTERN



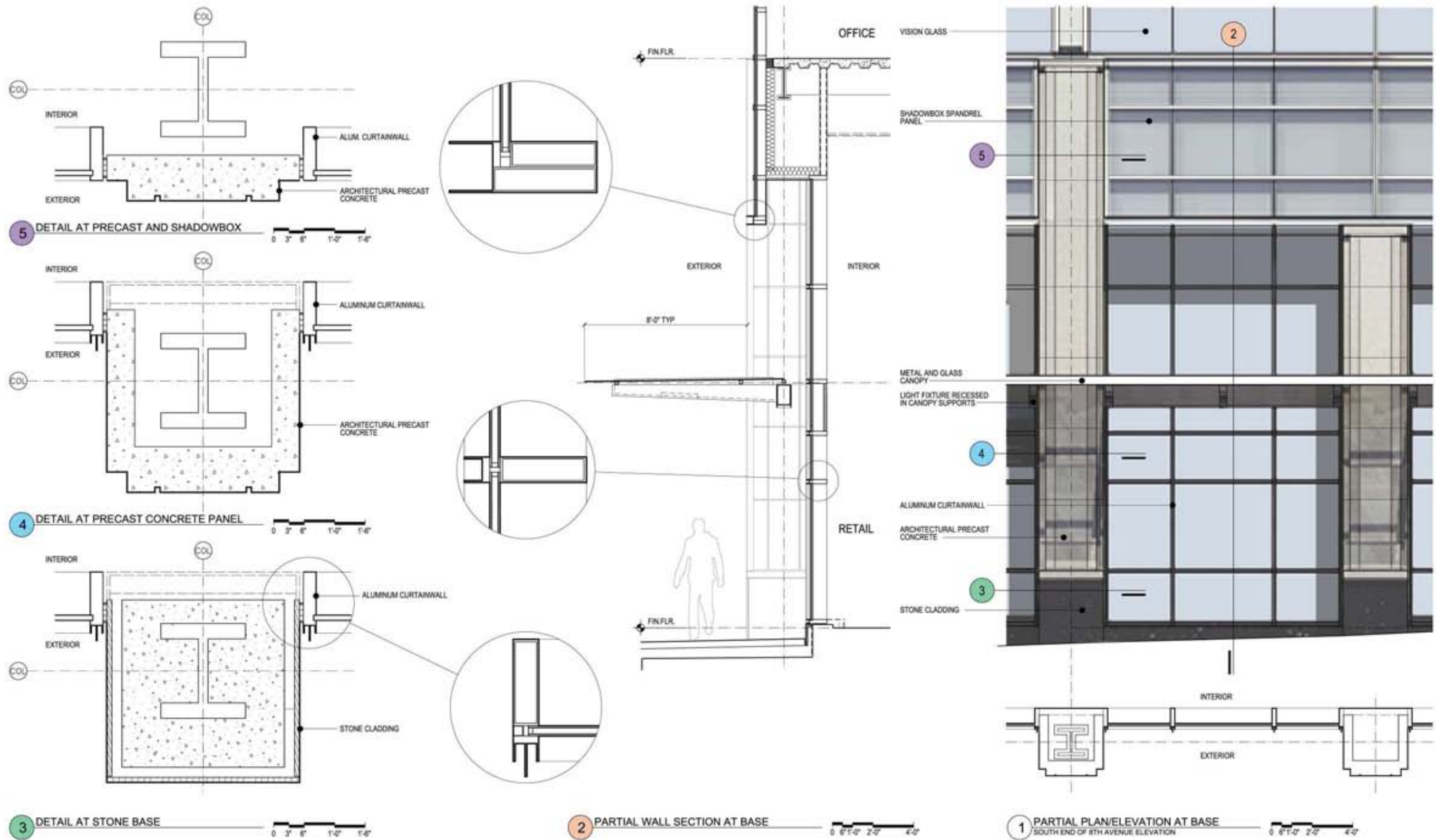


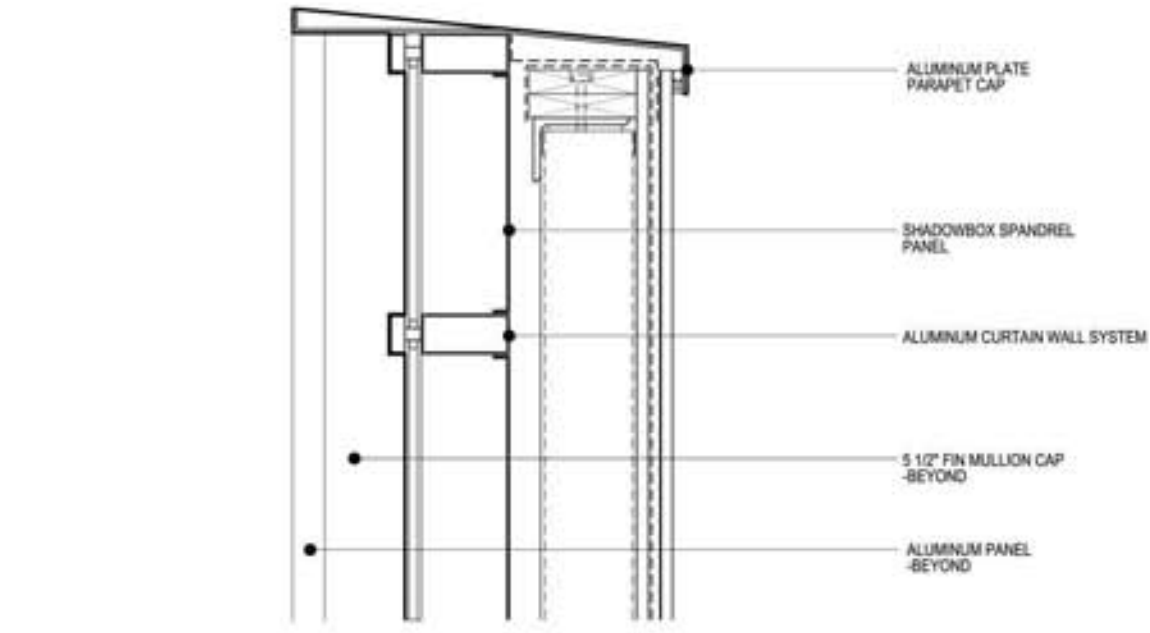




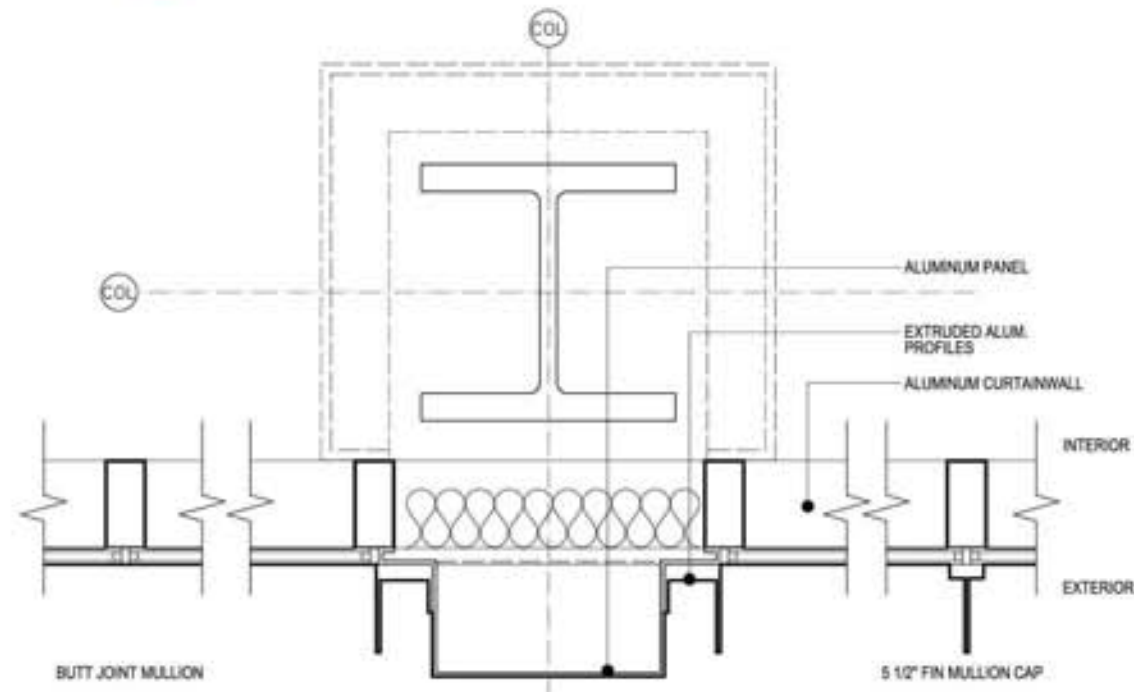
- 1 STONE CLADDING -BLACK GRANITE
- 2 ARCHITECTURAL PRECAST CONCRETE
- 3 VISION GLASS - LOW-E
- 4 SPANDREL GLASS
- 5 ALUMINUM PANEL
- 6 CURTAINWALL MULLION - RETAIL BASE
- 7 CURTAINWALL MULLION - TYPICAL



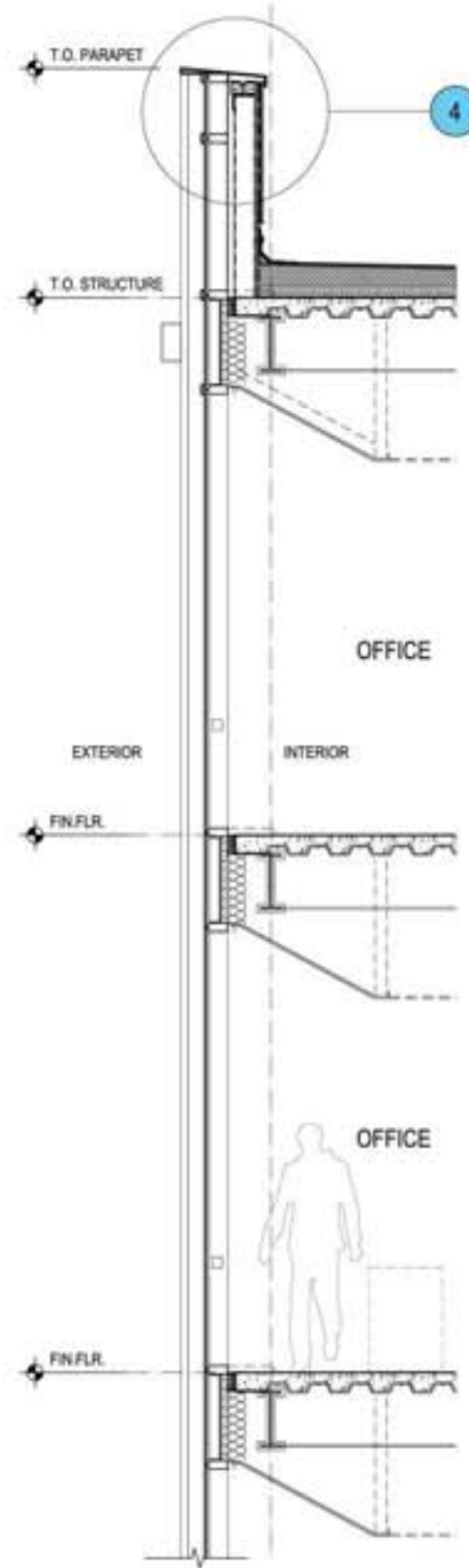




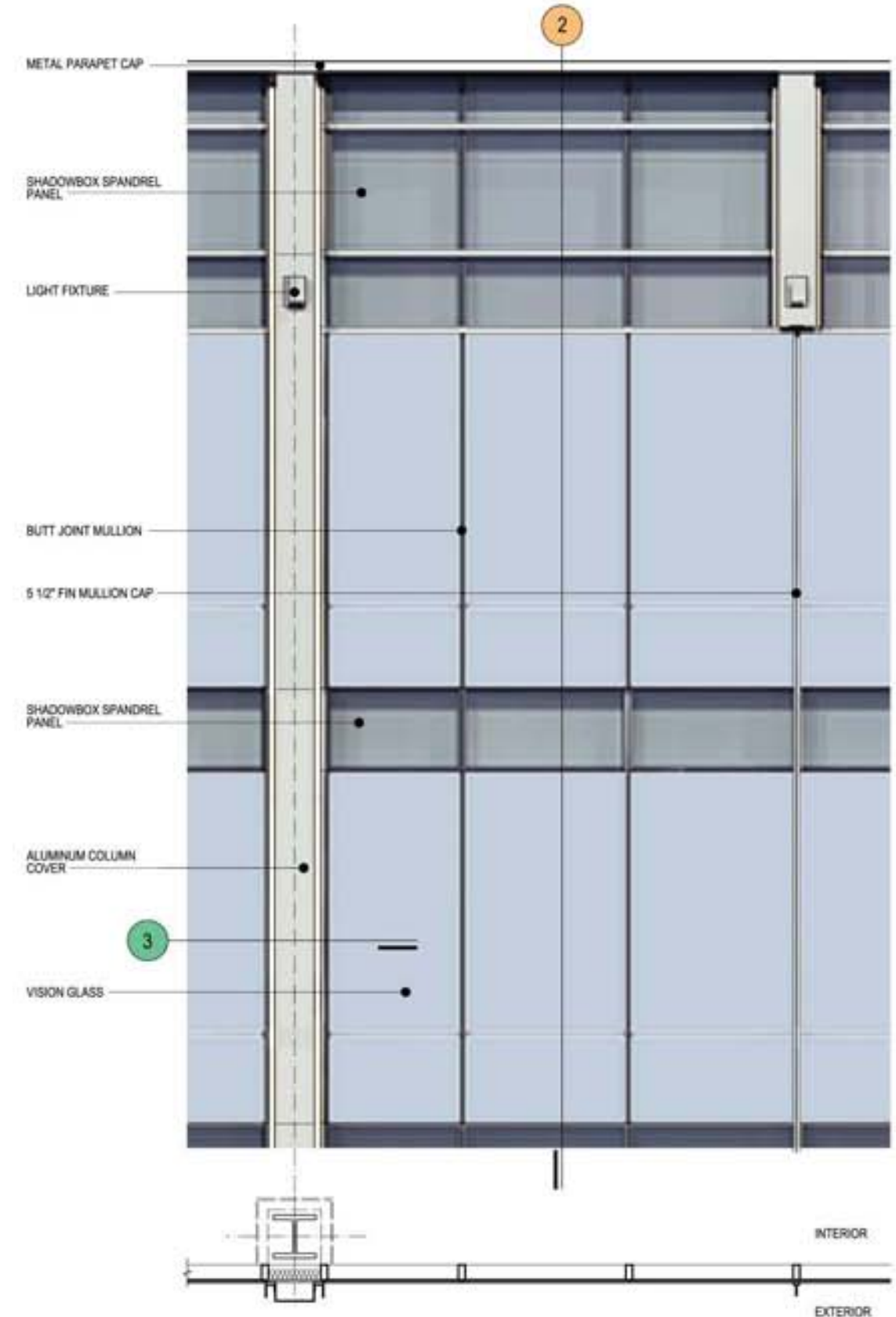
4 DETAIL AT LANTERN PARAPET



3 DETAIL AT LANTERN CURTAINWALL

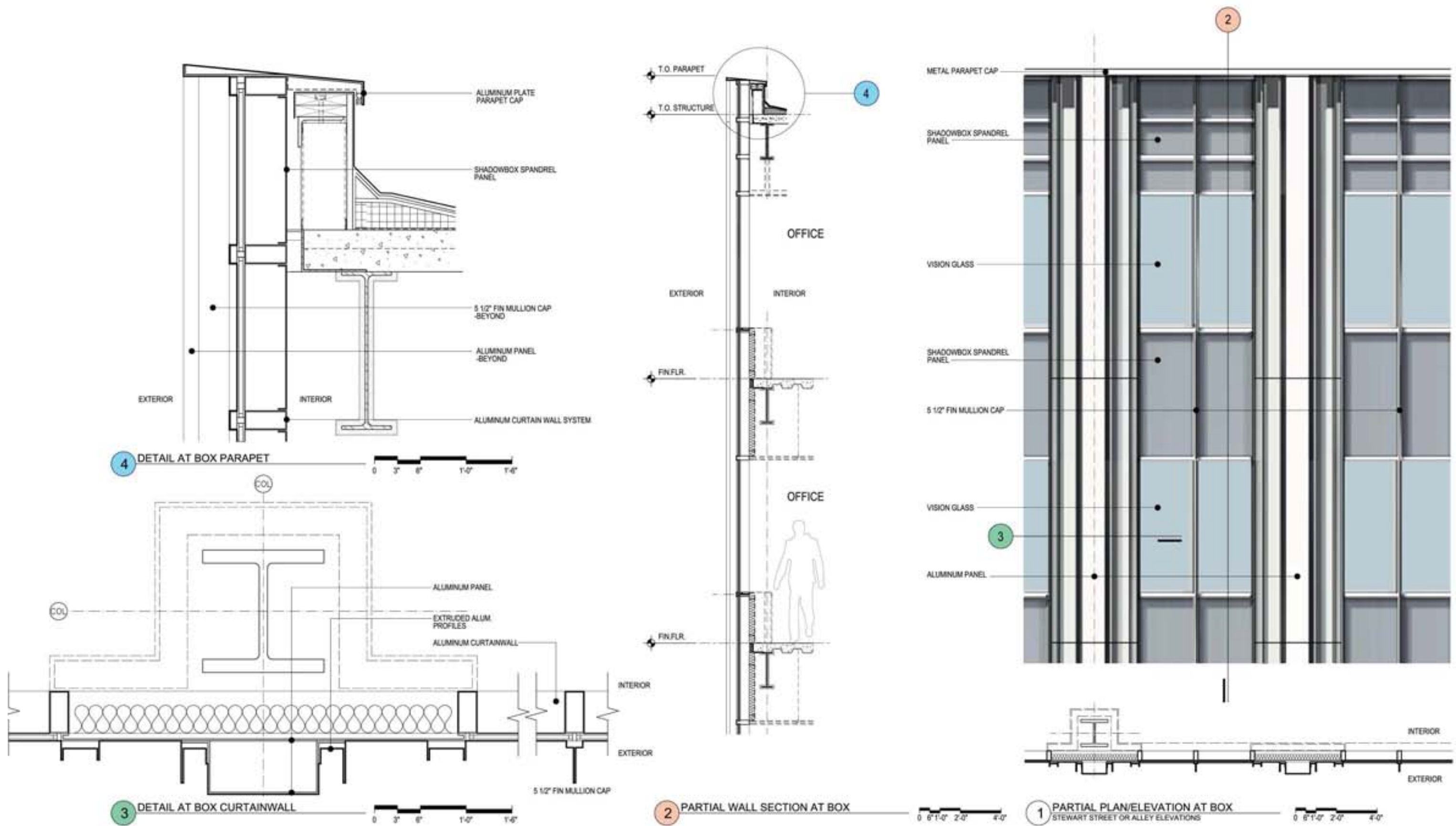


2 PARTIAL WALL SECTION AT LANTERN



1 PARTIAL PLAN/ELEVATION AT LANTERN  
UPPER PORTION OF 8TH AVENUE ELEVATION











EVENING VIEW FROM SOUTHWEST



EVENING VIEW FROM SOUTHEAST



TREE UPLIGHT FIXTURE



COLUMN UPLIGHT FIXTURE



CANOPY DOWNLIGHT FIXTURE



ALLEY/VALET DOWNLIGHT FIXTURE

















# ZONING DEPARTURES

ITEM #	DEVELOPMENT STANDARD	REQUIREMENT	PROPOSED	DEPARTURE AMOUNT	RELATED GUIDELINES AND REASONING
1	SMC 23.49.018 A&D OVERHEAD WEATHER PROTECTION & LIGHTING	<p>-CONTINUOUS OVERHEAD WEATHER PROTECTION IS REQUIRED ALONG THE ENTIRE STREET FRONTAGE OF THE LOT, EXCEPT AT THE DRIVEWAY AND PORTIONS OF THE STRUCTURE THAT ARE MORE THAN 5' FROM THE PROPERTY LINE.</p> <p>-THE LOWER EDGE OF OVERHEAD WEATHER PROTECTION MUST BE A MINIMUM OF 10' AND A MAXIMUM OF 15' ABOVE THE SIDEWALK.</p> <p>-MINIMUM HORIZONTAL EXTENTION FROM BUILDING FACE IS 8'.</p>	<p>PROVIDED CANOPIES AT 8TH AVENUE AND STEWART STREET FACADES PROJECT 8'-0" FROM FACADE.</p> <p>NO CANOPIES ARE LESS THAT 10'-0" ABOVE THE SIDEWALK.</p> <p>CANOPY AT 8TH AVENUE IS LESS THAN 15'-0" ABOVE SIDEWALK FROM THE SOUTHWEST BUILDING CORNER, TO A POINT NORTH APPROX. 73'-0". THE CANOPY CONTINUES NORTH APPROX. 53'-0". THE CANOPY IS HIGHER THAN 15'-0" BUT DOES NOT EXCEED 19'-6" ABOVE SIDEWALK.</p> <p>CANOPY AT STEWART STREET IS LESS THAN 15'-0" ABOVE SIDEWALK FROM THE SOUTHEAST CORNER OF THE BUILDING TO A POINT WEST APPROX. 38'-0". THE CANOPY EXTENDS WEST AN ADDITIONAL 16'-6". THE CANOPY IS HIGHER THAN 15'-0", BUT DOES NOT EXCEED 17'-0" ABOVE SIDEWALK. FROM THAT POINT, THE CANOPY CONTINUES TO THE CORNER OF THE BUILDING, BUT DROPS IN HEIGHT TO ALIGN WITH THE 8TH AVENUE CANOPY.</p>	CANOPY HEIGHT VARIES DUE TO CHANGE IN SIDEWALK ELEVATION TO A MAXIMUM OF 4'-6" ABOVE PRESCRIBED HEIGHT FOR PORTIONS OF THE FACADES.	<p>B-3 REINFORCE THE POSITIVE URBAN FORM &amp; ARCHITECTURAL ATTRIBUTES OF THE IMMEDIATE AREA</p> <p>C-4 REINFORCE BUILDING ENTRIES</p> <p>C-5 ENCOURAGE OVERHEAD WEATHER PROTECTION</p>
2	SMC 23.49.056B FACADE SETBACK LIMITS	THE FACADE SHALL BE LOCATED WITHIN 2 FEET OF THE PROPERTY LINE EXCEPT THAT SETBACKS LARGER THAN 2 FEET SHALL BE LIMITED TO 40% OF THE FACADE (EXCEPTION ii.) FOR PED. TYPE I STREETS	<p>AT THE STEWART STREET FACADE, ALL OF THE FACADE IS SETBACK FROM THE SIDEWALK DEDICATION LINE APPROX. 9'-6", TO A HEIGHT OF APPROX 20'-0" ABOVE GRADE.</p> <p>ABOVE THAT POINT, A PORTION OF THE FACADE EXCEEDING 40% IS SETBACK 9'-6" FROM THE SIDEWALK DEDICATION LINE</p> <p>AT 8TH AVENUE, THE FACADE IS SETBACK APPROX. 2'-4" FROM THE SIDEWALK DEDICATION LINE</p>	<p>AT STEWART STREET: 40% SETBACK IS ALLOWED 62% SETBACK IS PROPOSED</p> <p>AT 8TH AVENUE: 40% SETBACK IS ALLOWED 100% SETBACK IS PROPOSED</p>	<p>D-1 PROVIDE INVITING &amp; USABLE OPEN SPACE</p> <p>B-4 DESIGN A WELL-PROPORTIONED AND UNIFIED BUILDING</p>

DRB Submittal 09.23.08





