

EDG Analytic Packet

April 28, 2008



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INC. ARCHITECTS

2001

E. Union Street - Mixed-Use

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Property Data

Owner:	Mr. Ron Stoner, Copymaster Corp.
Address:	2001 East Union Street Seattle, Washington 98122
Zone:	NC2 P 30 (Pedestrian oriented zone)
Lot Area:	Approx. 7,690 s.f.

Project Description

Proposed mixed-use project consists of at least eight and up to ten residential townhouse type units over a commercial/retail level on the first floor. Parking will be pimarily for residential use, and depending on the final development scheme, additional parking will be made available for commercial use. Project is to take into consideration the urban context of the site and existing surrounding(s), so as to enhance the existing positive character and attributes of the urban residential and commercial neighborhood.

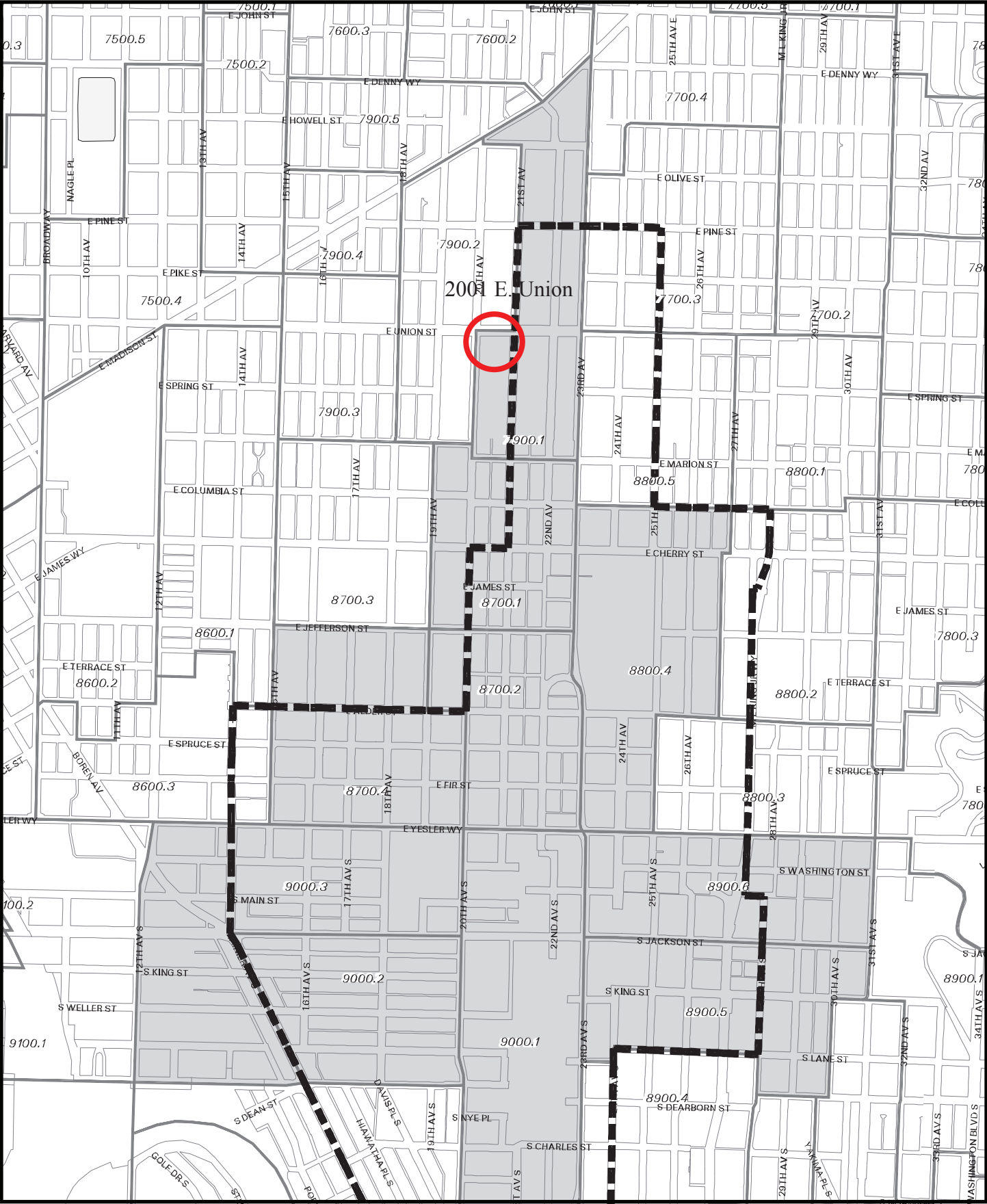
Description of Site and Surroundings

A one story brick masonry building with on site parking area now sits at the corner of 20th and E. Union. The building was formerly an AT & T service center and now houses Copymaster, a copier equipment sales and service business.

Although not directly within the **23rd & Union-So. Jackson Urban Village/Centers**, the site borders directly on the northerly west edge of the City of Seattle **Urban Village/Center Planning Area**. Site sits at the intersection of 20th Avenue and the major east-west corridor of E. Union Street extending from the intersection of Madison Avenue and E. Union on the west and 23 Avenue So., a major north-south arterial to the east.

Most larger businesses are centered at the intersection of 23rd Ave. and E. Union. East Union St. corridor is a major arterial with relatively high automobile traffic during the daytime with commuter traffic as well as traffic generated by small locally owner operated businesses, gas stations, fast food restaurants, a U.S. Postal office, State liquor store, and other services. Other community based services such as a bank, and at least two churches are also located within this area.

It can be argued that 23rd Ave. corridor has an unique urban character as distinct from Jackson St. or Yesler Way further south within the district. If so, the unique character of 23rd St. corridor, appears to end at the valley formed by the righ-of-way of Martin Luther King Jr. Way. Along with the businesses described above, 23rd St is lined with a mixture of a few single family homes still “hanging on” although there are indications of newer mixed-use building and other community oriented developments.



23rd & Union - Jackson Residential Urban Village

Site Description cont'd / Site Photos



Looking through adjacent property to 2001 E. Union -Looking West



Looking Eastward down E. Union Street



Northwest corner of 2001 E. Union



Looking South on 21st Ave. & E. Union Street



Northeast corner of 2001 E. Union



Looking South on 20th Ave. from E. Union Street

Site Description cont'd / Site Photos



Across E. Union to 2001 East Union - Looking South



Across 21st Ave to 2003 East Union -Looking West



Across 20th Ave to 2001 E. Union - Looking East

Site Description cont'd / Site Photos



Across East Union from Subject lot - Looking North



Across 21 Ave from 2003 East Union lot - Looking East



Across 20th Ave from 2001 East Union - Looking West

NC2 P 30 Zoning Regulations

Permitted Uses:	Commercial and Residential	
Street Level Uses:	Parking:	May not abut street level-street facing-facades.
		Must be separated from street-level/ street-facing facades by street level use.
Street Level Development Standards:	Residential:	Use at street-level may not occupy more than 20% of street-facing facade.
	Facades:	No blank segment to exceed 20 ft Total blank facades may not exceed 40% of width of facade facing street.
	Setbacks:	Front: Facades to be located withing 10 ft of street lot line(s) unless wider sidewalks, plazas or other approved landscaping is provided.
	Transparency:	60% of street-facing facade between 2 and 8 ft above sidewalk to be transparent.
	Height/Depth:	Non-residential uses must extend average of 30 ft and min. of 15 ft in depth from street-level street-facing facades. Floor-to-floor height must be 13 feet.
	Pedestrian:	80% of width of street-level facade facing principal pedestrian street must be of uses specified for pedestrian oriented uses.
	Maximum:	Max. size of non-residential use restrictions apply.
	Outdoor:	Outdoor activities, size and display area restrictions apply.



Existing Uses

- Residential Single Family/ Duplexes
- Residential Apartment Buildings
- Commercial/Retail
- Mixed-Use Residential and Commercial/Retail
- Proposed Mixed-Use Building (2001 E. Union)

NC2 P 30 Zoning Regulations, cont’d

Max. Height:	Basic	30 ft	Light and Glare:		Light and glare standards apply.
	Add'l Allowable Hgt:	4 ft, provided floor-to-floor height of 13 ft at non-residential uses at street level.	Residential Amenity Areas (Open space):		At least one unenclosed area with minimum of 60 square feet required per unit.
	Height Exceptions:	3 to 12 pitched roofs, open railings, planters, skylights, clerestories, green-houses, parapets and firewalls may extend up to ridge of pitched roof or 4 ft above height limit.	Solid Waste and Recyclable: Materials Storage		Rear loading container type receptacles required for both residential and non-residential disposal up to 75 and 82 square feet area required. Minimum horizontal dimensions to be not less than 6 feet.
Floor Area Ratio:		2.5, for structures containing both residential and non-residential uses.			
Setbacks:	Side Adjacent to Front Intersection of: Residential Zoned Lot	A triangular setback area with sides of 15 feet.	Required Parking and Loading:	Access to Parking:	Must be from alley or limited to one two-way curb cut on street not a rincipal pedestrian street.
	Sides:	0 ft		Location of Parking:	Parking may not be located between a structure and street lot line.
	Rear:	0 ft for first 13 feet			
	Rear Setback for Structures with: more than one Dwelling Unit	15 ft for portions of structures above 13 ft.		Required Parking:	No minimum in Urban Centers, 1 residential stall per unit in commercial zones.
	Structures in Requied Setbacks:	Decks with open railings may extend into required setback but not within 5 ft of a lot in a residential zone.			Commercial stalls exempt for first 4,000 s.f. for general business establishments 2,500 s.f. for eating and drinking establishments in Pedestrian Oriented zones.
		Fences, bulkheads, freestanding walls 6 ft or less are permitted in required setbacks.		Provided:	At least one stall per residential unit.
Landscaping and: and Screening Standards	Green Factor (more than 4 Units):	0.30 or greater			
	Street Trees:	Required in planting strip if available. Existing street trees count toward requirement.			
		Parking garages occupying any portion of street facing facade between 5 and 8 feet above sidewalk, and parking within or under structures requires screeing.			
End of Zoning Regulations Study (subject to DPD review)					

Design Guidelines - Citywide and Capitol Hill Neighborhood Design Guideline, Sept. 21, 2005						
Citywide		Capitol Hill	Design Approach / Strategies	Comparative		
				Alt. 1	Alt. 2	Alt. 3
	Site Planning					
A-1:	Responding to Site Characteristics		Site slopes downward approximately 3 feet from corner of 20th Ave. to middle of block. Possibly stair step down at incrementally to maintain sense of connection to sidewalk and street. 20th Ave. has very residential feel. Enhance this residential feel by placing residential access from 23th Ave.	Yes	Yes Commercial/Retail space may be single use; additional parking in underground parking.	Yes
A-2:	Streetscape Compatibility	•	1st floor Commercial/Retail space to enhance E. Union as Pedestrian Oriented street and Urban Corridor. Upper residential floors to be sympathetic to but also impart sense of urban residential feel.	Yes	Yes	Yes
A-3:	Entrances Visible from the Street		Retail/Commercial entrances off of E. Union, w/ exception @ corner of 20th, see A-10 below.	Yes Requires Design Departure for Average Depth of Retail Space.	Yes	Yes Requires Design Departure for Average Depth of Retail Space.
A-4:	Human Activity	•	Provide as much large common open spaces as possible, as transition to residential uses, widenend sidewalks with plantings/planters.	Yes	Yes	Yes Less open space than other Alternate Schemes.
A-5:	Respect for Adjacent Sites		Provide physical and visual buffer between new project and adjacent SF home immediately to south by providing more setback of building from street and landscaping.	Yes Requires Design Departure for setback above initial 13 feet in building height from 15 feet to 10; see "Zoning Regulations - Setbacks".	Yes Requires Design Departure for setback above initial 13 feet in building height from 15 feet to 10; see "Zoning Regulations - Setbacks". Some units face adjacent SF lot.	Yes Some units face adjacent SF lot.
A-6:	Transition Between Residence and Street		Access to residence through large landscaped open space on the main floor and from both E. Union and 20th Ave. SeeA-4, above.	Yes	Yes	Yes
A-7:	Residential Open Space	•	Provide private individual open space within units such as decks and roof terraces.	Yes	Yes	Yes Not as much common open space as other Alternate Schemes.
A-8:	Parking and Vehicle Access	•	Limit parking access to 20th Ave. Setback parking access openings from street to lesson impact to adjacent SF home.	Yes	Yes	Yes
A-9:	Location of Parking on Commercial Street Fronts		No surface parking on main level visible or adj. to street(s) to maximize retail uses and access to residences.	N/A Located in underground parking garage.	N/A Located in underground parking garage.	N/A Located behind and to back of commercial/retail.
A-10:	Corner Lots	•	Provide visibility of use at corner of E. Union and 20th Ave., "turn corner", open up to street(s).	Yes	Yes	Yes

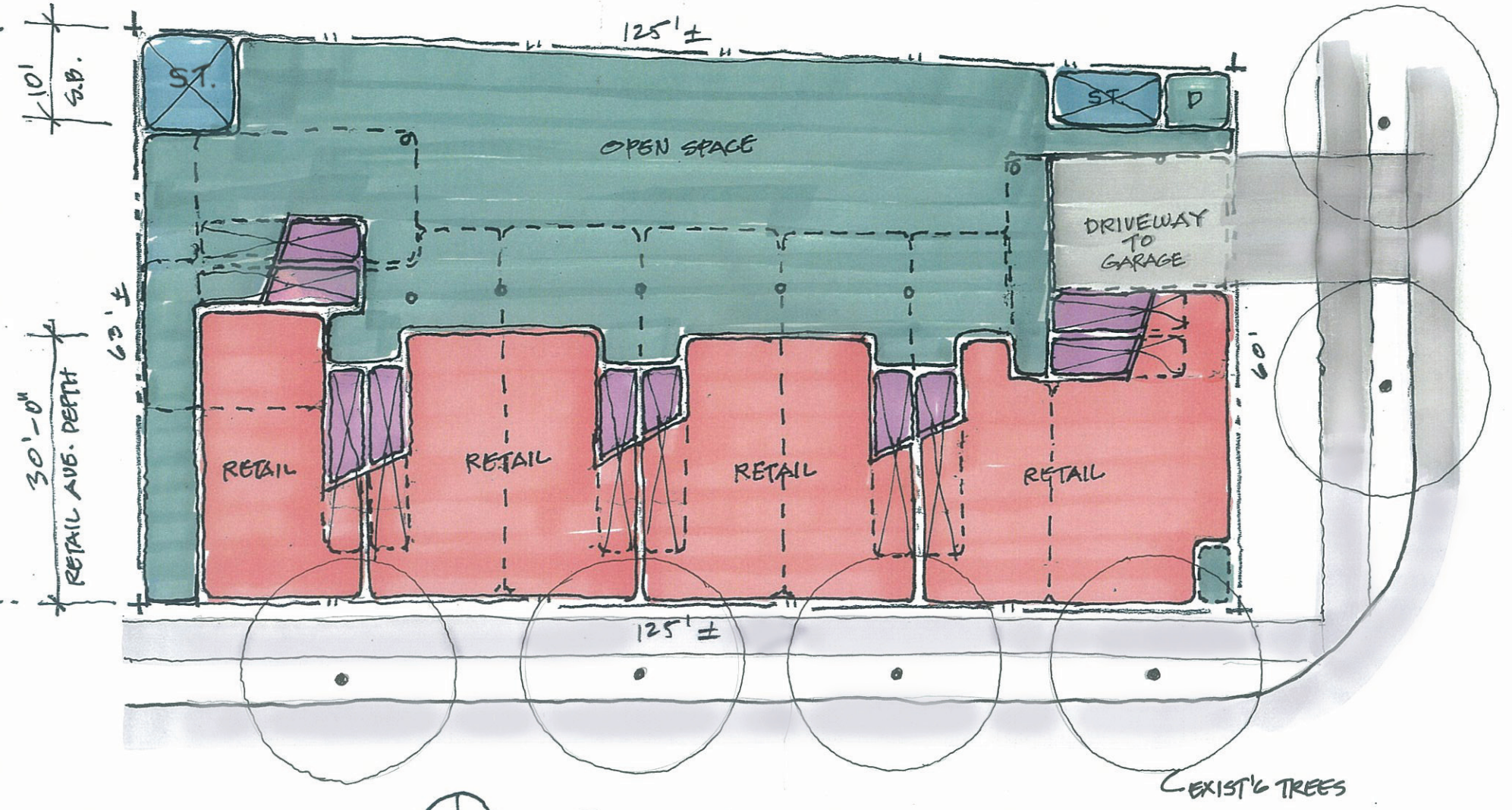
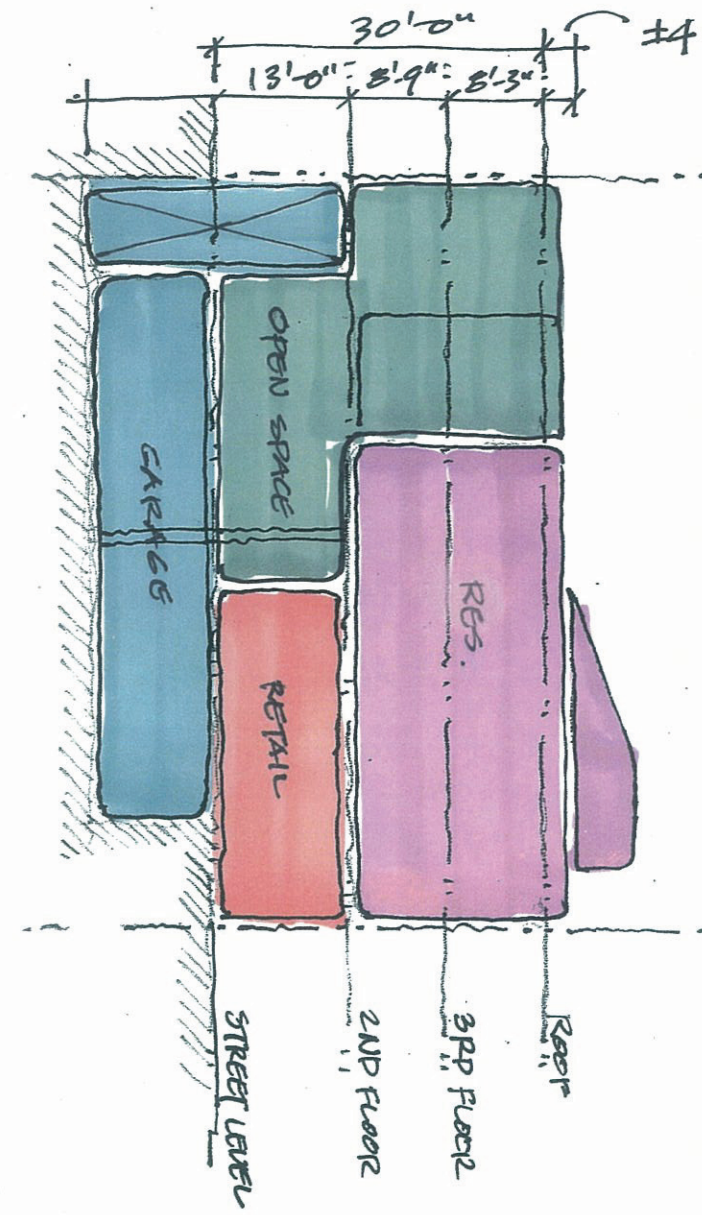
All three of the Alternative Designs attempt to take into consideration all of the elements of the Citywide Design Guidelines and Capitol Hill Design Guildines. Certain elements are "given", for example, locaton of driveway access from 20th Ave., commercial/retail entries from E. Union, and open space/landscaping buffer on the south along adjacent Single Family zone are the same if not similar in all three schemes. Alternative Designs show variations in approaches to designs in meeting project requirements and the Citywide and Capitol Hill Design Guidelines in addition to meeting the requirements of the Guidelines, all three schemes will be required to meet code regulations of the underlying zoning.

Citywide		Capitol Hill	Design Approach / Strategies	Comparative		
				Alt. 1	Alt. 2	Alt. 3
	Height, Bulk, and Scale					
	B-1: Height, Bulk, and Scale Compatibility	●	Build to max. height limit, but be careful with massing and appearance of bulk. Step back facades using decks at upper floors to lend residential feel and create opportunities for planting.	Yes	Yes	Yes
Architectural Elements and Materials						
	C-1: Architectural Context		Building to provide for and promote an architectural context that is "urban village", primarily of small retail commercial buildings w/ residential above.	Yes	Yes	Yes
	C-2: Architectural Concept and Consistency	●	Project lends itself to creating precedence for medium density mixed-use. Opportunity exists for creation of strong architectural images that can be utilized throughout E. Union corridor.	Yes Provides layered effect with retail spaces relating to sidewalk and street; residential floors also layered but with residential scaling through modulations, decks, planters, etc.	Yes	Yes
	C-3: Human Scale	●	Create spaces that transition between private and public spaces.	Yes	Yes	Yes
	C-4: Exterior Finish Materials	●	Use exterior finish materials appropriate for type uses, materials that distinguish between commercial and residential but coordinated.	Yes	Yes	Yes
	C-5: Structured Parking Entrances		See A-8 and A-9, above.	Yes	Yes	Yes

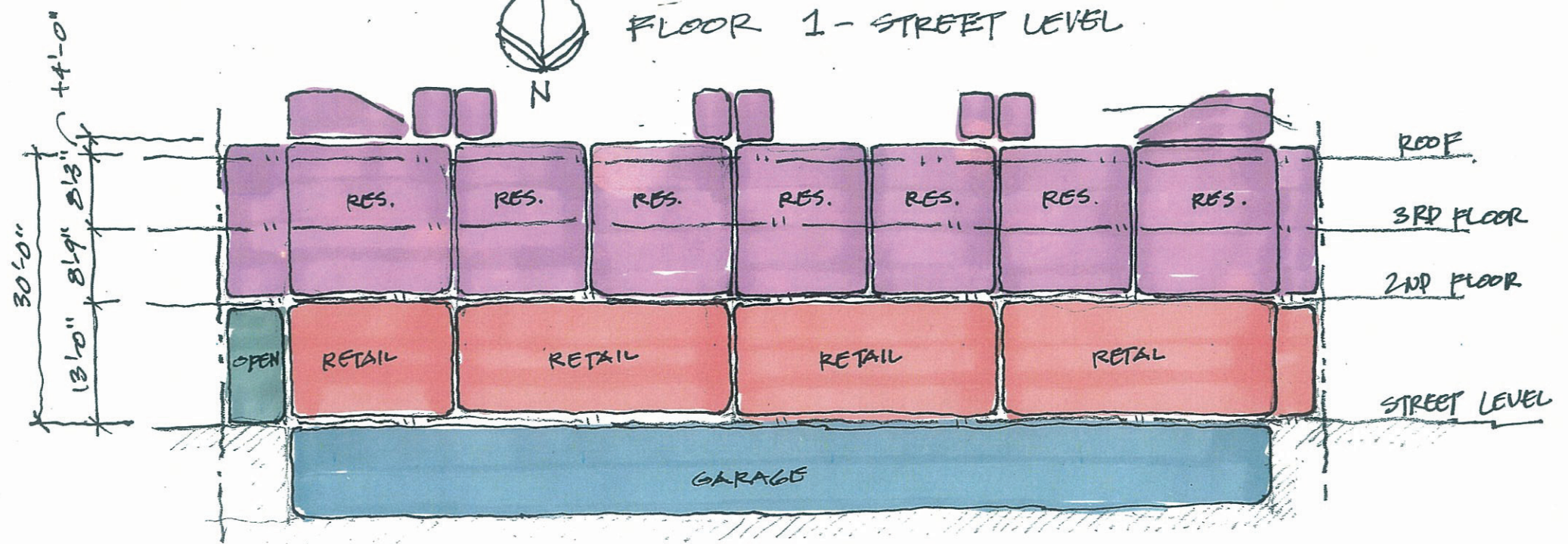
Citywide		Capitol Hill	Design Approach / Strategies	Comparative		
				Alt. 1	Alt. 2	Alt. 3
	Pedestrian Environment					
D-1:	Pedestrian Open Spaces and Entrance	●	Balance amount of open space(s) on site; make use of wide sidewalk and parking strips to lend sense of greater open space.	Yes	Yes	Yes
D-2:	Blank Walls		Open walls with shop windows and doors as much as possible at street level.	Yes	Yes	Yes
D-3:	Retaining Walls		Any retaining walls to be designed as plantiners or covered with wall climbing plants.	Yes	Yes	Yes
D-4:	Design of Parking Lots Near Sidewalks		Minimize view of parking garage entrances and/or parking areas.	Yes Parking underground provided.	Yes Parking underground provided.	Yes Requires additional driveway exit onto E. Union Street.
D-5:	Visual Impacts of Parking Structures		Parking structures to be underground or hidden towards the inside portion of property.	Yes	Yes	Yes
D-6:	Screening of Dumpsters, Utilities, and Service Areas		Hidden away and off 20th Ave.; to be incorporated into the building structure or screened with enclosures to lessen impact to adjacent SF home.	Yes	Yes	Yes
D-7:	Personal Safety and Security		Provide large window openings at street level to increase visibility onto streets and sidewals, and within residential open spaces.	Yes	Yes	Yes
D-8:	Treatment of Alleys		N/A	N/A	N/A	N/A
D-9:	Commercial Signage		Create and promote use of a building signage guideline.	Yes	Yes	Yes
D-10:	Commercial Lighting		Create overall plan for lighting building as well as individual residential uses.	Yes	Yes	Yes
D-11:	Commercial Transparency		See D-2, above.	Yes	Yes	Yes
D-12:	Residential Entries and Transitions		Together w/ A-6 and C-3, above, create sense of entry for residential uses.	Yes	Yes	Yes
Landscaping						
E-1:	Landscaping to Reinforce Design Continuity with Adjacent Sites		Landscape along adjacent site to augment and enchance existing using similar plant types and scale. See also A-5 and A-7.	Yes	Yes	Yes
E-2:	Landcaping to Enhance the Building and/or Site		Provide opportunities for landscaping and planting for various spacial/use needs, including street trees and ground covers, planters, planting boxes at decks and roof terraces, arbors, etc.	Yes	Yes	Yes
E-3:	Landscape Design to Address Special Site Conditions	●	Built structure will take up most of site area and volume. Provide other types of "greening" schemes, such as garden planters and walls, roof gardens, etc. See also A-5 and A-7.	Yes	Yes	Yes

ALTERNATE SCHEME 1

CROSS SECTION

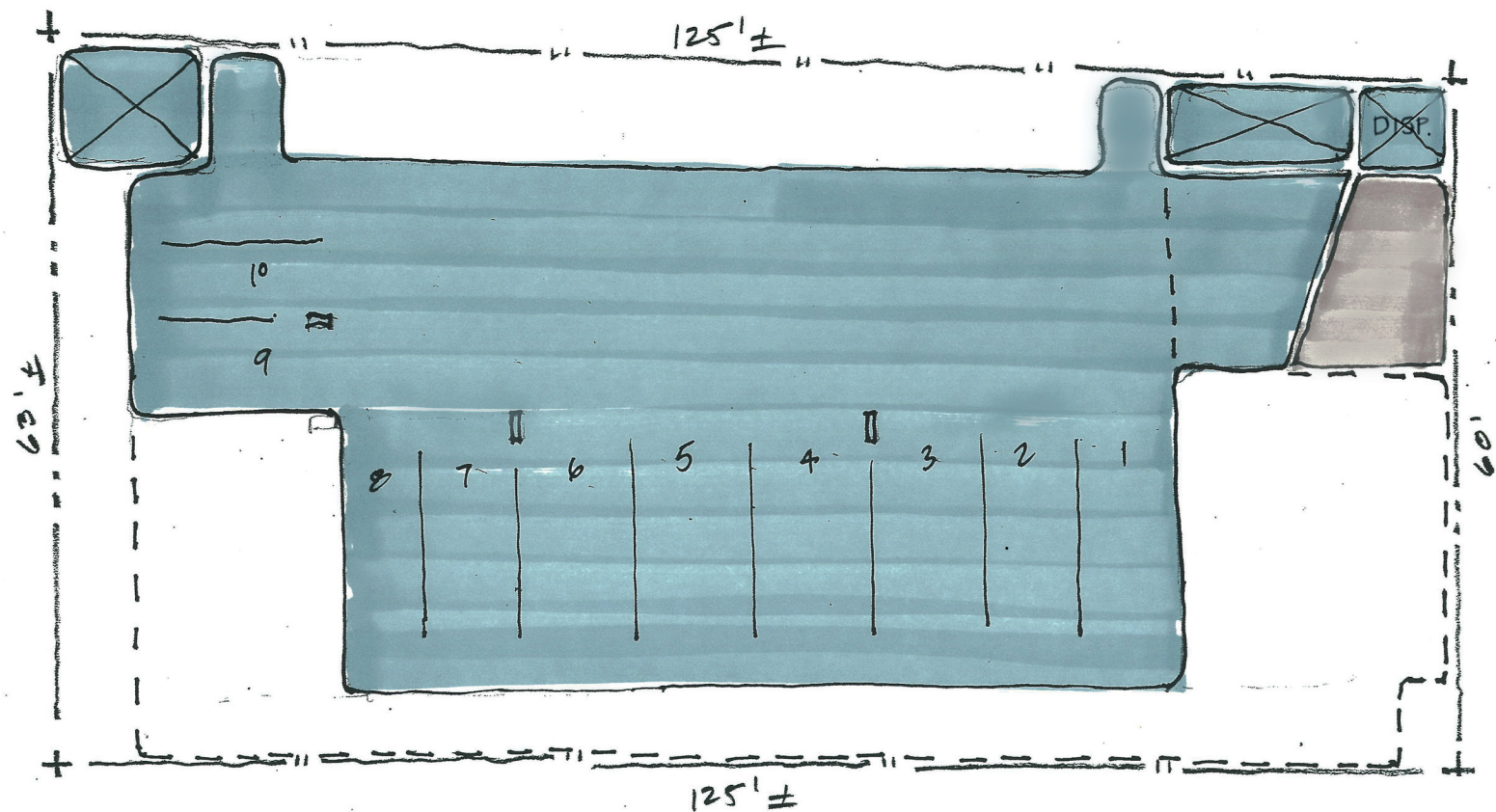


FLOOR 1 - STREET LEVEL



LONGITUDINAL SECTION

ALTERNATE SCHEME 1



N
BASEMENT LEVEL

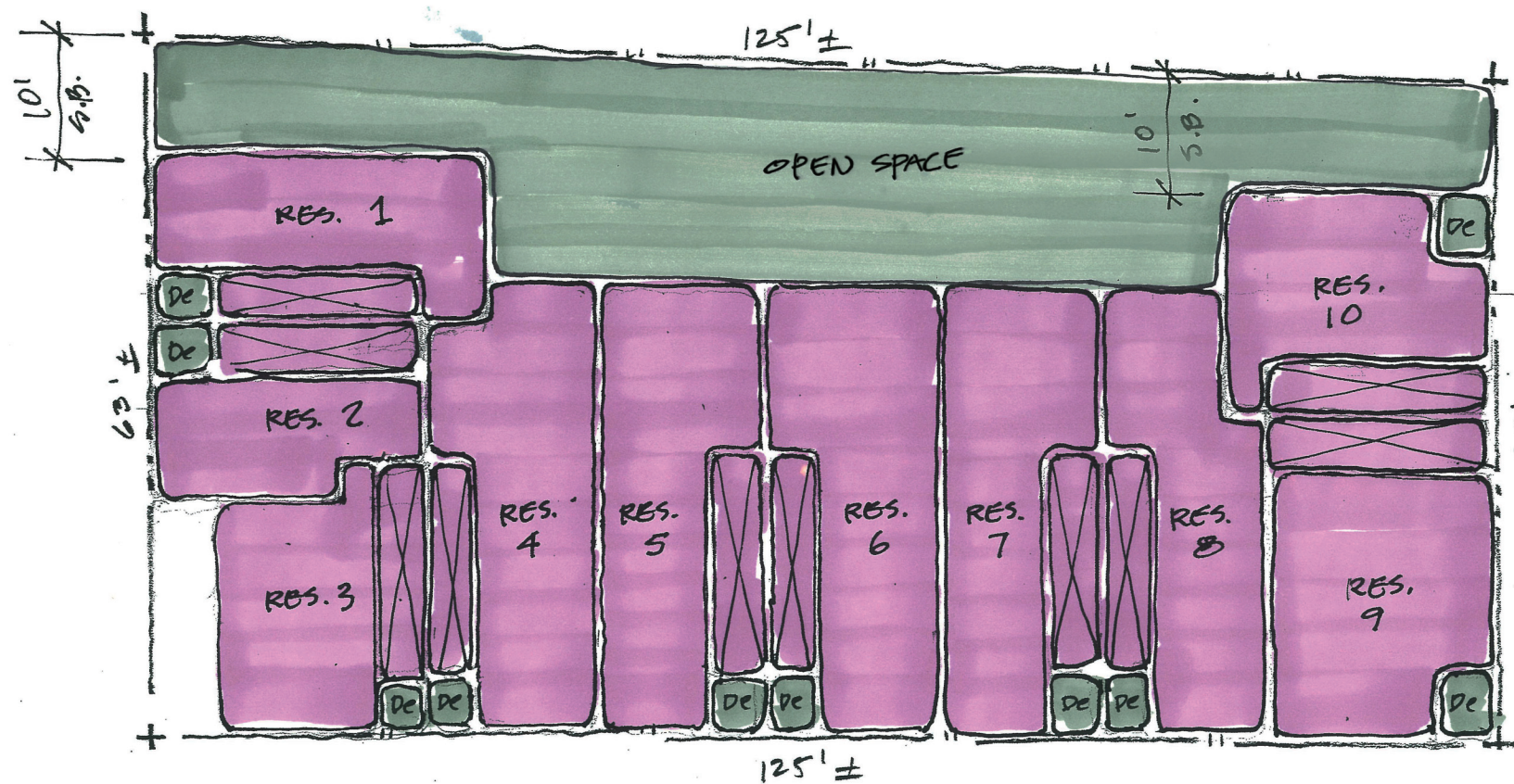


Fig. 1

Alternate Scheme 1 includes ten townhouse units atop retail/commercial and underground parking garage. Retail/commercial space will require Design Departure from the Land Use Code.

Fig. 1 depicts a general direction for treatment of west facade, building corner at street intersection, and side adjacent to single family home.

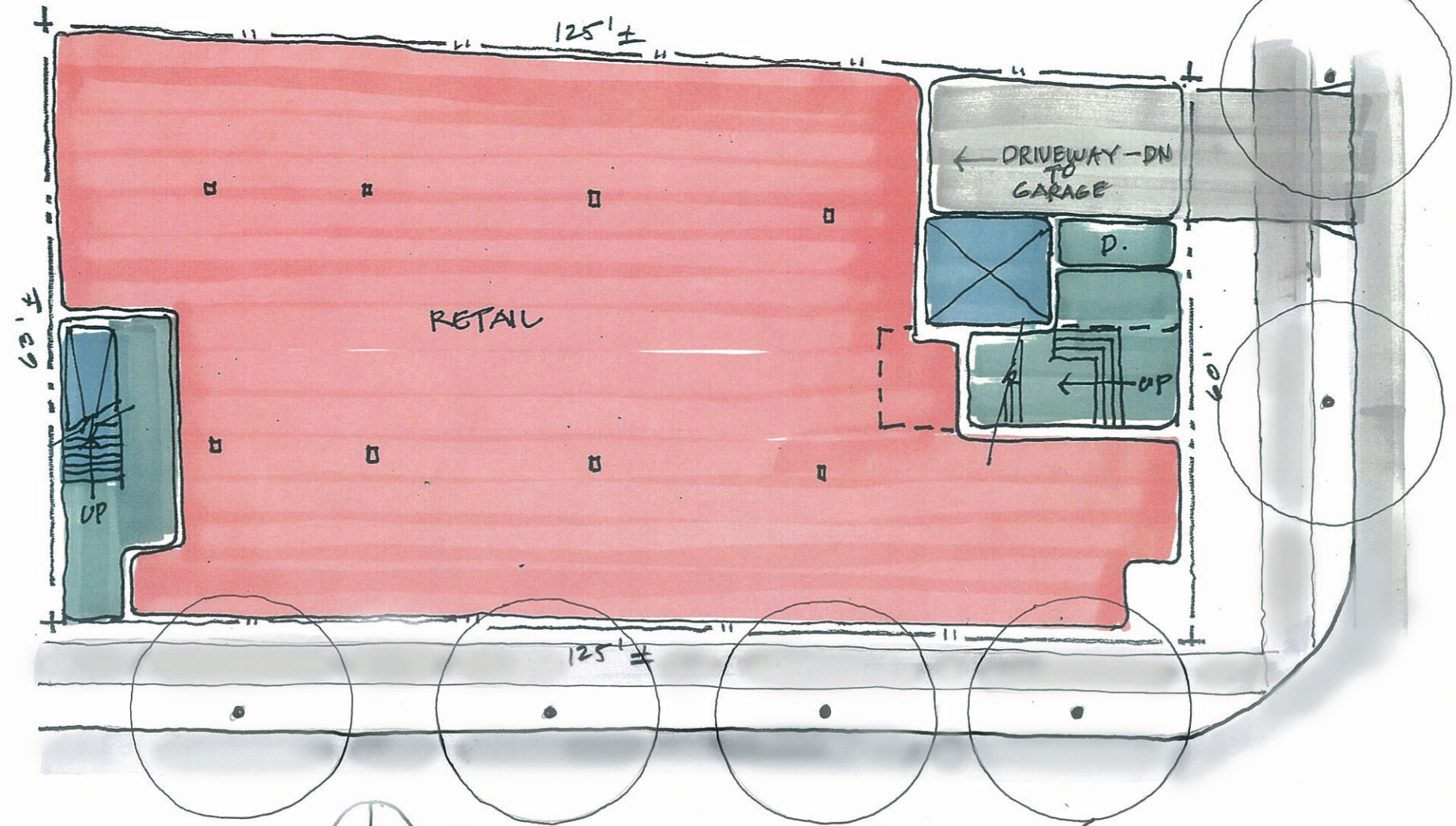
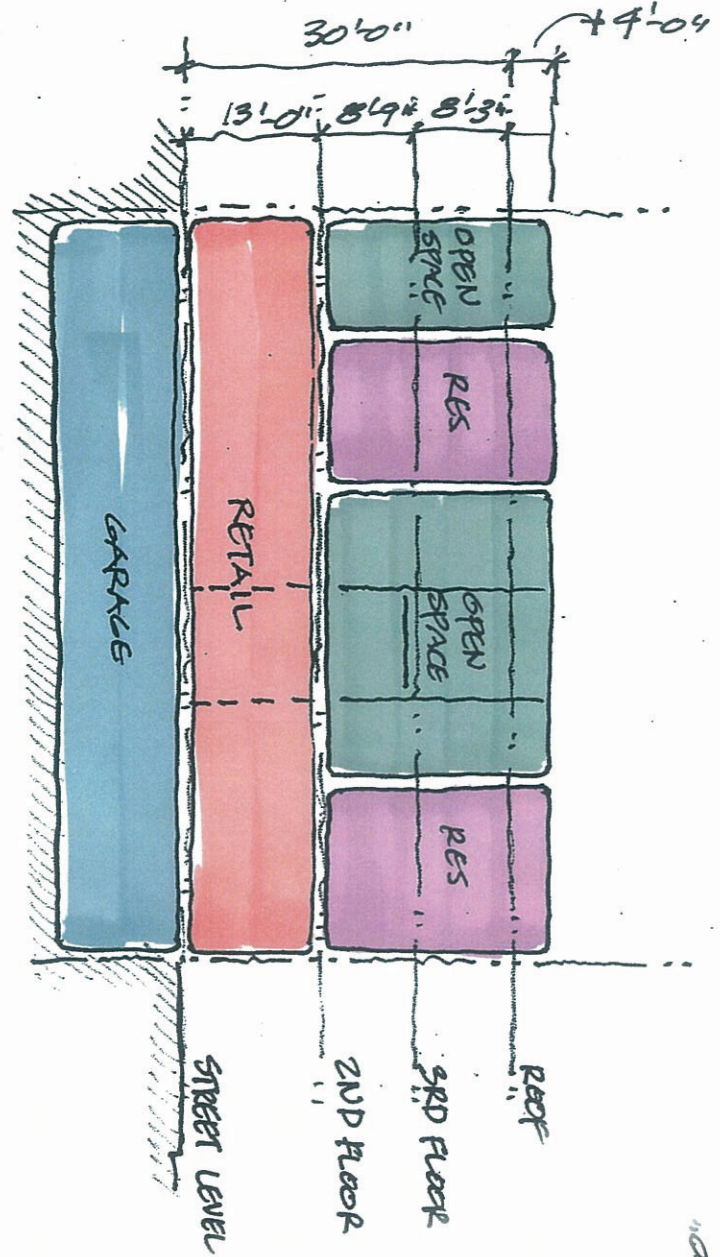
This scheme is characterized by a large open space to the south along the lot line adjacent to the single family home providing a deep green buffer. Individual stairway access is provided to each unit from the open space



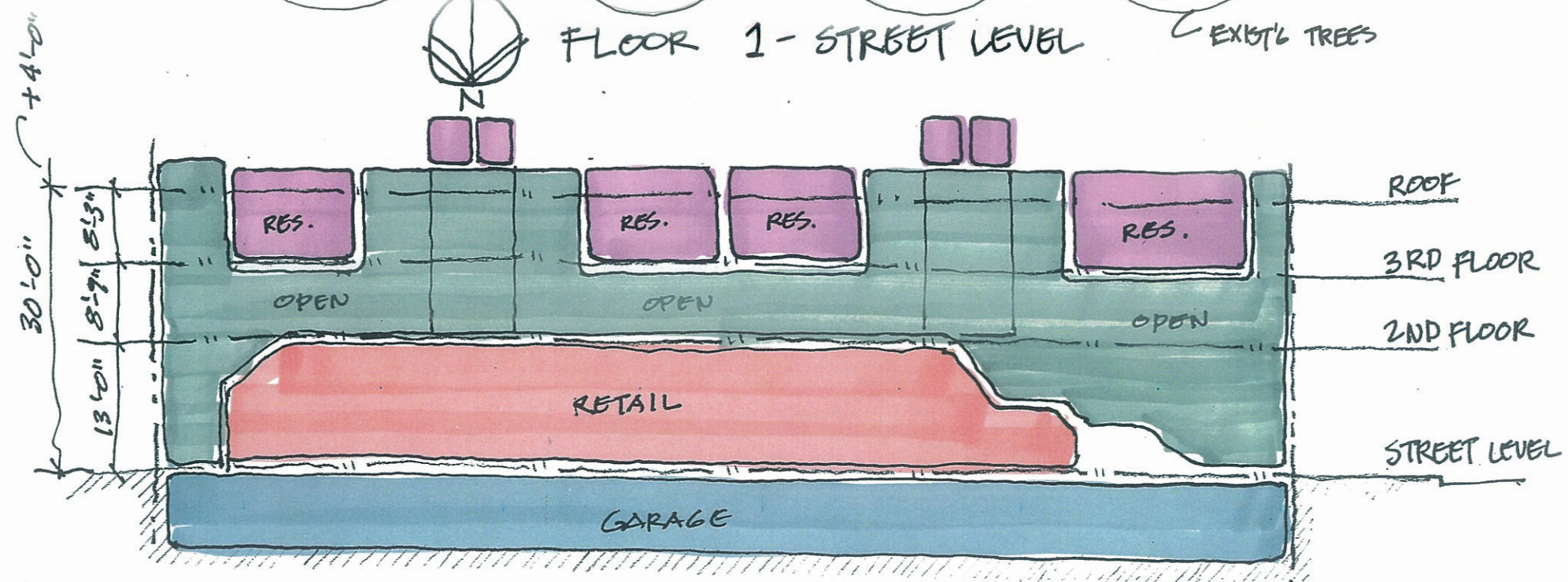
N
FLOORS 2 & 3 - RESIDENTIAL

ALTERNATE SCHEME 2

CROSS SECTION

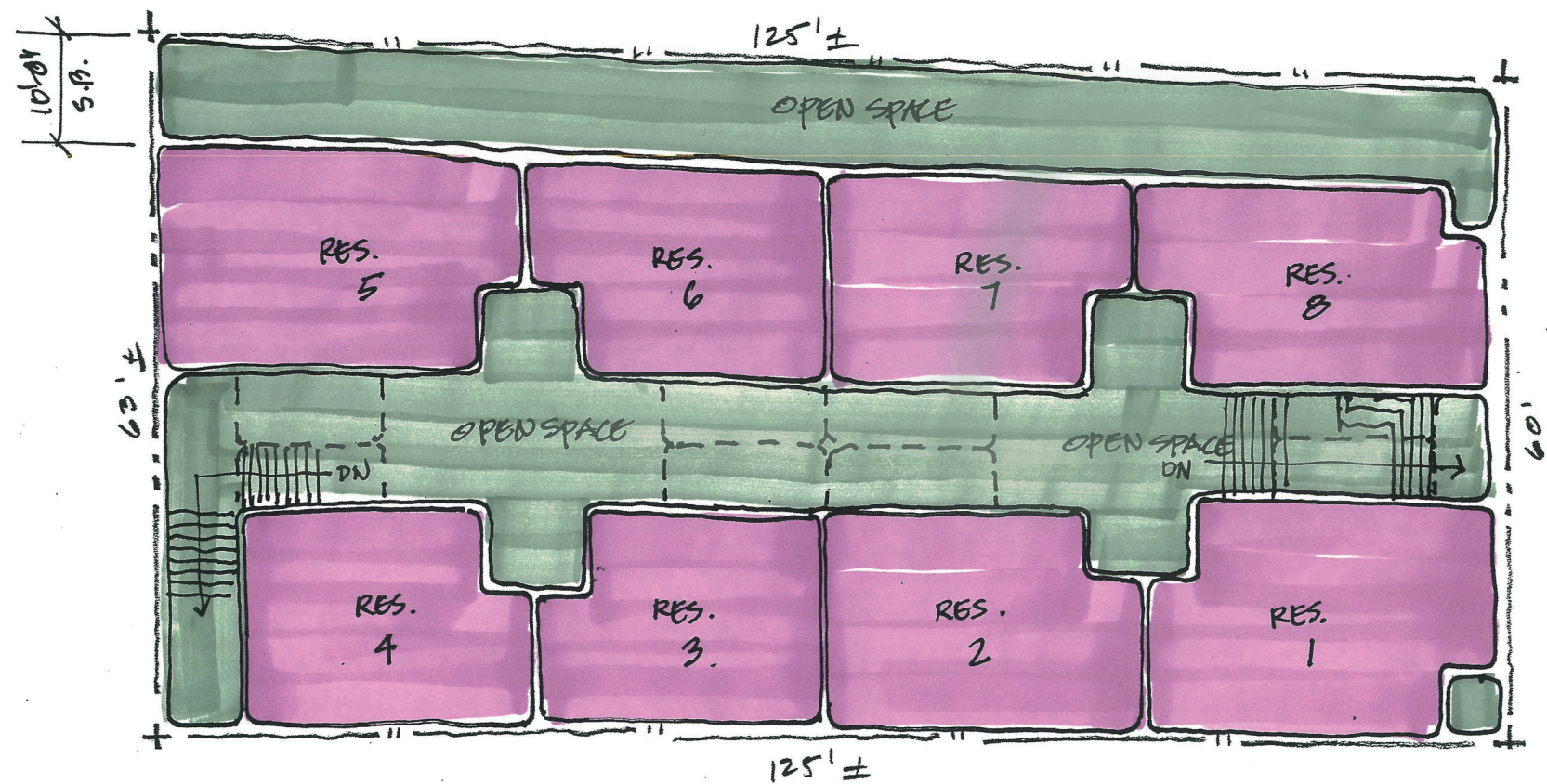


FLOOR 1 - STREET LEVEL



LONGITUDINAL SECTION

ALTERNATE SCHEME 2



2ND FLOOR - RESIDENTIAL

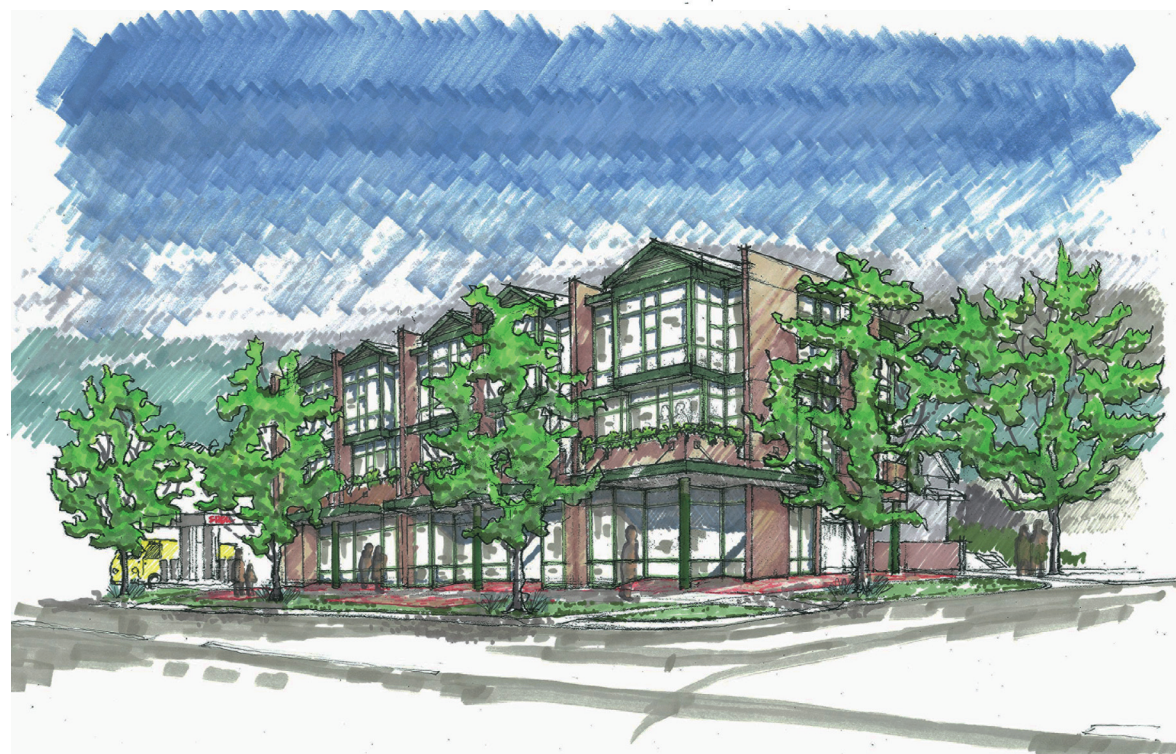
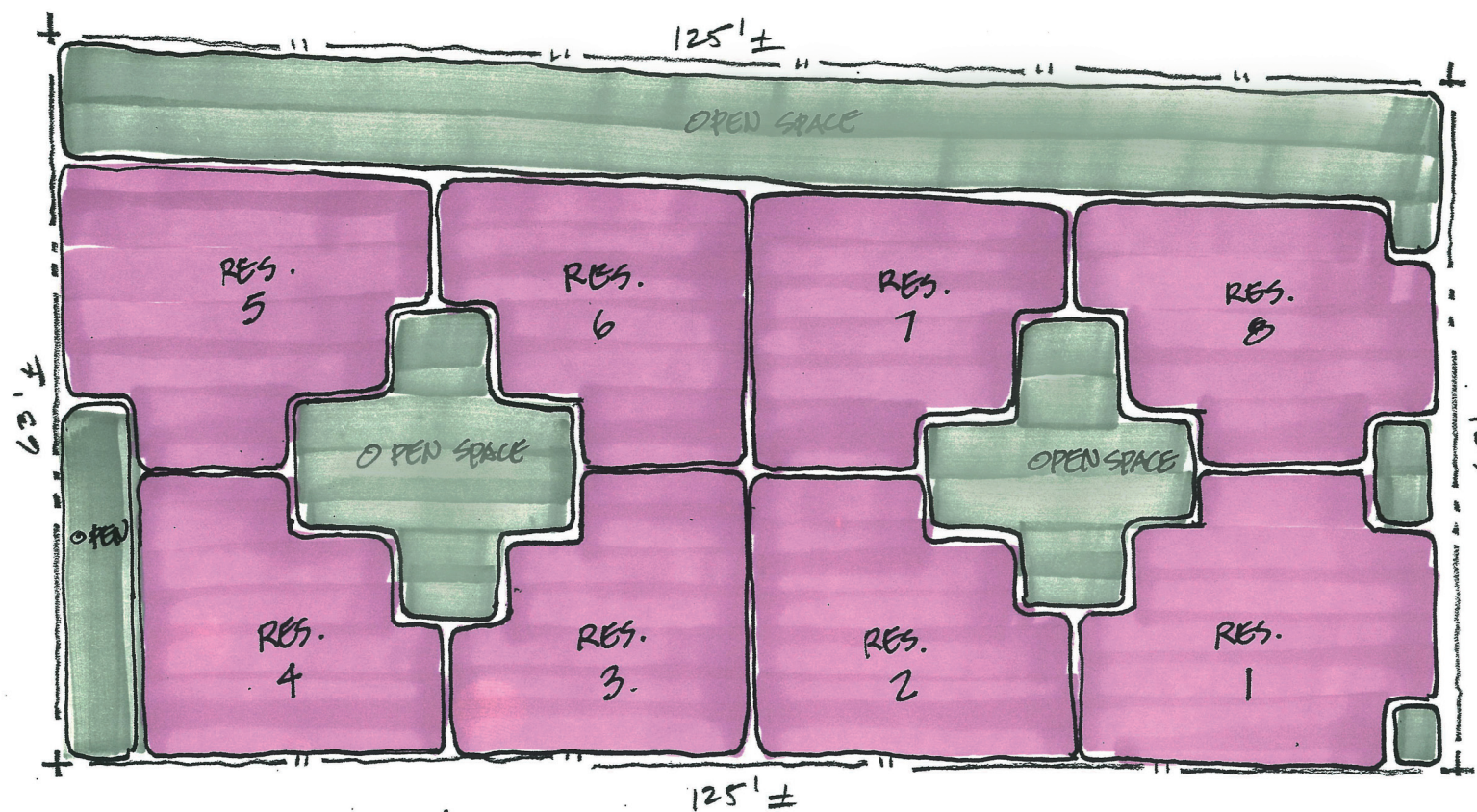


Fig. 2

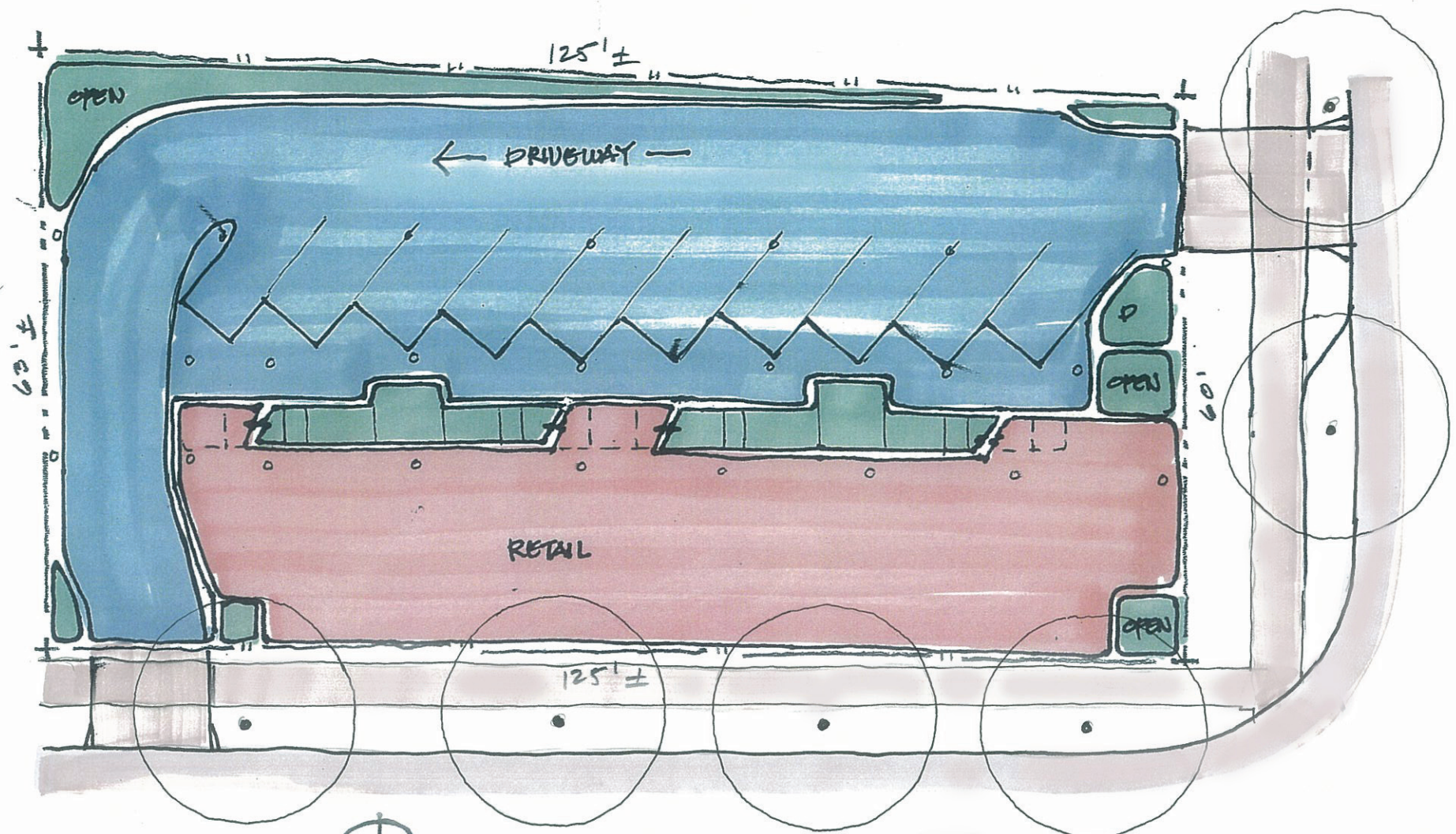
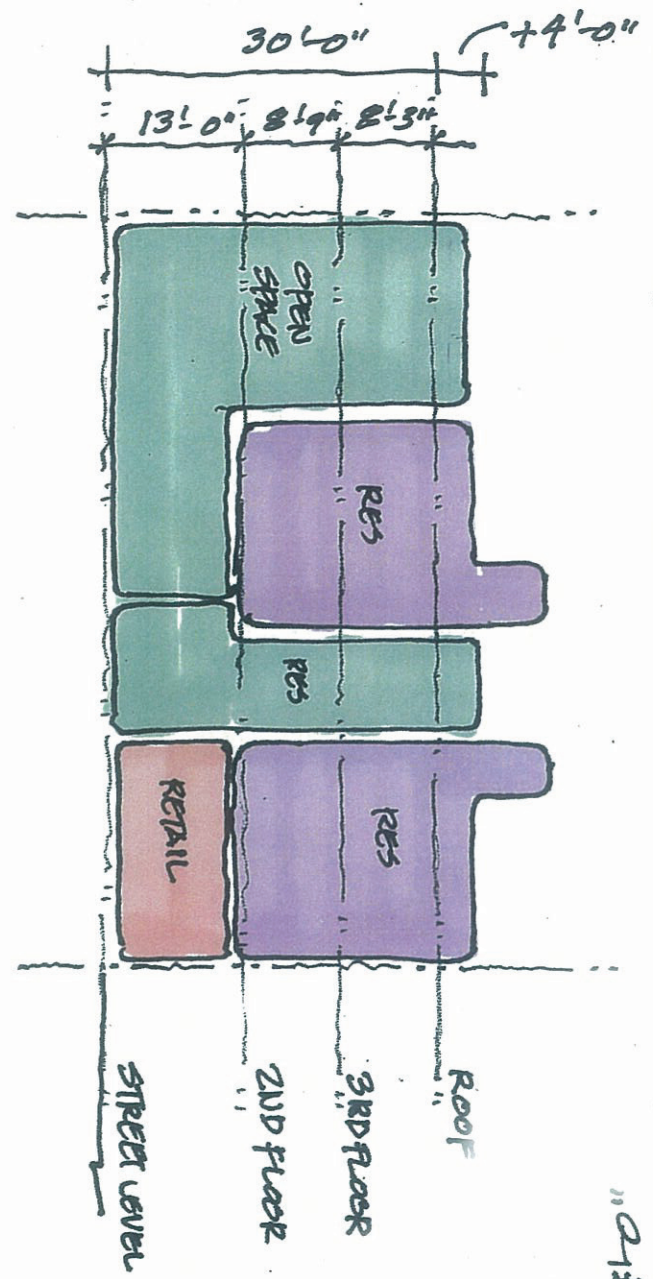
Alternate Scheme 2 includes eight residential units atop retail/commercial space and underground garage.

Fig 2 shows general treatment of building corner facing street intersection and a direction for architectural design and design consistency.

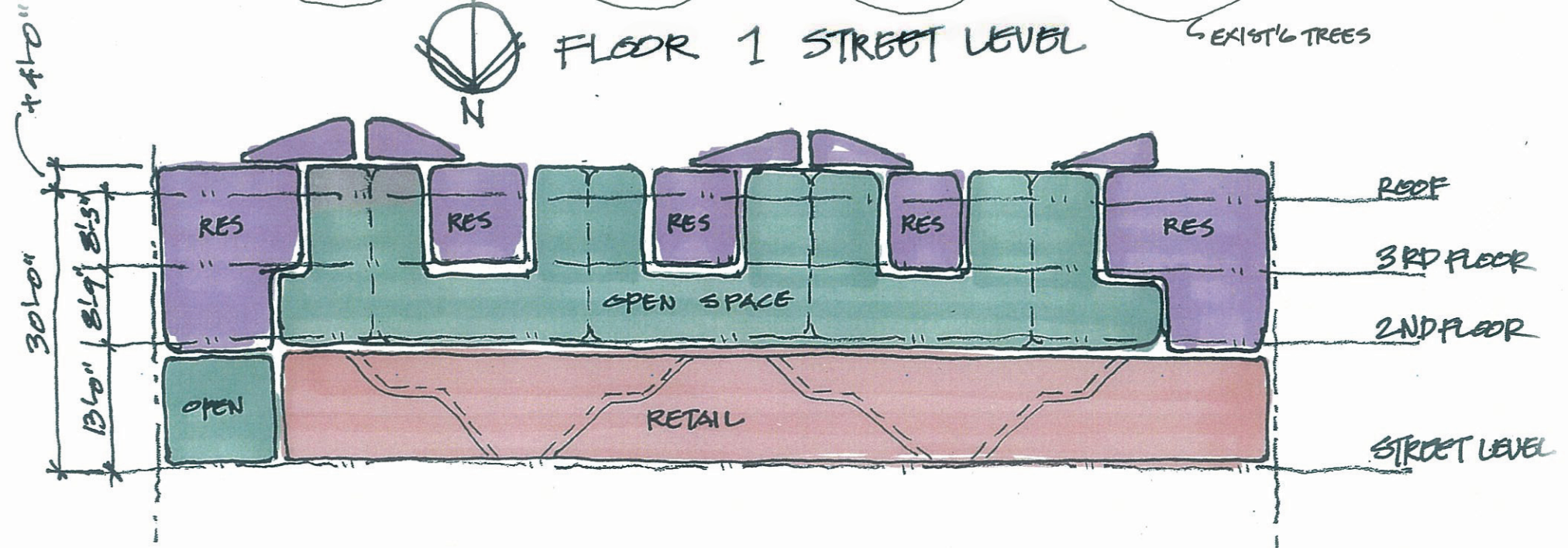
This scheme has a smaller area for open space buffer along the south property line. However, a wide breezeway is used for residential access which is accessible from both streets. Residentially scaled gating system can be incorporated for security at access points.



3RD FLOOR - RESIDENTIAL

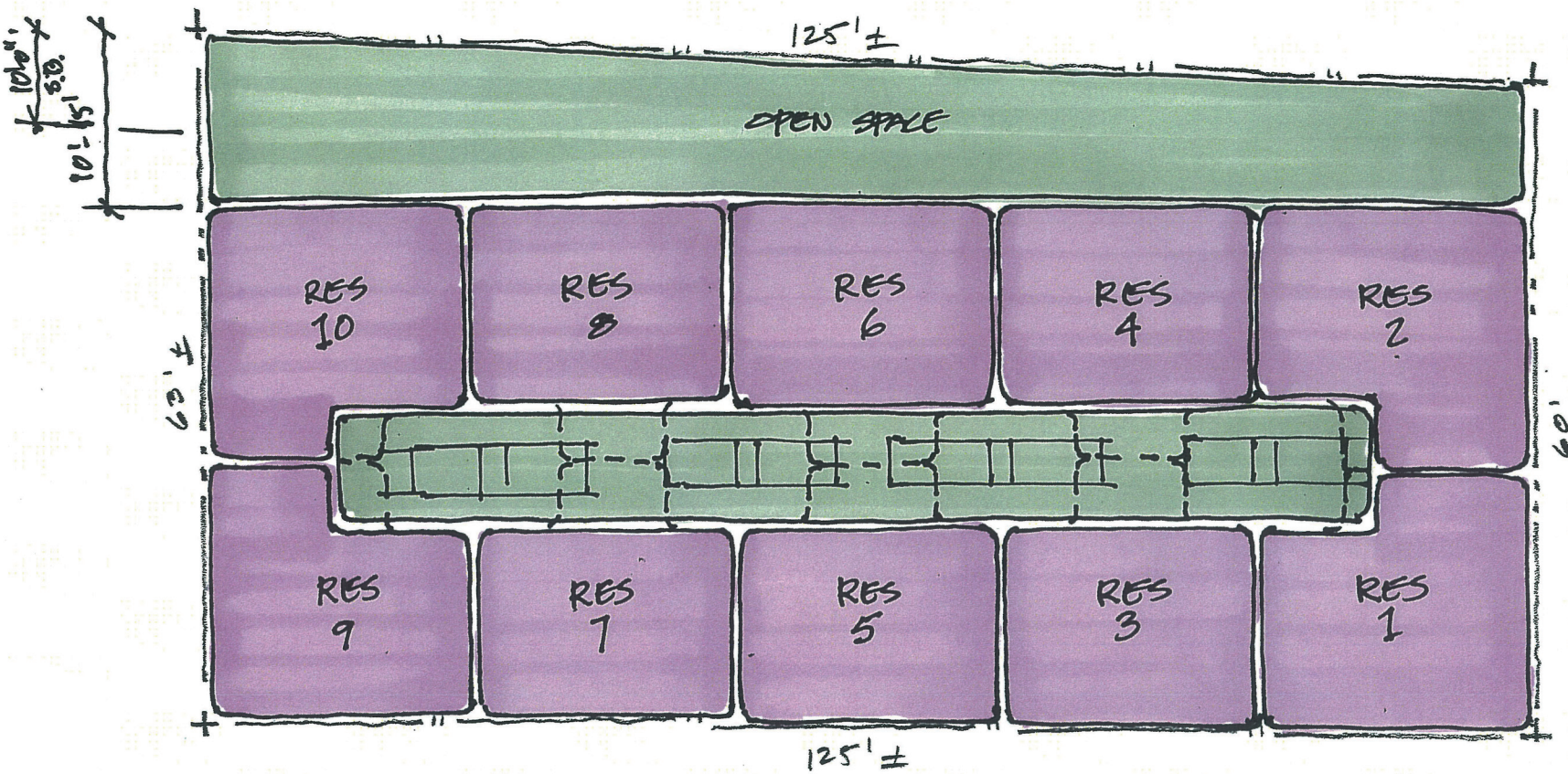


FLOOR 1 STREET LEVEL



LONGITUDINAL SECTION

ALTERNATE SCHEME 3



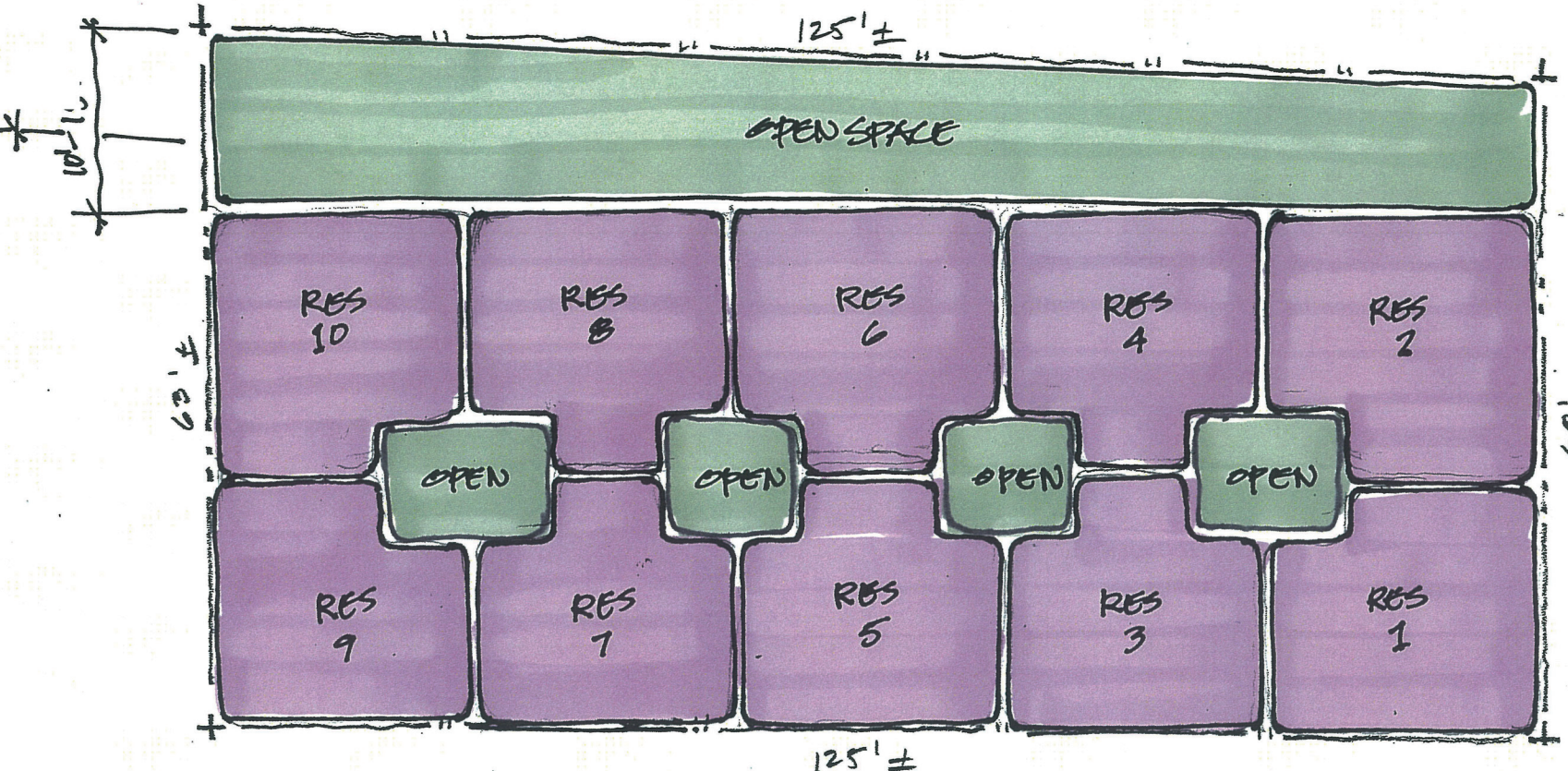
2ND FLOOR - RESIDENTIAL



Fig. 3

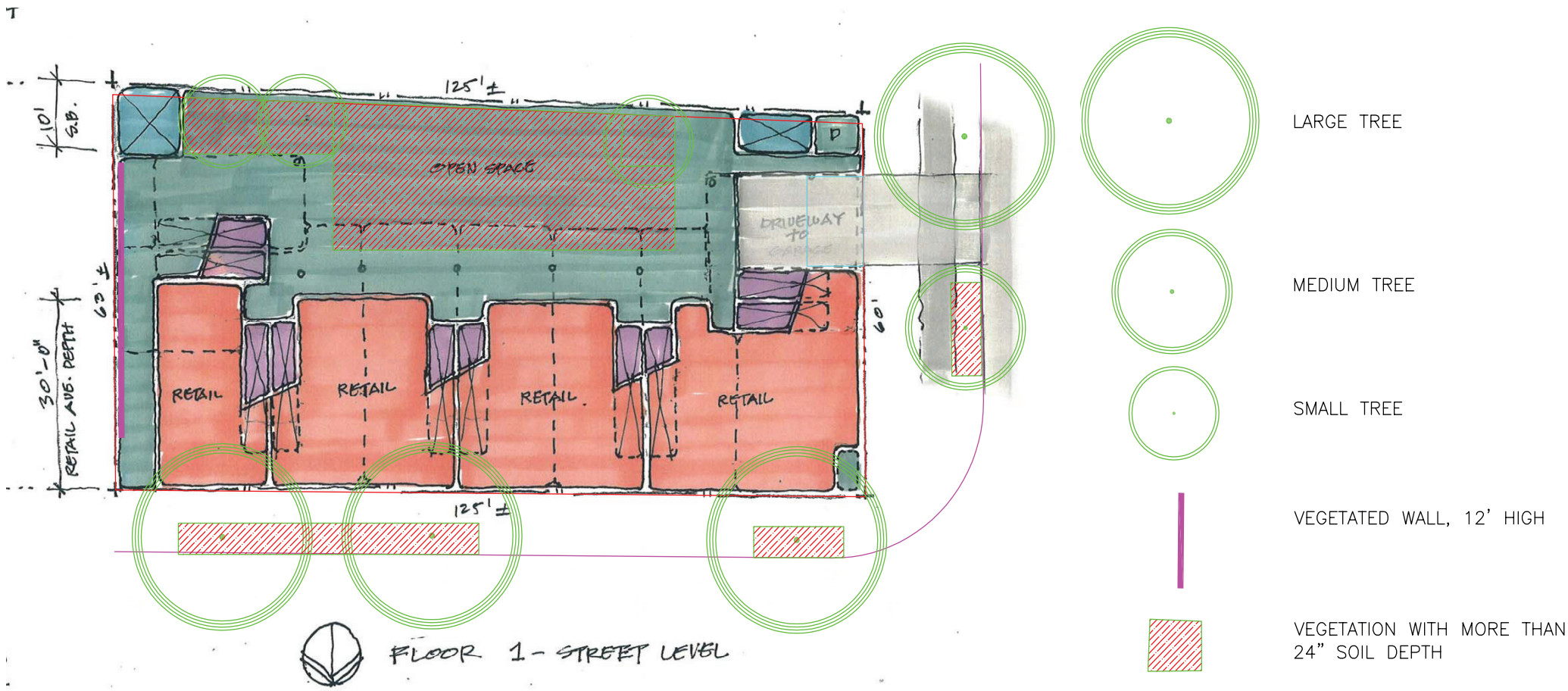
Alternate Scheme 3 includes ten units atop small retail shops. Smaller area for retail/commercial space will require Design Departure from the Land Use Code. There is surface parking only for the residential units only. Access to residential units will be from multiple stairways to open air corridors.

Similar to Scheme 2, a smaller but significant area of open space buffer is provided along the south property line. Fig 3 shows general view from the northwest. Building facade facing adjoining property to the east will include a “green wall” to meet the landscaping requirements of the Seattle Land Use Code. (please see “Landscape and Open Space Approach”, next page).



3RD FLOOR - RESIDENTIAL

Landscape and Open Space Approach



20TH & UNION MIXED USE
Seattle Green Factor Calculations 02-28-08

Fig. 4

SEATTLEgreen factor				
FINAL VERSION 1-22-07				
Parcel size (ENTER THIS VALUE FIRST)*		enter sq ft of parcel 7,718	You need at least 0.300 SCORE 0.301	
Types of Area**	Square Feet	Factor	Total	
A Vegetation planted with a soil depth of less than 24"				
1 Lawn or grass pavers or ground covers	enter sq ft 0	0.2	-	
2 Plants and shrubs 3' and higher at maturity	enter sq ft 0	0.3	-	
B Vegetation planted with a soil depth of more than 24"				
1 Lawn, grass pavers or other plants less than 3' tall at maturity	enter sq ft 1618	0.7	1,133	
2 Shrubs taller than 3' at maturity - calculated at 16 sq ft per plant (typically planted no closer than 18" on center)	enter number of plants 15 240	0.3	72	
3 Tree canopy for "small trees" in SDOT's Street Tree Planting Schedule or equivalent canopy spread of 15' - calculated at 50 sq ft per tree	enter number of plants 3 150	0.3	45	
4 Tree canopy for "small/medium trees" in Street Tree Planting Schedule or equivalent canopy spread of 20' - calculated at 100 sq ft per tree	enter number of plants 1 100	0.3	30.0	
5 Tree canopy for "medium/large trees" in Street Tree Planting Schedule or equivalent canopy spread of 25' - calculated at 150 sq ft per tree	enter number of plants 3 450	0.4	180.0	
6 Tree canopy for "large trees" in in Street Tree Planting Schedule or equivalent canopy spread of 30' - calculated at 200 sq ft per tree	enter number of plants 0 0	0.4	-	
7 Tree canopy for preservation of "exceptional trees" or trees with trunk diameter exceeding 24" at four and one half feet above the ground, calculated at 250 sq ft per tree	enter number of plants 0 0	0.5	-	
8 Permeable paving that drains only itself. It must be at grade. - calculated per square foot	enter sq ft 135	0.6	81.0	
C Green roofs - 4" minimum soil depth at time of planting	enter sq ft 0	0.7	-	
D Vegetated walls	enter sq ft 1050	0.7	735.0	
E Water features (fountains) or rain gardens (where allowed by SPU)	enter sq ft 0	0.7	-	
sub-total of sq ft =		3,743		
Bonuses				
F Landscaping using drought tolerant plants or where at least 50% of annual irrigation needs are met from non-potable sources	enter sq ft 500	0.1	50	
G Landscaping visible to passers-by from adjacent public right of way or public open spaces	enter sq ft 0	0.1	-	
		green factor numerator =	2,326	
* Do not count public rights of way in parcel size calculation.				
** To calculate your green factor score, you may count the landscape elements that are in public rights of way if they are contiguous with the parcel.				
Seattle Green Factor2-6-07.XLS				
Page 1				