

# Early Design Guidance Analytic Packet

2743 California Avenue SW

February 2008

## Statement of development objectives

The applicant proposes to construct a professional office building (primarily medical uses) of approximately 15,000 square feet. The building will be occupied by 4 or 5 tenants, including the applicant's dental practice.

It is essential to maximize available offstreet parking, although the site's small size imposes a practical limit of 9 or 10 spaces.

**LEWIS**

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2743 California Avenue SW  
Proposed professional office building

EARLY DESIGN GUIDANCE



VICINITY MAP



AERIAL VIEW (Looking West)



1. east elevation of the site



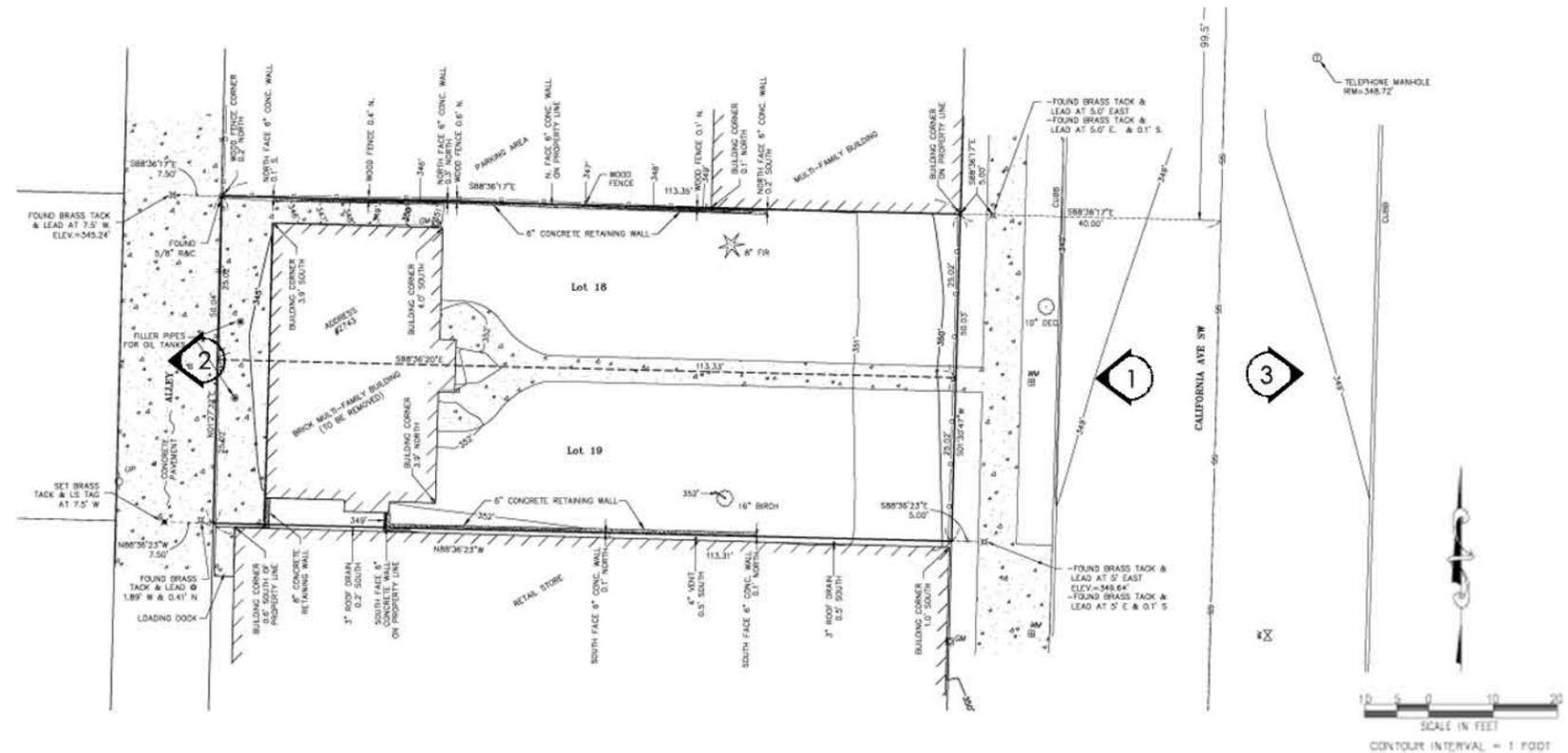
2. looking west from the site (Across Alley)



AERIAL VIEW (Looking North)



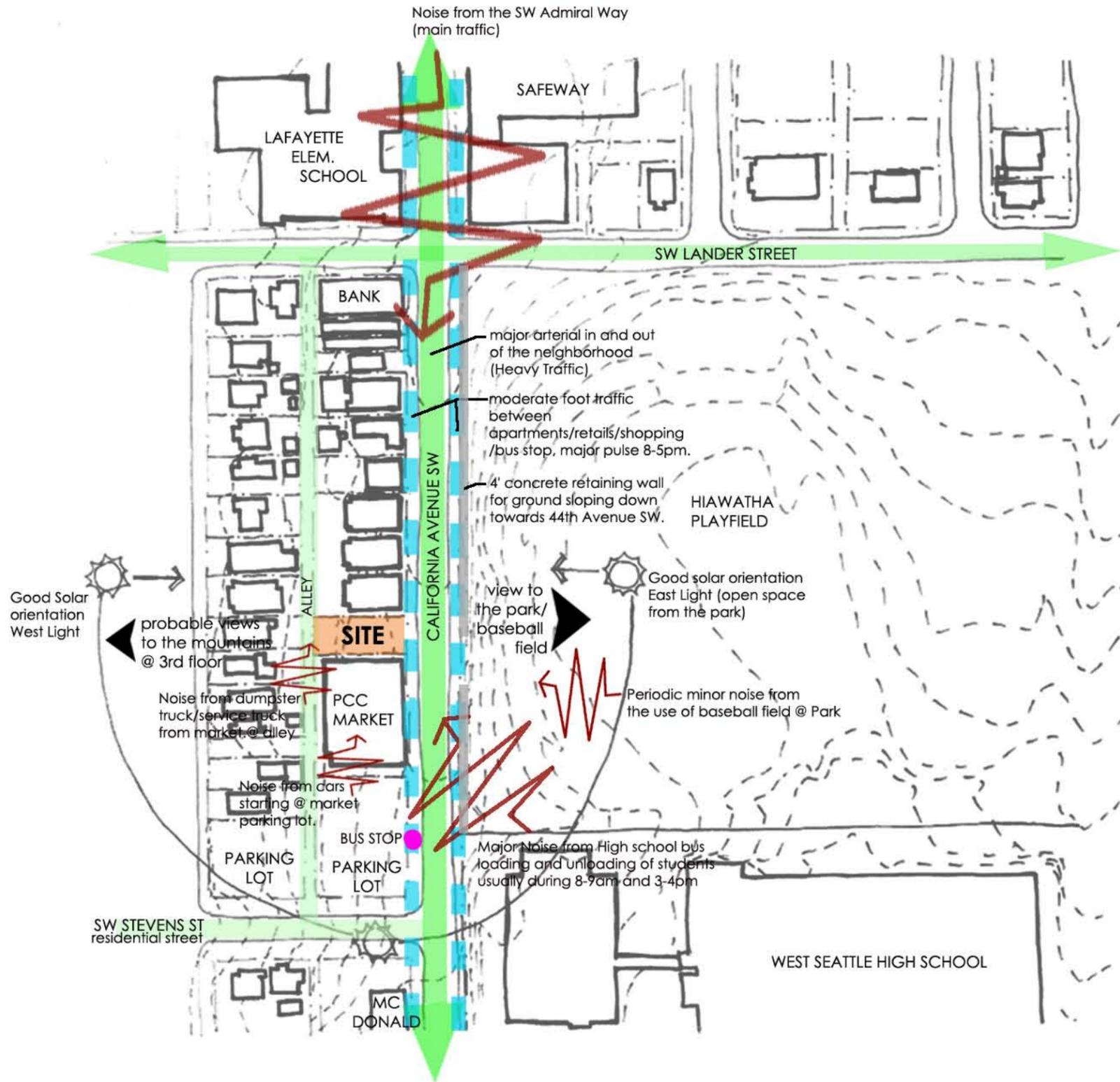
3. looking east from the site (Across California Ave SW)



Existing Site Conditions

1. Please describe the existing site, including location, existing uses and/or structures, topographical or other physical features, etc.

The project site, located at 2473 California Avenue SW, is 50' wide by 113' deep, for a total area of 5,650 square feet. It is midblock on the west side, California Avenue SW between SW Lander Street to the north and SW Stevens Street to the south. Currently the site contains a two-storey duplex on the west-end of the site, built in 1950. The site slopes approximately 5' from a high point at the street down to the alley at the west end.



### Site Analysis Summary

#### California Avenue SW

- main arterial of the neighborhood, with two lanes lined with trees and sidewalks on both sides.
- on-street parking allowed.
- heavy foot traffic , prime retail location
- main entry to the site.
- landscape and possible addition of another tree at sidewalk to maintain the spaces between the existing trees lined at sidewalk.

#### SW Stevens Street

- residential street
- parking access to the alley behind the building

#### SW Lander Street

- decorative sidewalk inlays from the elementary school
- decorative crosswalk (painted asphalt)
- minor foot traffic

#### Solar Access

- due to the openness of the Hiawatha playfield, there will be good solar access from the east.
- the slope of the hill and the low height of the residence to the west allows solar access to the site.

#### Views

- Even though there is a 4 foot concrete retaining wall surrounding the park, the openness and the inviting entrances of the stairways to the park provide a nice view from the site.



ADMIRAL URBAN VILLAGE OVERLAY



2. Please indicate the site's zoning and any other overlay designations, including applicable Neighborhood-Specific Guidelines.

The site is zoned NC2-40. It is located in the Admiral Residential Urban Village, that has its own specific design guidelines.

LIST OF THE CITY'S DESIGN GUIDELINES THAT ARE MOST PERTINENT TO THE PROJECT AND SITE

City-Wide Design Guidelines:

- A2: Reinforce existing streetscape characteristics
- A3: Entry clearly identifiable from street
- A8: Minimize parking and auto impacts on pedestrians and adjoining property
- B1: Provide sensitive transition to nearby, less-intensive zones
- C1: Complement positive existing character
- D1: Provide convenient, attractive and protected pedestrian entry
- E1: Reinforce existing landscape character of neighborhood.

Admiral Residential Urban Village Design Guidelines

The site is within a "Core Commercial Area Abutting SF Zoning."

- A1: Solar orientation
- A2: Streetscape compatibility
- A3: Entrances visible from street
- A8: Locate parking and access to parking at rear of lot
- B1: Provide a sensitive transition to less intensive zones, and use styles and details derivative from surrounding, less intensive structures

REQUIREMENTS FOR NC2-40 (NEIGHBORHOOD COMMERCIAL) ZONES:

Permitted Uses (23.47.004):

Uses permitted outright include retail sales and services, eating and drinking establishments, principal use parking, medical services and offices.

Street-level Uses (23.47A.005):

In NC zones in new structures, street-level parking must be separated from the street-level, street-facing facade by another permitted use.

Basic Street-level requirements (23.47A.008):

Blank segments of the street-facing facade between two (2) feet and eight (8) feet above the sidewalk may not exceed twenty (20) feet in width.

The total of all blank facade segments may not exceed forty (40) percent of the width of the facade of the structure along the street.

Setbacks:

Street-level street-facing facades must be located within ten (10) feet of the street lot line, unless wider sidewalks, plazas, or other approved landscaped or open spaces are provided.

Transparency:

Sixty (60) percent of the street-facing facade between two (2) feet and eight (8) feet above the sidewalk shall be transparent.

Structure Height (23.47A.012)

Maximum Height : ..... 40'

In this zone, the height of a structure may exceed the otherwise applicable limit by up to four (4) feet, if the following conditions are met:  
A floor-to-floor height of thirteen (13) feet or more is provided for nonresidential uses at street level;

Added height for Sloped Lots (23.47.012.F): ..... 1' for each 6% of slope, to a maximum additional height of five (5) feet above the otherwise applicable height limit.

Parking Quantity Exceptions (23.54.020):

In NC zones and C zones, except pedestrian-designated zones, and in the Seattle Mixed (SM) zone, except on Class 1 Pedestrian Streets, the minimum parking requirement for a nonresidential use, except institutions, may be reduced by twenty (20) percent when the use is located within eight hundred (800) feet of a street with midday transit service headways of fifteen (15) minutes or less in each direction. This distance will be the walking distance measured from the nearest bus stop to the property line of the lot containing the use.

Solid Waste & Recycling (23.47.029):

Commercial: 5,001 - 15,000 sq.ft. ....125 sq.ft. ....Rear-loading

Required Parking (23.54.015):

Medical Services .....1 space for each 500 sq. ft.  
Offices .....1 space for each 1,000 sq.ft.



LAFAYETTE ELEM. SCHOOL

CALIFORNIA AVENUE S.W.



SAFEWAY



RETAIL



HIAWATHA PLAYFIELD



CALIFORNIA PLACE  
33 unit apartment & retail

SITE



PCC MARKET

HIAWATHA COMMUNITY CENTER



PCC MARKET PARKING

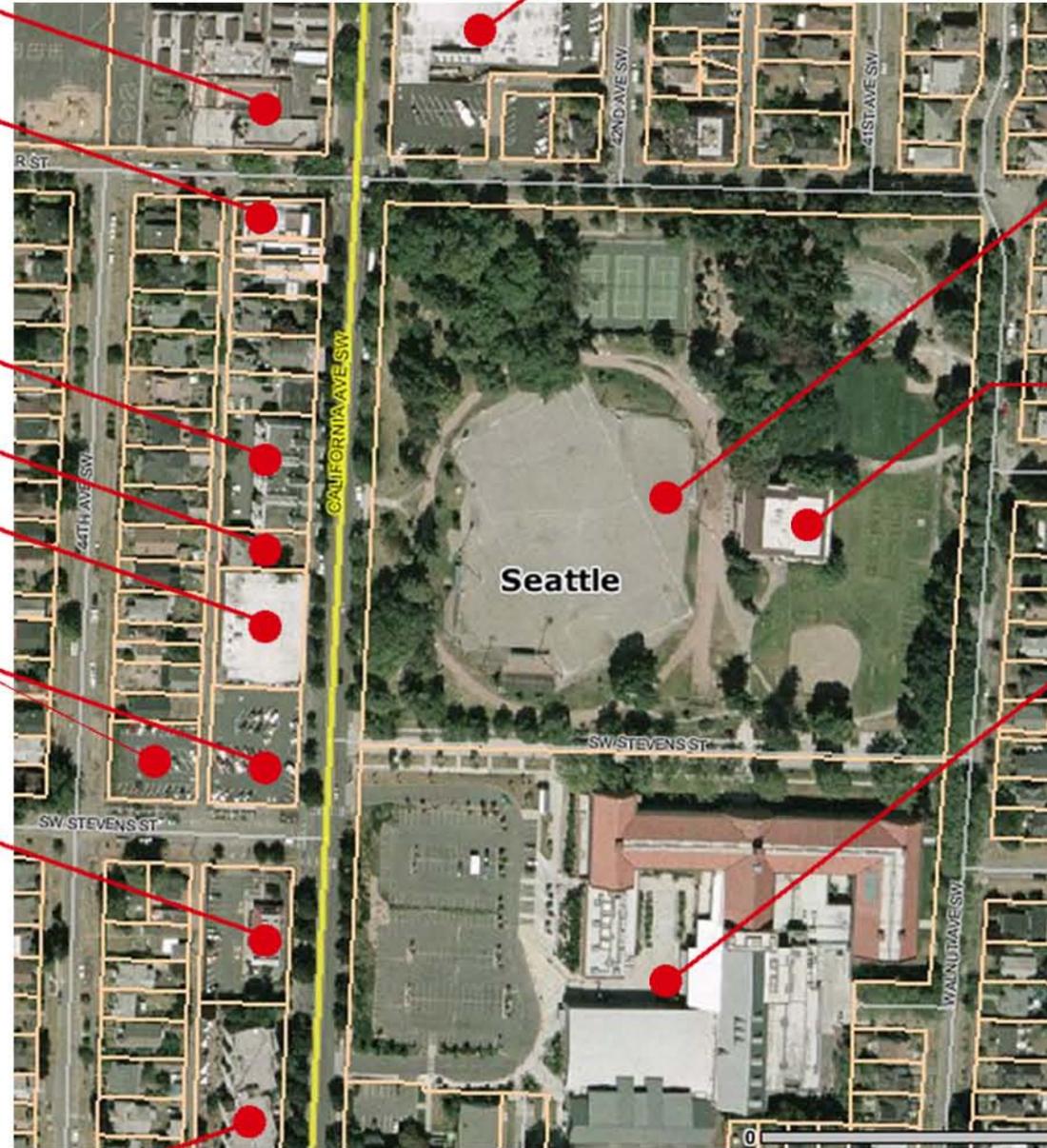
WEST SEATTLE HIGH SCHOOL



MC DONALD'S



APARTMENTS  
Seattle Senior Housing Program



Seattle



**ECONOMIC LAND USE**

Map Series 1:9600

- Single Family
  - Duplex/Triplex
  - Other Housing
  - Multi-Family
  - Office
  - Retail/Service
  - Hotel/Motel
  - Entertainment
  - Mixed Use
  - Parking
  - Industrial
  - Warehouse
  - Transp/Util/Comm
  - Institutions
  - Public Facilities
  - Schools
  - Open Space
  - Vacant
  - Water Body
  - Unavailable or Unknown
- DATA SOURCES  
 Parcels: The City of Seattle Central Geographic Database Parcel Layer  
 Economic Land Use Code: King County Department of Assessments Property Records.



Mixed-use Building (California Place) directly north from the site.



Office/ Retail building on California Avenue SW. Large storefront windows with horizontal emphasis and canopies at sidewalk.



Mixed Use building - retail at street level and residential on top. 2 different colored bricks used to visually separate the two uses.



Retails along California Avenue SW addressing landscape requirement on street frontage and entrance visibility from the street.



Existing retail buildings on California Avenue SW with street signage and large windows.



Wells Fargo bank on California Avenue SW. It has some classical influences, such as the pilaster used along side the store front windows, parapet and cornices.

3. Please describe neighboring development and uses, including adjacent zoning, physical features, existing architectural and siting patterns, views, community landmarks, etc.

**Neighborhood Context : Land uses**

The neighborhood is currently undergoing improvement, especially on the Hiawatha Playfield (directly east from the site), which is in the park development process. Immediately adjacent to the project site, zoning to the north is NC2-40, where the 33,084 sq.ft. lot contains a mixed-use building of 33 unit apartment and retail on the ground floor built in 1990. The lot immediately to the south is a one story masonry building used currently as a grocery store (P.C.C. Market) built in 1964. At the end of the block towards the south is parking for the market.

Directly across the street is the Hiawatha Playfield that is a "landmark landscape," one of the original Olmstead parks. It features half court basketball, community center, play area, public restrooms, tennis courts, water features, soccer field, baseball/softball field and track.

Across the alley from the project site, the block is zoned SF-5000, and it contains mostly single family houses dating from 1906 to 1996.

The block to the north of the project site area has a public school named Lafayette Elementary School and is zone as NC2-40, SF-5000. Right next to this school is a mixture of retail stores and bank (Bank of America.) Two lots at the middle of this block are zoned as L-3 used as apartment buildings.



The wide setback of the West Seattle Highschool and trees lining the sidewalk of the park, creates a sense of openness from the site.



4 feet concrete retaining wall separating the park from the sidewalk/ street.



Existing concrete sidewalk lined with trees that creates a pedestrian friendly environment.

**Neighborhood Context : Architecture**

The architectural elements for both the newer and the older buildings consist of having large storefront windows, canopy and large signage that emphasizes a strong retail presence on the ground floor. Most of the building facades have some classical influences such as pilasters, decorative cornices and wide parapets.

The main street (California Avenue SW) is lined with trees and concrete sidewalk on both sides, giving a pedestrian friendly environment.

The park opposite the site has a 4 feet concrete retaining wall that visually creates a sense of separation from the street level.

There are no distant views from the site, but due to the significant setback of the west seattle highschool and the park, there is a sense of openness.



Alternative Design #1



Alternative Design #2



Alternative Design #3

4. *Please describe the proponent's development objectives for this site, indicating types of desired uses, structure height (approx.), number of residential units (approx.), amount of commercial square footage (approx.), and number of parking stalls (approx). Please also include potential requests for departure from development standards.*

**Objectives**

The applicant proposes to construct a professional office building (primarily medical uses) of approximately 15,000 square feet. The building will be occupied by 4 or 5 tenants, including the applicant's dental practice.

It is essential to maximize available offstreet parking, although the site's small size imposes a practical limit of 9 or 10 spaces.

**Approximate Structure Height**

The zoning allows a 40' height, and the design intent is to use the full height and the extension of 4' feet (as the floor-to-floor height will be thirteen (13) feet or more provided for the commercial space at the street level.)

**Access and Parking**

The parking access will be from the alley and below grade, which allows the main entrance to be leveled with the sidewalk.

**Requested Development Departures :**

None

**Design alternatives:**

All alternatives feature a single-loaded parking aisle placed below the building, with access from the alley. The street level floor fronts the sidewalk, matching the sidewalk and planting strip configuration found on the rest of the block. That floor extends only a partial depth of the lot, in order to allow headroom at the parking garage access. The upper two floors extend from the street front to a point that maintains a 10' setback from the centerline of the alley (as required by Seattle Land Use Code).

All three alternatives maximize the use of glazing at the street and alley elevations, because building code requirements do not allow openings in the common property line walls. All three alternatives feature a canopy or awning at the sidewalk level.



Street Front - California Avenue



Street Front - Aerial View



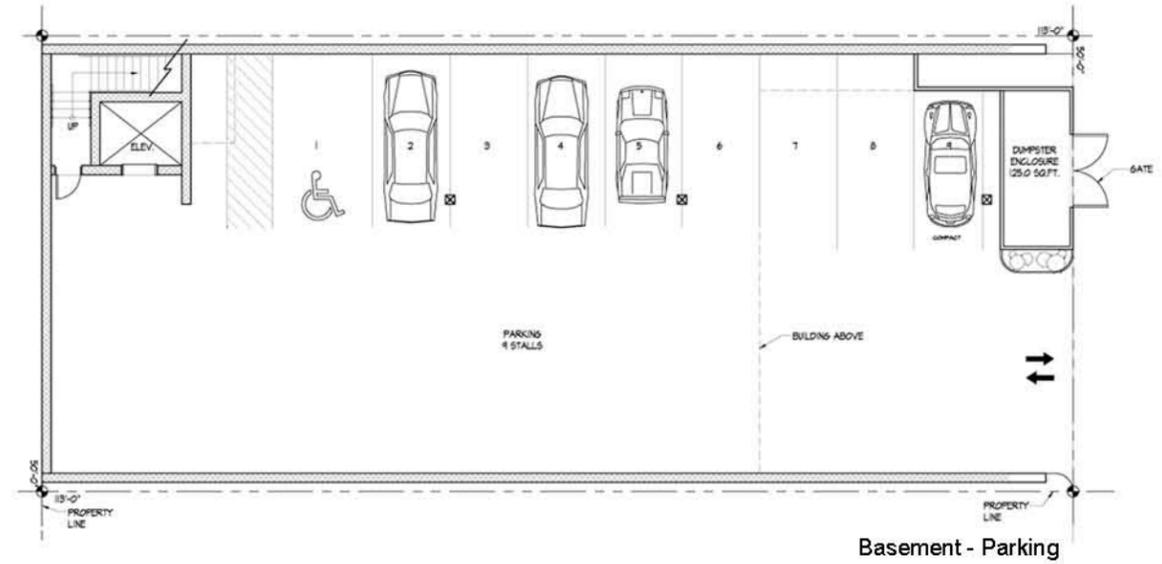
Alley

### Alternative #1

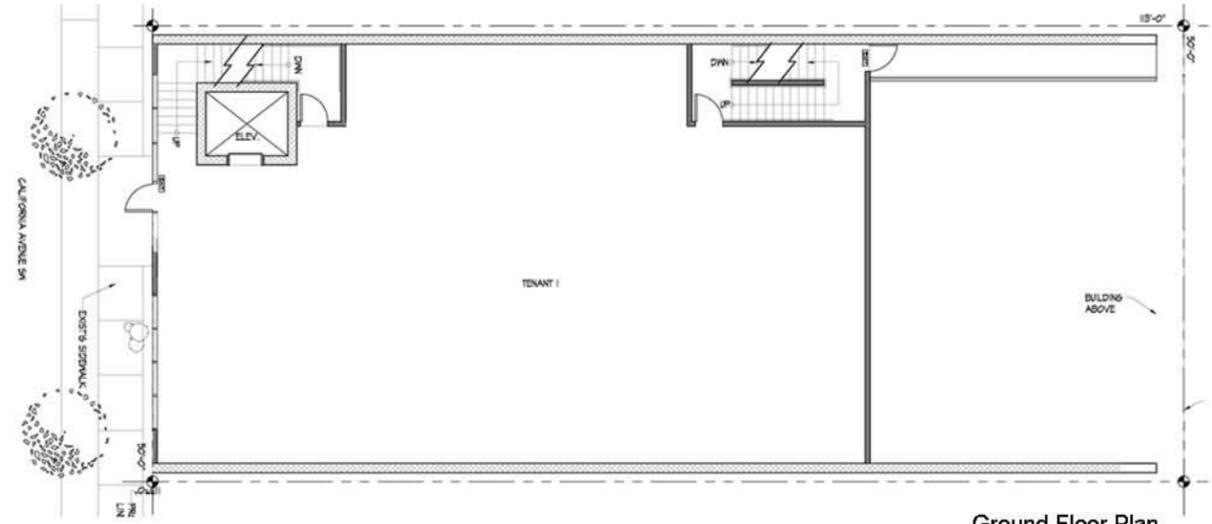
This alternative represents the simplest way to enclose the programmed square footage, within the most compact form. Canopies at the sidewalk carry the existing streetscape theme across the site, and a horizontal reveal or change in materials reduces the apparent height of the structure.

Pro: Very similar massing and proportions to other commercial structures in the area.

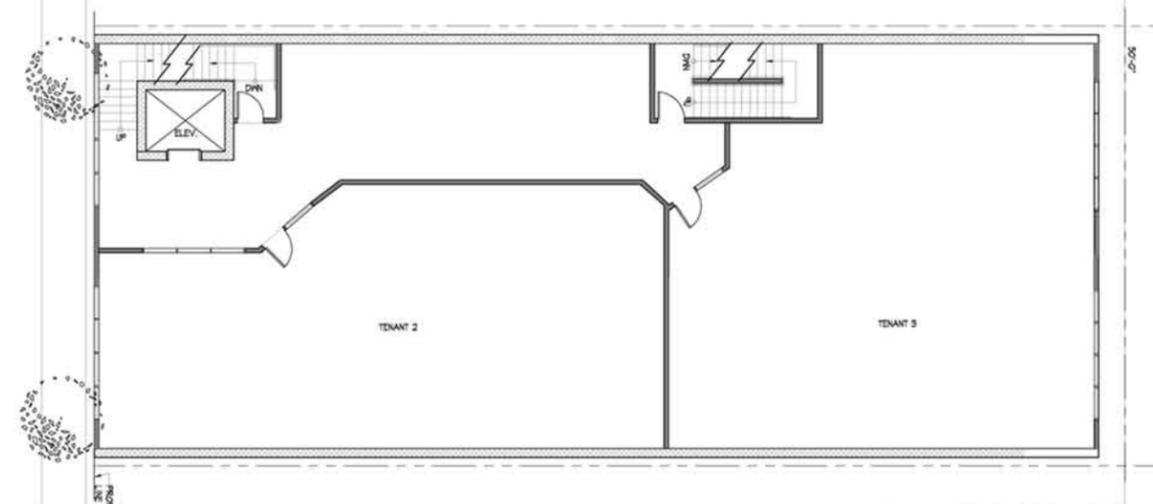
Con: Lacks residential form elements which would help create a transition to nearby residential uses.



Basement - Parking



Ground Floor Plan



Second / Third Floor Plan

## Design Alternative 1



Street Front - California Avenue



Street Front - Aerial View



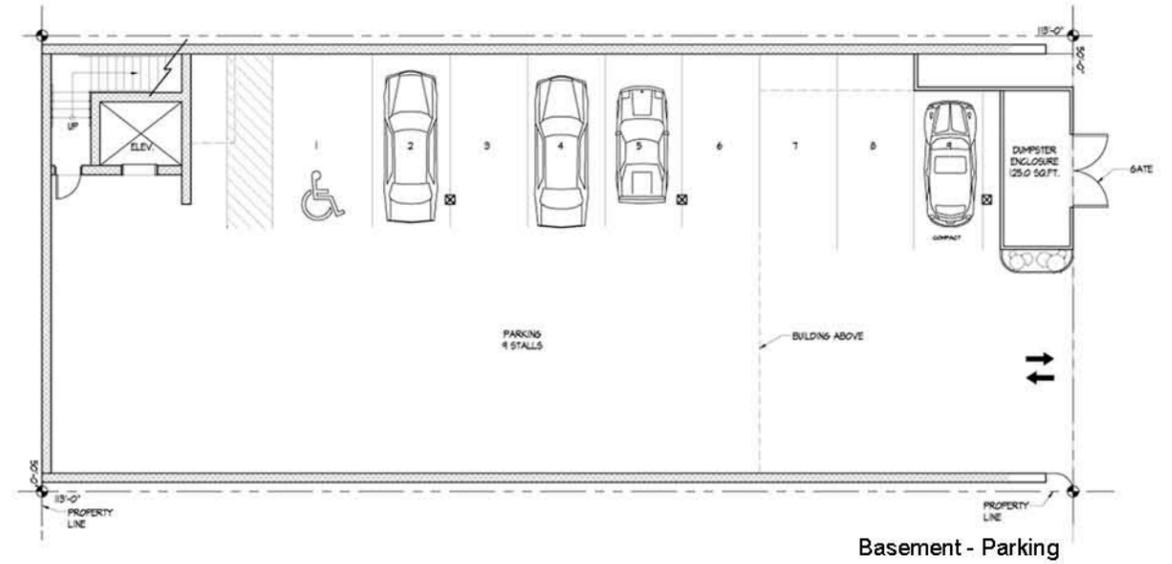
Alley

**Alternative #2**

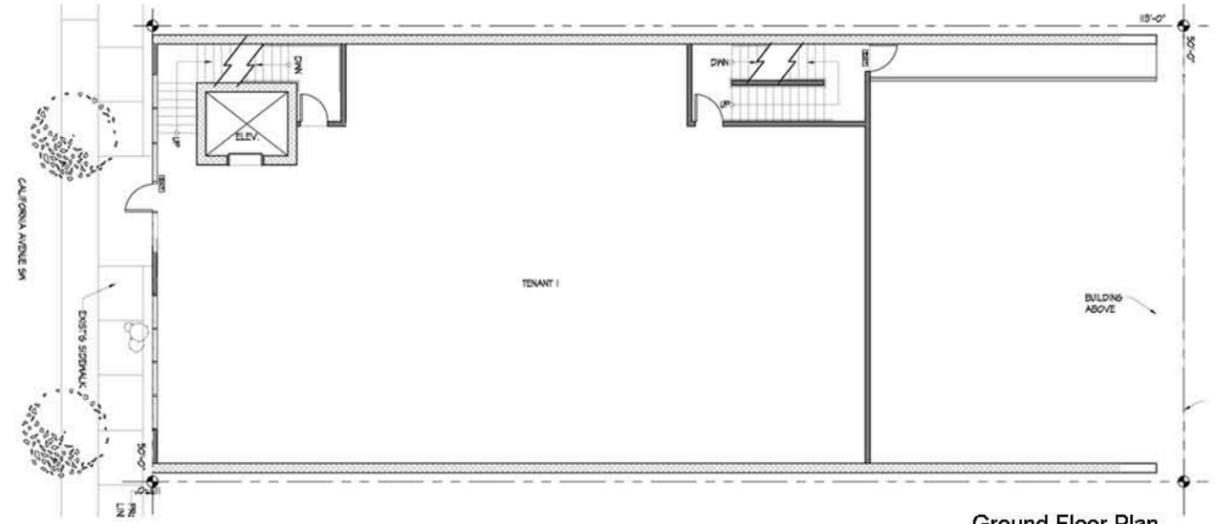
This alternative introduces a gable roof form, reminiscent of the adjoining building to the north and the single family homes across the alley to the West. As with alternative #1, pedestrian protection at the sidewalk level is provided.

Pro: Utilizes mix of residential and commercial forms, to reflect its location at a transition between zones.

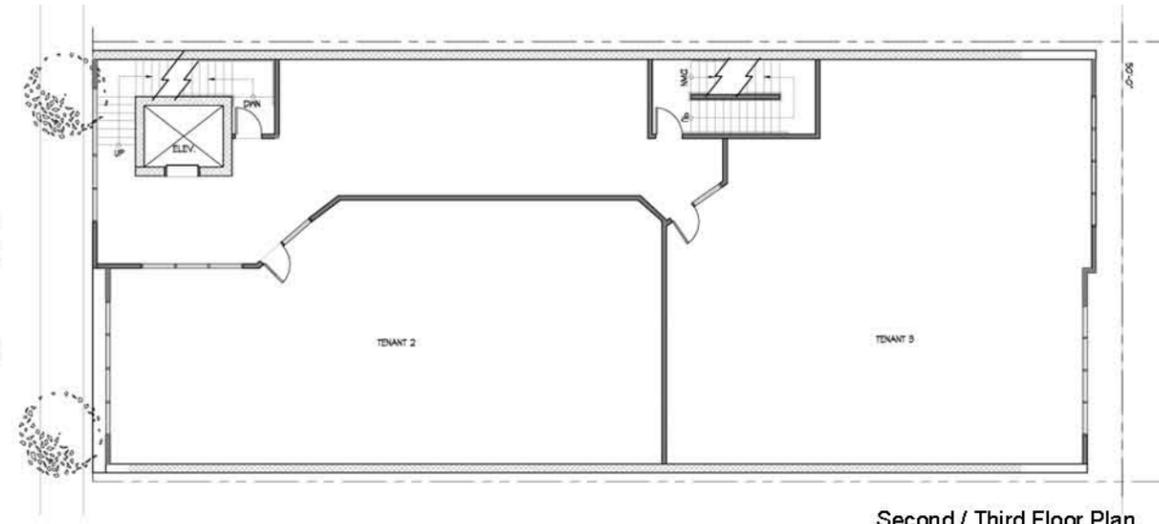
Con: Technical difficulties with fire code and roof drainage issues when placing pitched roof at property line wall. Actual height of building is taller than other alternatives.



Basement - Parking



Ground Floor Plan



Second / Third Floor Plan

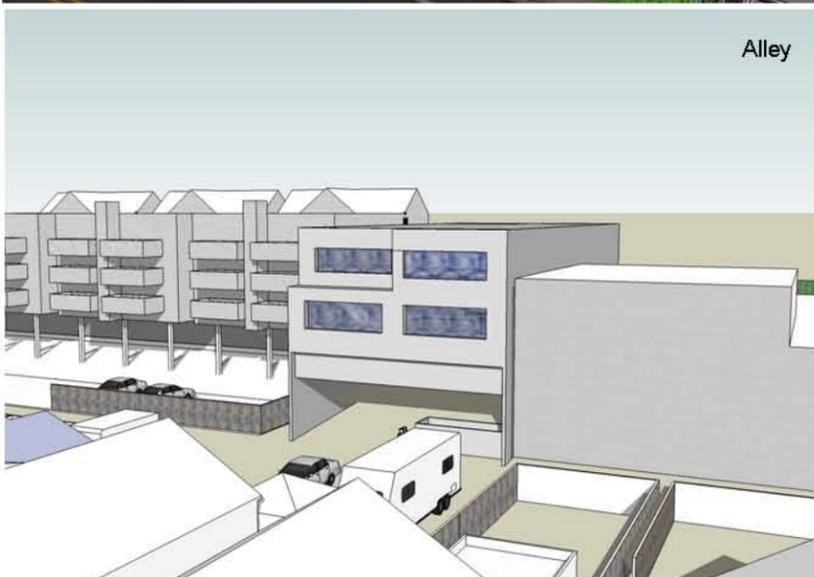
**Design Alternative 2**



Street Front - California Avenue



Street Front - Aerial View



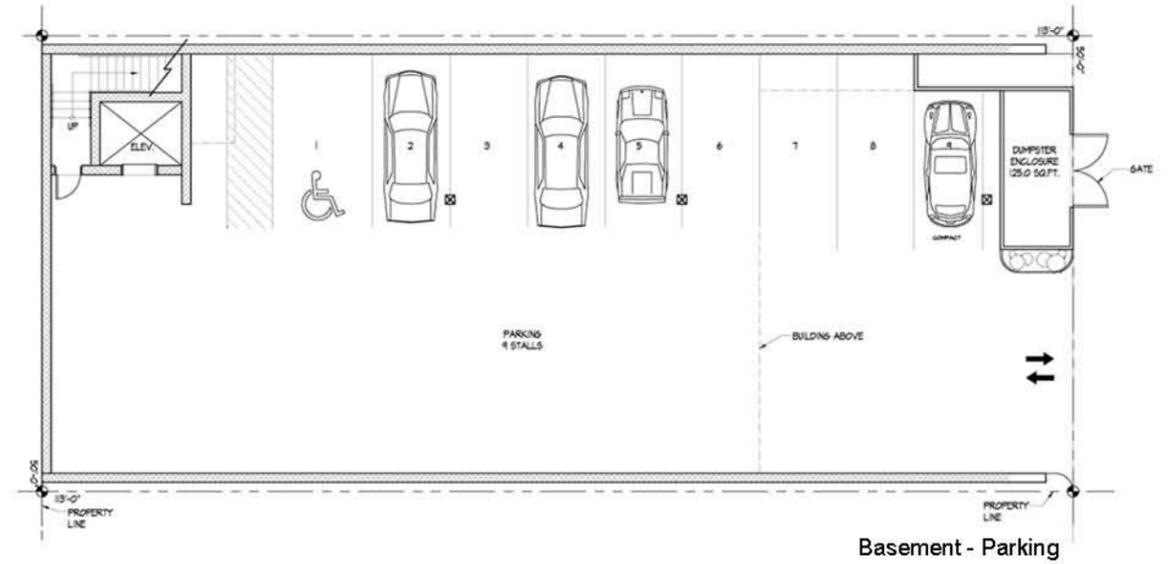
Alley

**Alternative #3**

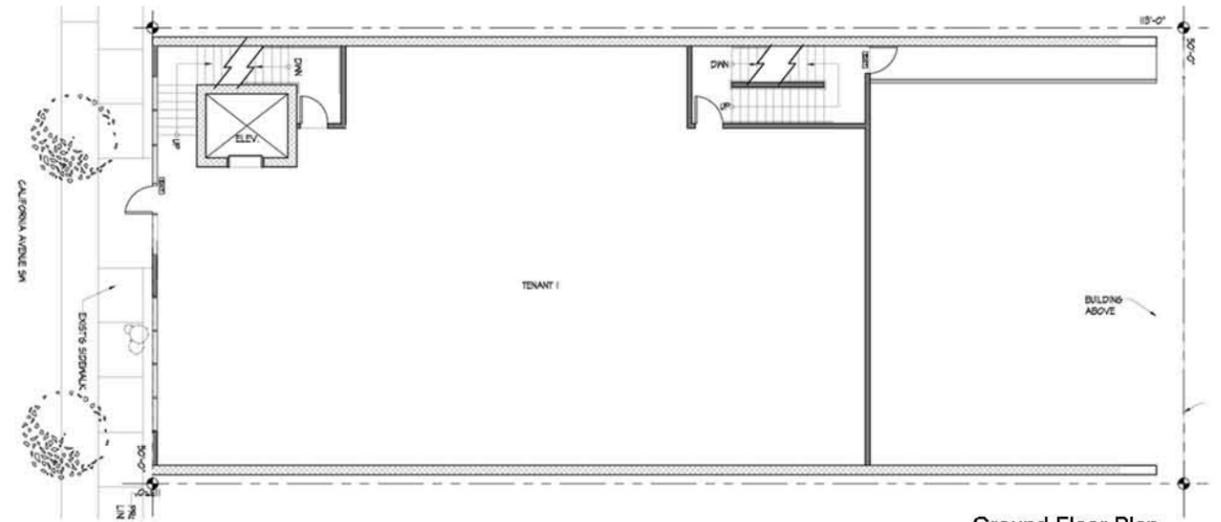
This alternative enhances the horizontal breaks in the facades by stepping back a portion of the upper floor, either for a balcony or a plant shelf.

Pro: Reduced perception of structure height

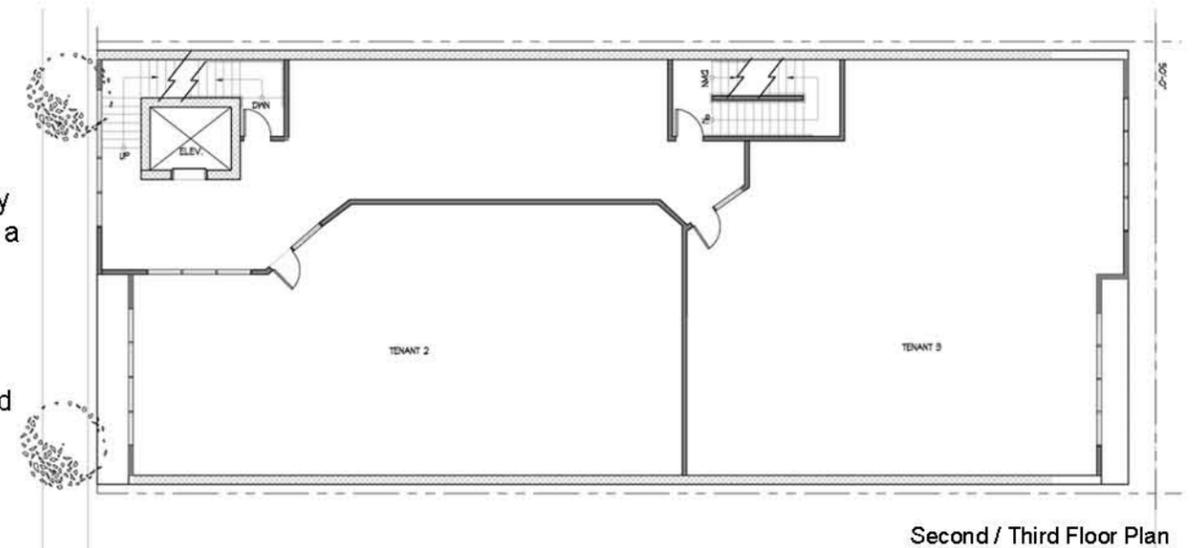
Con: A balcony at the alley elevation would reduce the perceived privacy of the single-family homes to the West.



Basement - Parking



Ground Floor Plan



Second / Third Floor Plan

**Design Alternative 3**