

# 3031 WESTERN

DPD Project Number: 3008148

EARLY DESIGN GUIDANCE

NOVEMBER, 2007

Martin Selig Real Estate  
ruffcorn mott hinthorne stine



## CONTENTS

### Development Objectives

- 1-2 Project, Site, and Zoning Information

### Urban Design Analysis

- 3 Zoning map
- 4 Aerial Photograph indicating surrounding uses, structures, and zoning
- 5 Streetscape photomontages & site narrative
- 6 Streetscape photomontages

### Pertinent Design Guidelines

- 7 Design guidelines

### Site Analysis

- 8 Site plan indicating zoning, existing buildings, trees, topography, and access opportunities and constraints
- 9 Bay Street

### Proposed Site Plan

- 10 Proposed site plan at Western and Elliott Avenues

### Aerial Views of Massing

- 11 Zoning Concept
- 12 Architectural Concept 1
- 13 Architectural Concept 2
- 14 Preferred Concept

## Project Description

### Address:

3031 Western Avenue

### Site Area:

Lot area 18,683 sf. (Parcels B + C)

### Development Objectives:

Demolish existing one-story + partial basement parking structure. Construct new 14 story apartment building with approximately 78 units and approximately 78 parking spaces. Construct landscape and pedestrian improvements on vacated Bay Street. Includes work in adjacent parcel A. Parcel A, B, and C are owned by the same owner.

## Location

### Legal Description:

#### Parcel A:

The land referred to this commitment is situated in the state of Washington, County of King and is described as follows: Lot 1, 2, 3 and 4, block 3, William N. Bell's seventh addition to the City of Seattle, according to the plat thereof recorded in Volume 2 of plats, page 82, records of King County, Washington. Together with that portion of vacated Bay Street (formerly Grant Street), as vacated under ordinance no. 111450 of the City of Seattle, lying northwesterly of the centerline of said Bay Street, as shown on said plat, and lying northeasterly of the northeasterly margin of Elliott Avenue (formerly Water Street) as shown on said plat, and lying southwesterly of the southwesterly margin of Western Avenue (formerly West Street) as shown on said plat; Except the northwesterly 30 feet of lot 4, block 3, of said plat, as measured along the northeasterly line thereof. Situated in the county of King, State of Washington.

#### Parcel B:

That portion of vacated Bay Street (formerly Grant Street) as vacated under ordinance number 111450 of the City of Seattle, lying southeasterly of the centerline of bay said Bay Street, as shown on the plat of William N. Bell's seventh addition to the City of Seattle, according to the plat thereof, recorded in volume 2 of plats, page 82, in King County, Washington, and lying northeasterly of the northeasterly margin of Elliott Avenue (formerly Water Street) as extended by condemnation proceedings in King County superior court cause no. 88469, as provided by ordinance no. 2800 of the City of Seattle, and lying southwesterly of the southwesterly margin of Western Avenue (formerly West Street) as shown on said plat.

#### Parcel C:

That portion of William N. Bell's claim in King County, Washington, described as follows: Beginning at the intersection of the southwesterly margin of Western Avenue (formerly West Street) as shown on the plat of William N. Bell's seventh addition to the City of Seattle, according to the plat recorded in Volume 2 of plats, page 82, records of King County, Washington, with the southeasterly margin of Bay Street (formerly Grant Street), as shown on said plat of William N. Bell's seventh addition to the City of Seattle; Thence southeasterly along the southwesterly margin of Western Avenue, 66 feet, to the most northerly corner of a tract of land conveyed by William N. Bell and Lucy G. Bell, his wife, to "mattullath" manufacturing company by deed recorded in Volume 15 of deeds, page 665, in King County, Washington; Thence southwesterly along the northwesterly line of said tract, 193.85 Feet, to the northeasterly margin of Elliott Avenue (formerly Water Street) as extended by condemnation proceedings in King County Superior Court cause no. 88469, as provided in ordinance no. 2800 of the City of Seattle; Thence northwesterly along said northeasterly margin of Elliott Avenue, 66.35 feet to the southeasterly margin of the aforementioned Bay Street; Thence northeasterly along said street margin 187.01 feet, more or less, to the point of beginning.

### Zoning Information:

Parcel Number: 0698000145

### Zoning Maps:

99,100,108, 215

### Zoning Designation:

DMR/R 125/65

### Overlay District:

Denny Regrade/Belltown UCV

SEATTLE MUNICIPAL CODE (SMC): TITLE 23 - LAND USE CODE

Subtitle III Land Use Regulations

Division 2 Authorized Uses and Development Standards

Chapter 23.49 - Downtown Zoning

(Sections have been excerpted as applicable to proposed project)

SMC 23.49.008 STRUCTURE HEIGHT

C. Height in downtown mixed residential zones:

Residential uses may extend to the 125 foot height limit.

Structure height on a through lot further defined in SMC 23.86.006, E, 3 as:

"... The elevation of maximum height shall apply only to the half of the lot nearest the major street property line. On the other half of a through lot, the elevation of maximum height shall be determined by the above method using the street lot line opposite and parallel to the major street property line..."

*Therefore, since the major streets are Western and Elliott Avenues, the maximum height steps at the midpoint of the through lot.*

D. Rooftop features:

Stair penthouses, covered or enclosed common recreation area, and mechanical equipment are permitted to extend fifteen feet above the height limit. Elevator penthouses are permitted to extend up to twenty-five feet above the permitted height. When providing access to a rooftop open space, an additional ten feet is permitted, totalling thirty-five feet.

SMC 23.49.009 STREET-LEVEL USE REQUIREMENTS

Per map 1g, street level uses are not required.

SMC 23.49.010 GENERAL REQUIREMENTS FOR RESIDENTIAL USES

Common recreation area is required to be an area equivalent to five (5) percent of the total gross floor area in residential use. The common recreation area shall be available to all residents and may be provided at or above ground level. A maximum of fifty (50) percent of the recreation area may be enclosed.

*Total gross floor area in residential use is approximately 105,010 sf. Five percent of this area is 5,250 sf. Approximately 5,400 sf. of common recreation area is provided at the Elliott Avenue roof level. None of this area is enclosed. Additional recreation area, approximately 2,880 sf, is provided on level 2.*

SMC 23.49.016 OPEN SPACE

Not applicable to DMR/R district.

SMC 23.49.018 OVERHEAD WEATHER PROTECTION AND LIGHTING

Continuous overhead weather protection shall be required for new development along the entire street frontage, except along those portions of the structure facade that: ... 3. Are separated from the street property line by a landscaped area at least two (2) feet in width; Overhead weather protection shall have a minimum dimension of eight (8) feet measured horizontally from the building wall or must extend to a line two (2) feet from the curb line, whichever is less. The lower edge of the overhead weather protection must be a minimum of ten (10) feet and a maximum of fifteen (15) feet above the sidewalk. Adequate lighting for pedestrians shall be provided.

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SMC 23.49.019 PARKING QUANTITY, LOCATION AND ACCESS REQUIREMENTS, AND SCREENING AND LANDSCAPING OF SURFACE PARKING AREAS

A. No parking is required for uses on lots in downtown zones.

E. Bicycle parking is required at a rate of 1 space for every two dwelling units and shall be located on site provided in a safe, accessible and convenient location. Spaces within dwelling units or on balconies do not count toward the bicycle parking requirement.

*Therefore approximately 40 bicycle parking required.*

SMC 23.49.022: MINIMUM SIDEWALK AND ALLEY WIDTH

Twelve feet at both Western and Elliott Avenues.

*Therefore building must setback 2' on each.*

SMC 23.49.024 VIEW CORRIDOR REQUIREMENTS

Per map 1d, Bay Street is a view corridor. No view corridor setback is required.

SMC 23.49.158 COVERAGE AND FLOOR SIZE LIMITS

A. Coverage.

2. In order to meet the coverage limits, a lot may be combined with one (1) or more abutting lots, whether occupied by existing structures or not provided that:

a. The coverage of all structures on the lots meets the limits set in this subsection A; and

b. The fee owners of the abutting lot(s) shall execute a deed or other agreement, which restricts future development so that in combination with the other lots the coverage limits shall not be exceeded.

*Parcels B and C are combined to form the lot.*

SMC 23.49.166 SIDE SETBACK AND GREEN STREET SETBACK REQUIREMENTS

A. Setbacks are required from side lot lines that are not street side lot lines. The setback shall occur above an elevation of sixty-five feet. The amount of the setback shall be determined by the length of the frontage of the lot on avenues. If frontage on an avenue is 120 feet or less, then no setback above sixty-five feet is required.

*Per presubmittal conference meeting notes, frontage requirements apply to single frontages. Therefore, no departures requested.*

B. A setback from the street property line shall be required on green streets at an elevation of sixty-five feet. Between 65 feet and 85 feet the required setback is ten feet. Above 85 feet the required setback is an additional eight feet, determined by  $(h-85') \times 0.2+10' = (125'-85') \times 0.2+10' = 18'$ .

*Per presubmittal conference meeting notes, vacated Bay Street is no longer a street. Therefore it is no longer a Green Street, and Green Street setbacks no longer apply.*

## Development Objectives

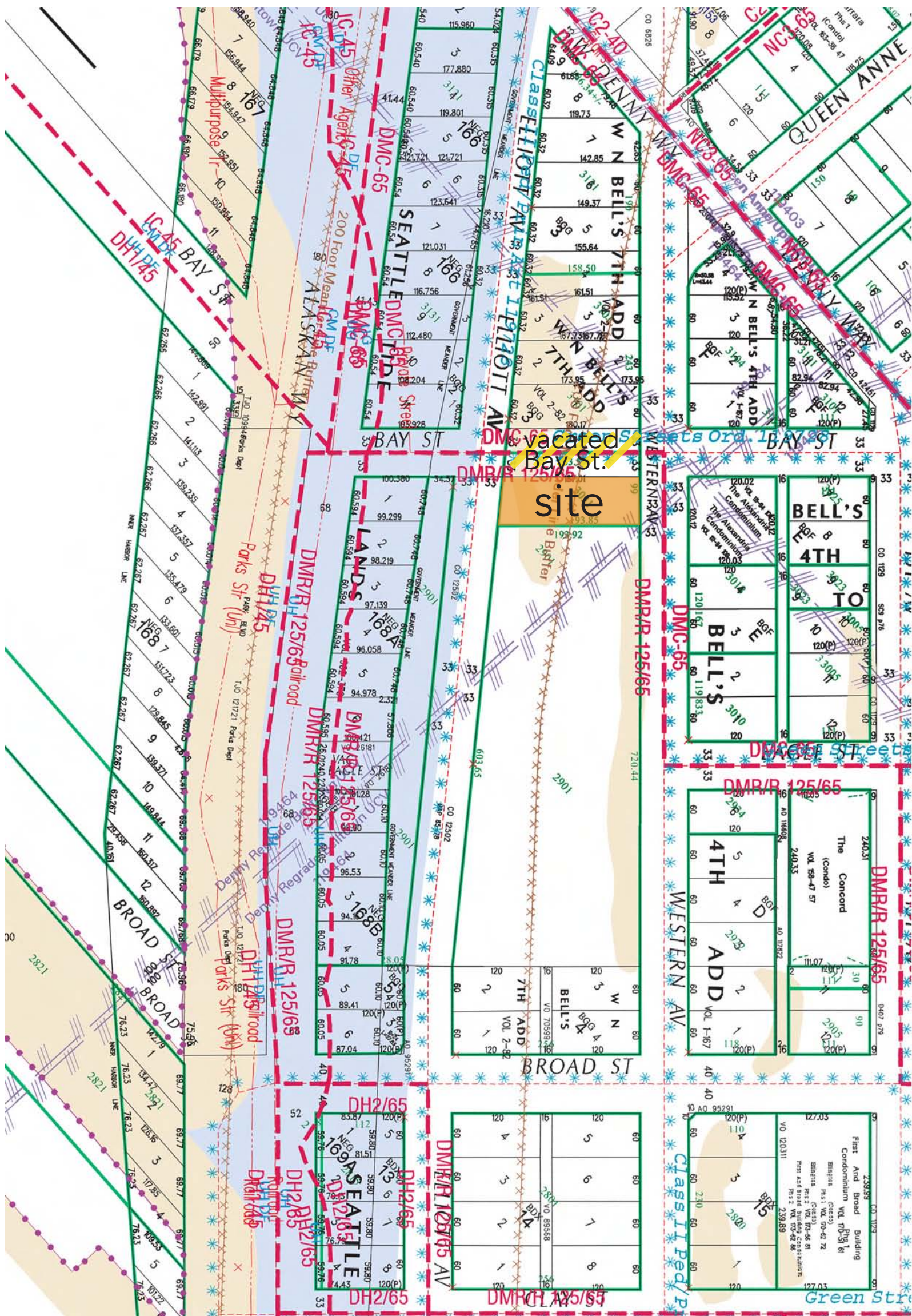
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composite of zoning maps 99, 100, 108, 215

# Urban Design Analysis

# Zoning Map

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## Urban Design Analysis

## Aerial Photograph & Vicinity Map

The project site is adjacent to one of the largest public landscapes in downtown Seattle, and is at a transition zone between the more dense urban residential setting of Belltown and the less dense recreational and commercial uses along Elliott. The site is also defined by the termination of Bay Street to automobile traffic. The design solution must respond sympathetically to these unique conditions rather than being an extension of the 'typical'. By carefully considering the edge formed with the park as well as the pedestrian and grade transitions at Bay Street, the project can offer a unique response that honors this specific location. The overall form of the project should offer a simple profile and backdrop to emphasize the significance of the Sculpture Park. Within this simple form, architectural skin details and modulation of programmatic elements offer opportunities to provide scale and compose a more nuanced and animated addition to the neighborhood.

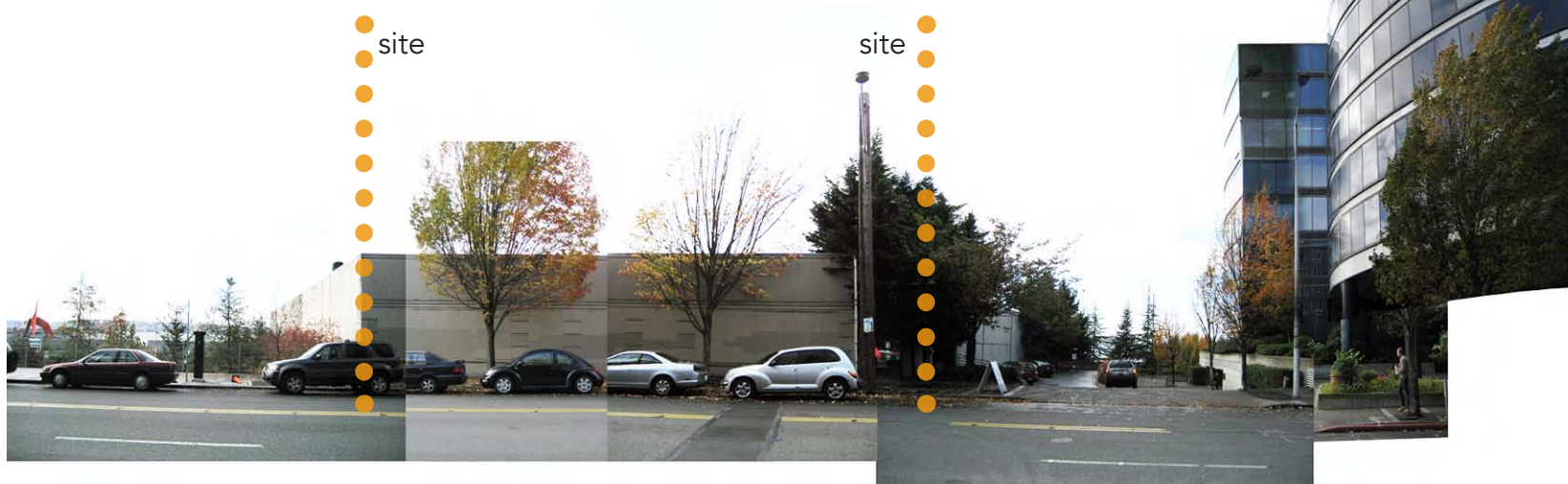


Airborne Express Building

Bay Street looking north



Bay Street looking south



Western Avenue looking west

Trio Condos



Alexandria Condos



Western Avenue looking east

## Urban Design Analysis

## Streetscape Photomontages



Olympus Condos

Olympic Sculpture Park looking south



Airborne Express Building

Trio Condos

site

site

Olympic Sculpture Park looking north



site

site

Elliott Avenue looking east



3131 Elliott Building

Elliott Avenue looking west

# Urban Design Analysis

# Streetscape Photomontages

The Design Guidelines for the Belltown Urban Center Village are intended to work in conjunction with the Citywide Design Guidelines and apply to projects in the Belltown area. The guidelines provide recommendations on issues unique to the Belltown neighborhood.

There are five (5) design guidelines that we have identified as being most pertinent to this project and site.

## **B-2 Create a transition in bulk and scale**

Compose the massing of the building to create a transition to the height, bulk, and scale of development in nearby less-intensive zones.

New buildings should be compatible with the scale of development surrounding the project site.

### **Belltown-specific supplemental guidance**

New high-rise and half- to full-block developments are juxtaposed with older and smaller scale buildings throughout the neighborhood. Many methods to reduce the apparent scale of new developments through contextually responsive design are identified in other guidelines. The objective of this guideline is to discourage overly massive, bulky, or unmodulated structures that are unsympathetic to the surrounding context.

## **B-3 Reinforce the positive urban form & architectural attributes of the immediate area**

Consider the predominate attributes of the immediate neighborhood and reinforce desirable siting patterns, massing arrangements, and streetscape characteristics of nearby development.

### **Belltown-specific supplemental guidance**

The principal objective of this guideline is to promote scale and character compatibility through reinforcement of the desirable patterns of massing and facade composition found in the surrounding area. Pay particular attention to designated landmarks and other noteworthy buildings.

- Respond to the regulating lines and rhythms of adjacent buildings that also support a street-level environment; regulating lines and rhythms include vertical and horizontal patterns as expressed by cornice lines, belt lines, doors, windows, structural bays, and modulation.
- Use regulating lines to promote contextual harmony, solidify the relationship between new and old buildings, and lead the eye down the street.
- Pay attention to excellent fenestration patterns and detailing in the vicinity. The use of recessed windows that create shadow lines and suggest solidity, is encouraged.

## **D-1 Provide inviting & usable open space.**

Design public and open spaces to promote a visually pleasing, safe, and active environment for workers, residents, and visitors. Views and solar access from the principal area of the open space should be especially emphasized.

### **Belltown-specific supplemental guidance**

As a dense, urban neighborhood, Belltown views its streets as front porches and its parks and private plazas as its yards and gardens. The design and location of urban open spaces on a site or adjoining sidewalk is an important determinant in a successful environment, and the type and character of the open space should be influenced by the building's uses.

- Locate plazas intended for public use at/or near street grade to promote physical and visual connection to the street; on site plazas may serve as a well-defined transition from the street. Take views and sun exposure into account as well.
- Define and contain outdoor spaces through a combination of building and landscape, and discourage oversized spaces that lack containment.
- The space should be well-buffered from moving cars so that the users can best enjoy the space.

Open spaces can feature art work, street furniture, and landscaping that invite customers to enhance the building's setting. Examples of desirable features are; attractive pavers, pedestrian-scaled lighting, landscaping that enhances the space and architecture, site furniture, art work, or amenities such as fountains, seating and kiosks.

### **Residential Open Space**

Residential buildings should be sited to maximize opportunities for creating usable, attractive, well-integrated open space. In addition, the following should be considered:

- Courtyards that organize architectural elements while providing a common garden
- Entry enhancements such as landscaping along a common pathway
- Decks, balconies, and upper level terraces
- Play areas for children
- Individual gardens
- Location of outdoor spaces to take advantage of sunlight and views

## **D-2 Enhance the building with landscaping**

Enhance the building and site with generous landscaping which includes; special pavements, trellises, screen walls, planters, and site furniture, as well as living plant material.

### **Belltown-specific supplemental guidance**

Landscape enhancement of the site may include some of the approaches or features listed below, where appropriate:

- Emphasize entries with special planting in conjunction with decorative paving and/or lighting.
- Use landscaping to make plazas and courtyards comfortable with human activity and social interaction.
- Distinctively landscape open areas created by building modulation, such as entry courtyards.
- Provide year-round greenery - drought tolerant species are encouraged to promote water conservation and reduce maintenance concerns
- Provide opportunities for installation of civic art in the landscape; designer/artist collaborations are encouraged.

## **D-3 Provide elements that define the place**

Provide special elements on the facades, within the public open spaces, or on the sidewalk to create a distinct, attractive, and memorable "sense of place" associated with the building.

### **Belltown-specific supplemental guidance**

Belltown is eclectic, diverse, eccentric, and whimsical. New developments should incorporate elements on the building facades, within open space, or on the sidewalk that refer to the neighborhood's rich art and history to reinforce a sense of place in Belltown.

#### **Art and Heritage**

Art and History are vital to reinforcing a sense of place. Consider incorporating the following into the siting and design:

- Vestiges of Belltown Heritage, such as preserving existing stone sidewalks, curbs
- Art that relates to the established or emerging theme of that area
- Install plaques or other features on the building that pay tribute to Belltown history.

#### **Green Street**

Green Streets are street rights-of-way that are enhanced for pedestrian circulation and activity with a variety of pedestrian-oriented features, such as sidewalk widening, landscaping, artwork, and traffic calming. Interesting street-level uses and pedestrian amenities enliven the Green Street and lend special identity to the surrounding area.

#### **Emerging Multi-Use Connector Streets: Western Avenue, Elliott Avenue**

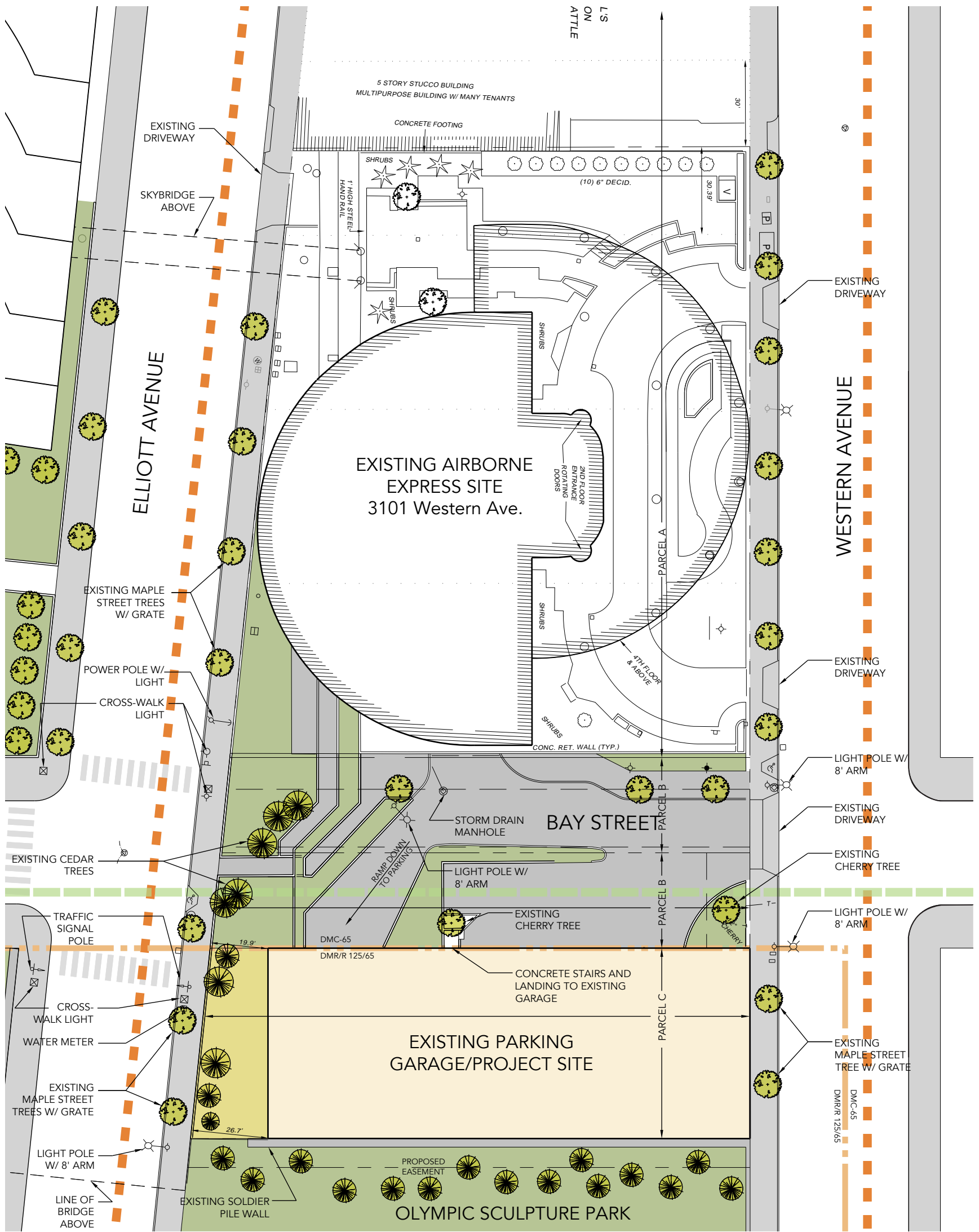
These streets offer good connection between Pike Place Market and the Olympic Sculpture Park. The area is experiencing a fair amount of residential growth. These streets are receiving eclectic public art and varied facades, and ultimately will both become promenade-type streets.

#### **Street Edge/Furnishings;**

- Concentrate pedestrian improvements at intersections with Green Streets (Bay Street)
- Pedestrian crossings should be "exaggerated", that is they should be marked and illuminated in a manner where they will be quickly and clearly seen by motorists

# **Pertinent Design Guidelines**

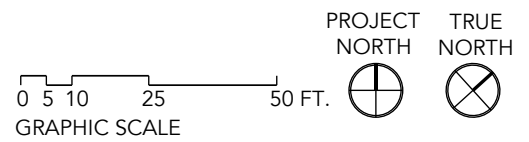




- Zone Boundary
- Class II Pedestrian/ Principal Arterial Street
- Green Street

Notes regarding Bay Street:

- View corridor therefore no setback required, per SMC 23.49.024 and map 1D
- Green street therefore setback is required per SMC 23.49.166B



## Site Analysis

## Existing Site Plan

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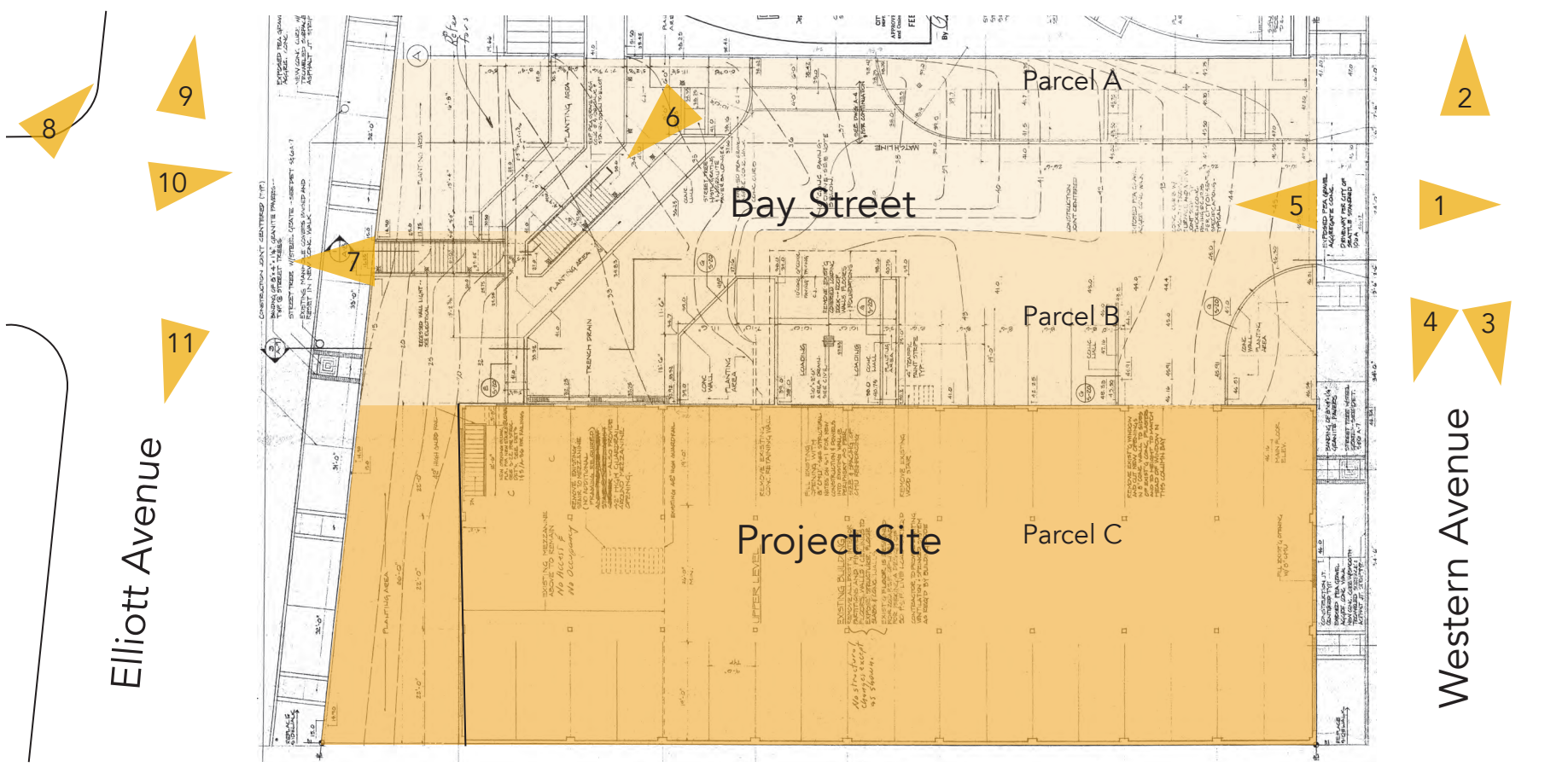
views from Western ave. and Bay st.



views along Bay st. between Western ave. and Elliott ave.



views from Elliott ave. and Bay st.



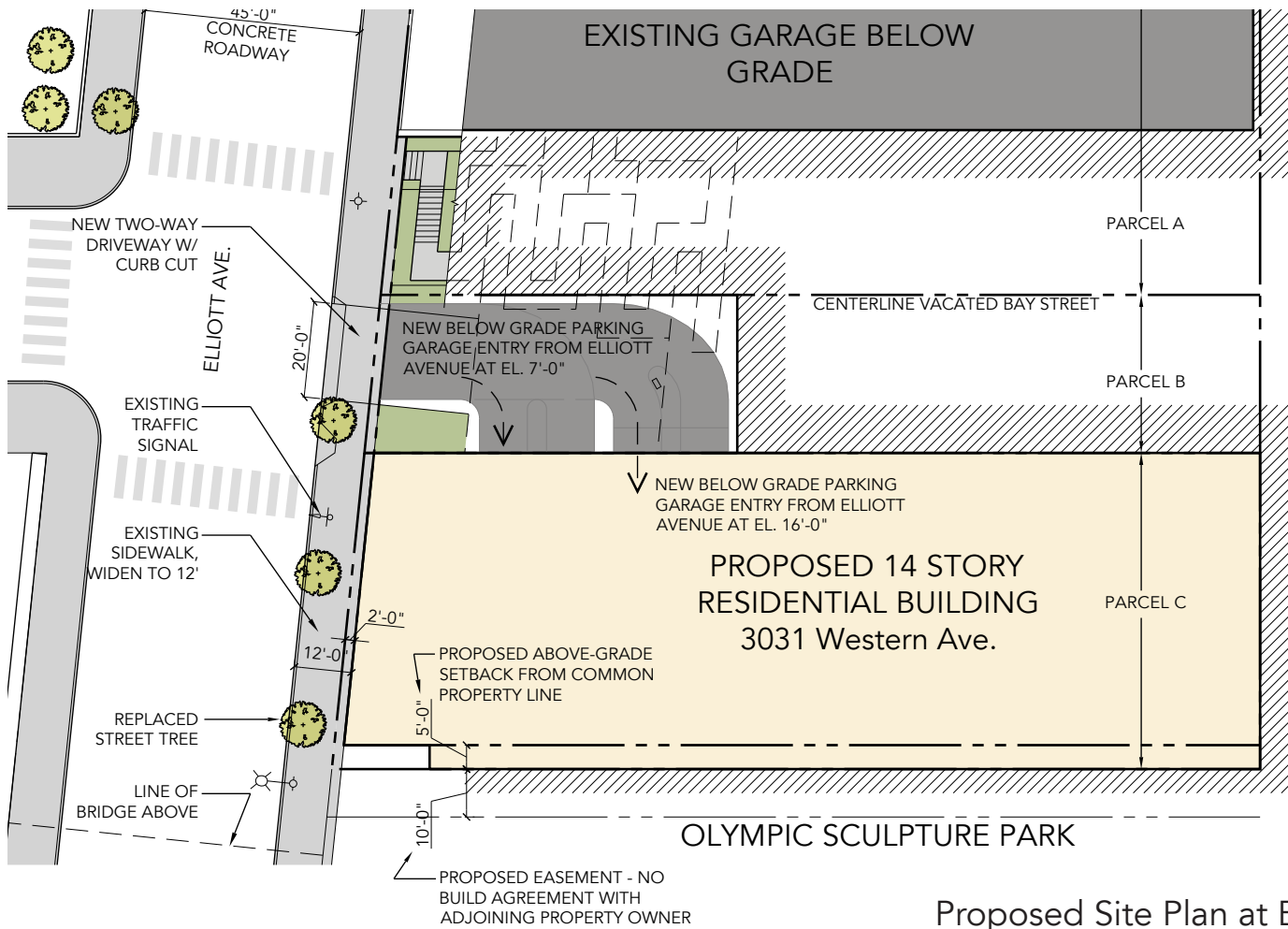
Existing Parking Garage and Bay Street Plan (From Curtis Beattie Associates Architects, 1984)

# Site Analysis

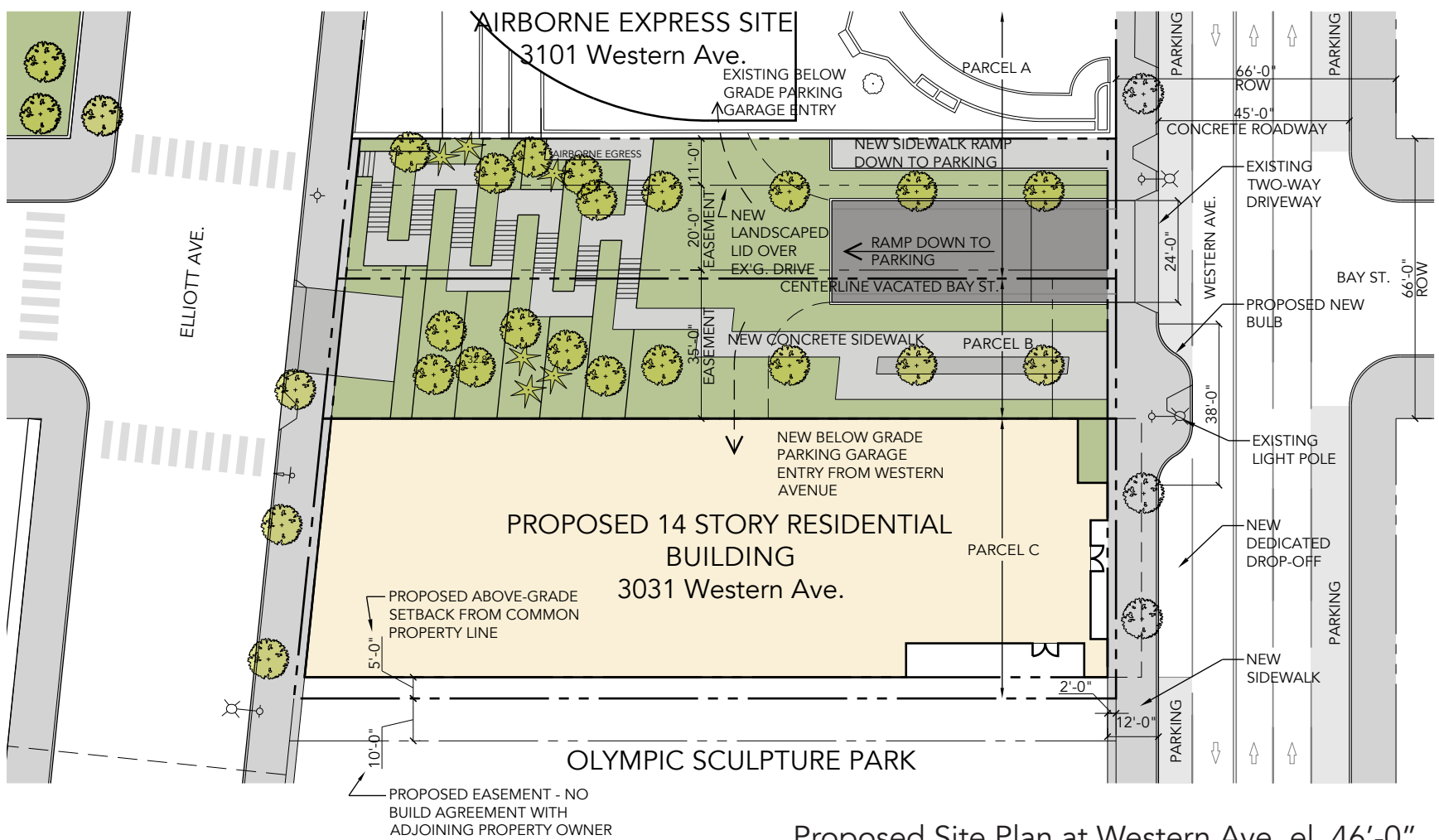
# Bay Street

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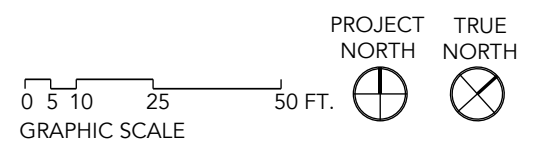
Proposed Site Plan at Elliott Ave. el. 13'-0"



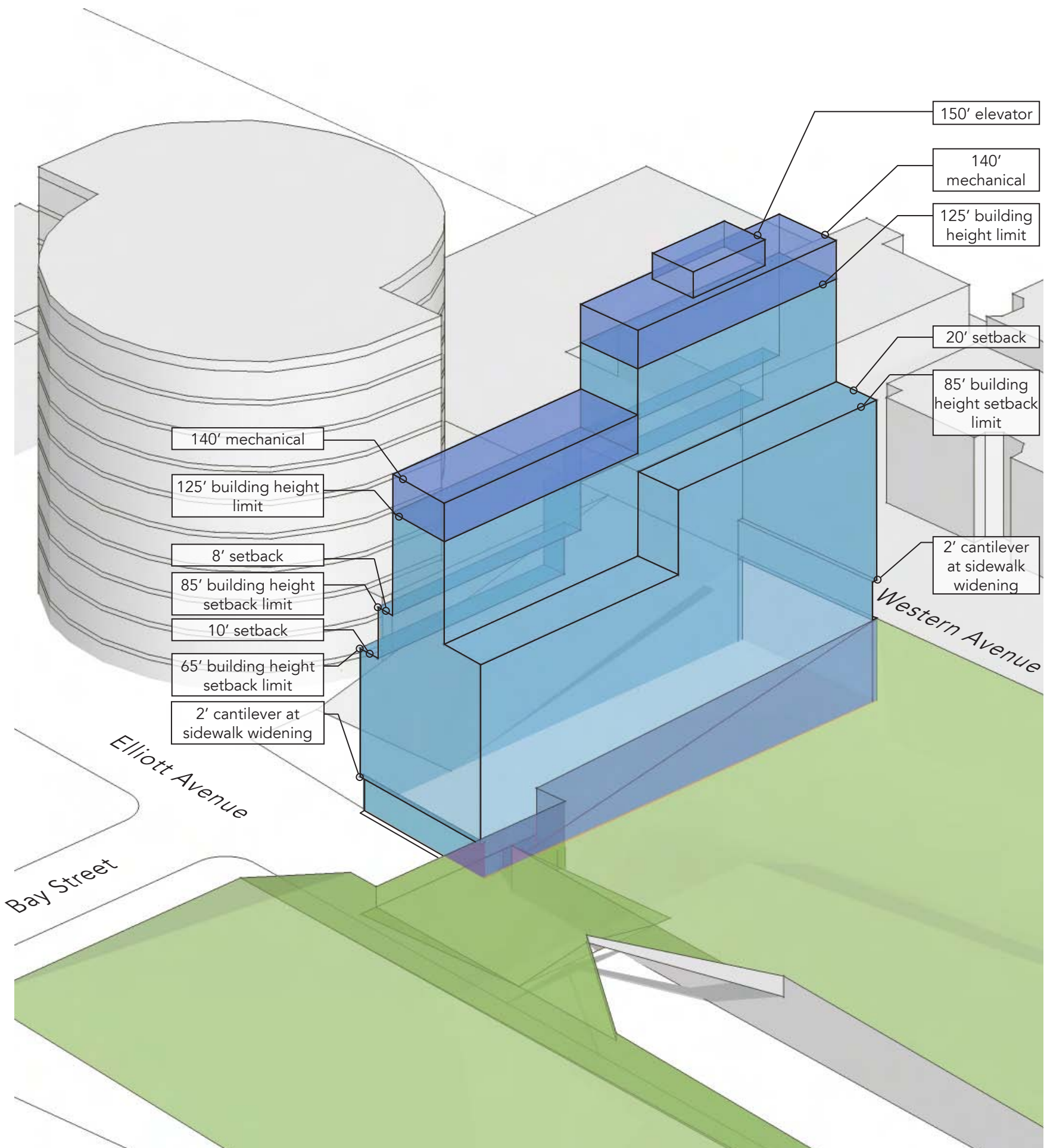
Proposed Site Plan at Western Ave. el. 46'-0"

Project work will include landscape and pedestrian improvements along vacated Bay Street. Property Parcel B is the southeasterly half of vacated Bay Street. The northwesterly half of vacated Bay Street is within Parcel A. We propose to improve this portion of Parcel A as part of this work. The improvements will maintain the garage access to the existing Airborne Express building as well as public pedestrian access between Western Ave. and Elliott Ave., as outlined in the Property Use and Development Agreement of 10/24/83.

The below-grade parking garage for the proposed building will use the existing Airborne Express Building's parking garage ramp to gain access from Western Ave., therefore the access to Bay Street from Western will be relatively unchanged. The new landscaping will maintain the required view west from Western and will provide a more pleasant and open connection from Western Avenue to Elliott Avenue. In contrast to the existing stair, which is steep, dark, and narrow, the new landscape plan proposes a series of open stairs that create a more gradual descent and allow for views of the water while traveling from Western to Elliott.



## Proposed Site Plan



**Design Scheme Description:**

- Built to property line from 0'-85'
- On south side 20' setback at 85'
- On north side 10' setback at 65' and 8' setback at 85'
- 15' mechanical with additional 10' for elevators

**Pros:**

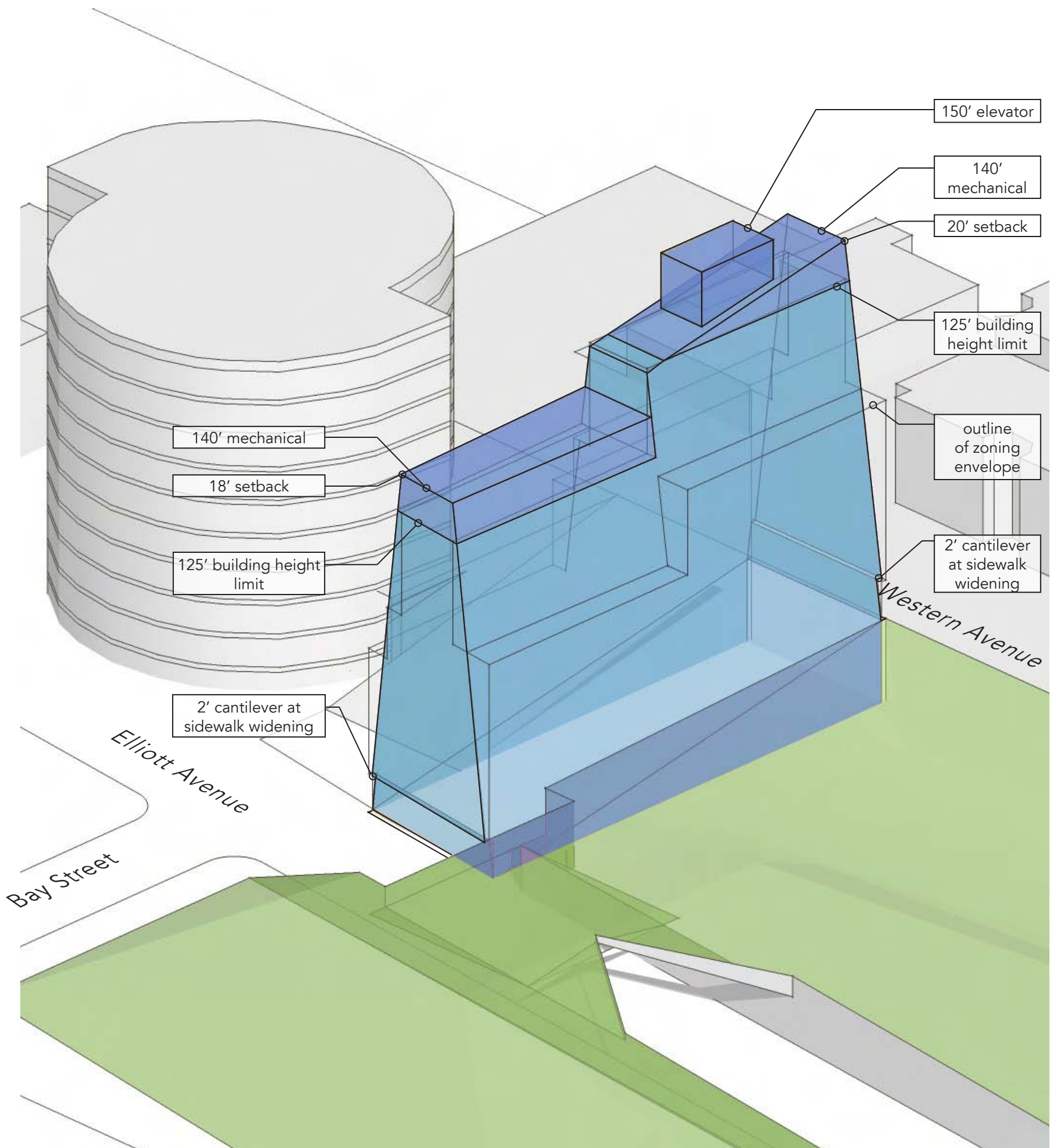
- No departures required
- Maximizes building footprint

**Cons:**

- Clumsy and bulky neighbor to Olympic Sculpture Park
- Inefficient and difficult to plan upper floors
- Building to property line reduces allowable glazing area, per IBC

**Aerial View of Massing**

**Zoning Concept**



**Design Scheme Description:**

- Angled planes on both north and south facade to reach overall side setbacks.

**Pros:**

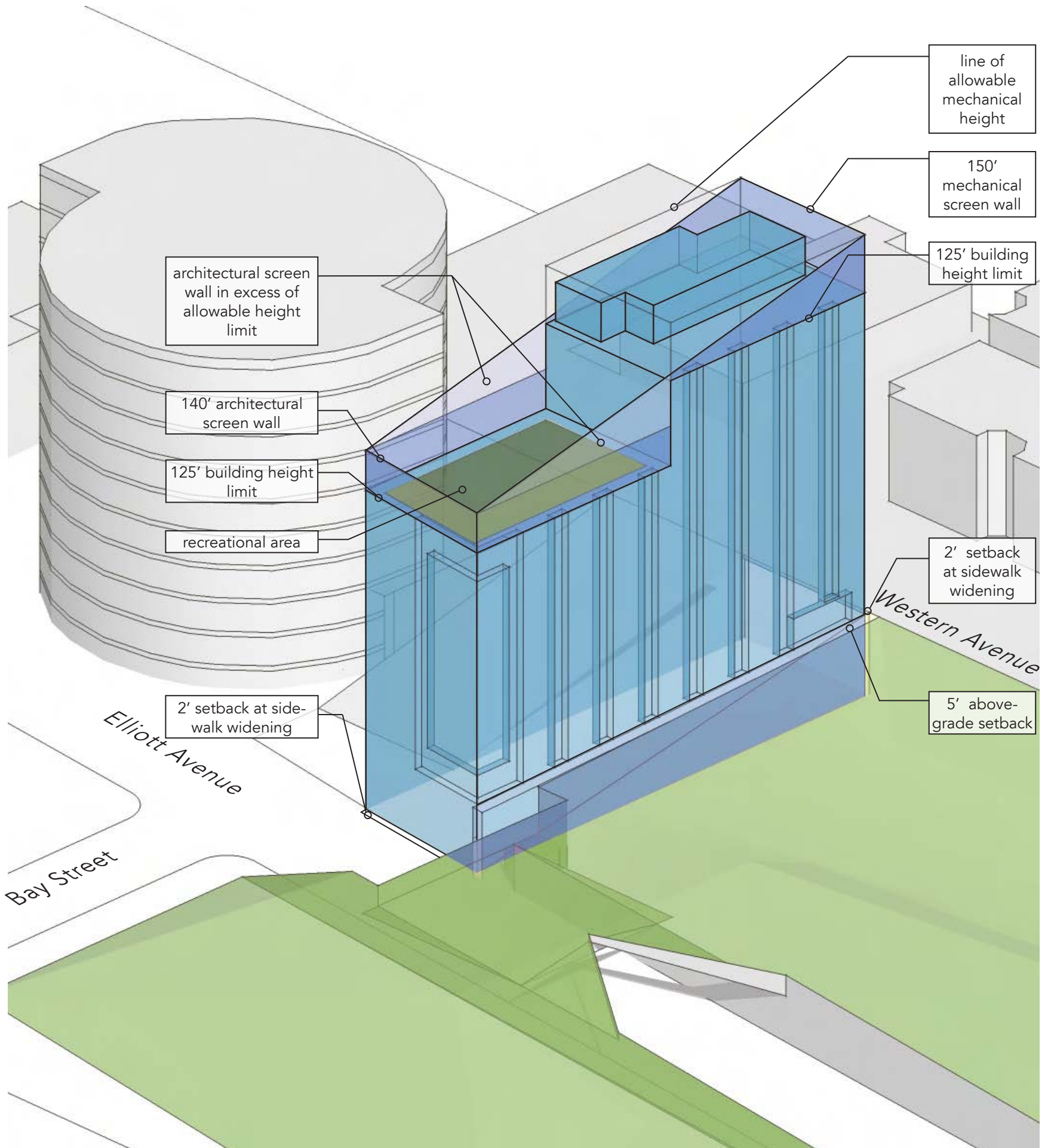
- Simple form
- Maximizes building footprint
- More interesting neighbor to Olympic Sculpture park

**Cons:**

- Technically complex
- Inefficient and difficult to plan upper floors
- Building to property line reduces allowable glazing area, per IBC

**Aerial View of Massing**

**Architectural Concept 1**



### Design Scheme Description:

- 5' above-grade setback along southern property line
- 125' building height
- 25' mechanical

### Pros:

- Simple form is most consistent with roof lines of pavilions at Olympic Sculpture Park
- Provides required recreational area on roof
- Modulation of bay windows creates neighborhood scale

### Cons:

- Requires departure from side setbacks
- Requires Director's approval of architectural wall screen height
- 5' setback along southern edge reduces rentable area by 7,800 sf.
- 2' setback along eastern and western edges reduce rentable area by 1,342 sf.

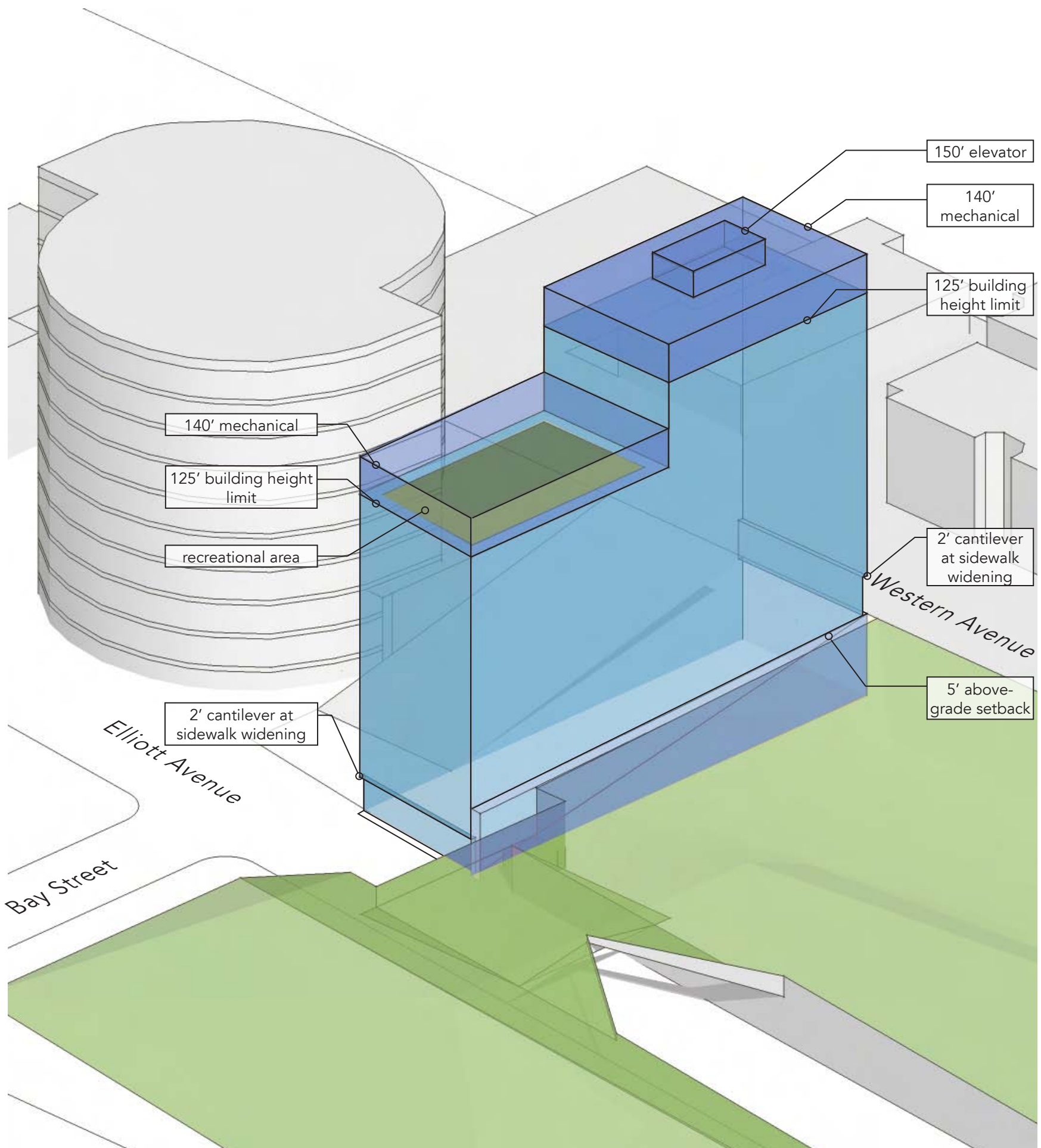
## Aerial View of Massing

## Architectural Concept 2

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**Design Scheme Description:**

- 5' above-grade setback along entire southern property line
- 125' building height
- 15' mechanical

**Pros:**

- Simpler form is easier to plan and construct
- Allows a higher percentage of glazing
- Provides usable recreational space at lower roof

**Cons:**

- 5' setback along southern edge reduces rentable area by 5'x196'=7,800 sf.
- Requires departure from side setbacks
- Step in roof and overall massing is clumsy
- unmodulated south facade

**Aerial View of Massing**

**Preferred Concept**