



**1623 Bellevue Ave #3008760
Design Review Board Meeting January 21, 2009**

Project Data

PROPERTY ADDRESS: 1623 BELLEVUE AVENUE

PROJECT NUMBER 3008760

OWNER: WASHINGTON LAND & INVESTMENT
320 172ND PLACE NE
BELLEVUE, WA 98005
206.321.2224

ARCHITECT ROGER H. NEWELL, AIA
1102 19TH AVENUE EAST
SEATTLE, WA 98112
206.322.1192

SURVEYOR: GEODATUM INC
22525 SE 64TH PLACE, SUITE 266
ISSAQUAH, WA 98029
425.837.8083

ASSESSOR'S
PARCEL NUMBER: 8725600190 5252

LEGAL DESCRIPTION: LOT 17 BLOCK 2,
REPLAT OF 12TH AVENUE ADDITION

ZONING: NC3-65

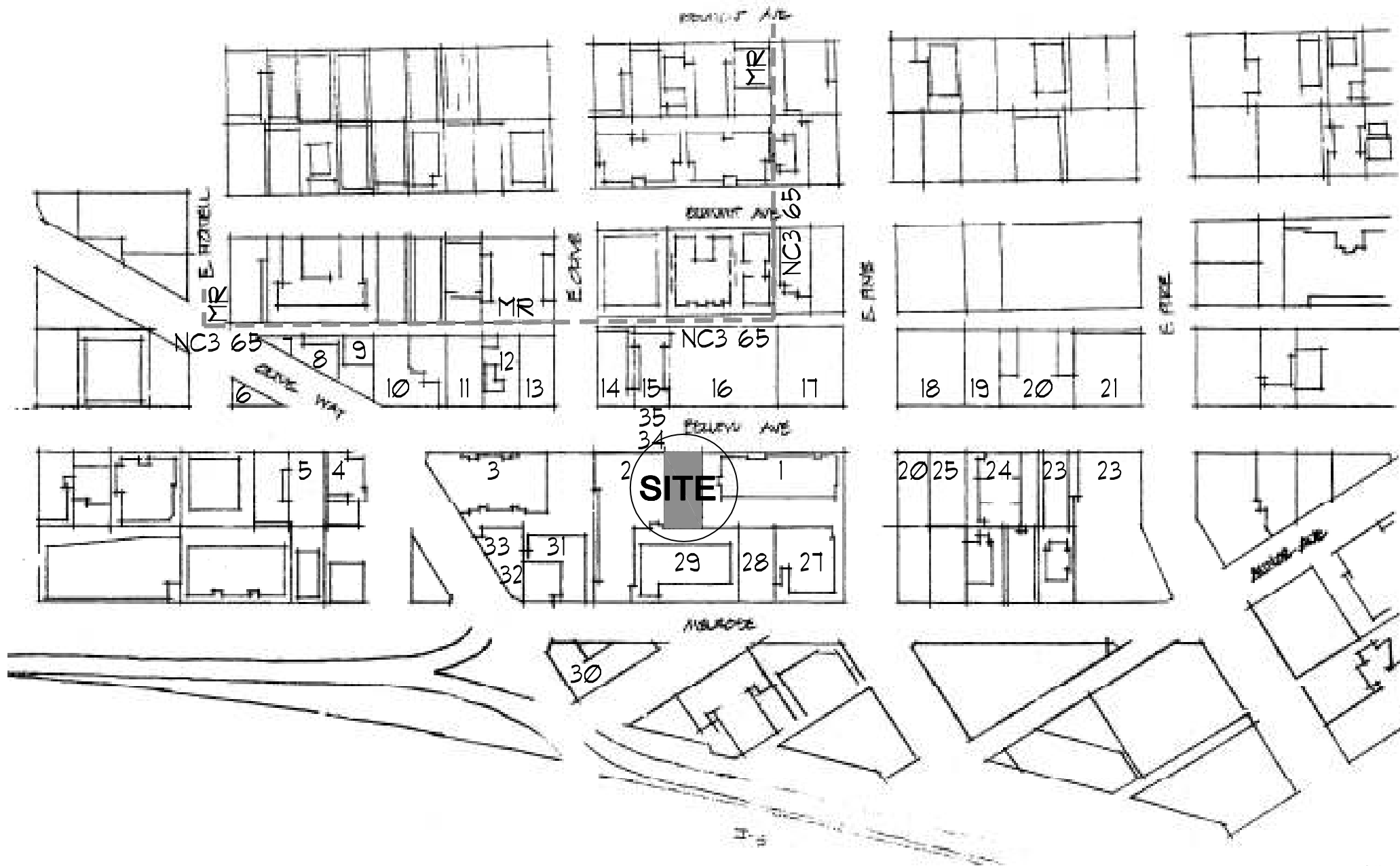
Development Objective

- REPLACE EXISTING RENTAL BUILDING WITH NEW ENERGY EFFICIENT STRUCTURE
- DEVELOP PROPERTY TO HIGHEST AND BEST USE WHILE PROVIDING A QUALITY INFILL PROJECT
- PROVIDE A FAMILY INVESTMENT PROPERTY
- INCREASE DENSITY OF RENTAL HOUSING AND PROVIDE OPPORTUNITY FOR COMMERCIAL USE
- UPGRADE STREET FACADE AT SIDEWALK LEVEL

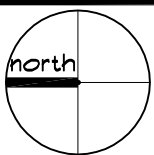
EDG Concept Sketch



Vicinity / Use Map



1. 1605 EXISTING: "THE MARION" 26 UNITS
PROPOSED: PINE ST. CONDOMINIUMS 118 UNITS
2. 1633 CAPITOL STEPS APT/MIXED USE, 64 UNITS
3. 1641 APT, 48 UNITS
4. 1703 LAUREN RENEE APT, 12 UNITS
5. 1707 BEL FIORE APT, 29 UNITS
6. 1416 WING DOME RESTAURANT
7. 1413 CRESCENT LOUNGE
8. 1411 FUNKE, OFFICES
9. 1403 CONISTON APTS, 16 UNITS
10. 1722 CITY MARKET & LAUNDRY
PARKING LOT, 13 STALLS
11. 1706 SCOTT LOGAN BUILDING
1708
1710
13. 1700 APT, 26 UNITS
14. 405 STEPHENSBERG APTS, 32 UNITS
15. 1628 ANSONIA APT, 30 UNITS
16. 1618 HAWTHORNE APT/MIXED USE, 13 UNITS
17. 400 LIGHTING DESIGN LAB/OFFICE BLDG
18. 401 RETAIL/COMMERCIAL
19. 1520 OFFICE
20. 1514 THE McDERMOTT APTS, 80 UNITS
21. FIRST COVENANT CHURCH
22. 314 RETAIL
23. 1515 LOUIS ARMS APT, 23 UNITS
24. 1521 APT, 12 UNITS
25. PARKING LOT, 21 STALLS
26. 1535 APT/MIXED USE, 16 UNITS
27. 300 OFFICE
28. PARKING LOT, 20 STALLS
29. 1620 APT, 40 UNITS
30. 1633 SHERWOOD APTS, 42 UNITS
31. 1642 MELROSE COURT APT, 24 UNITS
32. 1351 RETAIL
1353
1355
33. 1361 RETAIL/APT
34. STREETSCAPE FACING WEST
35. STREETSCAPE FACING EAST

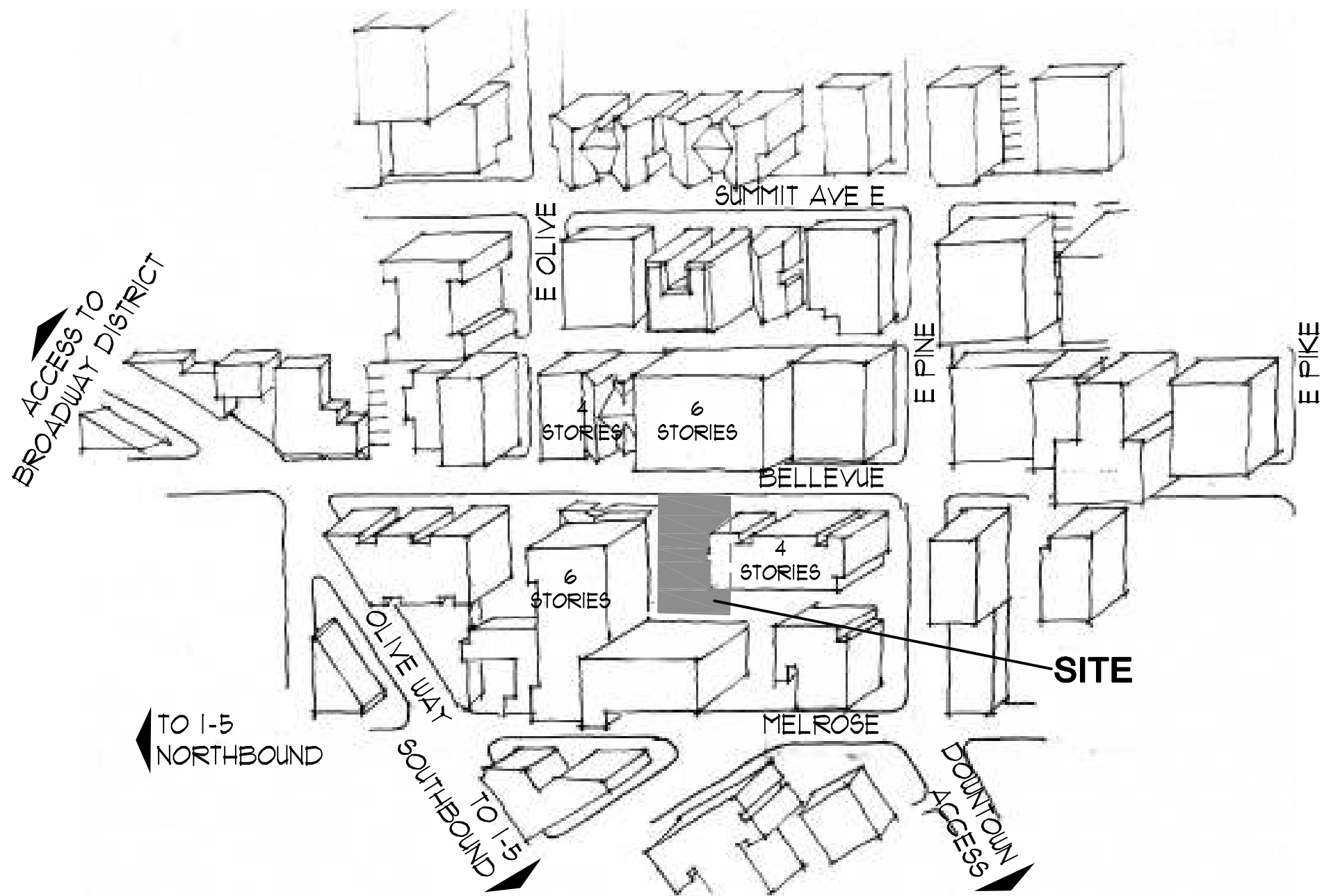


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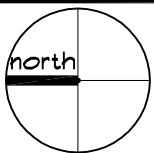


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THE PIKE/PINE NEIGHBORHOOD PROVIDES A COMBINATION OF DENSE HOUSING WITH STREET LEVEL COMMERCIAL USES INTERSPERSED. PEDESTRIAN ACTIVITY EXISTS DURING THE DAYTIME AND EVENINGS. THIS SITE IS LOCATED IN AN AREA THAT CONNECTS THE NUMEROUS BUSINESSES IN THE PIKE/PINE CORRIDOR WITH THOSE IN THE OLIVE WAY AREA. BUILDING STYLES VARY FROM 3-6 STORY APARTMENTS OVER COMMERCIAL USES BUILT IN THE EARLY 1900'S TO NEWER MIXED USE STRUCTURES CONSTRUCTED WITHIN THE LAST FEW YEARS. OLDER BUILDINGS ARE TYPICALLY CLAD IN BRICK WHILE NEWER STRUCTURES ARE CLAD IN A VARIETY OF MATERIALS INCLUDING HORIZONTAL SIDING, STUCCO, MARBLECRETE, STEEL AND CONCRETE. MOST BUILDINGS ARE BUILT TO THE SIDEWALK WITH NO FRONT YARD SETBACK. MANY FACADES EXTEND FROM THE SIDEWALK TO ROOF WITH LITTLE MODULATION. FEW OPEN PARKING LOTS EXIST WITHIN THE PIKE/PINE CORRIDOR.



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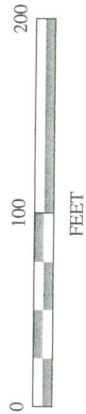
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1623 Bellevue Ave.

Parcel Line
10' Interval Contour *
2' Interval Contour *
Address Number
9999



PORION OF:

Central Geographic Data Base Tile# 344
1/4 Section-Township-Range: NW32-25-4
Kroll Page # 40, W

ORTHOPHOTOGRAPHY DATE: JULY 1999
* DATUM: NAVD88



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Produced by the Seattle Public Utilities - Geographic Systems Section on March 01, 2006

NOTE: Conversion from City of Seattle Datum to NAVD88 Datum
To convert between City of Seattle and NAVD88 Datums, use:
("City of Seattle Datum" + 9.7ft = NAVD88)
There are inconsistencies in the City of Seattle Datum, the conversion may vary up to +/- 1ft
in specific areas throughout the City. In areas and applications where a more accurate
conversion factor is critical, elevations should be field checked and vertical relationships
between the two datums be determined for that particular area.



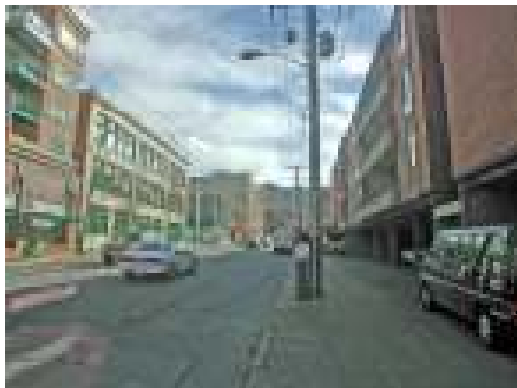
BELLEVUE AVE
FACING NE



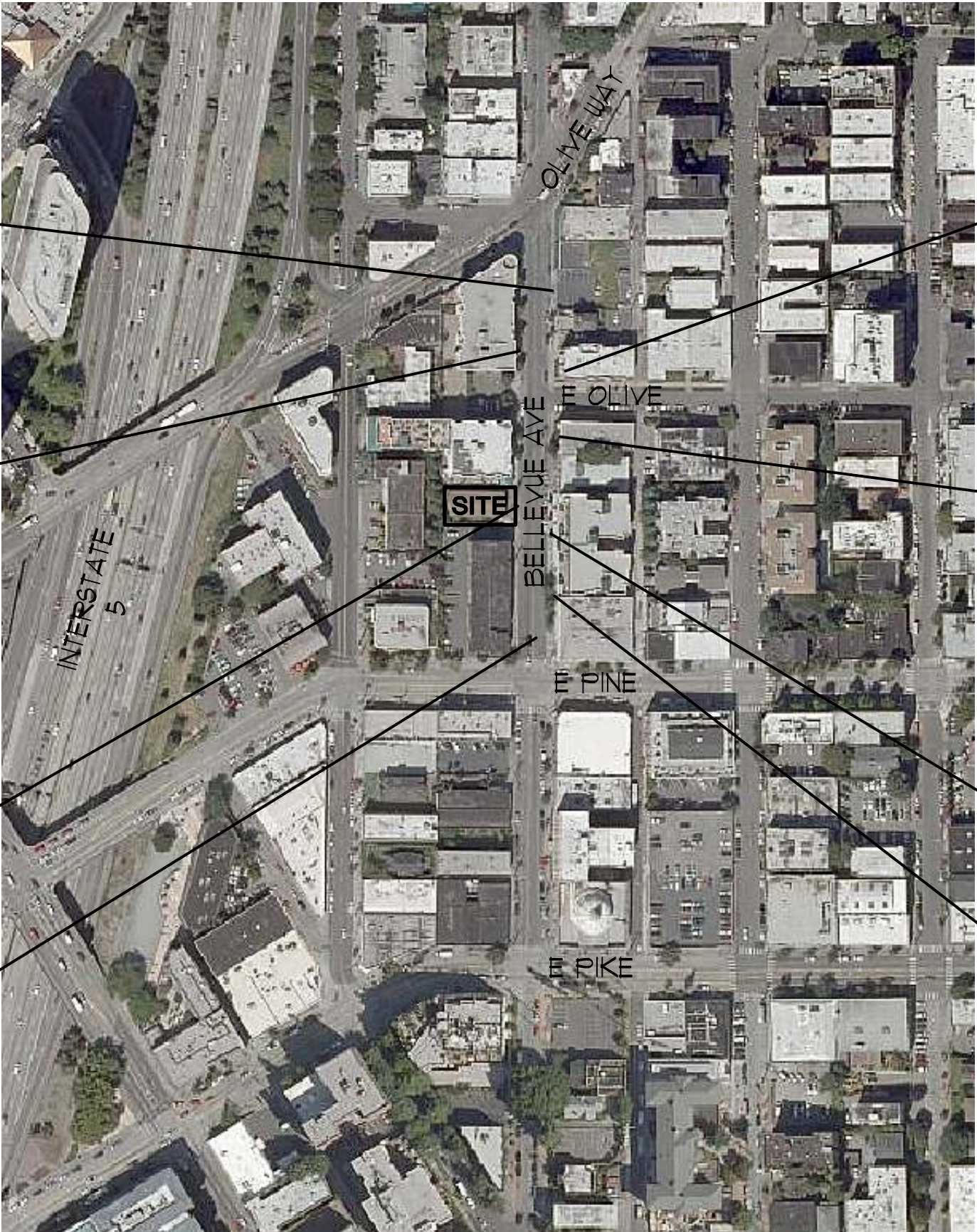
BELLEVUE AVE
FACING NW



SITE
FACING NW



BELLEVUE AVE
FACING S



BELLEVUE AVE
@ E OLIVE
FACING NE



BELLEVUE AVE
@ E OLIVE
FACING E



BELLEVUE AVE
FACING E



BELLEVUE AVE
FACING SE

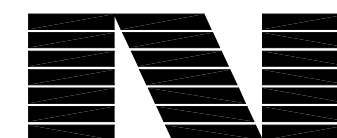


LOOKING
WEST



LOOKING
EAST

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5.1

Priority Guidelines

PRIORITY GUIDELINES FROM EARLY DESIGN GUIDANCE OF THE CAPITOL HILL DESIGN REVIEW BOARD.

A-1 RESPONDING TO SITE CHARACTERISTICS: THE SITING OF BUILDINGS SHOULD RESPOND TO SPECIFIC SITE CONDITIONS AND OPPORTUNITIES SUCH AS NON-RECTANGULAR LOTS, LOCATION ON PROMINENT INTERSECTIONS, UNUSUAL TOPOGRAPHY, SIGNIFICANT VEGETATION AND VIEWS OR OTHER NATURAL FEATURES. EXPLORE ALTERNATIVES TO THE PRONOUNCED BASE AND UPPER SET-BACK.

A-3 ENTRANCES VISIBLE FROM THE STREET: ENTRIES SHOULD BE CLEARLY IDENTIFIABLE AND VISIBLE FROM THE STREET. EXPLORE MOVING THE RESIDENTIAL ENTRY CLOSER TO THE STREET PROPERTY LINE, CREATING A CLOSER VISUAL ASSOCIATION WITH THE COMMERCIAL ENTRY, OR USING A DIFFERENT CANOPY FOR EACH ENTRY.

A-4 HUMAN ACTIVITY: NEW DEVELOPMENT SHOULD BE SITED AND DESIGNED TO ENCOURAGE HUMAN ACTIVITY ON THE STREET. TWO SMALLER COMMERCIAL SPACES ARE IN KEEPING WITH THE TYPICAL SIZE IN THIS NEIGHBORHOOD.

A-6 TRANSITION BETWEEN RESIDENCE AND STREET: FOR RESIDENTIAL PROJECTS, THE SPACE BETWEEN THE BUILDING AND THE SIDEWALK SHOULD PROVIDE SECURITY AND PRIVACY FOR RESIDENTS AND ENCOURAGE SOCIAL INTERACTION AMONG RESIDENTS AND NEIGHBORS. THE GARAGE AND RESIDENTIAL ENTRY SET-BACKS SHOULD NOT CREATE AREAS WHERE PEDESTRIAN SAFETY IS COMPROMISED.

A-8 PARKING AND VEHICLE ACCESS: SITING SHOULD MINIMIZE THE IMPACT OF AUTOMOBILE PARKING AND DRIVEWAYS ON THE PEDESTRIAN ENVIRONMENT, ADJACENT PROPERTIES AND PEDESTRIAN SAFETY. CREATE A VISUALLY PLEASING AND SAFE ENTRY AREA WITH A HIGH QUALITY DOOR FINISH, DESIGN AND QUALITY SURROUNDING MATERIALS.

B-1 HEIGHT, BULK AND SCALE COMPATIBILITY: PROJECTS SHOULD BE COMPATIBLE WITH THE SCALE OF DEVELOPMENT ANTICIPATED BY THE APPLICABLE LAND USE POLICIES FOR THE SURROUNDING AREA AND SHOULD BE SITED AND DESIGNED TO PROVIDE A SENSITIVE TRANSITION TO NEAR-BY, LESS-INTENSIVE ZONES. THE BOARD EXPRESSED CONCERNS ABOUT THE PROPOSED BUILDING MASSING (SEE C-2 BELOW).

C-1 ARCHITECTURAL CONTEXT: NEW BUILDINGS PROPOSED FOR EXISTING NEIGHBORHOODS WITH A WELL-DEFINED AND DESIRABLE CHARACTER SHOULD BE COMPATIBLE WITH OR COMPLEMENT THE ARCHITECTURAL CHARACTER AND SITING PATTERN OF NEIGHBORING BUILDINGS. THE STUCCO EXTERIOR AND PLINTH/TOWER DESIGN IS NOT A GOOD EXAMPLE OF PREVALENT CONTEXTUAL FORMS.

Priority Guidelines (cont'd)

C-2 ARCHITECTURAL CONCEPT AND CONSISTENCY: BUILDING DESIGN ELEMENTS, DETAILS AND MASSING SHOULD CREATE A WELL-PROPORTIONED AND UNIFIED BUILDING FORM AND EXHIBIT AN OVERALL ARCHITECTURAL CONTEXT. THE PROPOSED UPPER LEVEL FRAME EXPRESSION DOES REFER TO THE “MOMENT FRAME ” AUTO-ROW STRUCTURES IN THE NEIGHBORHOOD. HOWEVER, THIS EXPRESSION IS GREATLY DIMINISHED BY ITS SET-BACK FROM THE PLINTH BASE AND THE RECESSED STREET LEVEL FAÇADE WITHIN THE PLINTH.

C-4 EXTERIOR FINISH MATERIALS: BUILDING EXTERIORS SHOULD BE CONSTRUCTED OF DURABLE AND MAINTAINABLE MATERIALS THAT ARE ATTRACTIVE EVEN WHEN VIEWED UP CLOSE. MATERIALS THAT HAVE TEXTURE, PATTERN, OR LEND THEMSELVES TO A HIGH QUALITY OF DETAILING ARE ENCOURAGED. BRICK IS ONE MATERIAL± IF CONCRETE IS USED FOR THE BASE, IT SHOULD NOT BE COVERED WITH STUCCO. MATERIALS SHOULD REINFORCE THE “MOMENT FRAME ” EXPRESSION.

C-5 STRUCTURED PARKING ENTRANCES: THE PRESENCE AND APPEARANCE OF GARAGE ENTRANCES SHOULD BE MINIMIZED SO THAT THEY DO NOT DOMINATE THE STREET FRONTAGE OF A BUILDING. GARAGE LIGHTING SHOULD BE SHIELDED FROM STREET VIEW.

D-5 VISUAL IMPACTS OF PARKING STRUCTURES: THE VISIBILITY OF ALL AT-GRADE PARKING STRUCTURES OR ACCESSORY PARKING GARAGES SHOULD BE MINIMIZED. SEE GUIDANCE IN A-3, 4, 6, 8 AND C-5 ABOVE.

D-6 SCREENING OF DUMPSTERS, UTILITIES AND SERVICE AREAS: BUILDING SITES SHOULD LOCATE SERVICE ELEMENTS LIKE TRASH DUMPSTERS, LOADING DOCKS AND MECHANICAL EQUIPMENT AWAY FROM THE STREET FRONT WHERE POSSIBLE. ANY DUMPSTER LOCATION VISIBLE FROM THE STREET MUST BE FULLY AND ATTRACTIVELY SCREENED.

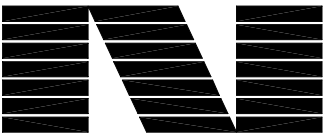
D-7 PERSONAL SAFETY AND SECURITY: PROJECT DESIGN SHOULD CONSIDER OPPORTUNITIES FOR ENHANCING PERSONAL SAFETY AND SECURITY IN THE ENVIRONMENT UNDER REVIEW. SEE GUIDANCE IN A-3, 4 AND 6 ABOVE.

D-10 COMMERCIAL LIGHTING: APPROPRIATE LEVELS OF LIGHTING SHOULD BE PROVIDED IN ORDER TO PROMOTE VISUAL INTEREST AND A SENSE OF SECURITY FOR PEOPLE IN COMMERCIAL DISTRICTS EVENING HOURS. PROVIDE ADEQUATE AND ATTRACTIVE LIGHTING THAT WILL NOT TRESPASS OFF SITE.

E-2 LANDSCAPING TO ENHANCE THE BUILDING AND/OR SITE: LANDSCAPING INCLUDING LIVING PLANT MATERIAL, SPECIAL PAVEMENTS, TRELLISES, SCREEN WALLS, PLANTERS, SITE FURNITURE, AND SIMILAR FEATURES SHOULD BE APPROPRIATELY INCORPORATED INTO THE DESIGN TO ENHANCE THE PROJECT. ANY STREET LEVEL SETBACK, THE PLANTING STRIP AND ANY UPPER LEVEL TERRACE AREAS ARE AN OPPORTUNITY FOR QUALITY LANDSCAPING.

Departure Requests

1. SIGHT TRIANGLE:
 - STANDARD (SMC 23.54.030G): TWO-WAY DRIVEWAYS LESS THAN 22' WIDE AND LESS THAN 10' FROM THE PROPERTY LINE MAY HAVE A 5' BY 10' UNOBSTRUCTED TRIANGLE ON THAT SIDE. DRIVEWAYS ON THE EXIT SIDE SHALL BE A TRIANGLE WITH 10' BY 10' LEGS AT THE INTERSECTION OF THE SIDEWALK AND DRIVEWAY.
 - PROPOSED AMOUNT OF DEPARTURE: THE SIGHT TRIANGLE ADJACENT TO THE PROPERTY LINE IS 2' BY 10', AND THE TRIANGLE ON THE EXIT SIDE OF THE DRIVEWAY IS 9' WIDE BY 6' DEEP. SEE P.12, FIRST FLOOR PLAN, FOR THE PROPOSED SIGHT TRIANGLE CONFIGURATION.
 - RATIONALE FOR REQUEST: THE SMALL SITE AND DEMANDS OF THE PROPOSED PLINTH CONSTRUCTION REQUIRE A COLUMN TO INTRUDE INTO THE SIGHT TRIANGLE AT THE PROPERTY LINE. ARCHITECTURAL ELEMENTS PUSHED TOWARD THE STREET PROPERTY LINE TO BRING THE BUILDING FORWARD INTRUDE INTO THE EXIT SIDE TRIANGLE. PEDESTRIAN SAFETY CAN BE ACHIEVED BY THE ADDITION OF MIRRORS AND/OR VISUAL WARNING SIGNALS.
2. SOLID WASTE STORAGE SPACE:
 - STANDARD (SMC 23.41A.029): ACCESS TO THE SOLID WASTE STORAGE SPACE SHALL BE DIRECTLY FROM THE STREET WITHOUT USE OF A RAMP OR SLOPE GREATER THAN SIX PER CENT.
 - PROPOSED DEPARTURE: THE SOLID WASTE STORAGE WOULD BE LOCATED IN THE BASEMENT OF THE STRUCTURE. CONTAINERS WOULD BE BROUGHT UP TO THE SIDEWALK ON PICK-UP DAY BY A SMALL TRACTOR.
 - RATIONALE FOR REQUEST: THE NUMBER OF EXITS AND THE DRIVEWAY REQUIRED AT THE STREET DEMAND A CONSIDERABLE PORTION OF THE WIDTH OF THE SITE. A SOLID WASTE STORAGE AREA LOCATED ON THE FIRST FLOOR WOULD MINIMIZE THE ALREADY SMALL AMOUNT OF COMMERCIAL STOREFRONT ON THE STREETScape



Proposed Streetscape

LOOKING WEST



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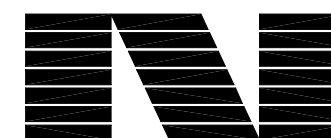


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Sound Control

- JOINTS IN THE PERIMETER OF THE PARTY WALL & PARTY FLOOR ASSEMBLIES SHALL BE ACOUSTICALLY SEALED W/ AN APPROVED, PERMANENT RESILIENT MATERIAL. CONDUITS, PIPES, & VENTS IN PARTY WALLS SHALL BE ISOLATED FROM THE BUILDING CONSTRUCTION BY RESILIENT SLEEVES OR MOUNTS. OTHER OPENINGS THROUGH WHICH SUCH ITEMS PASS SHALL HAVE THE EXCESS OPENING FULLY SEALED FOR BOTH SOUND & FIRE.
- ELECTRICAL BOXES SHALL NOT BE PLACED BACK-TO-BACK, MIN. 12" OFFSET FROM OUTLETS IN OPPOSITE WALL & SHALL BE BACKED BY AN APPROVED ACOUSTICAL FIBER INSULATION.

Accessibility

COMPLY WITH 2006 SEATTLE BUILDING CODE, CHAPTER 22 ACCESSIBILITY AND INTERNATIONAL CODE COUNCIL (ICC) A117.1-2003. COMPLY WITH THE FEDERAL FAIR HOUSING ACT (FHA) GUIDELINES AS PUBLISHED BY THE U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT (MARCH 1991), AND THE AMERICANS WITH DISABILITIES ACT (ADA) GUIDELINES AS PUBLISHED BY THE U.S. ARCHITECTURAL AND TRANSPORTATION BARRIERS COMPLIANCE BOARD AND DEPARTMENT OF JUSTICE (JULY 1991).

Construction Notes

ROGER H. NEWELL, AIA, SHALL BE REFERRED TO AS THE ARCHITECT.
ALL CONSTRUCTION SHALL COMPLY WITH THE 2006 SEATTLE BUILDING CODE. THE CONTRACTOR SHALL HAVE KNOWLEDGE OF GENERAL CONSTRUCTION REQUIREMENTS OF THE 2006 SEATTLE BUILDING CODE, CHAPTER 23. ALL SEWER, ELECTRICAL, PLUMBING, & MECHANICAL CONSTRUCTION TO CONFORM TO ALL APPLICABLE LOCAL, STATE, & NATIONAL CODES & ORDINANCES.

DO NOT SCALE DRAWING. CONSULT ARCHITECT FOR ANY DIMENSIONAL CLARIFICATIONS, ERRORS, OR CONFLICTS. GENERAL CONTRACTOR MUST VERIFY DIMENSIONS PRIOR TO STARTING WORK. CONSULT ARCHITECT REGARDING ERRORS, OMISSIONS, OR CHANGES PRIOR TO PROCEEDING W/ CONSTRUCTION. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A WEATHER-TIGHT BUILDING INCLUDING ALL NECESSARY SEALANTS AND FLASHINGS. THESE DRAWINGS ARE BID-DESIGN DOCUMENTS. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY & LIABILITY FOR COORDINATION OF RELATED BID-DESIGN WORK INCLUDING BUT NOT LIMITED TO ELECTRICAL, PLUMBING, HEATING, & VENTILATION.

THE ARCHITECT IS NOT LIABLE FOR CHANGES/CORRECTIONS MADE BY THE OWNER ON SITE INSPECTION DURING THE COURSE OF CONSTRUCTION. THE CONTRACTOR SHALL UTILIZE CONSTRUCTION TECHNIQUES & HIGHEST QUALITY AND BEST PRACTICES STANDARD & APPLICABLE TO THE CONSTRUCTION INDUSTRY. THE ARCHITECT DOES NOT ASSUME LIABILITY OR RESPONSIBILITY FOR METHODS OF CONSTRUCTION OR CONSTRUCTION DETAILS NOT INCLUDED IN THESE CONTRACT DOCUMENTS. THE ARCHITECT HAS NOT BEEN RETAINED OR COMPENSATED TO PROVIDE DESIGN AND/OR CONSTRUCTION REVIEW SERVICES RELATING TO THE CONTRACTOR'S SAFETY PRECAUTIONS OR TO MEANS, METHODS, TECHNIQUES OR PROCEDURES REQUIRED FOR THE CONTRACTOR TO PERFORM REQUIRED WORK. THE UNDERTAKING OF PERIODIC SITE VISITS BY THE ARCHITECT SHALL NOT BE CONSTRUED AS SUPERVISION OF ACTUAL CONSTRUCTION NOR MAKE HIM OR THE OWNER RESPONSIBLE FOR PROVIDING A SAFE PLACE FOR PERFORMANCE OF WORK BY THE CONTRACTOR OR THE CONTRACTOR'S EMPLOYEES OR EMPLOYEES OF SUPPLIERS OF SUBCONTRACTOR'S OR FOR ACCESS, VISITS, USE, WORK, TRAVEL, OR OCCUPANCY BY ANY PERSON. THESE DRAWINGS ARE INTENDED FOR PERMIT SUBMITTAL AND DO NOT INCLUDE DETAILS OF EVERY CONSTRUCTION CONDITION. THE OWNER/ DEVELOPER/ CONTRACTOR SHALL RETAIN THE SERVICES OF A REPUTABLE WATERPROOFING CONSULTANT TO REVIEW DETAILS, PREPARE SPECIFICATIONS, REVIEW SUB-CONTRACTS, AND SUPERVISE CONSTRUCTION FOR THE FOLLOWING:

- BELOW GRADE WALLS AND SLABS
- ABOVE GRADE SLABS, DECKS AND DRIVES
- EXTERIOR BUILDING CLADDING
- ROOFING MEMBRANE AND RELATED FLASHINGS
- WINDOWS AND WINDOW INSTALLATION
- EXTERIOR RAILINGS AND FLASHINGS
- VENT FLASHINGS
- CAULKING

THE CONTRACTOR SHALL DELIVER WATERPROOF CONSULTANT'S FINAL REPORT REGARDING INSTALLATIONS AND PRODUCTS TO THE OWNER. CONTRACTOR SHALL PROVIDE WRITTEN WARRANTIES TO OWNER.

Whole House Ventilation

EACH DUELLING UNIT SHALL BE EQUIPPED W/ A WHOLE HOUSE VENTILATION SYSTEM, CAPABLE OF MEETING REQUIREMENTS PER 2006 INTERNATIONAL MECHANICAL CODE AND THE 2006 SEATTLE MECHANICAL CODE AMENDMENTS SEC. 403.3.6 AND TABLE 403.3. WHOLE HOUSE VENTILATION SYSTEMS SHALL SUPPLY OUTSIDE AIR TO ALL HABITABLE ROOMS THROUGH INDIVIDUAL OUTSIDE AIR INLETS PROVIDED IN WINDOW FRAMES. DOORS AND OPERABLE LITES IN WINDOWS ARE DEEMED NOT TO MEET OUTSIDE AIR INTAKE REQUIREMENTS. EACH UNIT SHALL HAVE A WHOLE HOUSE FAN LOCATED PER UNIT PLANS.

Energy

THE BUILDING SHALL COMPLY W/ THE 2006 SEATTLE SUPPLEMENT TO THE 2006 WASHINGTON STATE ENERGY CODE.

RESIDENTIAL INSULATION - PER TABLE 6-1. OPTION III	
GLAZING %	25% MAX.
GLAZING U-FACTOR	
VERTICAL	0.40
OVERHEAD	0.58
DOOR U-FACTOR	0.20
CEILING	R-38
VAULTED CEILING	R-30
WALL	R-21
FLOOR	R-30
SLAB-ON-GRADE	R-10

COMMERCIAL INSULATION PER TABLE 13-1. OPTION II	
GLAZING, VERT	U = 0.40 MAX.
GLAZING %	0-30% MAX.
SHGC	0.35
ATTIC ROOF	R-38
ROOF	R-30
WALLS	R-13 CAVITY & R-15 CONT. INSUL. (METAL STUDS)
DOOR	U = 0.60
FLOOR	R-30

TEMPERATURE CONTROL
RESIDENTIAL UNITS SHALL COMPLY W/ REQUIREMENTS OF SEC. 503.9, W.S.E.C.

SHOWERS
TOTAL WATER FLOW RATE SHALL COMPLY W/ CHAPTER 51-46 WAC, AS MEASURED W/ BOTH HOT & COLD FAUCETS TURNED ON TO THEIR MAXIMUM FLOW. SHOWER FLOW CONTROL SHALL BE 2.5 GAL/MIN. MAX.

WATER HEATERS
COMPLY W/ SEC. 504, W.S.E.C. ALL STORAGE WATER HEATERS SHALL MEET THE REQUIREMENTS OF THE 1981 NATIONAL APPLIANCE ENERGY CONSERVATION ACT, AND BE SO LABELED.

Fair Housing Act-Accessibility Notes

(SEE 24 CFR CHAPTER ONE, FINAL FAIR HOUSING ACCESSIBILITY GUIDELINES, FEDERAL REGISTER 3-6-91 VOLUME 56, NUMBER 44) AVAILABLE @ THE DEPARTMENT OF HOUSING & URBAN DEVELOPMENT OFFICE.

SITE DESIGN

- MAIN BUILDING ENTRANCE MUST HAVE AN ACCESSIBLE ROUTE WHICH COMPLIES W/ ANSI 4.3.
- ONE ROW (MIN) OF MAILBOXES TO BE PROVIDED WITHIN REACH OF A PERSON IN A WHEEL CHAIR.
- ACCESSIBILITY IS REQUIRED TO PUBLIC & COMMON USE AREAS ELSEWHERE ON THE SITE THAT ARE AVAILABLE TO THE RESIDENTS OF THE BUILDING.
- ACCESSIBLE PARKING SPACES SHOULD EQUAL 2% OF THE TOTAL NUMBER OF ACCESSIBLE UNITS ON THE SITE.

DUELLING UNITS

- ALL DOORWAYS INTENDED FOR PASSAGE SHALL PROVIDE A 32" CLEAR WIDTH - 2'-10" DOOR MIN.
- DOORS IN PUBLIC & COMMON USE AREAS & FOR PRIMARY ENTRY DOORS TO COMPLY W/ ANSI 4.13.
- MIN CORRIDOR WIDTH SHALL BE 36" CLEAR.
- ACCESS TO EXTERIOR DECKS SHALL BE PROVIDED.
- EXTERIOR THRESHOLDS SHALL BE MAXIMUM 1/2" H. @ UNIT ENTRY DOORS, DOORS TO EXTERIOR DECKS & ACCESSIBLE ROUTES OF TRAVEL.
- KITCHENS & BATHROOMS SHALL BE LARGE ENOUGH TO ALLOW HC PARALLEL OR FORWARD APPROACH TO ALL FIXTURES & APPLIANCES.
- CLEARANCE BETWEEN COUNTERS & ALL OPPOSING BASE CABINETS, COUNTERTOPS, & APPLIANCES OR WALLS IS A MIN. OF 40".
- PROVIDE MIN. 36" CLEARANCE FOR WATER CLOSET IN FULL BATHROOMS.

HARDWARE

- LIGHT SWITCHES, ENVIRONMENTAL CONTROLS & ELECTRICAL OUTLETS SHALL BE MOUNTED NO HIGHER THAN 48" & NO LOWER THAN 15" ABOVE THE FLOOR.
- ALL FULL BATHROOMS (W/ WC, LAVS, SHOWER, TUBS & TUB/SHOWER) SHALL HAVE WALLS REINFORCED FOR GRAB BARS @ APPROPRIATE LOCATIONS, PER FIGURE 3.4 AND 5 OF GUIDELINES, SECTION 1002.06 (C)X3.III).
- THE MAIN BUILDING DOOR PROVIDED ON AN ACCESSIBLE ROUTE & ALL UNIT ENTRY DOORS MUST HAVE HARDWARE THAT COMPLIES W/ ANSI STANDARD 4.13.3.

Fire Safety

NOTE: SPRINKLER SHOP DRAWINGS SHALL PROVIDE DETAIL FOR ATTACHMENT OF SPRINKLERS COMPLYING W/ LOADS PER SEC.

SPRINKLERS:

FULLY SPRINKLERED PER NFPA 13, SEC 903.3.1
ALL SPRINKLERS INSIDE DUELLING UNITS SHALL BE LISTED RESIDENTIAL SPRINKLERS (QUICK RESPONSE). SPRINKLERS IN B OCCUPANCY (OFFICE) SHALL PROVIDE LIGHT HAZARD PROTECTION.

STANDPIPE:

(1) CLASS 1 IN STAIR. IN STAIR TO ROOF PROVIDE (2) OUTLETS AT ROOF PER NFPA 14.

PRESSURIZATION:

REQUIRED FOR EXIT ENCLOSURE (STAIR) AND EXIT PASSAGUEAY PER SEC SEC. 1019.2.4.4. REQUIRED FOR ELEVATOR SHAFT AND LOBBY PER SEC 1007.6.

FIRE EXTINGUISHER:

PROVIDE (1) CLASS 2A EXTINGUISHER PER 6000SF OF RESIDENTIAL AND OFFICE AREA AND EACH 3000SF OF PARKING AREA. ALL PORTIONS OF THE OCCUPANCY NEED TO BE WITHIN 75' OF A FIRE EXTINGUISHER.

EXIT SIGNAGE:

EXIT LIGHTING SHALL BE PROVIDED PER SEC SEC. 1006.1, CURRENT EDITION:
1) EXIT SIGNS - INTERNALLY ILLUMINATED EXIT SIGNS SHALL BE PROVIDED @ ALL EXITS TO THE EXTERIOR & TO THE EXIT STAIR LANDINGS AS PER 1/8" PLANS.
2) EXIT ILLUMINATION - EXIT ILLUMINATION SHALL BE PROVIDED PER THE FOLLOWING SCHEDULE:

STAIRWAYS	1 PER LANDING
CORRIDORS, HALLS	SPACING NOT TO EXCEED 40'
ELEVATOR CARS, LOBBIES,	FOR EA. 250*
PARKING GARAGES	MIN. 1/4 WATT PER 3# OF AREA

2 SOURCES OF POWER SHALL BE PROVIDED FOR EXIT ILLUMINATION & SIGNS.

FIRE ALARM:

FIRE ALARM SYSTEM TO COMPLY W/ SEC SEC. 907.2 AND SEATTLE FIRE CODE SEC 1007 AND NFPA 72 (UFC STD. 10-2). LOCATE ANNUNCIATOR PANEL IN MAIN ENTRY LOBBY, SMOKE DETECTOR @ ELEVATOR DOORS ON EA LEVEL TO FACILITATE RECALL & ACTIVATE ELEVATOR PRESSURE SYSTEM. CLASS 1 STANDPIPES, AUTOMATIC SPRINKLERS, FIRE ALARM & STAIR ELEVATOR PRESSURIZATION SYSTEMS REQUIRE PLAN APPROVAL PRIOR TO INSTALLATION. (SUBMIT SHOP DRAWINGS TO DPD).

MONITORING:

MONITORING BY A SEATTLE FIRE DEPT. APPROVED CENTRAL STATION SERVICE REQUIRED FOR BUILDINGS WITH MORE THAN 100 SPRINKLERS.

CONTRACTORS:

NO FLAMMABLE LIQUIDS, WELDING / CUTTING EQUIPMENT OR COMPRESSED GASES SHALL BE USED BY THE CONTRACTOR OR ANY SUBCONTRACTOR EXCEPT UNDER SEATTLE FIRE DEPT. PERMIT. THIS INCLUDES DEMOLITION WORK.

Building Area Totals

FLOOR	PARK'G	COMMT.	RI UNITS	RI + COMM. TOTAL	R TOTAL	DECKS/ GRN HS
LOUVR PARK'G	4,445	-	-	+ 416	= 416	-
1ST FLR & COMM.	-	1202	1300	+ 716	= 3,898	566
2ND FLR	-	-	3,479	+ 372	= 3,851	438
3RD FLR	-	-	3,479	+ 350	= 3,829	334
4TH FLR	-	-	3,479	+ 350	= 3,829	334
5TH FLR	-	-	3,479	+ 350	= 3,829	230
6TH FLR	-	-	3,479	+ 350	= 3,829	230
ROOF	-	-	-	+ 718	= 718	50
TOTALS	4,445	1202	19,315	3302	23,819	2272

Unit Area Totals

UNIT TYPE	#	SF	SUB-TOTAL	TYPE
A 100	1	564	564	1BR/1BA
B 101	1	913	913	1BR/1BA
C 102	1	443	443	STUDIO/1BA
D 200-600	5	846	4230	2BR/2BA
E 201-601	5	900	4500	2BR/2BA
F 202-602	5	971	4855	2BR/2BA
G 203-603	5	756	3780	2BR/1BA
TOTAL	23	711 (AVG)	19,315	
UNIT AVERAGE=839.18 SF (19,315 SF / 23)				

Zoning Notes

ZONE: NC2-65
FIRE/FINE URBAN CENTER VILLAGE

ECA: NO

OVERLAY: NONE

GIS MAP: 110

LOT AREA: 5200 x 103.15' = 535,75 SF

BUILDING HEIGHT: 65' BASE HEIGHT
5' FITCHED ROOF BONUS
15' SLOPED LOT BONUS (SEE A100)
4' MIXED-USE BONUS
4' GREENHOUSE BONUS
15' ELEVATOR FENTHOUSES

FAR: 475 x LOT AREA = 535,75 x 475 = 24964 SF

PROPOSED FAR: 60% REQUIRED, 60% PROVIDED, SEE CALCULATION ON A20

TRANSPARENCY: 23,337 (TOTAL RESIDENTIAL) + 1202 (COMMERCIAL) = 24,539 SF

COMMERCIAL USE: RETAIL

SET-BACKS:
FRONT 0' REQUIRED
0' AVERAGE PROVIDED
SIDE 0' MIN @ NORTH
0' MIN @ SOUTH
REAR 0' FOR STRUCTURES 0'-13' IN HEIGHT
0' FOR STRUCTURES 13'-65' IN HEIGHT REQ'D.
10'-0' PROVIDED FOR 13'-65' STRUCTURE HEIGHT

RESIDENTIAL AMENITY: REQUIRED -5% OF GROSS RESIDENTIAL
23,920 x 0.05 = 1195 SF

PROVIDED (SEE PLANS A201-206)
1ST 566
2ND 220
3RD 110
4TH 110
5TH 120
6TH 120
TOTAL 1366 SF

PARKING: RESIDENTIAL REQUIRED - 0

COMMERCIAL REQUIRED- NO PARKING REQUIRED FOR FIRST 2500 SF PROPOSED = 0 STALLS REQUIRED

TOTAL REQUIRED PARKING = 0 STALLS
TOTAL RESIDENTIAL PROVIDED PARKING = 13 STALLS

BICYCLE PARKING: RESIDENTIAL REQUIRED- 1 PER 4 UNITS
23/4 = 6 STALLS REQUIRED

COMMERCIAL REQUIRED- 1 PER 4000 SF
1202/4000 = 0 STALLS REQUIRED

TOTAL BICYCLE PARKING REQ'D = 6 STALLS

Design Departure

THE FOLLOWING DEPARTURES ARE REQUESTED:
*REDUCED SIGHT TRIANGLE

Building Code

BUILDING CODE: 2006 SEC

TYPE OF CONSTRUCTION: V-A (APARTMENTS)
I-A (RETAIL OFFICES, PARKING GARAGE)

OCCUPANCY: R-2 APARTMENTS
M RETAIL
S-2 PARKING GARAGE

STORIES: ALLOWED (TABLE 503): R-2 = 4 STORIES
INCREASE (SPRINKLER PER 504.2) = 1 STORY
TOTAL ALLOWED STORIES = 5
PODIUM BUILDING: NOT ALLOWED STORIES MAY BE MEASURED FROM 3-HOUR HORIZONTAL ASSEMBLY PER SEC 509.2. PROPOSED STORIES FROM 3-HOUR HORIZ. ASSEMBLY = 5.
TOTAL STORIES FROM GRADE PLANE = 6

HEIGHT: ALLOWED (TABLE 503): R-2 = 50'
INCREASE (SPRINKLER PER 504.2) = 20'
TOTAL ALLOWED HEIGHT = 70'
AVERAGE GRADE PLANE = 231.78 (SEE CALCULATION ON A100)
TOTAL PROPOSED HEIGHT = 295.04-231.78 = 63.26 (SEE CALCULATIONS ON A300, A301)

ALLOWABLE FLOOR AREA: A-T = ALLOWED FLOOR AREA PER TABLE 503 = 12,000 SF. (R-2/V-A)

I-F = AREA INCREASE DUE TO FRONTAGE = 0
I-S = AREA INCREASE DUE TO SPRINKLER PROTECTION = 2

ALLOWABLE AREA PER STORY 12,000 x (12,000 x 0) x (12,000 x 2) = 36,000 SF
MAXIMUM BUILDING AREA (MULTI-STORY) = 36,000 x 3 = 108,000 SF. (R-2)
ALLOWABLE AREA (M/V-A) = UNLIMITED
ALLOWABLE AREA (S-2/V-A) = UNLIMITED

ALLOWABLE AREA OF OPENINGS: SEE CALCULATIONS FOR ALLOWABLE AREA OF OPENINGS AT NORTH, WEST AND SOUTH PROPERTY LINES ON A201 AND A202.

Project Data

PROPERTY ADDRESS: 1623 BELLEVUE AVE

PROJECT NUMBER: 6169593 (BLDG.),
3020760 (MUP)

ASSESSORS PARCEL #: 8725600190 5252

LEGAL DESCRIPTION:

LOT 11 BLOCK 2 REPLAT OF 12TH AVENUE ADDITION TO THE CITY OF SEATTLE, VOL. 8 OF PLATS ON P. 54, KING CO, WA



Vicinity Map



Project Team

OWNER: WASHINGTON LAND AND INVESTMENT
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LANDSCAPE ARCHITECT: BRUCE JOHNSON ASUWA
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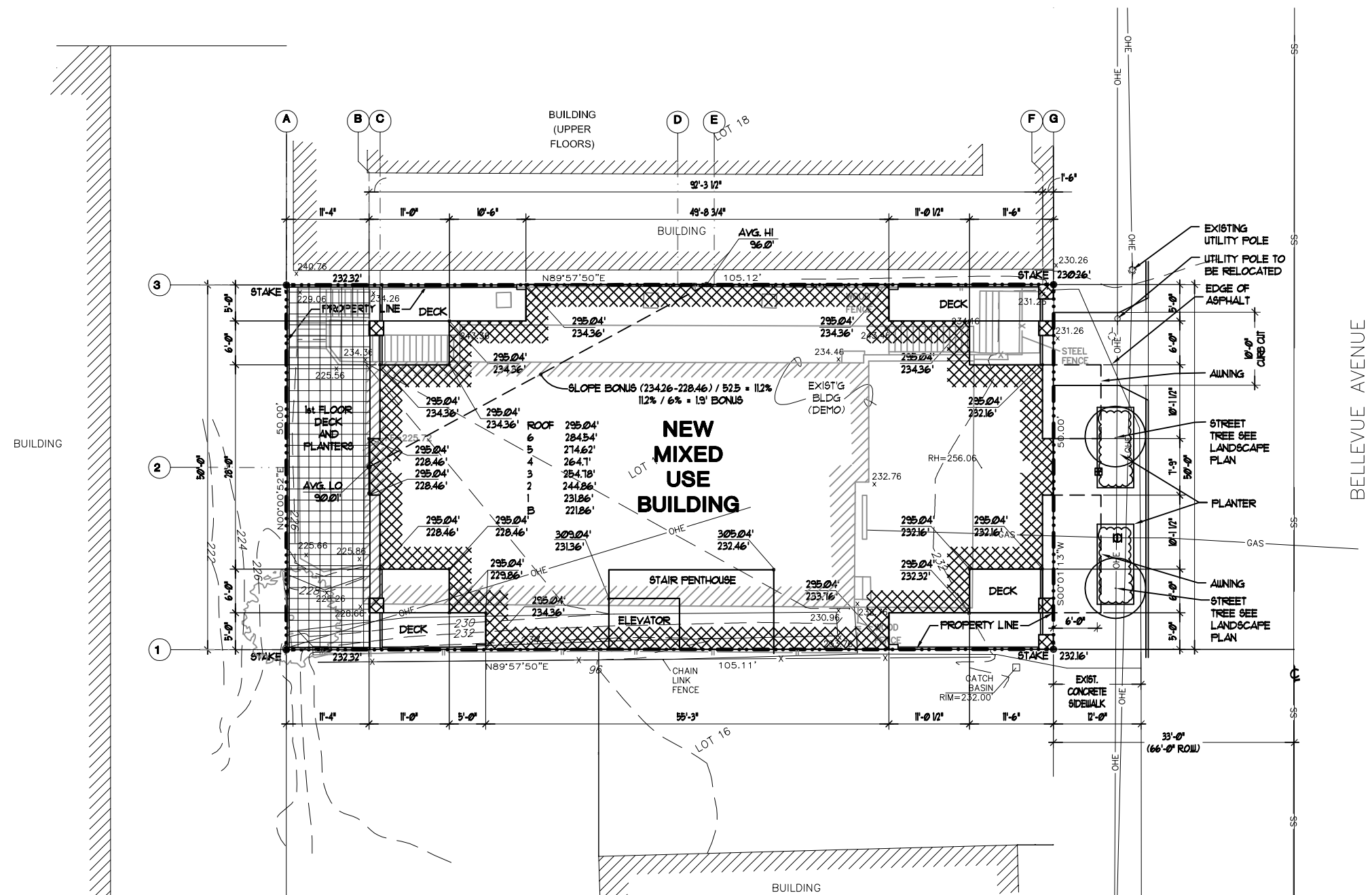
SURVEYOR: GEO DATUM
22525 SE 64TH PLACE,
SUITE 266
186AQUAH, WA 98021
425.883.6896

GEOTECH CONSULTANT: GEO GROUP NORTHWEST, INC
13240 NE 20TH, SUITE 12
BELLEVUE, WA 98005-2022
PHONE: 425-649-8151

Index

A1000 - GENERAL NOTES
A2001 - GENERAL NOTES, DIAGRAMS
A100 - SITE PLAN
A200 - LOWER PARKING
A201 - 1ST FLOOR PLAN
A202 - 2ND FLOOR PLAN
A203 - 3RD FLOOR PLAN
A204 - 4TH FLOOR PLAN
A205 - 5TH FLOOR PLAN
A206 - 6TH FLOOR PLAN
A207 - ROOF PLAN
A300 - ELEVATIONS (EAST & SOUTH)
A301 - ELEVATIONS (WEST & NORTH)
A302 - SECTION (BUILDING)
A303 - SECTION (STAIR) & STAIR PLANS
A304 - SECTION (ELEVATOR) & ELEVATOR NOTES
A400 - SCHEDULES - DOOR, WINDOW & OTHERS
A800 - DETAILS - WALL TYPES & ASSEMBLIES
A801 - DETAILS - WALL/FLOOR/CEILING
A802 - DETAILS - EXTERIOR
A803 - DETAILS - CONCRETE
A804 - DETAILS - CONCRETE
A805 - NOT USED
A806 - DETAILS - WINDOWS
A807 - DETAILS - DOORS
A808 - DETAILS - MILLWORK
A809 - DETAILS - FLASHING
A810 - DETAILS - WINDOW FLASHING
A812 - DETAILS - ACC
A811 - DETAILS - ACC
A813 - DETAILS - ACC

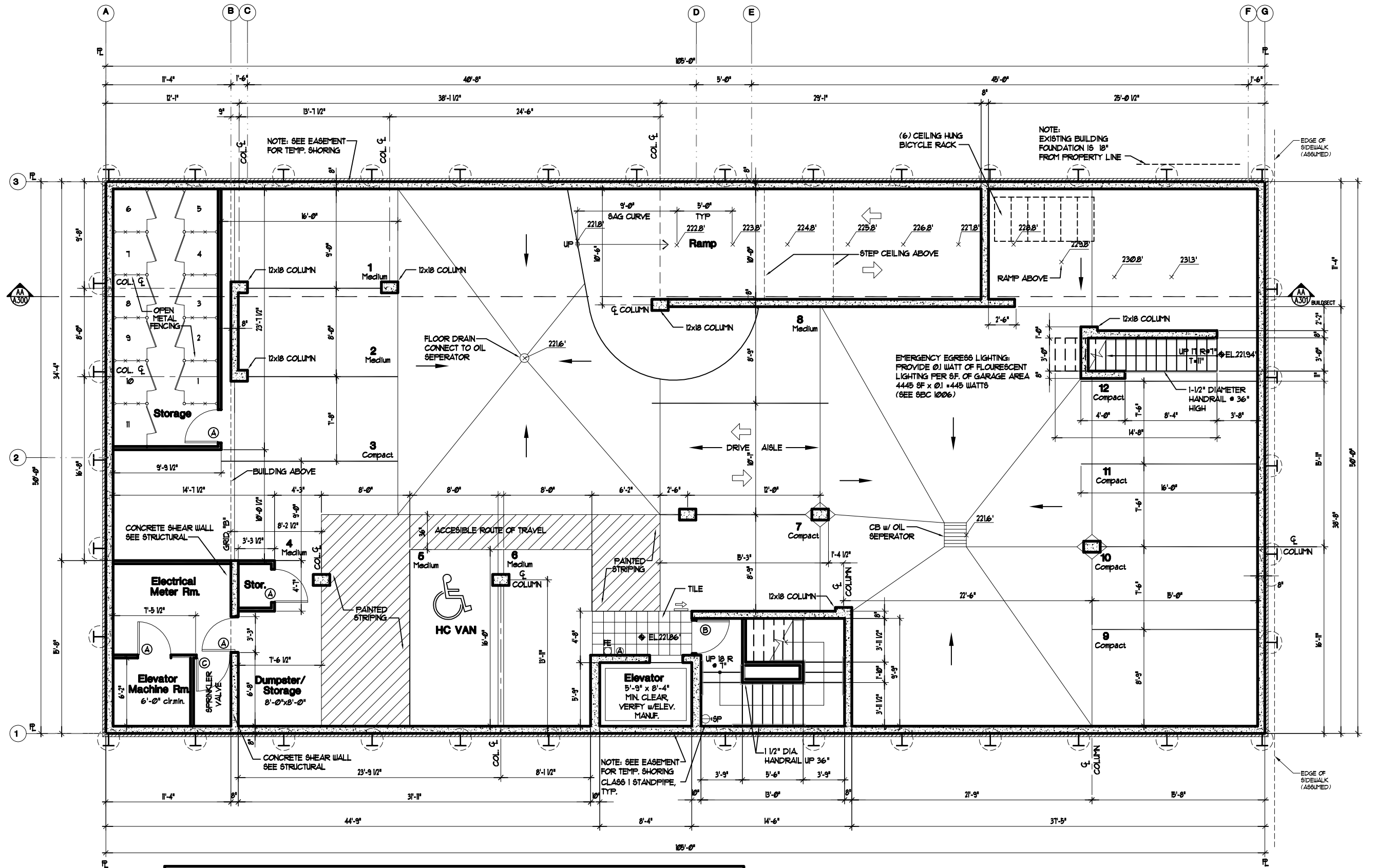
S100 - STRUCTURAL NOTES
S101 - STRUCTURAL NOTES
S102 - SHEARWALL SCHEDULE & DETAILS
S103 - HOLDOWN SCHEDULE & DETAILS
S104 - SCHEDULES & NOTES
S200 - FOUNDATION PLAN
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S602 - CONCRETE WALL SECTIONS
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S901 - WOOD DETAILS
S902 - WOOD DETAILS
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1201 - STREET LEVEL LANDSCAPE PLAN
1202 - 2ND - 5TH LANDSCAPE PLAN
1203 - ROOF TERRACE LANDSCAPE PLAN



AVG. GRADE PLANE CALCULATION
NORTH: $(23026+23236)/2 = 23131$
WEST: $(23226+23236)/2 = 23236$
SOUTH: $(23236+23216)/2 = 23226$
EAST: $(23216+23026)/2 = 23121$

927.14 /4

AVERAGE GRADE PLANE = 23178



LEGEND				
EXIT SIGN & DIRECTION	OUTLET 240V	LIGHT FIXTURE (SURFACE)	FLOOR ELEVATION	
SMOKE DETECTOR	SWITCH (DIMMER/POLES)	LIGHT FIXTURE (RECESSED)	WINDOW TYPE	
FIRE EXTINGUISHER	OUTLET 120V	(RECESSED LOW VOLTAGE)	DOOR TYPE	
FIRE ALARM	OUTLET 240V (CEILING/FLOOR)	LIGHT FIXTURE (WALL)	DETAIL BUBBLE	
STANDPIPE (CLASS)	TELEPHONE OUTLET	EMERGENCY LIGHT (WALL)	SECTION CUT	
SLOPE	TELEVISION OUTLET	FLUORESCENT LIGHT (WALL)	REVISION CLOUD & NUMBER	
FLOOR/YARD DRAIN	INTERCOM	FLUORESCENT LIGHT (SURFACE)	STAKE	
HOSE BIBB	FAN	FAN FORCED HEATER	PROPERTY LINE	
2-HR WALL	90CFM VENTILATION FAN	BASEBOARD HEATER	BUILDING GRID	

(1) ELEVATOR CAB SHALL ACCOMMODATE A 24"x84" AMBULANCE STRETCHER IN THE HORIZONTAL, OPEN POSITION.

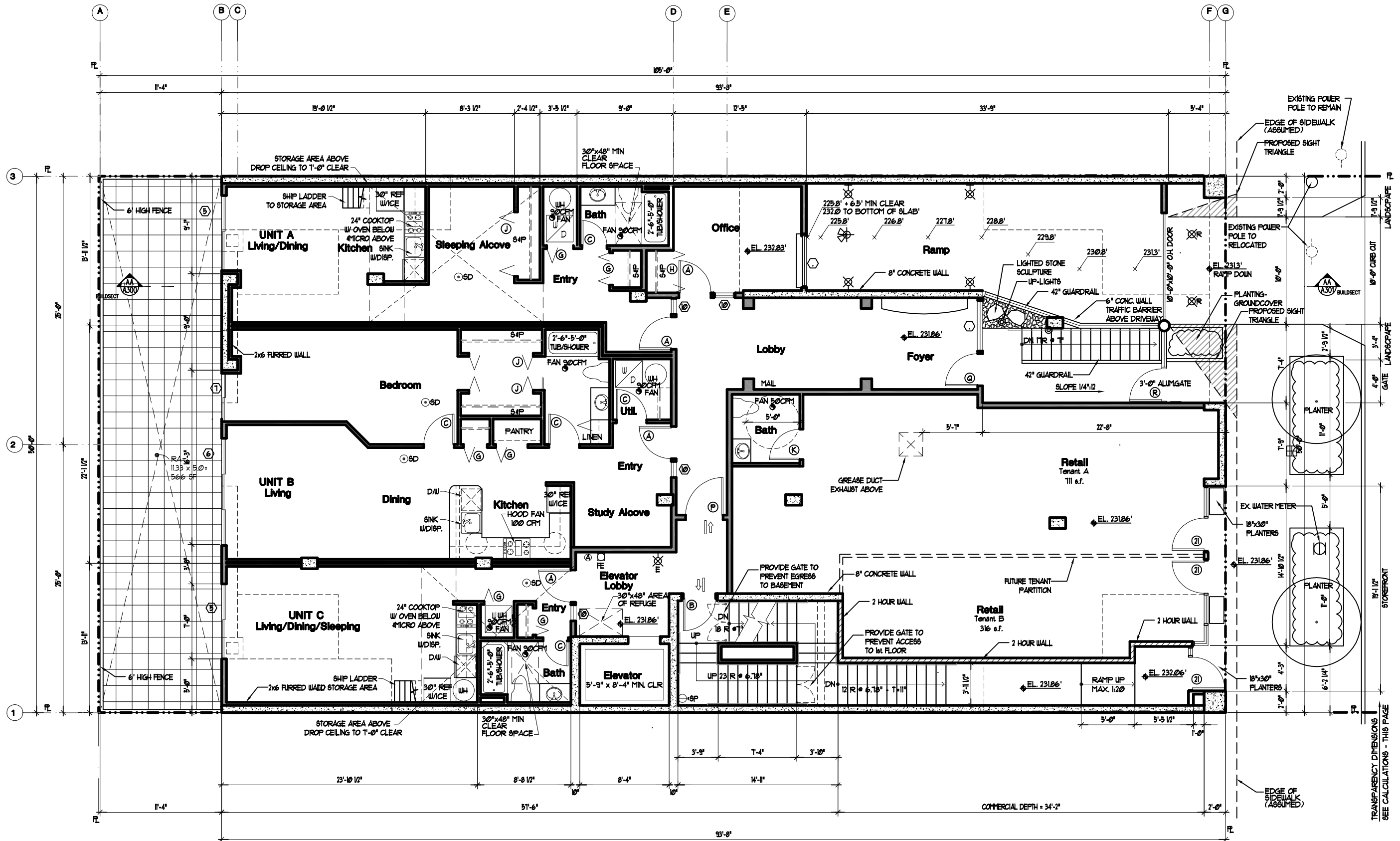


Basement Floor Plan

SCALE: 1/4" = 1'-0"

AREA:
PARKING = 4,445 sf
COMMON = 476 sf





LEGEND			
EXIT SIGN & DIRECTION	OUTLET 200V	LIGHT FIXTURE (SURFACE)	FLOOR ELEVATION
SMOKE DETECTOR	SWITCH (DIMMER/POLES)	LIGHT FIXTURE (RECESSED)	WINDOW TYPE
FIRE EXTINGUISHER	OUTLET 120V	LIGHT FIXTURE (WALL)	DETAIL BUBBLE
FIRE ALARM	OUTLET 200V (CEILING/FLOOR)	EMERGENCY LIGHT (WALL)	SECTION CUT
STANDPIPE (1 CLASS)	TELEPHONE OUTLET	FLUORESCENT LIGHT (WALL)	REVISION CLOUD & NUMBER
SLOPE	TELEVISION OUTLET	FLUORESCENT LIGHT (SURFACE)	STAKE
FLOOR/YARD DRAIN	INT. INTERCOM	FAN FORCED HEATER	PROPERTY LINE
HOSE BIBB	FAN 90CFM VENTILATION FAN	BASEBOARD HEATER	BUILDING GRID
2-HR WALL			

ALLOWABLE AREA OF OPENINGS

1) WEST PROPERTY LINE: OPENINGS AT GRID B 10' x 45' + 100' x 10' = 285 SF (WINDOWS 5, 6 & 7)
WALL AREA = 50' x 13' = 650 SF
OPENING % = 285/650 = 44% (ACTUAL)
ALLOWED OPENINGS PER TABLE 104.8, PROTECTED OPENINGS GREATER THAN 10 TO 15 FEET = 45% (ALLOWED)

TRANSPARENCY CALCULATIONS

REQUIRED TRANSPARENCY:
50' LOT - 10' DRIVEWAY = 40'
40' x (8'-2") = 240 SF x 60% = 144 SF REQUIRED
PROVIDED TRANSPARENCY:
18'-1-1/2" (STOREFRONT) + 4'-0" (ENTRY) + 2'-6" (LANDSCAPE) + 1'-9-1/2" (LANDSCAPE) = 21'-5" x (8'-2") = 164 SF
TRANSPARENCY % = 164 / 240 = 68%

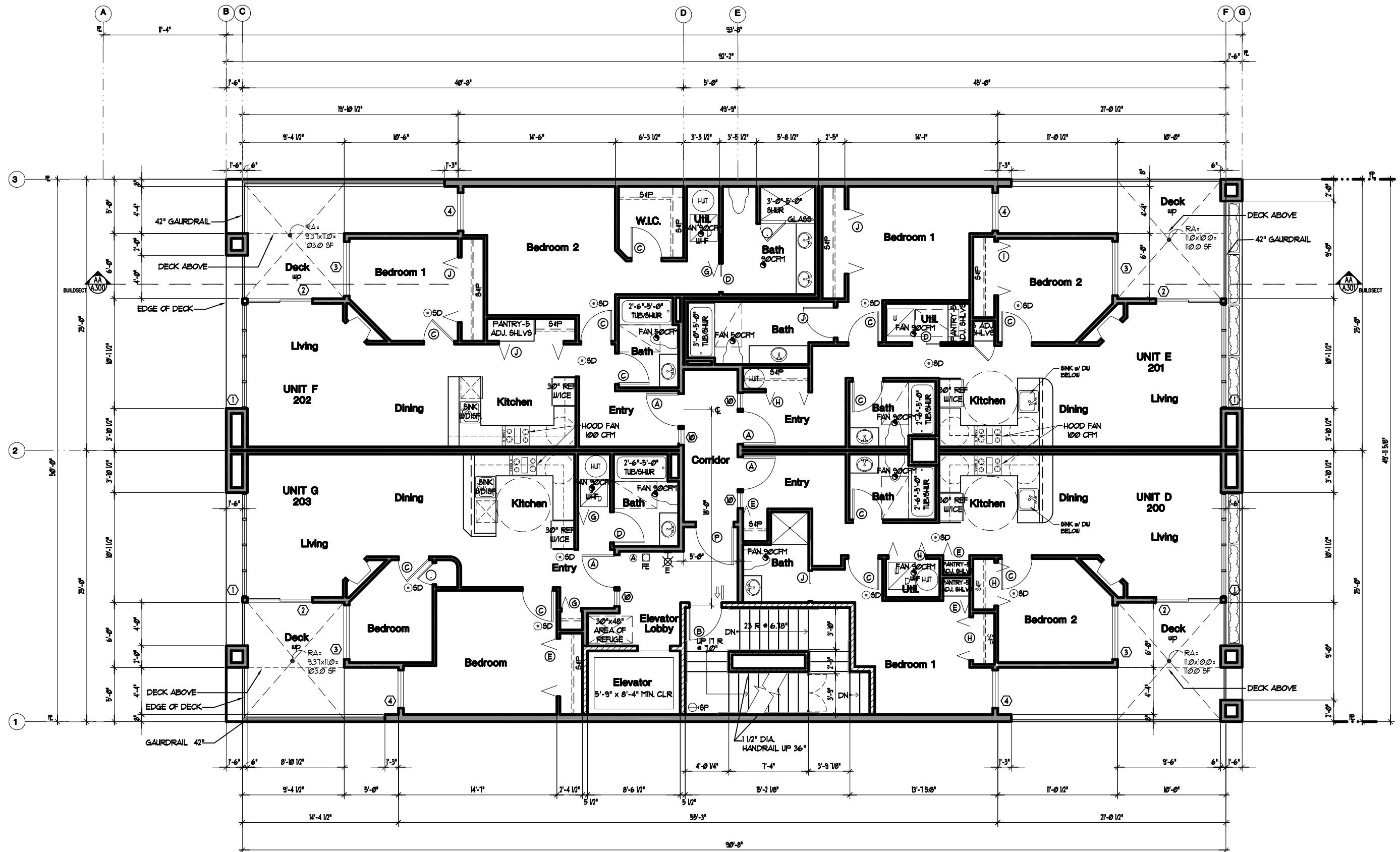


1st Floor Plan

SCALE: 1/4"=1'-0"

RESIDENTIAL AMENITY (RA) 1st FLOOR:
WEST DECK 566 SF

AREA:
RETAIL = 1,021
COMMON = 939
UNIT A100 = 568
UNIT B101 = 928
UNIT C102 = 439



LEGEND			
<ul style="list-style-type: none"> EXIT SIGN & DIRECTION SMOKE DETECTOR FIRE EXTINGUISHER FIRE ALARM STANDPIPE (CLASS) SLOPE FLOOR/YARD DRAIN HOSE BIBB 2-HR WALL 	<ul style="list-style-type: none"> OUTLET 210V SWITCH (DIMMER/POLES) OUTLET 120V OUTLET 210V (CEILING FLOOR) TELEPHONE OUTLET TELEVISION OUTLET INT. INTERCOM FAN 30CFM VENTILATION FAN 	<ul style="list-style-type: none"> LIGHT FIXTURE (SURFACE) LIGHT FIXTURE (RECESSED) (RECESSED LOW VOLTAGE) LIGHT FIXTURE (WALL) EMERGENCY LIGHT (WALL) FLUORESCENT LIGHT (WALL) FLUORESCENT LIGHT (SURFACE) FAN FORCED HEATER BASEBOARD HEATER 	<ul style="list-style-type: none"> FLOOR ELEVATION WINDOW TYPE DOOR TYPE DETAIL BUBBLE SECTION CUT REVISION CLOUD & NUMBER STAKE PROPERTY LINE BUILDING GRID

ALLOWABLE AREA OF OPENINGS

1) SOUTH PROPERTY LINE: OPENINGS AT GRID 12 (EDGE OF DECK), $(8.81 + 9.5) \times 8 = 141$ SF
 AREA OF WALL, @ GRID 1, 2ND TO 3RD FLOOR, $9.92 \times 90.66 = 899$ SF
 OPENING % = $141/899 = 16.3\%$ (ACTUAL) ALLOWED OPENING PER TABLE 104.8, PROTECTED
 OPENINGS GREATER THAN 5 TO 10 FEET = 25% (ALLOWED)

2) NORTH PROPERTY LINE SIMILAR TO SOUTH PROPERTY LINE.

3) WEST PROPERTY LINE: OPENING AT GRID C, $51 \times 51 = 114$ SF (WINDOW #1) WALL AREA = $28 \times 9.92 = 221$ SF
 $114/221 = 51.6\%$ (ACTUAL) ALLOWED OPENING PER TABLE 104.8, PROTECTED OPENINGS GREATER THAN 10 TO 15 FEET
 = 45% (ALLOWED) OPENINGS EAST OF GRID C ARE PROTECTED AND GREATER THAN 20' TO
 THE PROPERTY LINE WITH NO LIMIT TO THE OPENINGS

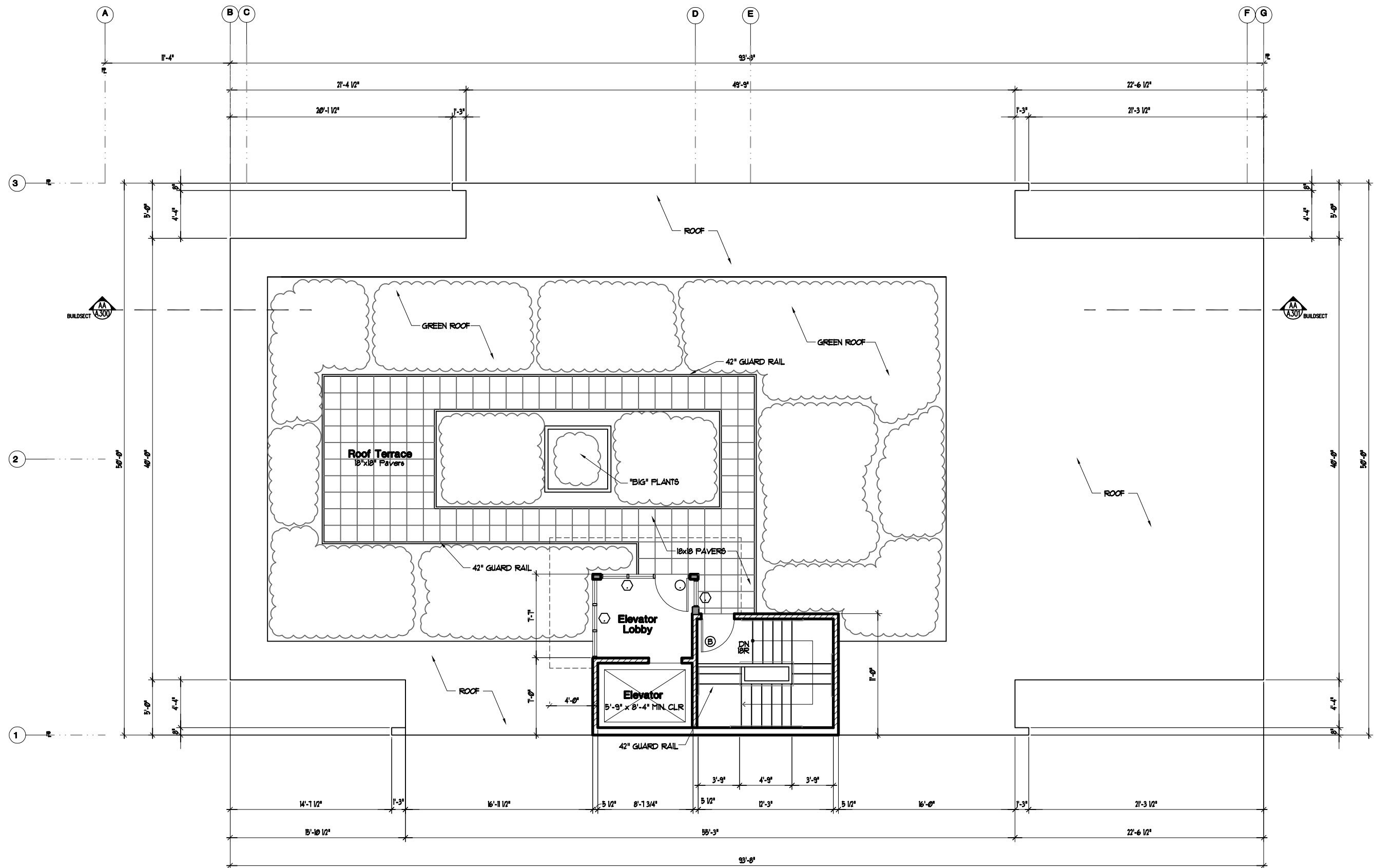
RESIDENTIAL AMENITY (RA) 2ND FLOOR:

EAST DECKS, $110 \times 110 = 220$ SF
 WEST DECKS, $103 \times 103 = 206$ SF




































TOTAL = 426 SF

AREA:	
COMMON	= 372 SF
UNIT D	= 846 SF
UNIT E	= 900 SF
UNIT F	= 911 SF
UNIT G	= 756 SF
DECKS	= 438 SF

Typical Floor Plan (2-6)
 SCALE: 1/4"=1'-0"



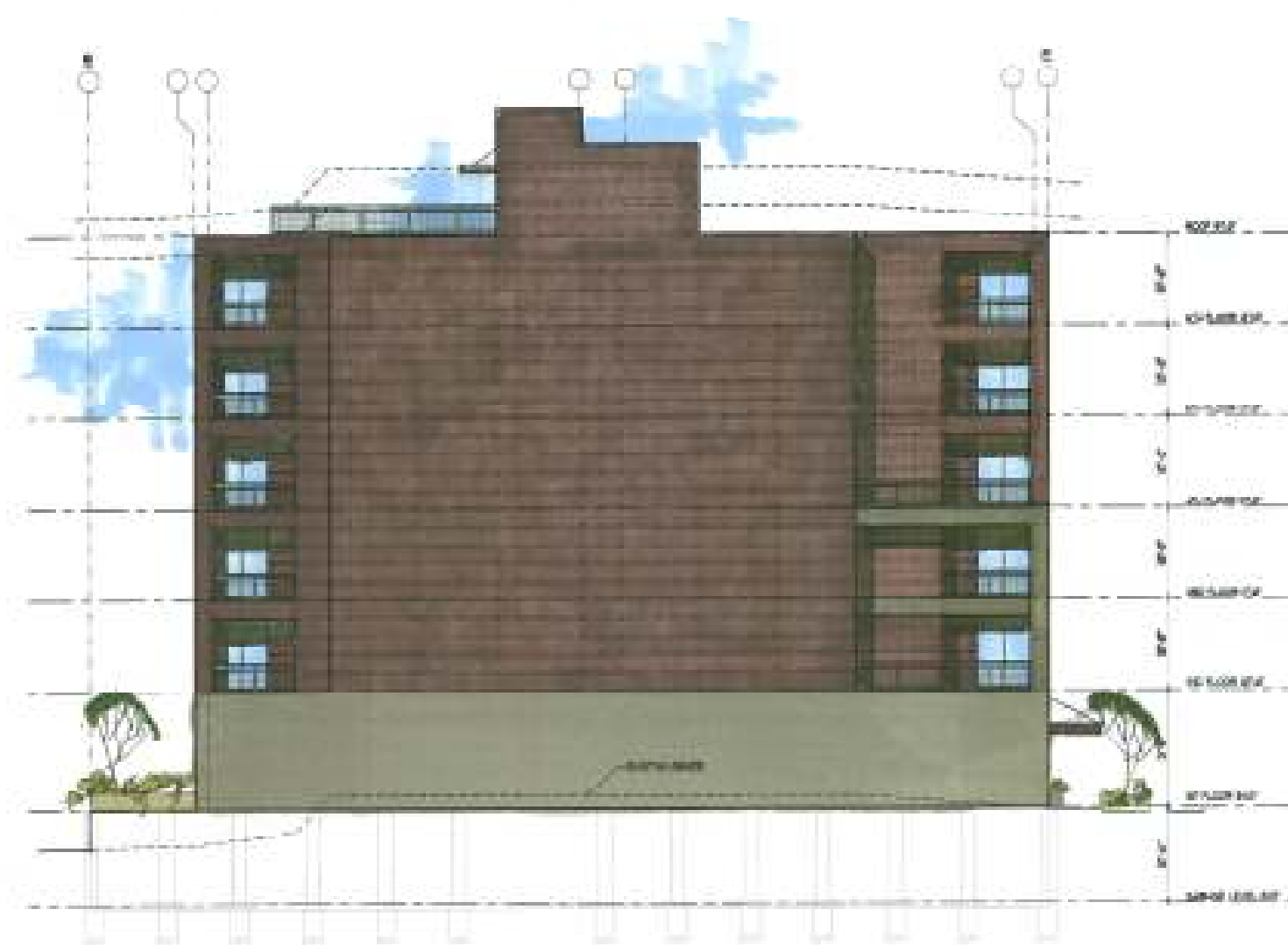
LEGEND

	EXIT SIGN + DIRECTION		OUTLET 200V		LIGHT FIXTURE (SURFACE)		FLOOR ELEVATION
	SMOKE DETECTOR		SWITCH (DIMMER/POLES)		LIGHT FIXTURE (RECESSED)		WINDOW TYPE
	FIRE EXTINGUISHER		OUTLET 120V		(RECESSED) LOW VOLTAGE		DOOR TYPE
	FIRE ALARM		OUTLET 200V (CEILING/FLOOR)		LIGHT FIXTURE (WALL)		DETAIL BUBBLE
	STANDPIPE (1 CLASS)		TELEPHONE OUTLET		EMERGENCY LIGHT (WALL)		SECTION CUT
	SLOPE		TELEVISION OUTLET		FLUORESCENT LIGHT (WALL)		REVISION CLOUD + NUMBER
	FLOOR/YARD DRAIN		INTERCOM		FLUORESCENT LIGHT (SURFACE)		STAKE
	HOSE BIBB		VENTILATION FAN		FAN FORCED HEATER		PROPERTY LINE
	2-HR WALL		BASEBOARD HEATER		BUILDING GRID		

Roof Terrace Plan

SCALE: 1/4"=1'-0"

AREA:
COMMON = 278 SF
CIRCULATION = 254 SF
TERRACE = 150 SF
GREEN ROOF = 1,300 SF



South Elevation

SCALE: 1/8"=1'-0"



East Elevation

SCALE: 1/8"=1'-0"

DATE: _____
 DRAWN: **at**
 CHECKED: **RM**
 10-18-2018 MUP Application
 12-10-2018 Building Permit Application

PROJECT: **1000 3rd Ave**
 ARCHITECT: **Matthew & Nina Barnett**
 LOCATION: **1000 3rd Ave**
 CITY: **SEATTLE, WASHINGTON**



MIXED USE BUILDING
 For Matthew & Nina Barnett
 Seattle, WA



North Elevation

SCALE: 1/8"=1'-0"



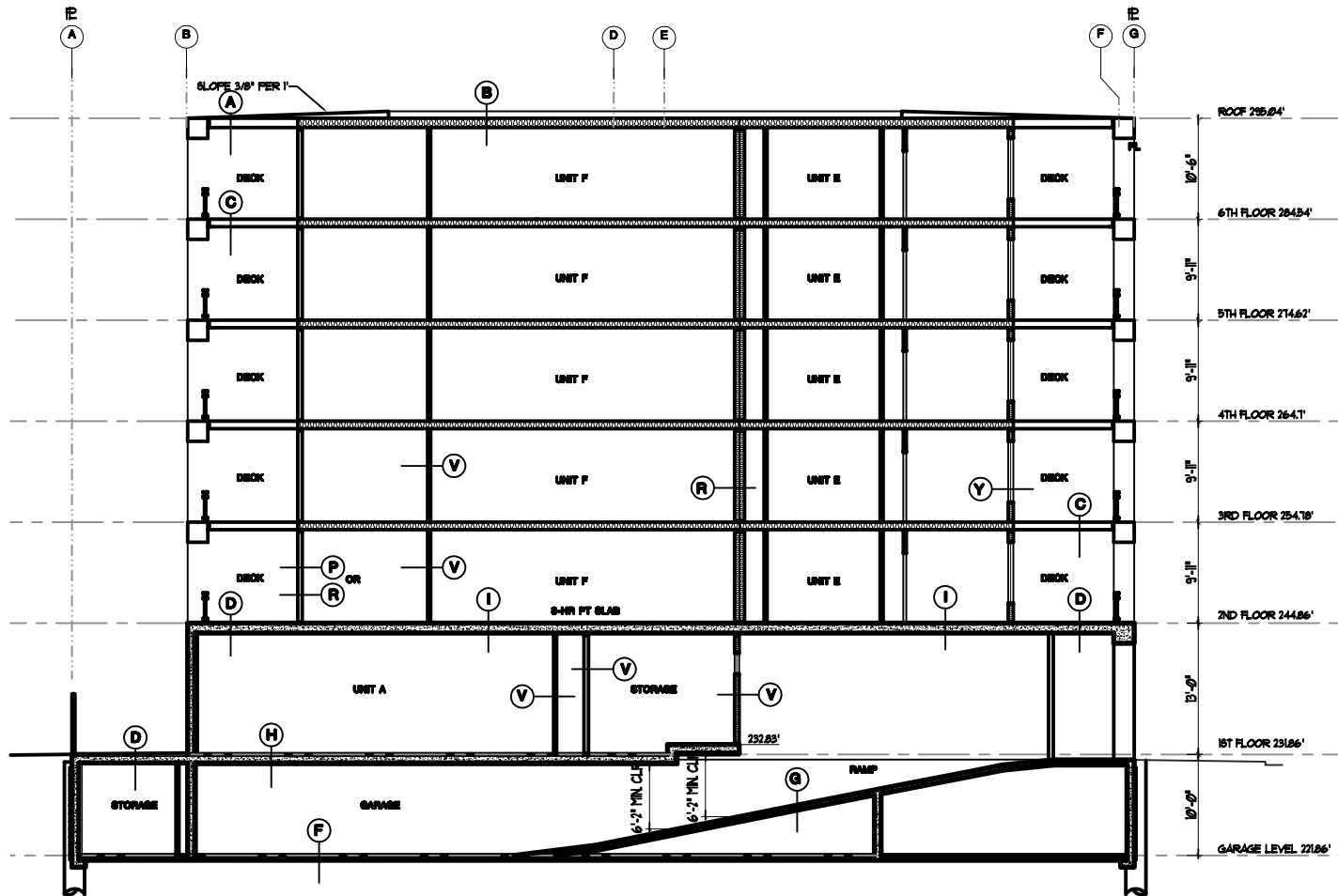
West Elevation

SCALE: 1/8"=1'-0"

- A** ROOF ASSEMBLY LOW SLOPE - 1 HOUR CLASS B
2 FLY MEMBRANE ASPHALT ROOFING (GRANULATED CAP SHEET) O/
5/8" CDX PLYWOOD, SLOPED 3/8" PER FOOT MINIMUM OVER ROOF
TRUSSES/JOISTS AT 24" O.C. WITH R-38 FIBERGLASS BATT
INSULATION (R-30 AT SLOPED CEILING); 2 LAYERS 5/8" TYPE "X"
GWB, VAPOR RETARDANT PAINT. INSTALL ROOFING UNDER
SUPERVISION OF ROOFING MANUFACTURER'S REPRESENTATIVE AND
IN ACCORDANCE WITH ROOFING MANUFACTURER'S APPLICATION
MANUAL. CONSULT SPECIFICATIONS BY APPROVED WATERPROOF
CONSULTANT AND/OR BUILDING ENCLOSURE CONSULTANT. PROVIDE
WRITTEN 10 YEAR MATERIAL AND 2 YEAR WORKMANSHIP WARRANTY
TO OWNER(S).
- B** ROOF TERRACE
18"x18"x1-3/4" HYDRA PRESSED CONCRETE PAVERS SET ON
ADJUSTABLE FEDESTALS ON 2 FLY MEMBRANE ASPHALT ROOFING
(GRANULAR CAP SHEET) O/ 3/4" CDX PLYWOOD SLOPED 3/8" PER
FOOT MINIMUM O/ ROOF TRUSSES/JOISTS @ 24" o.c. w/ R-38 (R-30 @
SLOPED CEILING) FIBERGLASS BATT INSULATION, 2 LAYERS 5/8" TYPE
"X" GWB, VAPOR RETARDANT PAINT. INSTALL ROOFING UNDER
SUPERVISION OF ROOFING MANUFACTURER'S REPRESENTATIVE AND IN
ACCORDANCE WITH ROOFING MANUFACTURER'S APPLICATION MANUAL.
CONSULT SPECIFICATION BY APPROVED WATERPROOF CONSULTANT
AND/OR BUILDING ENCLOSURE CONSULTANT. PROVIDE WRITTEN 10
YEAR MATERIAL AND 2 YEAR WORKMANSHIP WARRANTY TO OWNER(S).
- C** DECK ASSEMBLY - 1 HOUR
18"x18"x1 1/8" HYDRA PRESSED CONCRETE PAVERS SET ON
ADJUSTABLE FEDESTALS ON PROTECTION BOARD O/ WATERPROOF
MEMBRANE O/ 1-1/8" PLYWOOD (1/2" CDX + 3/4" CDX) O/ JOIST PER
STRUCTURAL W/ TAPERED SLEEPER - R-30 INSULATION. INSTALL
WATERPROOF MEMBRANE AND FLASHING UNDER GUIDANCE OF
CERTIFIED BUILDING ENCLOSURE CONSULTANT. SLOPE 3/8"/FT. MIN.
TO DECK DRAINS. PROVIDE 2 PIECE DECK DRAINS. PROVIDE
WRITTEN WARRANTY TO OWNER(S).
- D** DECK ASSEMBLY - CONCRETE
18"x18"x1-3/4" HYDRA PRESSED CONCRETE PAVERS SET ON
ADJUSTABLE FEDESTALS ON PROTECTION BOARD ON W/P
MEMBRANE ON FT CONCRETE SLAB, SLOPED 3/8" PER FOOT
MINIMUM TO TWO PIECE DRAIN. INSTALL WATERPROOF MEMBRANE
UNDER THE GUIDANCE OF WATERPROOF MANUFACTURER AND/OR
BUILDING ENCLOSURE CONSULTANT. PROVIDE WRITTEN WARRANTY
TO OWNER(S).
- E** DECK ASSEMBLY - CONCRETE
WATERPROOF MEMBRANE (HEAVY DUTY TRAFFIC COATING) O/
CONCRETE SLAB PER STRUCTURAL. SLOPE TO DRAIN 3/8" PER
FOOT MINIMUM. INSTALL WATERPROOF MEMBRANE UNDER THE
GUIDANCE OF WATERPROOF MANUFACTURER AND CERTIFIED
BUILDING ENCLOSURE CONSULTANT. PROVIDE WRITTEN WARRANTY
TO OWNER(S).
- F** CONCRETE SLAB ON GRADE
4" CONCRETE SLAB, SLOPE 1/4"/FT. DRAIN TO OIL SEPARATOR TYPE
CATCH BASIN PER CIVIL DRAWINGS, O/ 6" PIT RUN GRAVEL BASE,
PROVIDE 100% POLYETHYLENE WHEN DIRECTED BY GEOTECHNICAL
ENGINEER. PROVIDE EXPANSION JOINTS AS REQUIRED BY
STRUCTURAL DRAWINGS OR EVERY 20'-0" EACH DIRECTION
MAXIMUM. PROVIDE 4" DIAMETER SCHEDULE 40 PERFORATED PVC
FOOTING DRAINS @ PERIMETER OF EXTERIOR WALLS.
- G** PT SLAB AT GARAGE DRIVE
POST TENSIONED CONCRETE SLAB PER STRUCTURAL - TROUEL
FINISH OVER HIGH DENSITY FOAM FILL. 1 HOUR MINIMUM FIRE RATING.
- H** 1 HOUR PT SLAB AT UNIT FLOOR
CARPET AND PAD OR HARDWOOD OR TILE O/ VAPOR BARRIER O/
POST TENSIONED CONCRETE SLAB PER STRUCTURAL. R-30 RIGID
INSULATION ADHERED TO UNDERSIDE OF PT SLAB. 1 HOUR FIRE
RATING.
- I** 3 HOUR PT SLAB AT UNIT FLOOR
CARPET AND PAD OR HARDWOOD OR TILE O/ VAPOR BARRIER O/
POST TENSIONED CONCRETE SLAB PER STRUCTURAL. R-30 RIGID
INSULATION ADHERED TO UNDERSIDE OF PT SLAB. 3 HOUR FIRE
RATING.
- J** 3 HOUR PT SLAB AT UNIT FLOOR
CARPET AND PAD OR HARDWOOD OR TILE O/ VAPOR BARRIER O/
POST TENSIONED CONCRETE SLAB PER STRUCTURAL. R-30
INSULATION, ONE LAYER 5/8" TYPE "X" GWB ON FURRING CHANNEL,
LATEX PAINT. 3 HOUR FIRE RATING.
- K** PARTY FLOOR ASSEMBLY - 1 HOUR
CARPET & PAD O/ 1-1/2" GYPCRETE TOPPING O/ 3/4" T&G PLYWOOD
O/T/I JOISTS PER STRUCTURAL, 5-1/2" BATT SOUND INSULATION IN
JOIST CAVITIES. (2) LAYERS 5/8" TYPE "X" GWB ON RC-1 RESILIENT
CHANNELS @ 24" O.C. STC-58 PER NES REPORT NO. NES-200
ASSEMBLY B). PROVIDE 1/4" ACOUSTIMAT AND 1-1/4" GYPCRETE
TOPPING AT WOOD AND TILE FLOORS.
- L** FOUNDATION/CONCRETE SHORED WALLS
DRAINAGE MAT (AMERIDRAIN 500 OR APPROVED SUBSTITUTE) O/
WATERPROOF MEMBRANE (INSTALL UNDER SUPERVISION OF
CERTIFIED BUILDING ENCLOSURE CONSULTANT) O/ CONCRETE
WALL(S) PER STRUCTURAL DRAWINGS. PROVIDE WATER STOPS
(PARAMOUNT® SUPER STOP BENTONITE OR APPROVED SUBSTITUTE)
@ TOP OF CONCRETE WALLS, FOOTINGS, & FT SLAB. PROVIDE
WRITTEN WARRANTY TO OWNER

- M** FOUNDATION/CONCRETE NON SHORED WALLS
DRAINAGE MAT O/ WATERPROOF MEMBRANE (INSTALL UNDER
SUPERVISION OF CERTIFIED BUILDING ENCLOSURE CONSULTANT) O/
REINFORCED CONCRETE PER STRUCTURAL. PROVIDE WATER
STOPS (PARAMOUNT® SUPER STOP BENTONITE OR APPROVED
SUBSTITUTE) @ TOP OF CONCRETE WALLS, FOOTINGS, & FT SLAB.
PROVIDE WRITTEN WARRANTY TO OWNER(S).
- N** EXTERIOR WALL-CONCRETE-1 HOUR
12"x12"x3/8" SLATE TILE ADHESIVE APPLIED TO CONCRETE OVER
WEATHER RESISTANT BARRIER FURR INTERIOR OF WALL w/ 2x4
STUDS @ 16" o.c., R-21 RIGID INSULATION, 3/8" TYP "X" GWB, VAPOR
RETARDANT PAINT.
- O** EXTERIOR WALL-METAL-1 HOUR
1 1/2" 24 GAUGE BAKED ENAMEL METAL SIDING ON FURRING CHANNELS
@ 16" o.c. ON WEATHER RESISTANT BARRIER ON 3/8" EXTERIOR GYP.
SHEATHING (DENS GLASS GOLD) ON 1/2" CDX PLYWOOD ON 2x6
STUDS @ 16" o.c. R-21 FIBERGLASS BATT INSULATION, 3/8" TYPE "X"
GWB, VAPOR RETARDANT PAINT. INSTALL WEATHER RESISTANT
BARRIER UNDER GUIDANCE OF BUILDING ENCLOSURE CONSULTANT.
SUBMIT REPORT TO OWNER(S).
- P** EXTERIOR WALL-CEMENTATIOUS BOARD-2 HOUR
3/8" CEMENTATIOUS PANELS SCREW ATTACHED TO 1/2"x1-1/2" FUSTIC
FURRING STRIPS @ 16" o.c. VERTICAL ON WEATHER RESISTANT
BARRIER ON 3/8" TYPE "X" GWB (DENS GLASS GOLD) ON 1/2" CDX
PLYWOOD ON 2x6 STUDS @ 16" o.c. R-21 FIBERGLASS BATT
INSULATION, 3/8" TYPE "X" GWB, VAPOR RETARDANT PAINT. INSTALL
WEATHER RESISTANT BARRIER UNDER GUIDANCE OF BUILDING
ENCLOSURE CONSULTANT. SUBMIT REPORT TO OWNER(S).
- Q** EXTERIOR WALL-CEMENTATIOUS BOARD-1 HOUR
3/8" CEMENTATIOUS PANELS SCREW ATTACHED TO 1/2"x1-1/2" PLASTIC
FURRING STRIPS @ 16" o.c. VERTICAL ON WEATHER RESISTANT
BARRIER ON 1/2" CDX PLYWOOD.
- R** PARTY WALL ASSEMBLY-1 HOUR RATED
(1) LAYER 3/8" GWB TYPE "X" E.S. OF ASSEMBLY ATTACHED W/
SCREWS @ 16" O.C. DOUBLE ROW OF (2) 2x4 @ 8" STAGGERED OR
2x4 @ 8" STAGGERED PER STUD SCHEDULE. ON SEPARATE PLATES
SPACED 1" APART, 3/4" FIBERGLASS SOUND CONTROL BATT
INSULATION (BOTH CAVITIES) ASSEMBLY PER ACOUSTICAL LABS TL
TS-83, STC 51, 18TB, FIRE RATING PER GA FILE #UP33710. FIRESTOP
WALL EVERY 10' HORIZONTAL WITH VERTICAL ROCK WOOL OR RIGID
BOARD.
- S** 1 HOUR CORRIDOR WALL
3/8" TYPE "X" GWB ON 2x4 STAGGERED @ 8" o.c. ON 2x6 PLATE WITH R-11
BATT SOUND INSULATION IN BOTH STUD CAVITIES. CDX PLYWOOD @
SHEARWALL LOCATIONS PER STRUCTURAL.
- T** 2 HOUR ELEVATOR/STAIR WALL
2 LAYERS 3/8" TYPE "X" GWB ON 2x4 STAGGERED STUDS @ 8" o.c. ON 2x6
PLATE WITH R-11 BATT SOUND INSULATION IN BOTH STUD CAVITIES. CDX
PLYWOOD @ SHEARWALL LOCATIONS PER STRUCTURAL.
- U** INTERIOR WALL - WOOD
3/8" TYPE "X" GWB ON 2x4 OR 2x6 STUDS @ 16" o.c. CDX PLYWOOD @
SHEARWALL LOCATIONS PER STRUCTURAL.
- V** FASCIA (BUILT-UP ROOF)
3/8" TYPE "X" GWB ON 3-1/2"x1-1/2" METAL STUDS @ 16" o.c.
- W** FASCIA (BUILT-UP ROOF)
24 GAUGE METAL FLASHING AND CAP OVER W/P MEMBRANE OVER
4x CANT. ON 2x BLOCKING @ 24" o.c. PROVIDE 2" CONTINUOUS
SCREENED VENTS.
- X** DECK RAIL
1/2"x4" T" SHAPED POWDER COATED ALUMINUM VERTICAL SUPPORTS
@ APPROX. 5'-0" CTRS. WELDED TO ALUMINUM CAP METAL SET ON
FRAMED WALL. 1/4" DIAMETER STAINLESS STEEL CABLE RAILS @ 4"
MAX. CENTERS. WRAP TOP OF FRAME W/ BREATHER TYPE
WATERPROOF ADHESIVE AND SELF SEALING MEMBRANE. NO
FASTENERS IN HORIZONTAL SURFACES. INSTALL UNDER
SUPERVISION OF CERTIFIED BUILDING ENCLOSURE CONSULTANT.
SUBMIT REPORT TO OWNER.
- Y** WINDOWS - RESIDENTIAL
INSULATING GLASS W/ PVC FRAMES W/ INTEGRAL WEATHERSTRIPPING.
MITER & WELD ALL CORNERS. INSTALL W/ NAILING FLANGE. MILGARD,
INSULATE INDUSTRIES, CASCADE OR STARLINE. INSTALL PER DETAILS
PROVIDED AND UNDER GUIDANCE OF CERTIFIED BUILDING ENCLOSURE
CONSULTANT. PROVIDE SCREENS FOR ALL OPERABLE WINDOWS &
SLIDING DOORS. WINDOWS SHALL CONFORM TO THE LATEST EDITION OF
THE WASHINGTON STATE ENERGY CODE. WINDOWS SHALL BE DESIGNED
& CONSTRUCTED TO MEET APPROPRIATE WIND EXPOSURE & HEIGHT
LOCATION REQUIREMENTS. PROVIDE WRITTEN WARRANTY TO OWNER(S).
- Z** WINDOWS - COMMERCIAL
4"x2" POWDER COATED ALUMINUM FRAMES W/ INSULATING GLASS. SET
ON SILL PAN. FLASH SHINGLE STYLE PER BUILDING ENCLOSURE
CONSULTANT'S RECOMMENDATION AND DETAILS.

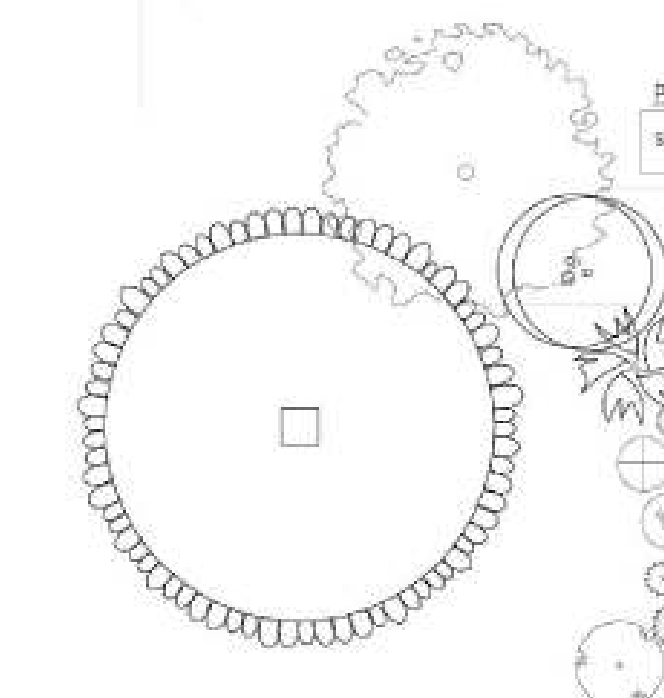
- AA** FOUNDATION DRAIN
4" AND/OR 6" PERFORATED WRAPPED PLASTIC FOOTING DRAIN
WITH CLEANOUTS, T'S AND L'S, AS REQUIRED. BACKFILL WITH 12"
MINIMUM 3/4" WASHED GRAVEL. PROVIDE RIGID PVC WHEN SITE IS
LOCATED IN DESIGNATED ENVIRONMENTALLY SENSITIVE AREA.
CONNECT FOUNDATION DRAIN TO CITY APPROVED STORM
DRAINAGE SYSTEM.
- BB** SUSPENDED CEILING SYSTEM
SUSPENDED "T" BAR CEILING SYSTEM (NON RATED).
SUPPORT PER MANUFACTURER'S RECOMMENDATION.
DESIGN SYSTEM TO RESIST EARTHQUAKE LOADS.



Building Section

SCALE: 1/8"=1'-0"

Looking North



S/N	SCIENTIFIC NAME / COMMON NAME	SIZE	HEIGHT / CONDITION	PLANTING NOTES	REMARKS: GREEN FACTOR	QUANTITY	GREEN FACTOR DESIGNATION
	EXISTING TREE						
	ACER DIORINUM / NINE MAPLE *	2 1/4" CAL. STEMS	8-10 FT. S&S	WILD-STEM, 3 STEM MIN.	GF-SMALL TREE	4	B-3
	CARPINUS CAROLINANA / AMERICAN HOANSEAM	2" CAL.	BRANCHED AT 5'-7' D & S	MATCHED & DENSELY BRANCHED	GF-SMALL/MED. TREE	2	B-4
	WASHINGTONIA FILIFERA / CALIFORNIA FERN PALM	24" DIA.	8-7 FT. HT. S&S	MATCHED & EVENLY BRANCHED	GF-DRIVEN ROOF	SEE SHEET L-207	C
	ARLIA X GRANDIFLORA 'EDWARD'S DOUGHER' / ED DOUGHER'S ARLIA	8-12"	5 GAL. SPACE PER PLAN	COMPACT & BUSY	GF-SHrub, DROUGHT TOLERANT, VESSEL	25	B-2, F
	CAJIST 'SUNSET' / ROSEHEDGE *	8-12"	5 GAL. SPACE PER PLAN	COMPACT & BUSY	GF-SHrub, DROUGHT TOLERANT, VESSEL	10	B-1, F, S
	SELODYNA JAPONICUM 'TERRAZZO' / * BOX-LEAF PRUIT	18-24"	5 GAL. SPACE PER PLAN	COMPACT & BUSY	GF-SHrub, DROUGHT TOLERANT	5	B-2, F
	ARTEMIS CYANOPHYLLA / JAPANESE BELLO GRASS	15-18"	1 GAL. SPACE PER PLAN	FILL & UPRIGHT	GF-DRIVEN ROOF	SEE SHEET L-207	C
	POLYSTICHUM MUNITUM / SACRED FERN	8-12"	1 GAL. SPACE PER PLAN	COMPACT & BUSY	GF-SHrub	20	B-2
	ARISTOLIA UNICATA 'COMPACT' / * A.M. RHODODENDRON	18-24"	5 GAL. SPACE PER PLAN	WILD BRANCHED & BUSY	GF-SHrub, DROUGHT TOLERANT	7	B-2, F

SYM.	SCIENTIFIC NAME / COMMON NAME	SIZE	HEIGHT / CONDITION	PLANTING NOTES	EDWARDS' GREEN FACTOR	QUANTITY	GREEN FACTOR DESIGNATION
	HYDRANTHUS SINCENSIS 'CRACKLING' / WOOD CRASS	15-18"	1 GAL. SPACE PER PLANT	FILL & UPRIGHT	G ⁺ -GREEN ROOF	502 SHEET (L-202)	C
	FRAXINA CHILDRESS / * COMPACT STRAWBERRY BUSH	4" POT, 12" O.C.	FILL & SPREADING	G ⁺ -GROUNDCOVER, DROUGHT-TOLERANT, VISIBLE	110	B-1, F, G	
	GRASS SUPERWEEDS / EVERGREEN DROUGHT	4" POT, 12" O.C.	FILL & SPREADING	G ⁺ -GREEN ROOF	502 SHEET (L-202)	C	
	URENS SPICATA / ELY TURF *	4" POT, 12" O.C.	FILL & UPRIGHT	G ⁺ -GROUNDCOVER, DROUGHT-TOLERANT, VISIBLE	74	B-1, F, G	
	SEDUM ALBA / WHITE STONECROP *	PLUGS, 18" O.C.	FILL & UPRIGHT	G ⁺ -GREEN ROOF	502 SHEET (L-202)	C, F	
	SEDUM SPURSUM 'DANCER'S BLOOD' / * TWO-RING STONECROP	PLUGS, 18" O.C.	FILL & UPRIGHT	G ⁺ -GREEN ROOF	502 SHEET (L-202)	C, F	
	SEDUM TELEPHIUM 'AUTUMN JOY' / * AUTUMN JOY STONECROP	PLUGS, 18" O.C.	FILL & UPRIGHT	G ⁺ -GREEN ROOF	502 SHEET (L-202)	C, F	

* DROUGHT TOLERANT / LOW NITRIF. ACT.

Street Level Landscape

