



19th & MERCER EARLY DESIGN GUIDANCE

JUNE 11th 2008



WEBER THOMPSON

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PROJECT SUMMARY

SITE CONTEXT:

This East Capitol Hill Neighborhood site is located at the heart of the Madison-Miller Residential Urban Village which is centered between Volunteer Park Neighborhood to the North and the Miller Community Center to the South.

The specific site is on the corner of 19th Ave E and Mercer Street. Local arterials are 10th Ave E and 23rd Ave E for the North-South and E Aloha Street and E John Street in the East-West direction. Primary vehicular access to the project site will be to the East from 19th Ave E.

The lot fronts 19th Ave to the East, Mercer Street to the South, a shared alley to the West and a shared property line with a two story residential home to the North. The site area is 19,420sf. The site slopes down approximately 17.5’ from the Southwest corner along Mercer St.

A three story multi-level building and parking lot currently exist on the property and will be removed.

Nearby amenities include Volunteer Park, Seattle Arboretum and Pendleton Miller Playfield.

This block is one of the few punctuating 19th Ave zoned as Commercial. Various junctions along the street have been seen as activity generators to support and strengthen the local communities within the Urban Village. A number of retail frontages already successfully animate the corner of Mercer and 19th Ave with the presence of the Kingfish Café and Monsoon restaurant. The Grand Illusion Theatre also contributed to the dynamics of the neighborhood before it was regrouped with the Northwest Film Forum to a new location.

The building will be four stories (three stories of Type 5 residential over a pedestrian oriented Type 1 retail on 19th Ave and 4 stories of residential on the alley). The emphasis will be put on the human scale and the curb appeal of the retail to mirror the activity already enlivening the opposite side of the street. The upper stories will be oriented to the East and to the South to take maximum advantage of the potential views and focus on the corner of the site to improve the visibility of the building.

ZONING, HEIGHT LIMITS, TOPOGRAPHY, VIEW CORRIDORS:

The project site is in the Madison-Miller Residential Urban Village and zoned NC1-40. This zoning also covers the sites to the North and South of the project property along 19th Ave and across the street to the East. The neighborhood to the West (across the alley) is zoned in SF 5000 Residential.

Apart from the building across the street which is a three story structure with ground floor retail, the immediate neighboring properties comprise only single family housing. The site is located on the East slope of Capitol Hill which slopes toward Lake Washington providing open views of the Cascade Mountains and Mount Rainier beyond.

PROPOSED CONCEPT DESIGN:

The current design is oriented to the corner, emphasizing the visibility and maximizing the views. The massing of the building mirrors the existing three story brick building on the East side of 19th Ave but makes the most of the zoning height allowance to provide views from the upper floors and the public roof deck above.

At ground floor level the new retail spaces are also sympathetic to the existing active frontage along the East side of 19th Ave and strengthen the idea of the urban village.

The West Elevation approaches the alley in a similar fashion to townhomes. The fenced courtyard and direct access relate the units to the residential properties which share the alley. The site continues to slope up to 18th Avenue (to the west.) Because of the existing topography, the roof height of the proposed structure at the alley is compatible with the single family homes to the west of the alley.

All corridors are single loaded and wrapped around a courtyard. Privacies have been protected and most units get cross lighting and natural ventilation.

The Northern elevation has voluntarily been designed as a blind façade in agreement with the zoning map and the potential of a future development with zero setback at the property line.

The building proposes contrasting uses of materials and shade. It aims at breaking the scale of the street frontage to an alternating series of opaque planes with vast expanses of glass. The result is a coherent architecture with individual responses to the mixed-uses.



FEASIBILITY REPORT:

607 19th Ave E - Seattle, Washington
MFC
WT Job #: 07-104
February 06, 2008

SITE CHARACTERISTICS:

ADDRESS:	Corner property: 607 19th Ave E @ Mercer Street
SITE AREA:	19,420 gsf
PARCEL NUMBER:	4232400240
CONTEXT DESCRIPTION:	This Seattle, Washington site is in the East Capitol Hill Neighborhood between Volunteer Park Neighborhood to the north and the Miller Community Center to the south. The site is situated at the crux of the Madison-Miller Residential Urban Village.
SPECIFIC SITE ORIENTATION:	This corner property faces 19th Ave E on the East and East Mercer ST on the South. An alley exists on the west side of the property. A common property line exists on the north side of the site.
POTENTIAL VIEWS:	East views of Lake Washington and the Cascades could be possible as well as Mount Rainer to the south.
SPECIFIC SITE TOPOGRAPHY:	From DPD GIS website maps. The site slopes down about 12’ from west to east along Mercer St from the alley to the corner and mostly level along the length of the site at 19th Ave E.
EXISTING LAND USE:	Apartment building retail and accessory parking lots

SUMMARY OF THE SEATTLE LAND USE

ZONING DESIGNATION:	NC 1-40
ZONING OVERLAY:	Madison-Miller Residential Urban Village

PERMITTED USES:

23.47A.004
Uses Permitted outright:
Residential, caretaker’s quarters, transit facilities
Institutional, religious, library, communication utilities
Elementary school, secondary school,
Live-Work Units, (a commercial use).
No limitations for Parks & Open Space
Uses Permitted up to 10,000 sqft:
Drinking establishments
Restaurants & Lounges,
Entertainment, all except adult
Retail sales and services
Animal Shelters & Kennels, Agricultural, horticulture, aquacul-
ture
Offices, Institutions not listed above
Medical services, laboratories,
Food Processing & Craft Work,
Utilities, services

STREET LEVEL USES:

23.47A.005
In buildings with residential use, parking, warehouses, util-
ity uses may not be located on the street level and face the
street. Another permitted use must separate the parking from
the street facade. Residential use at the street level is limited
to 20% of the facade width in the NC1-40’ zone.

CONDITIONAL USES:

23.47A.006
None anticipated for this Report.

STREET LEVEL STANDARDS:

23.47A.008
Blank, street-facing, street-level facades from 2’ to 8’ above
the sidewalk may not exceed 20’ width and the total may not
exceed 40% of the width of the street face. Blank facades are
without windows, doors, stairs, stoops, decks, screening or
landscaping. Street-facing facades must be located within 10’
of the front property line unless wider sidewalks, plazas or
open space is provided.
For commercial uses, 60% of the street-facing street-level
facades from 2’ to 8’ above the sidewalk shall be transparent
— (including live-work display areas of 30” depth)
Commercial depth: 30’ average (15’ minimum).
Ground floor commercial floor to floor height: 13’ min.
Residential uses are limited to 20% of the street facade width
and contain a pedestrian-oriented entry that is either recessed
10’ back from or raised 4’ above the sidewalk.
Live-work units must have the business portion located between
the principal street and the residential portion of the unit.



MAXIMUM SIZE OF
NON-RESIDENTIAL USE:

23.47A.010
10,000 sq ft

STRUCTURE HEIGHT:

23.47A.012:
Maximum height is 40’ (NC 1-40) to top of roofing from the existing grade at the property line; plus a slope bonus of 1’ height per 6% slope (up to 5’) can be added to the low side of the structure. A pitched roof can also be extended 5’ above the maximum height if the pitch is a minimum of 3:12.

ROOFTOP FEATURE:

23.49.008D
• Open railings, planters, skylights, clerestories, greenhouses, parapets, and firewalls can extend up to 5’ above the height limit or up to 4’ above the maximum height limit with unlimited roof coverage.
• Solar collectors can extend up to 7’ above the height limit with unlimited coverage.
• Solar collectors, stair & elevator penthouses, mechanical equipment, play equipment, minor communication devices can extend up to 15’ above the maximum height limit with maximum 20% roof area coverage or 25% with stair or elevator penthouse or screened mechanical equipment.
• Additional 4’ of building height is allowable if the following conditions are met
• 13’ floor to floor ht provided for street level non residential use
• Additional height will not allow an additional story beyond applicable zoning height

FLOOR AREA RATIO - F.A.R.:

23.47A.013
• Maximum of 3.25 for zones with a 40’ height limit for mixed-use structures
The allowable maximum FAR for each zone applies to split-zoned lots. Below-grade areas are exempt from contribution to the FAR limit. Above-grade parking contributes to the FAR limit.

ALLOWABLE FAR RATIOS

CAPITOL HILL 19,420 x 3.25 = 63,115sf

BUILDING SETBACKS:

23.47A.014
2ft alley widening along western property line; (building code setbacks apply)
For a structure with more than one dwelling unit, a setback is required along any rear lot line that abuts a lot in a residential zone or that is across an alley from a lot in a residential zone,

as follows: Fifteen (15) feet for portions of structures above thirteen (13) feet in height to a maximum of forty (40) feet
Half of the alley width may be counted as part of the required setback.
The setback requirements do not limit underground structures.

LANDSCAPING & SCREENING:

23.47A.016
A minimum total green area factor score of 0.3 is required and is defined as the sum of the products of the area of landscape elements from Chart A times their multiplier – all divided by the site area.
Street trees are required and will be defined by the director and the SDOT.
Screening and landscaping is required at blank street level facades, parking garages, drive-in lanes, trash areas, and utility meters.

RESIDENTIAL AMENITIES:

23.47A.024
A minimum of 5% of the gross residential area is required for amenity areas. All residents must have access. They may not be enclosed. Parking areas, driveways, & non-accessible access areas are excluded. Common areas must be 10’ minimum dimension and 250 sf minimum area. Balconies & decks must have a 6’ minimum dimension & 60 sf minimum. Rooftop areas are allowed except near to antennas.

REQUIRED PARKING:

23.54.015
• No zoning parking requirement for sites in Urban Village overlay sites.

Long term bicycle parking is to be provided per 23.54.015.
Chart E
• Commercial uses – 1 stall / 12,000 sf
• Eating & drinking – 1 stall / 12,000 sf
• Lodging – 1 stall / 20 rooms
• Entertainment – 1 stall / 12,000 sf
• Office – 1 stall / 4,000 sf
• Medical service – 1 stall / 12,000 sf
• Child Care, Clubs, Library – 1 stall / 4,000 sf
• Multifamily Residential – 1 stall / 4 units

PARKING ACCESS:

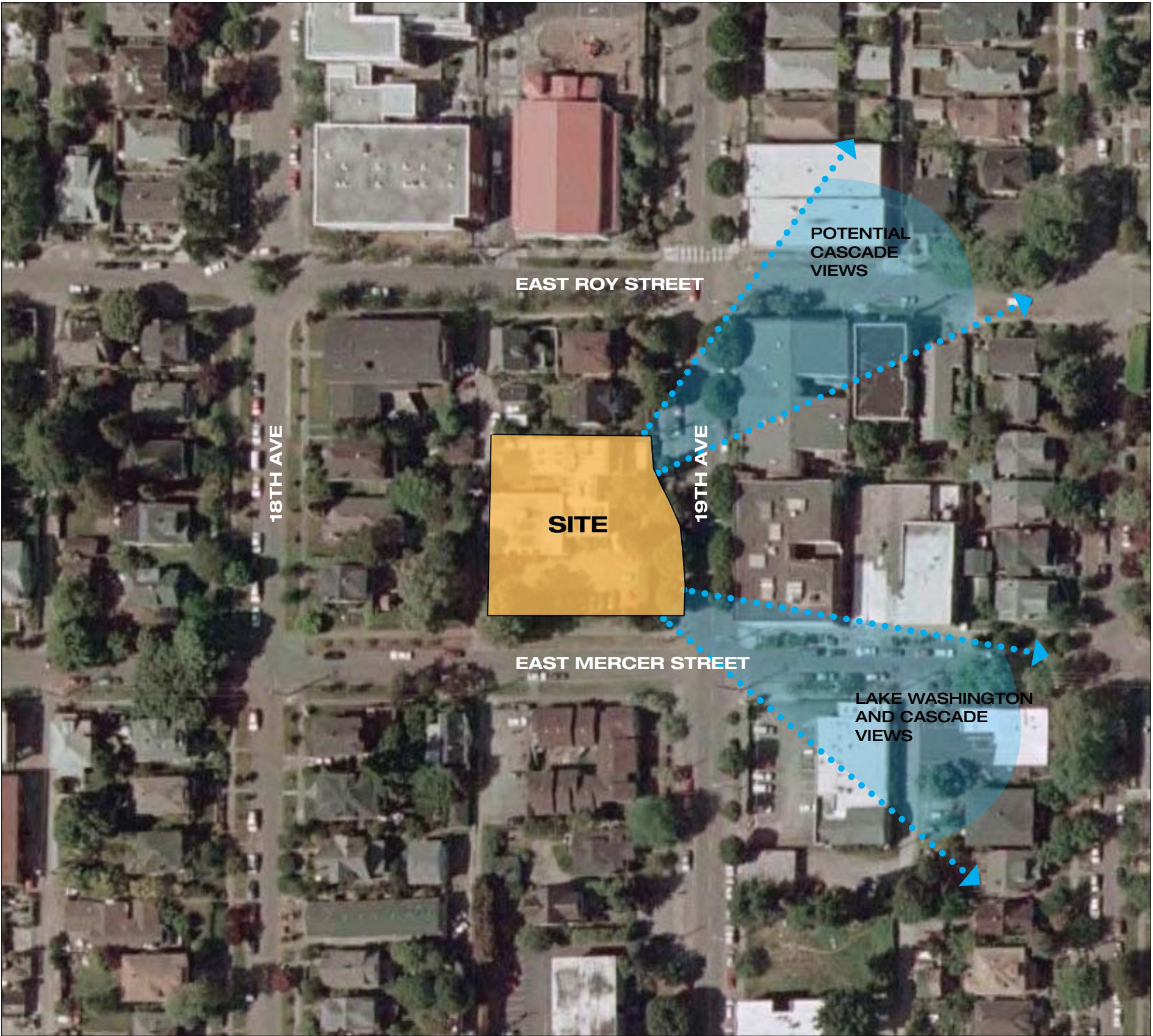
23.47A.032
Access to all parking must be from the alley if the lot abuts an alley improved to the standards of section 2353030C.

PARKING SPACE STANDARDS: 23.54.030

Large stall: 8.5' wide x 19' long
Medium stall: 8' wide x 16' long
Small stall: 7.5' wide x 15' long
Barrier free: 13' wide x 19' long
Barrier free van: 16' wide x 19' long
Residential parking: 60% must be medium stalls & 40% either small or large stalls;
Non-Residential parking: 25% to 65% may be small stalls & a minimum of 35% must be large stalls; with a 6'-9" clearance.
Driveways: 22' to 25' wide
Aisles: 20' for small to 22' for medium to 24' wide for large stalls
Curb-cuts: 22' to 25' wide (30' with truck access);
6'-9" clear height; a 30" flare is allowed on either side
Sight triangle: may be combined with adjacent property driveway sight triangle
Loading Berths:
10' wide x 14' clear height x 35' long



Vicinity Zoning Map



OPPORTUNITIES

- A Access to public transportation — bus stop is one half block to the south on 19th Avenue.
- B Designated bike lanes on 19th Avenue.
- C Walking distance to restaurants, retail, coffee shops, schools and places of worship.
- D Variety of scale, architectural expression and building type in the surrounding neighborhood.

CONSTRAINTS

- E Challenges with grade and locating access to sub-grade parking.
- F Mercer Street dead-ends one block to the west.





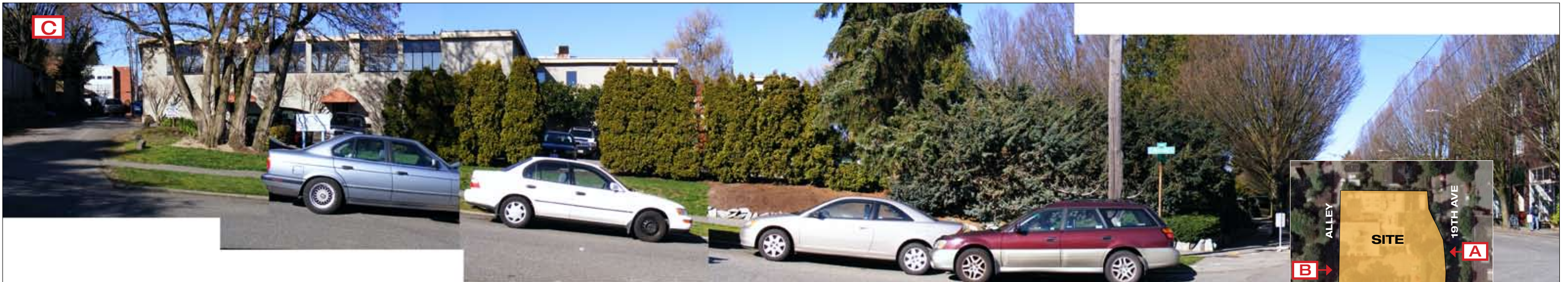
19TH AVE

SITE



ALLEY

SITE



EAST MERCER STREET

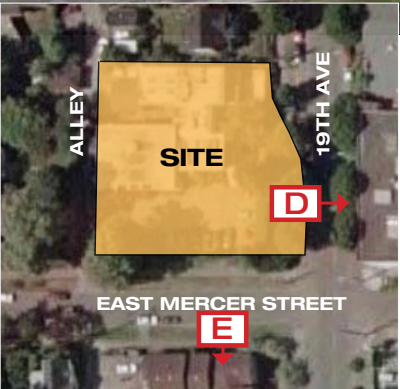
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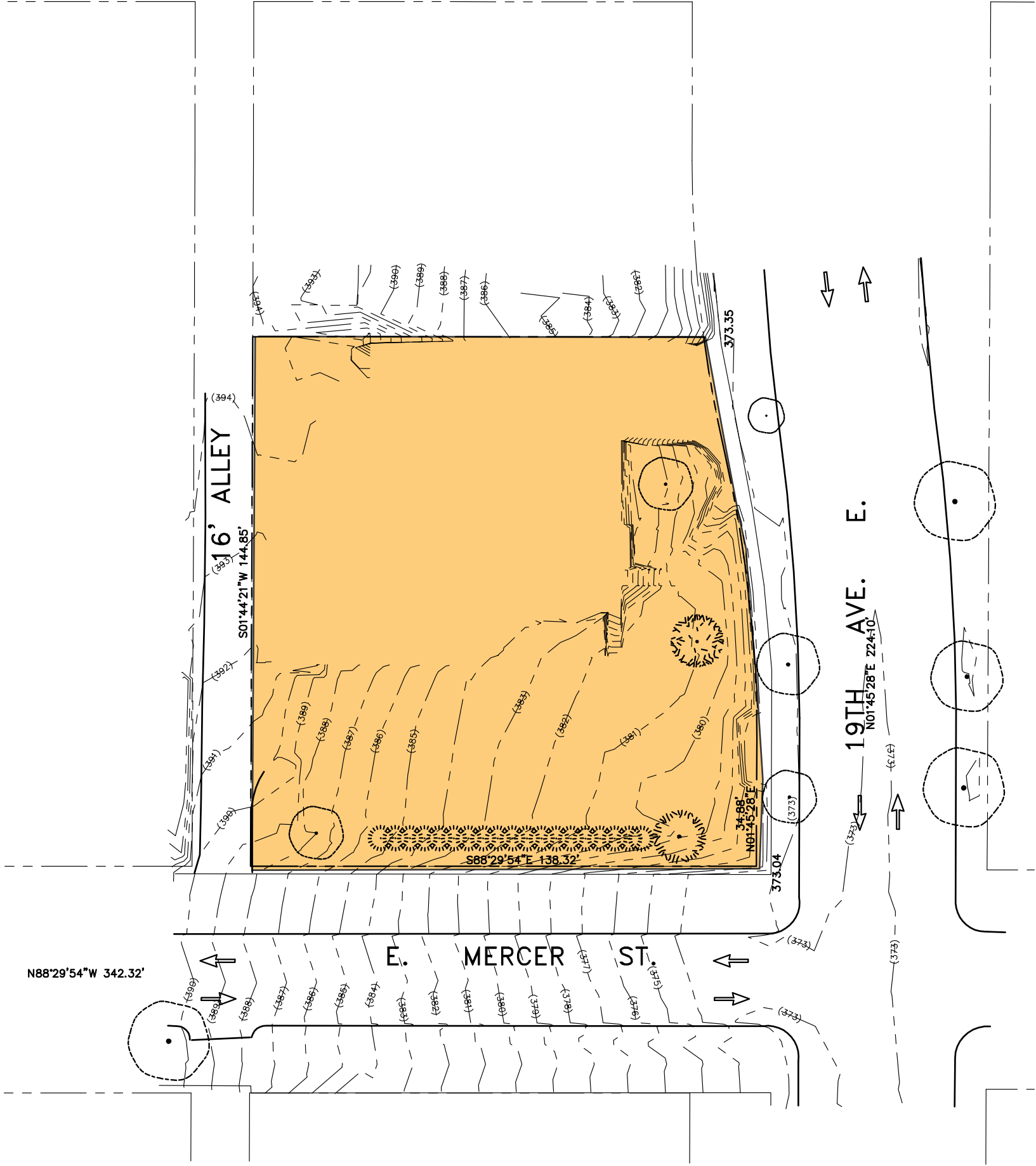


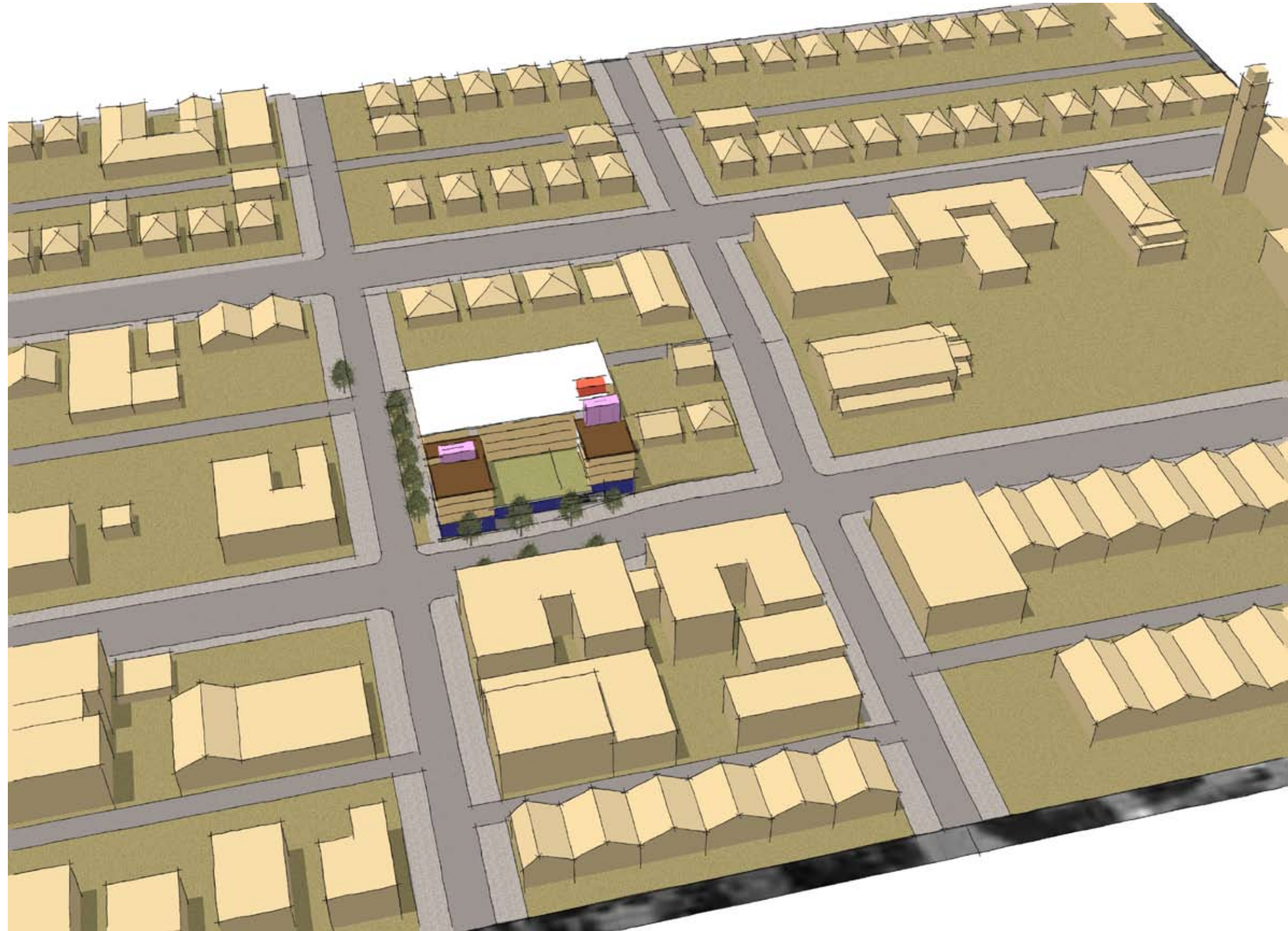
19TH AVE ACROSS THE STREET



MERCER ACROSS THE STREET

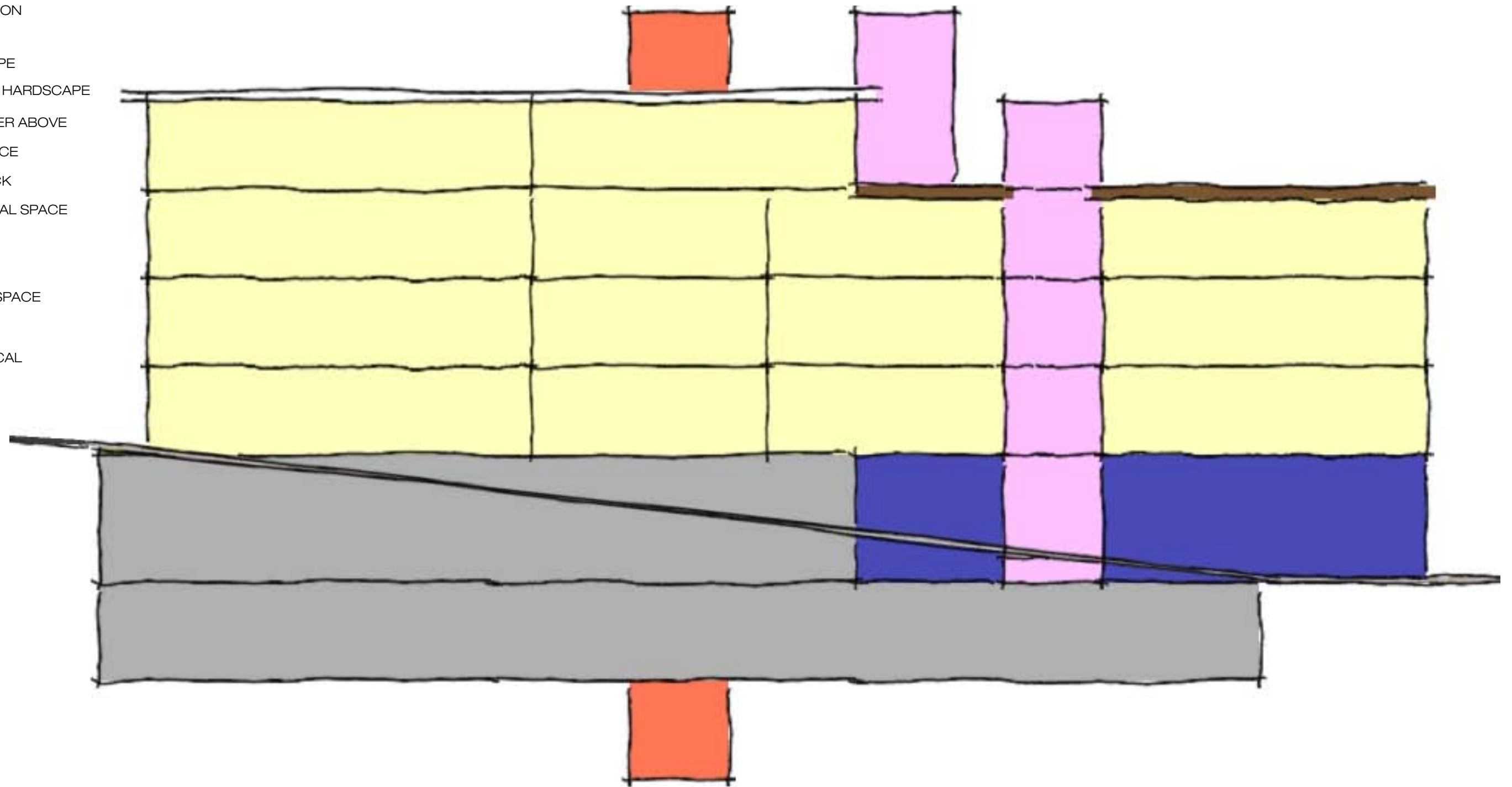


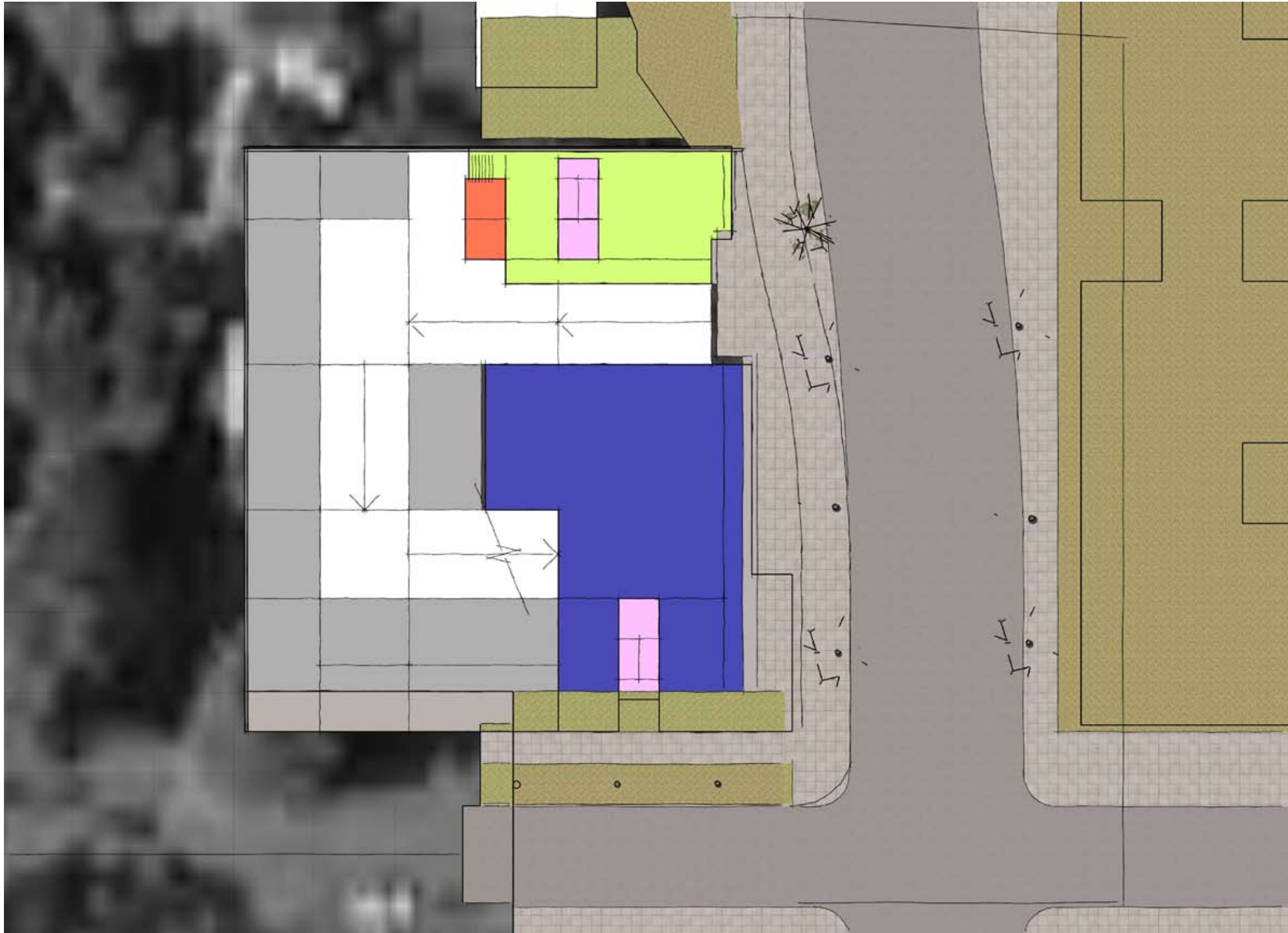




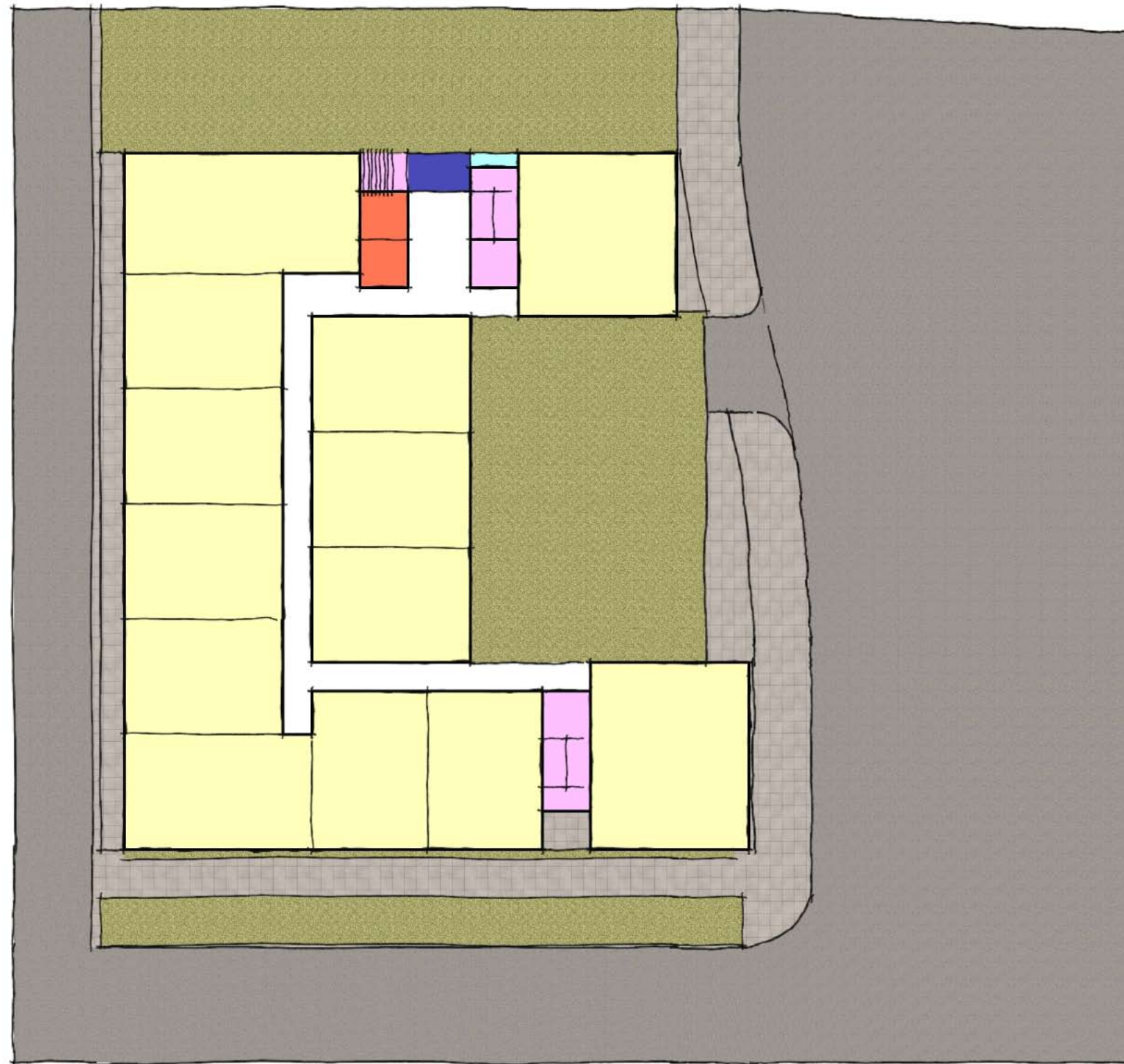


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- PARKING
- HARDSCAPE
- ELEVATED HARDSCAPE
- CANTILEVER ABOVE
- OPEN SPACE
- ROOF DECK
- RESIDENTIAL SPACE
- LOFT
- SERVICE
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- STORAGE
- MECHANICAL
- STAIR
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- RETAIL

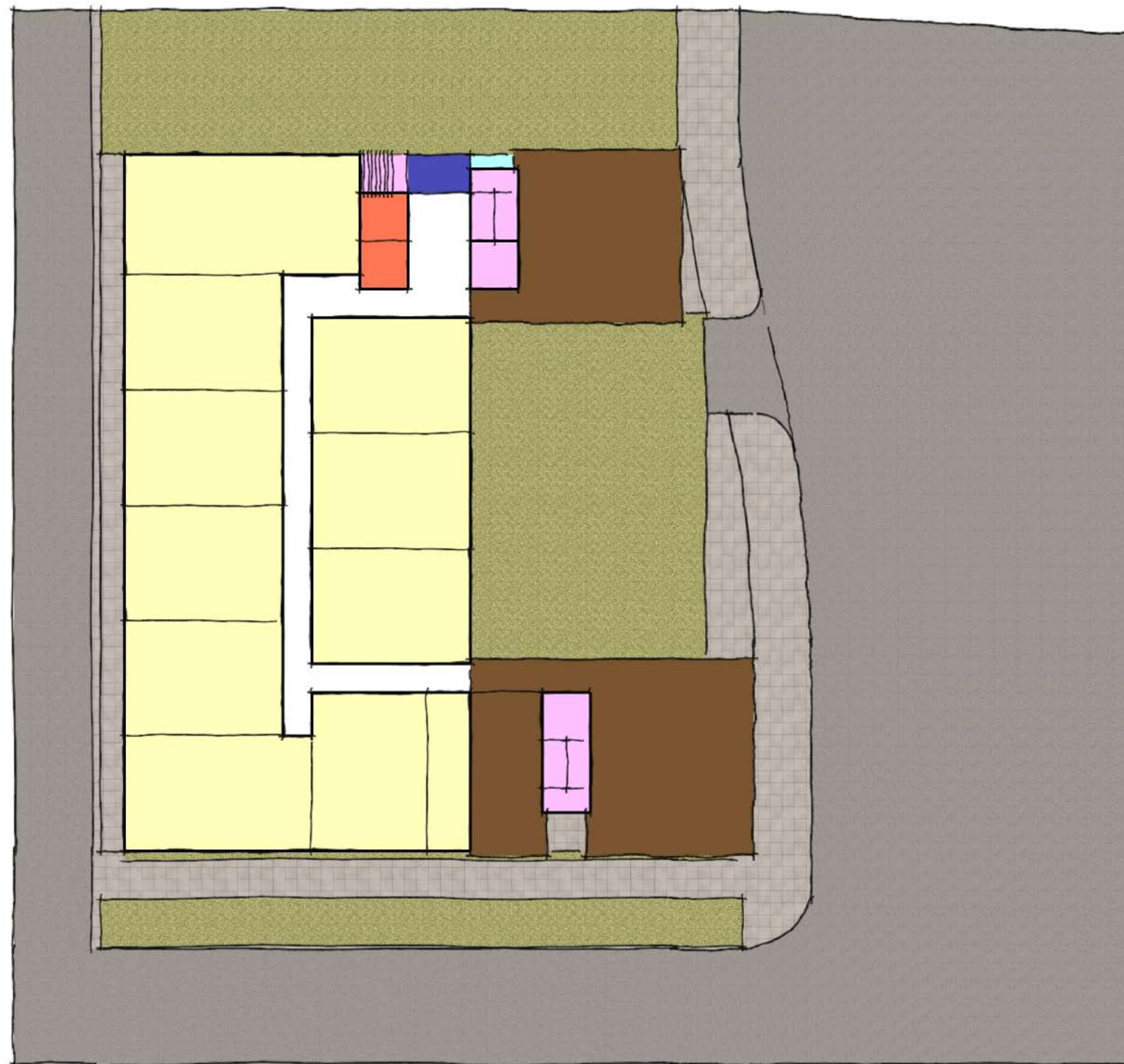




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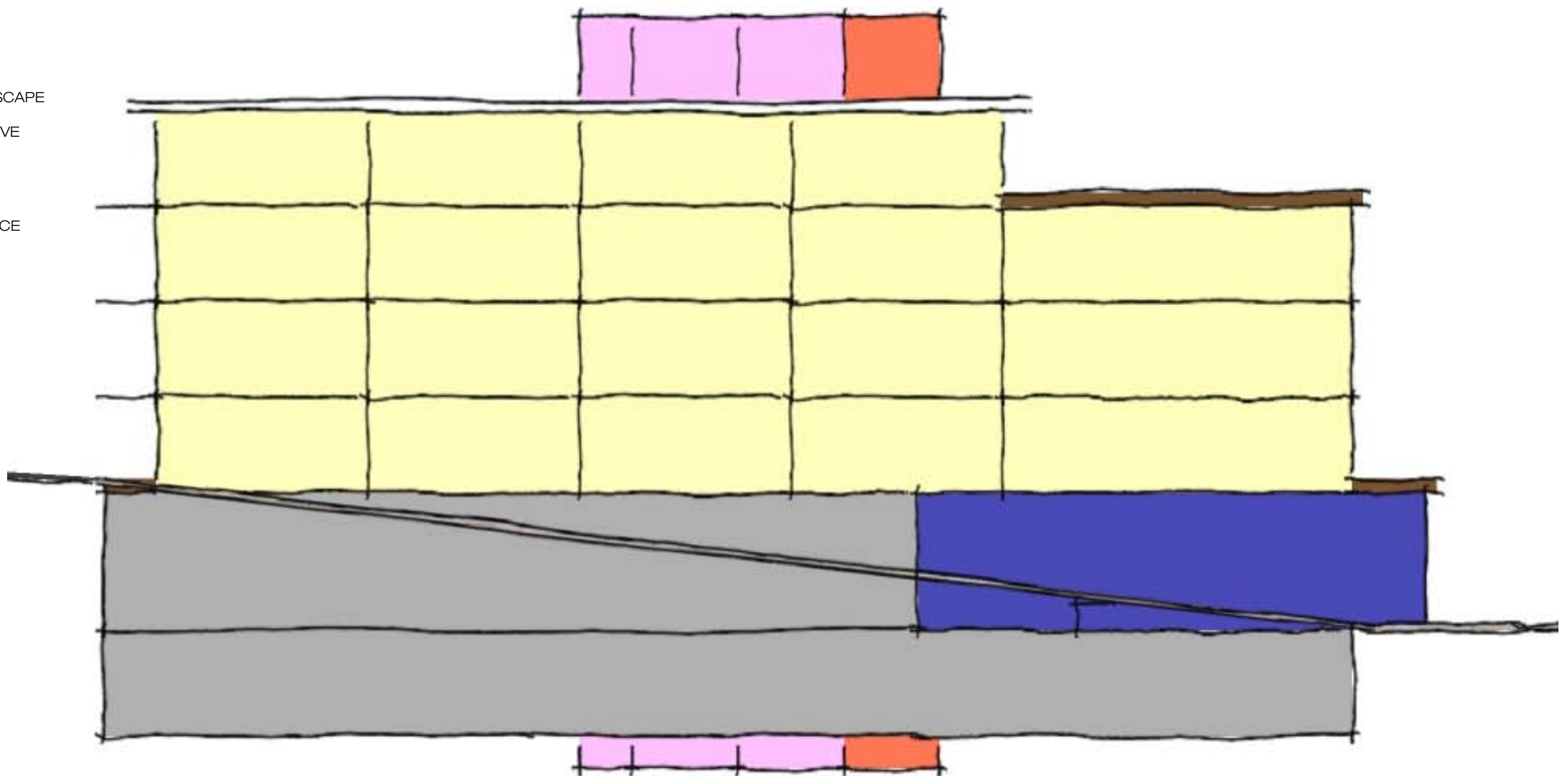
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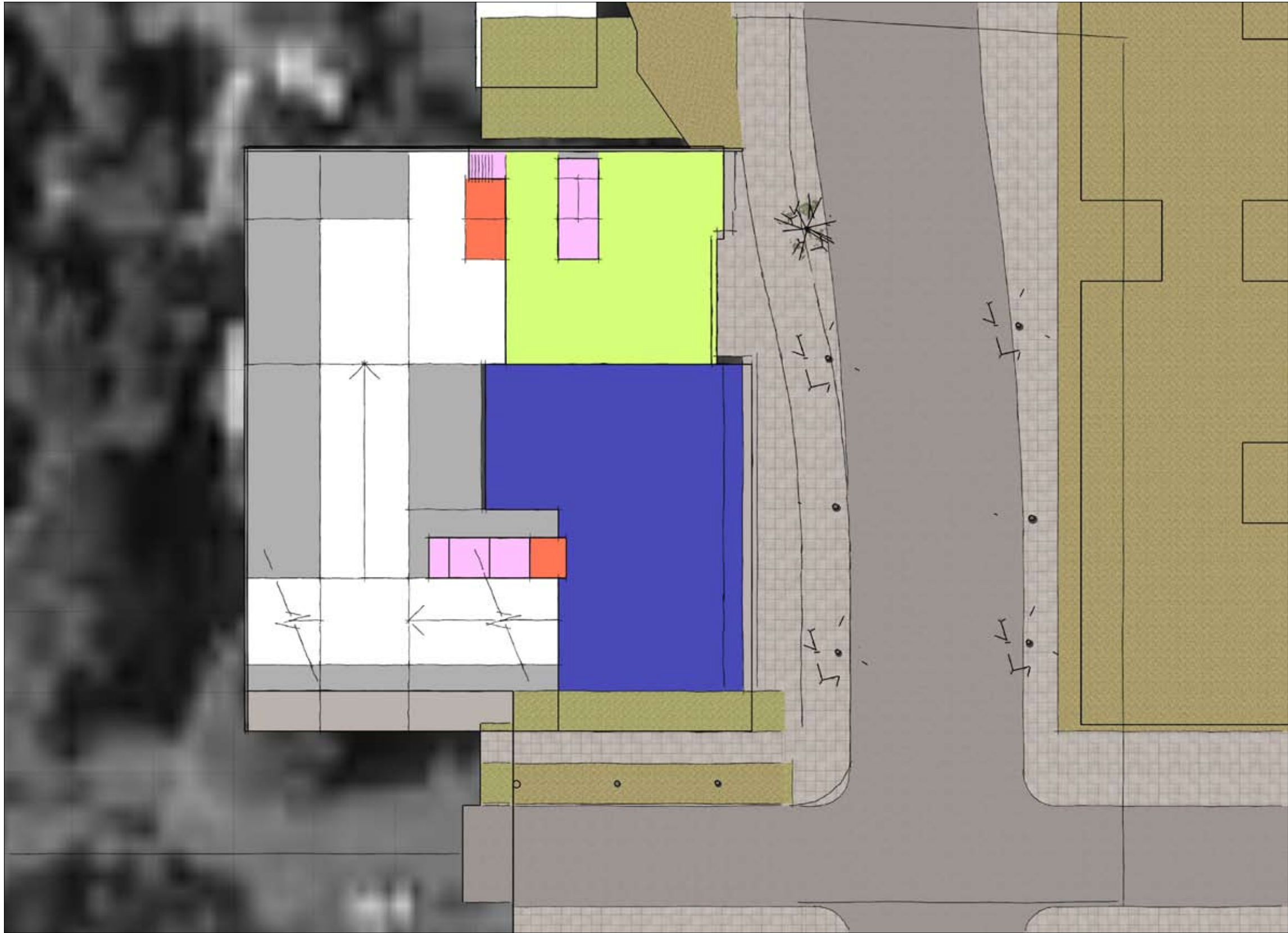




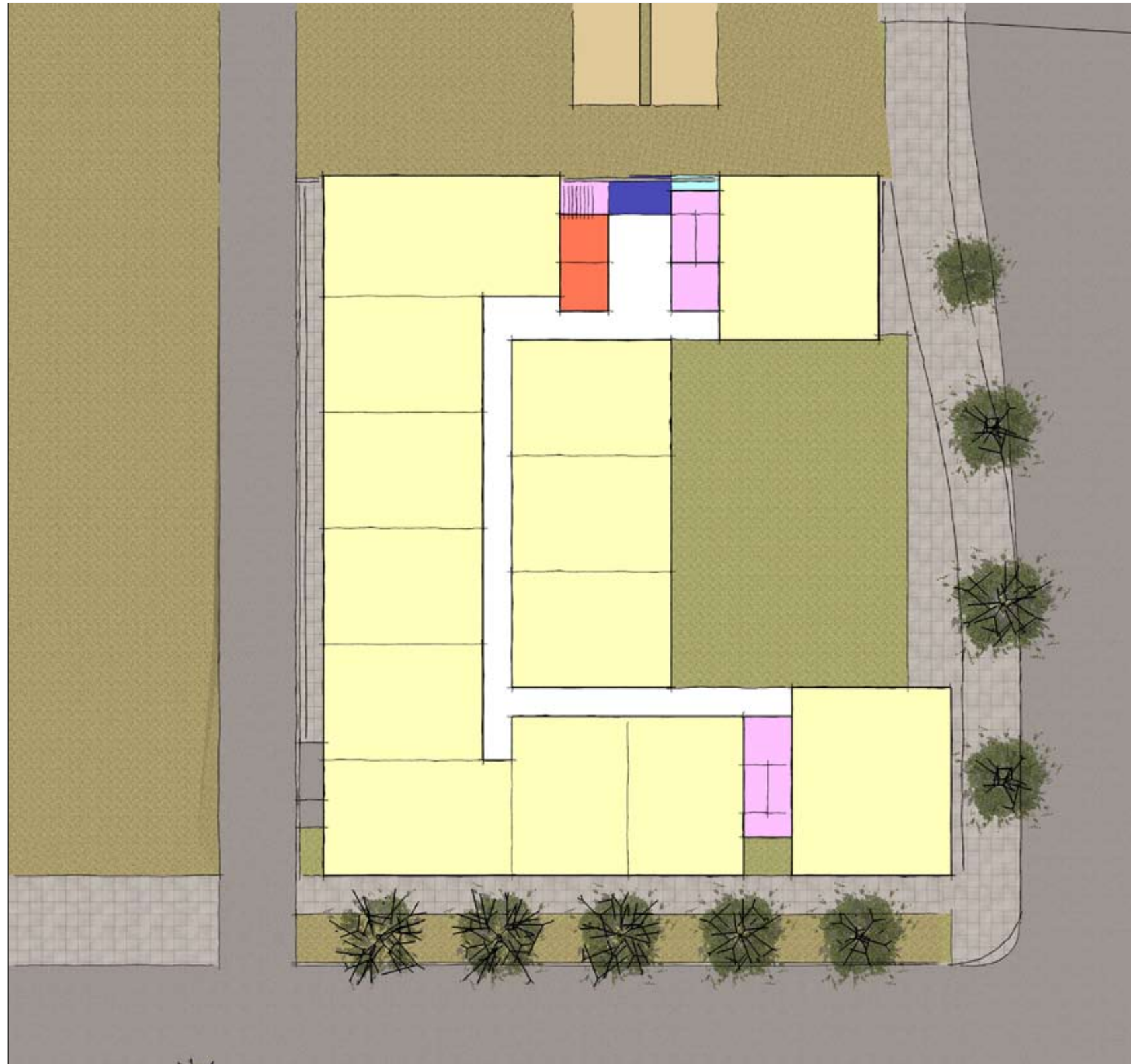


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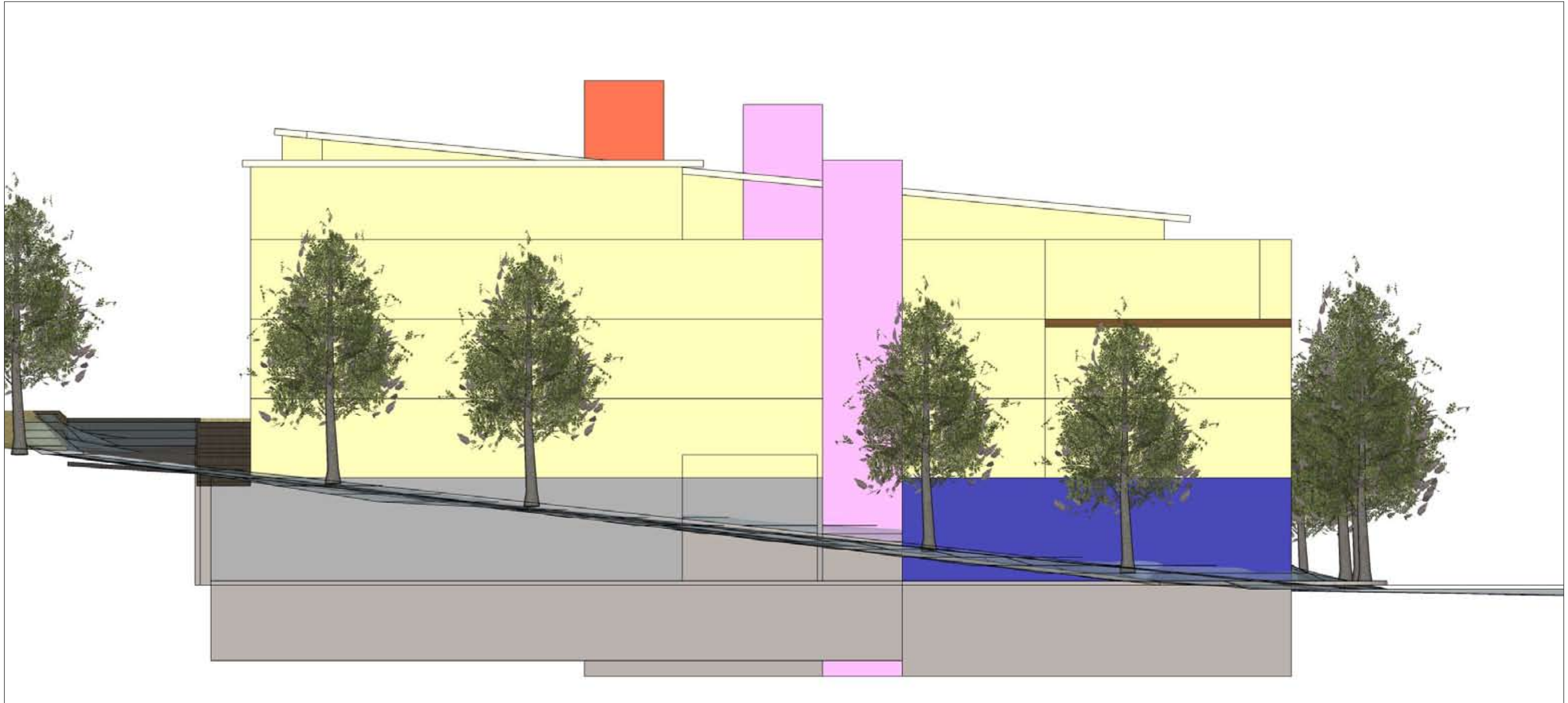


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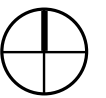
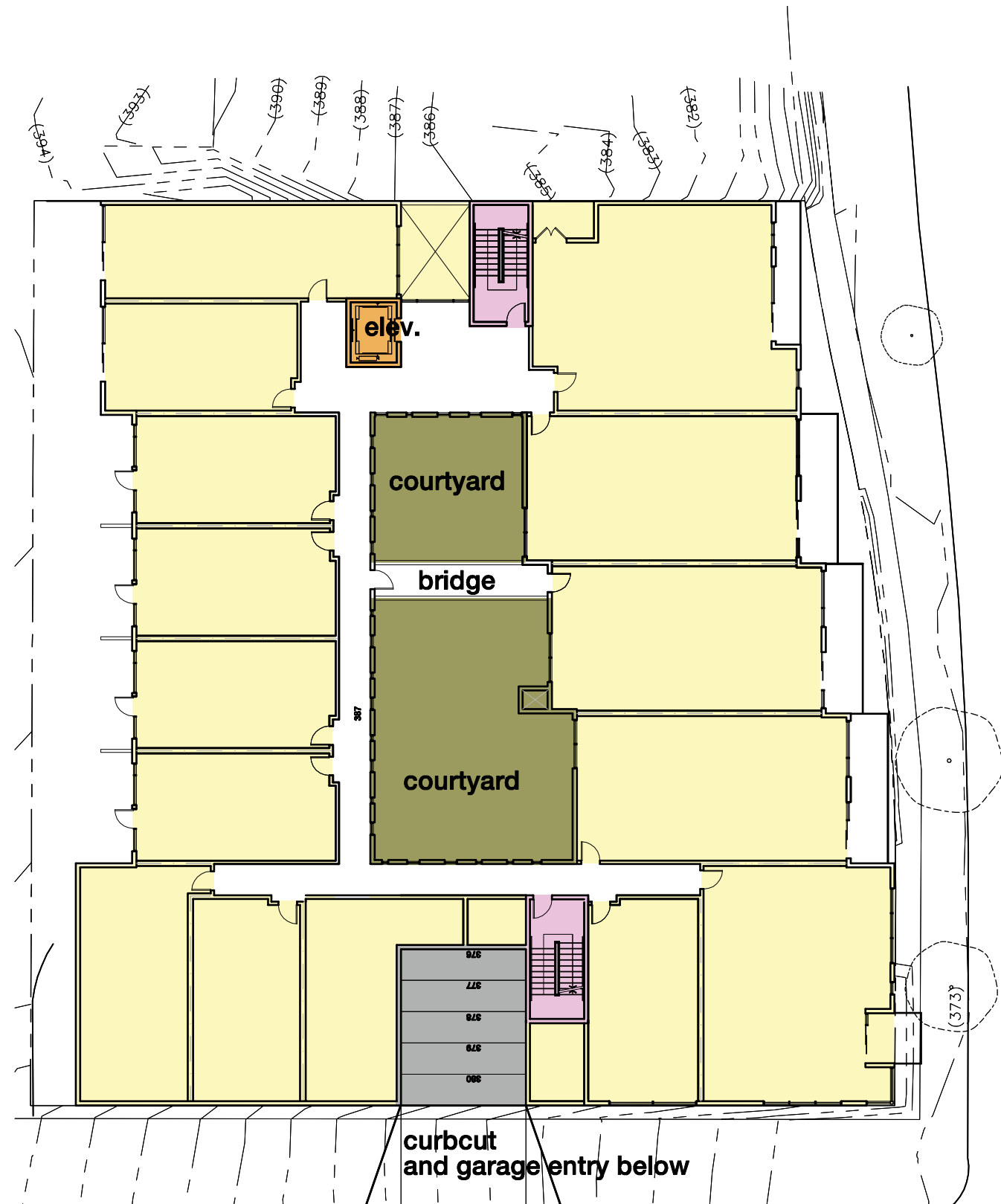




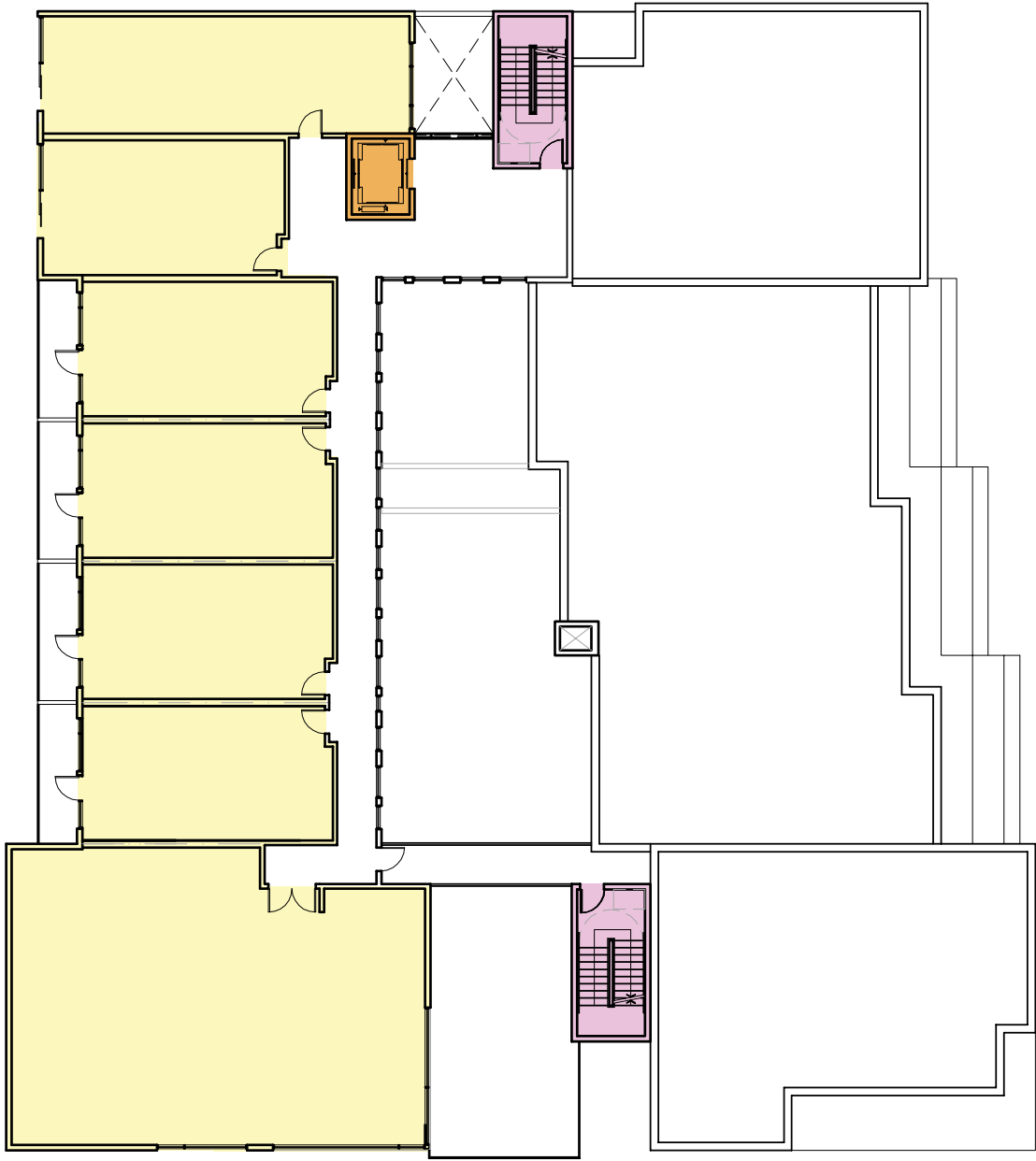
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19TH + MERCER — CORNER CONCEPT



19TH ELEVATION CONCEPT



VIEW OF SIDEWALK RETAIL AT 19TH





A. SITE PLANNING + MASSING

- A-4 Human Activity
- A-6 Transition Between Residence and Street
- A-7 Residential Open Space
- A-9 Location of Parking on Commercial Street Fronts
- A-10 Corner Lot

B. HEIGHT, BULK AND SCALE

- B-1 Height, Bulk and Scale Compatibility

C. ARCHITECTURAL ELEMENTS AND MATERIALS

- C-2 Architectural Concept and Consistency
- C-3 Human Scale
- C-4 Exterior Finish Materials

D. PEDESTRIAN ENVIRONMENT

- D-1 Pedestrian Open Spaces and Entrances
- D-2 Blank Walls
- D-7 Personal Safety
- D-9 Commercial Signage
- D-10 Commercial Lighting
- D-11 Commercial Transparency
- D-12 Residential Entries and Transition

E. LANDSCAPING

- E-2 Landscaping to enhance the building and/or site

DESIGN DEPARTURE

- SMC 23.47A.032 Parking Location and Access

REQUIREMENT: Access to Parking must be from the street with the fewest lineal feet of commercially zoned frontage.

PROPOSED: Access to parking amongst the retail frontage.

Considerations: The parking is located at the back of the shops. The driveway shares a public open court with the Residential Entrance and its denoting paving, lighting and display of artwork participate to the activity of the streetscape.

- SMC 23.23.54.030 G — Sight Triangle

REQUIREMENT: A sight triangle on both sides of the driveway shall be provided and shall be kept clear of obstruction for a distance of ten feet from the intersection of the driveway at the sidewalk.

PROPOSED: A sight triangle can be provided on the downhill side of the parking entry (Option 3) and can be mitigated with a convex mirror. There is an extra wide planting strip providing sufficient visibility for traffic.

