

DESIGN REVIEW

2705 S Winthrop St



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1. PHOTO FACING SOUTH FROM WINTHROP



2. PHOTO FACING NORTH FROM WINTHROP



3. PHOTO FACING SW FROM WINTHROP



4. 27TH AND S. WINTHROP



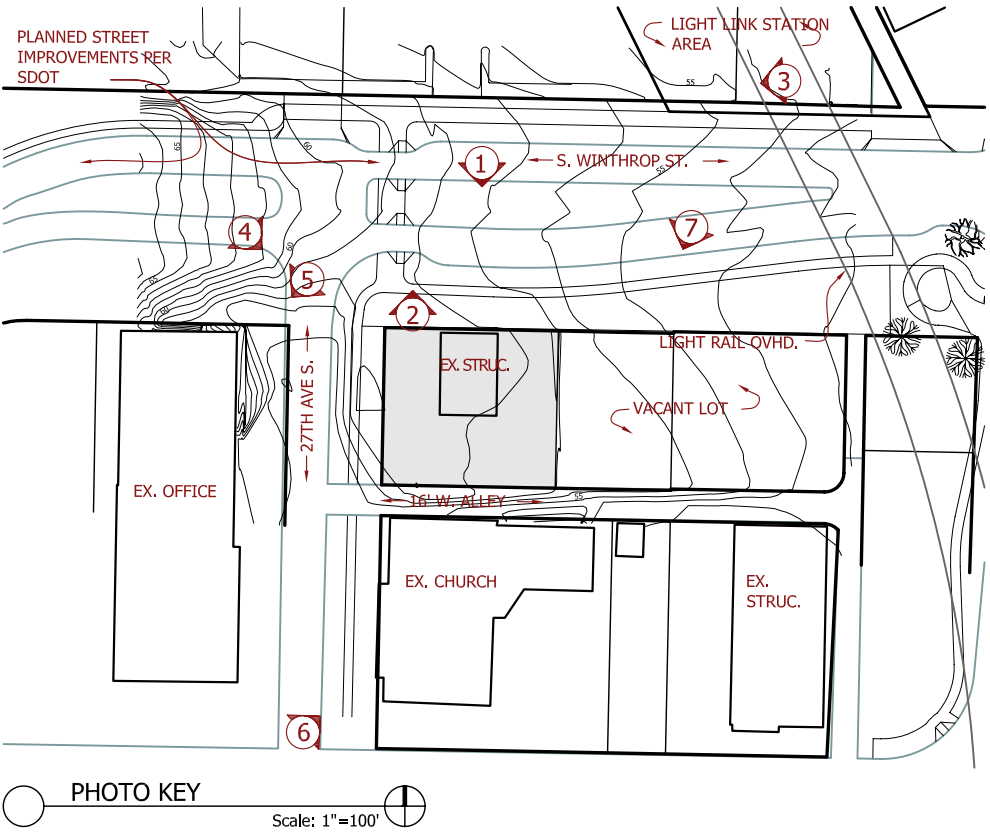
5. OFFICE BUILDING ON 27TH FROM NE



6. CHURCH AT 27TH AND



7. PHOTO FACING SW FROM WINTHROP



SITE DESCRIPTION

The site of this proposal is located at the southeast corner of the intersection of South Winthrop Street and 27th Ave South. The property measures 89' x 82' which includes a one foot street dedication along 27th Ave S. The south property line is bordered by an unimproved platted 16' alley. The site is currently occupied by a warehouse/ garage and adjacent surface parking lot. Overall the topography is level along S. Winthrop with a 3-4 foot drop in grade at the SW corner where 27th Ave intersects with the alley.



AERIAL PHOTO

1. Cheasty Boulevard (Seattle Parks)
2. Outlet Grocery Store
3. Light Rail Station
4. Adjacent local businesses
5. Franklin High School
6. Powerhouse Church of God
7. Elevated tracks
8. UW Laundry center
9. Jorve Roofing
10. Office building



1. CHEASTY BLVD



2. GROCERY OUTLET STORE



3. LIGHT RAIL STATION



4. ADJACENT COMMERCIAL STRIP



5. FRANKLIN HIGH SCHOOL



The site is zoned L-4RC and is within the Mt. Baker Station Overlay District, the Southeast Seattle Reinvestment Area and the North Rainier Valley Neighborhood Plan.

AREA ZONING MAP

Zoning Requirements

Site Location	2705 South Winthrop Street
Lot Area	7298 SF
Site Zoning	L-4 RC (Residential/Commercial) Station Area Overlay District
SEPA Review	Required when more that 8 residential units and/or >4,000 SF of commercial space
Permitted Uses	23.45.004 Multifamily structures 23.46.004 RC Live-work units and the following commercial uses are permitted outright; Sales and services, general; Offices; Retail sales; Restaurants
Density	23.45.008 One (1) dwelling unit per four hundred (400) square feet of lot area
Parking	Chart B 23.54.015 2-10 dwelling units, 1.1 stalls per unit. 23.54.015.B.5 No parking is required for business establishments permitted in multifamily zones, including live/work
Parking and Access	23.45.018 Alley Access Required. Access to parking shall be from the alley when the site abuts a platted alley. Parking may be located between any structure and the rear lot line of the lot.
Height	23.45.009 37 feet In Lowrise 4 zones the ridge of pitched roofs on principal structures may extend up to five (5) feet above the maximum height limit. All parts of the roof above thirty-seven (37) feet in Lowrise 4 zones shall be pitched at a rate of not less than four to twelve (4:12) Open railings, planters, skylights, clerestories, greenhouses, parapets and firewalls may extend no higher than the ridge of a pitched roof permitted under subsection C above or four (4) feet above the maximum height limit set in subsection A of this section.
Lot Coverage	23.45.010 50% of lot area
Structure Width and Depth	23.45.011 Width - 90 ft for ground related housing and apartments; 150 ft for townhouses Depth - 65% depth of lot

Modulation Requirements
23.45.012

Modulation shall be required if the front facade width exceeds thirty (30) feet with no principal entrance facing the street, or forty (40) feet with a principal entrance facing the street.

Side Facades. On corner lots, side facades which face the street shall be modulated if greater than forty (40) feet in width for ground-related housing, and thirty (30) feet in width for apartments.

Minimum Depth of Modulation.
(1) The minimum depth of modulation shall be four (4) feet for townhouses in Lowrise 4 zones, and eight (8) feet for apartments in Lowrise 4 zones.

(2) When balconies are part of the modulation and have a minimum dimension of at least six (6) feet and a minimum area of at least sixty (60) square feet, the minimum depth of modulation shall be two (2) feet.

The minimum width of modulation shall be five (5) feet.

Setbacks
23.45.014

The required front setback shall be the average of the setbacks of the first principal structures on either side.

When the first principal structure within one hundred feet (100') of a side lot line of the subject lot is not on the same block front or when there is no principal structure within one hundred feet (100') of the side lot line, the setback depth used for averaging purposes on that side shall be ten feet (10').

Rear setback: 15 feet from alley centerline

Side setbacks: Average of 7 feet; 5 ft minimum

Screening and Landscaping
23.45.015

Quantity: A minimum landscaped area that is equivalent in square footage to three (3) feet times the total length of all property lines shall be provided.

Open Space
23.45.016

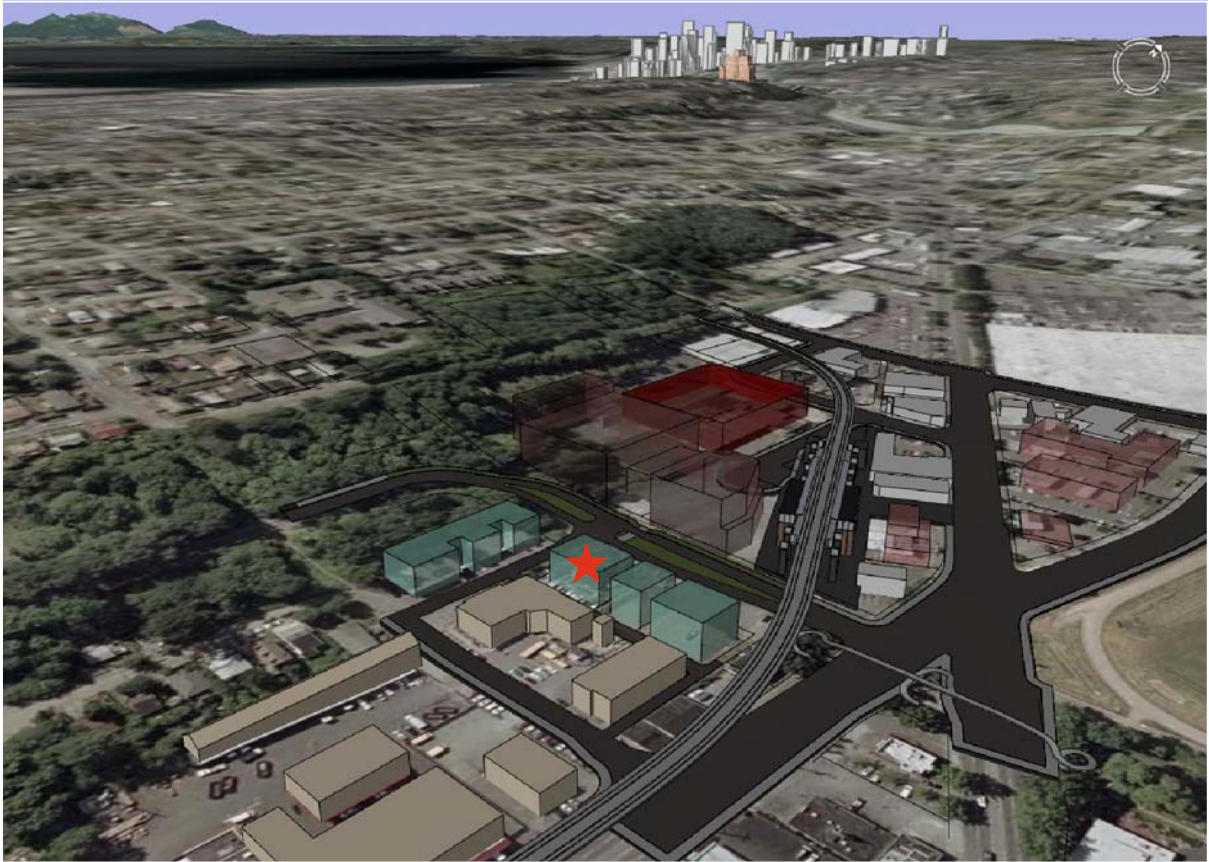
A minimum of twenty-five (25) percent of the lot area shall be provided as usable open space at ground level. A maximum of one-third (1/3) of the required open space may be provided above ground in the form of balconies, decks, individual unit decks on roofs or common roof gardens if the total amount of required open space is increased to thirty (30) percent of lot area.



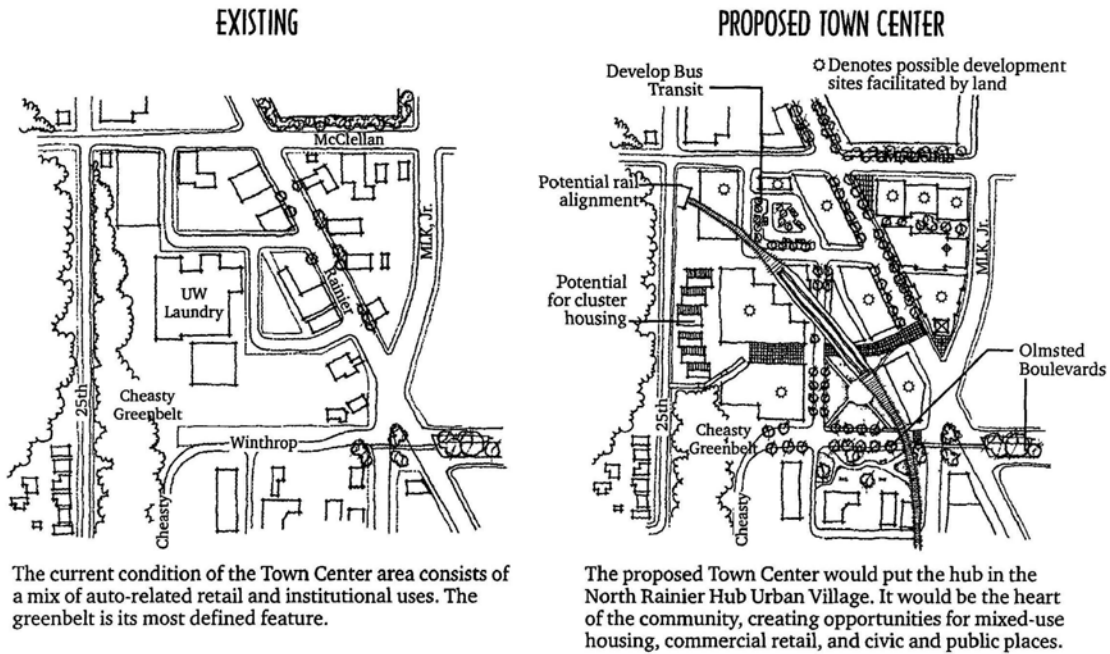
The site of this proposal is located directly south of the Mt. Baker light rail station, which is currently under construction. The North Rainier Valley Neighborhood Plan, adopted in 1998, called for the establishment of a new 'Town Center' to increase residential densities and commercial uses in the 3-4 block radius surrounding the new rail station. In order to achieve a denser variety of uses, the area immediately surrounding the station is zoned primarily NC3-65. The site of the existing UW laundry center is zoned C1-65. The area south of the town center, across S. Winthrop is zoned primarily L-4RC with some Duplex/Triplex transitioning to the single family zoning along Cheasty Blvd S. These areas are a mix of vacant land, parking lots and small local businesses with some light industrial and warehouse.

The entire area lies at the eastern foot of Beacon Hill and is bordered by Cheasty Blvd, which is part of the Seattle Parks Dept. and was inspired by a 1903 Olmsted plan for a 20 mile green belt that was to circumnavigate Seattle making a loop of parks and green spaces. Cheasty Blvd is heavily wooded and creates a strong edge marking the boundary to the less dense single family neighborhoods along the east slope of Beacon Hill. To the east lies the intersection of MLK Blvd and Rainier Ave South which are both main transportation corridors linking downtown and the central areas to the growing south Seattle neighborhoods. This crossroads is a major node and a landmark by its own right.

The rail station and elevated tracks already dominate the area and will soon become an icon for the new neighborhood. Across the alley from this proposal is the Powerhouse Church of God, which has been part of the community for over 25 years. The beaux arts design Franklin High School sits prominently on the hillside east of Rainier Ave.



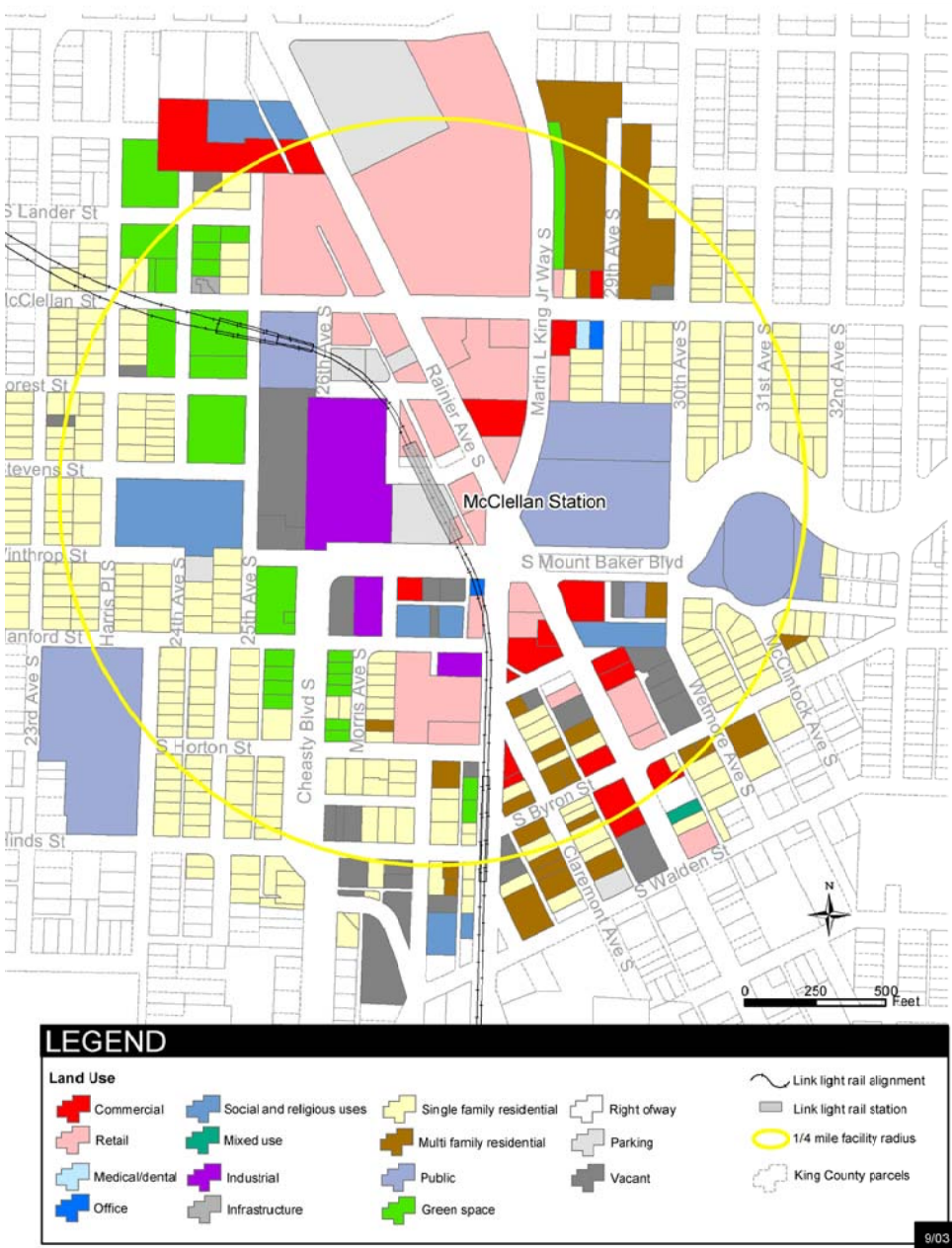
PERSPECTIVE AERIAL OF THE NORTH RAINIER VALLEY TOWN CENTER



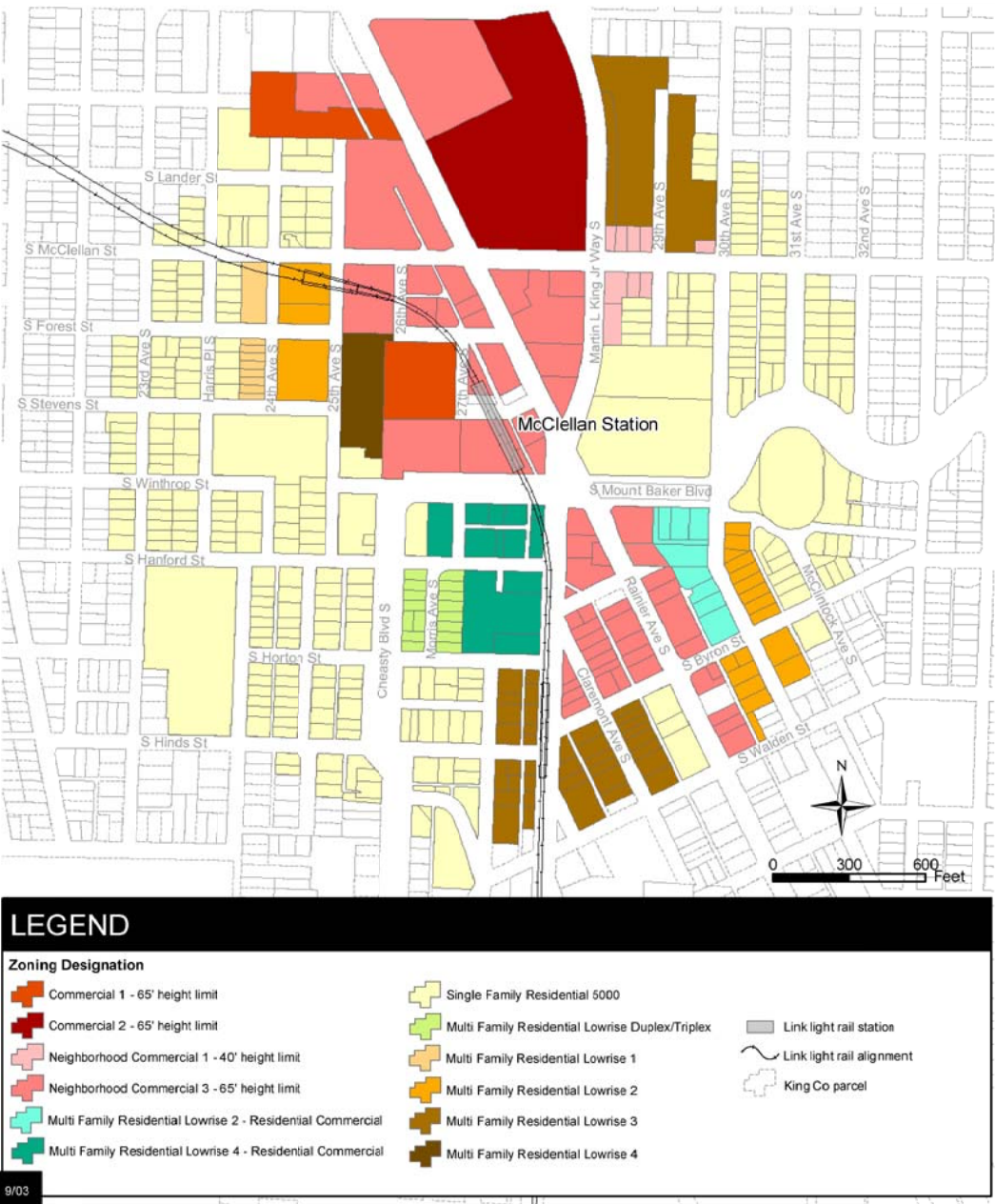
EARLY NORTH RAINIER TOWN CENTER PLAN PER ADOPTED NEIGHBORHOOD PLAN



AERIAL PHOTO



CURRENT LAND USE



ZONING MAP

Describe how the proposed design responds to the early design guidance provided by the design review board.

At the EDG meeting the Design Review Board (DRB) preferred the 'slip' massing scheme. The board members had positive feedback regarding how this scheme stepped back from the street at the upper residential floors. The step creates a unique building profile which mitigates the perceived bulk of the building along the park-like setting of South Winthrop Street. This proposal reflects the design continuation of that scheme.

The DRB also encouraged the design team to study how to extend the development further along 27th Ave in order to better address the corner condition of the site. It was also discussed that by extending the building we could create opportunities to enclose a waste/recycling area as well as screen views of the proposed surface parking from 27th Ave. The current design proposes the addition of a 3-story live/work unit on 27th Ave adjacent to the alley. This extension frames the residential entry and encourages an active pedestrian environment along the entire west property line. The new massing also houses a waste/recycling area that is shielded from street view as well as an elevator core which accesses the residential units. In addition, views of the surface parking area are blocked from 27th Ave.

The 'slip' massing scheme presented at the EDG meeting highlighted a series of private roof terraces at the third level along the northern facade of the building. Although the DRB was positive about the relief in the elevation created by the terrace they expressed a desire for a stronger architectural element than the light metal guardrail that was shown. The board suggested a more solid guardrail 'capping' the live/work units, strengthening the commercial base. In subsequent design investigations we felt that by enclosing the terraces with a solid wall, even a low wall, would diminish the connection of the units to the green belt beyond. Allowing the view of upper units to carry through the terrace out to the trees is a key feature of this scheme. The current design proposes a guardrail comprising of metal panels with varying sizes of perforations that from some angles appear solid but can change it's degree of openness depending on the vantage point. The rhythm of openings in the panels also create an interesting visual element marking the transition from the commercial base to the residential units above.

The board also expressed a desire to see a more sculptural corner to emphasize the special nature of the site. The live/work unit at the corner of 27th and S Winthrop features double height glazing with an exposed structural fin wall which continues the rhythm along S Winthrop and gives a strong presence at the corner.



Perspective at live/work unit

Relevant Guidelines

2705 S Winthrop Development
Recommendation Meeting

Relevant Guidelines

A - Site Planning

A-1 Responding to Site Characteristics

The siting of buildings should respond to specific site conditions and opportunities such as nonrectangular lots, location on prominent intersections, unusual topography, significant vegetation and views or other natural features.

A-2 Streetscape Compatibility

The siting of buildings should acknowledge and reinforce the existing desirable spatial characteristics of the right-of- way.

A-3 Entrances Visible from the Street

Entries should be clearly identifiable and visible from the street.

A-4 Human Activity

New development should be sited and designed to encourage human activity on the street.

A-7 Residential Open Space

Residential projects should be sited to maximize opportunities for creating usable, attractive, well-integrated open space.

A-10 Corner Lots

Buildings on corner lots should be oriented to the corner and public street fronts. Parking and automobile access should be located away from corners.

B - Height, Bulk and Scale

B-1 Height, Bulk and Scale Compatibility

Projects should be compatible with the scale of development anticipated by the applicable Land Use Policies for the surrounding area and should be sited and designed to provide a sensitive transition to near-by, less-intensive zones. Projects on zone edges should be developed in a manner that creates a step in perceived height, bulk and scale. between the anticipated development potential of the adjacent zones.

C - Architectural Elements and Materials

C-2 Architectural Concept and Consistency

Building design elements, details and massing should create a well-proportioned and unified building form and exhibit an overall architectural concept. Buildings should exhibit form and features identifying the functions within the building. In general, the roofline or top of the structure should be clearly distinguished from its facade walls.

C-3 Human Scale

The design of the new buildings should incorporate architectural features, elements and details to achieve a good human scale.

C-4 Exterior Finish Materials

Building exteriors should be constructed of durable and maintainable materials that are attractive even when viewed up close. Materials that have texture, pattern, or lend themselves to a high quality of detailing are encouraged.

D - Pedestrian Environment

D-1 Pedestrian Open Spaces and Entrances

Convenient and attractive access to the building's entry should be provided. To ensure comfort and security, paths and entry areas should be sufficiently lighted and entry areas should be protected from the weather. Opportunities for creating lively, pedestrian-oriented open space should be considered.

D-6 Screening of Dumpsters, Utilities and Service Areas

Building sites should locate service elements like trash dumpsters, loading docks and mechanical equipment away from the street front where possible. When elements such as dumpsters, utility meters, mechanical units and service areas cannot be located away from the street front, they should be situated and screened from view and should not be located in the pedestrian right-of-way.

D-7 Personal Safety and Security

Project design should consider opportunities for enhancing personal safety and security in the environment under review.

D-8 Treatment of Alleys

The design of alley entrances should enhance the pedestrian's street front.

D-10 Commercial Transparency

Commercial storefronts should be transparent, allowing for a direct visual connection between pedestrians on the sidewalk and the activities occurring on the interior of a building. Blank walls should be avoided.

E - Landscaping

E-2 Landscaping to Enhance the Building and/or site

Landscaping, including living plant material, special pavements, trellises, screen walls, planters, site furniture and similar features should be appropriately incorporated into the design to enhance the project

E-3 Landscape Design to Address Special Site Conditions

The landscape design should take advantage of special on-site conditions such as high-bank front yards, steep slopes, view corridors, or existing significant trees and off-site conditions such as greenbelts, ravines, natural areas, and boulevards.

Response to relevant guidelines

guideline	comment
A - Site Planning	
A-1 Responding to Site Characteristics	
The siting of buildings should respond to specific site conditions and opportunities such as nonrectangular lots, location on prominent intersections, unusual topography, significant vegetation and views or other natural features.	The site is located on a corner lot adjacent to a landscaped boulevard. Overall the topography is relatively flat with some drop in grade at the southwest corner. The intersection of S Winthrop and 27th Ave is one of the few street corners located within the overlay district and master plan for the North Rainier Neighborhood. The siting of this development is intended to ---a strong street presence. As part of our departure requests the setbacks are reduced to maximize visibility of the commercial uses from the street and encourage pedestrian interaction beyond the property lines.
A-2 Streetscape Compatibility	
The siting of buildings should acknowledge and reinforce the existing desirable spatial characteristics of the right-of- way.	The surrounding area is largely undeveloped and as a result the streetscape is undefined. During the previous EDG meeting the board was positive about creating developments that had a "strong presence at the street/sidewalk edge." The siting and massing of this proposal works to create that strong edge that the board felt would be an important aspect in supporting intense development within the commercial district as well as complimenting the boulevard treatment of S Winthrop.
A-3 Entrances Visible from the Street	
Entries should be clearly identifiable and visible from the street.	<p>The entrances to the live/work units will be part of a storefront system with large operable panels allowing the uses to spill out into the courtyards. The lofted units allow for double height glazing maximizing views of the commercial spaces from S Winthrop.</p> <p>The residential entry is located on 27th Ave made visual by the gap created by the south unit.</p>
A-4 Human Activity	
New development should be sited and designed to encourage human activity on the street.	As mentioned in the previous responses the commercial spaces are positioned to maximize visibility from S Winthrop. A series of entry courts in front of each unit allows for activities to spill out and interact with the streetscape, creating a mixing zone between the sidewalk and the building.

guideline	comment
A-7 Residential Open Space	
Residential projects should be sited to maximize opportunities for creating usable, attractive, well-integrated open space.	The unusual context of this site places the building within a large amount of landscaped open space as a part of the Olmsted boulevard at S Winthrop. We felt this was an opportunity to site the building consistent with a more intense use by decreasing the setbacks and relocating ground related open space to the roof where each unit will have access to a private rooftop garden overlooking the surrounding park areas. The addition of the extension along 27th further decreased ground related open space. This proposal seeks a departure for the location of open space.
A-10 Corner Lots	
Buildings on corner lots should be oriented to the corner and public street fronts. Parking and automobile access should be located away from corners.	The corner of the commercial base is fully glazed giving an active facade along both S Winthrop and 27th Ave. The added live/work unit along 27th Ave serves to continue street activity around the corner addressing both street fronts.

guideline	comment
<p>B - Height, Bulk and Scale</p> <p>B-1 Height, Bulk and Scale Compatibility</p> <p>Projects should be compatible with the scale of development anticipated by the applicable Land Use Policies for the surrounding area and should be sited and designed to provide a sensitive transition to nearby, less-intensive zones. Projects on zone edges should be developed in a manner that creates a step in perceived height, bulk and scale. between the anticipated development potential of the adjacent zones.</p>	<p>The area surrounding the project site is largely undeveloped, but the intent of the zoning and direction set forth by the North Rainier Neighborhood plan encourages mixed-use developments as a way to create a vibrant urban village surrounding the Mt. Baker Sound Transit Station. The project site is bounded by the same zoning on three sides with a more intensive commercial zoning across S Winthrop Street. The DRB was supportive a more intensive development due to the goals set out by the neighborhood plan and the commercial overlay district zoning in the area south of S Winthrop. The challenge for this development is to respond to the park-like environment along the S Winthrop (Olmsted) boulevard with an appropriate scale while maintaining a strong edge and street presence consistent with the overall zoning of the urban village.</p> <p>The solution presented by this proposal arranges the massing of the building according to use. The ground level commercial units make up a strong base that is clearly visible and distinct from the upper residential units which are stepped back from the S Winthrop facade This arrangement breaks down the overall bulk and scale of the building while maintaining a strong street presence. The front of the live/work units create a lively transition from the pedestrian environment as well as a distinct buffer to the more private residential units above.</p> <p>While this development is at the maximum height limit, rooftop elements of clerestories and individual stair penthouses serves to break down the bulk of the building. These elements also create an interesting roofscape visible from the elevated track of the light rail as well as from the street.</p>

<h2 style="margin: 0;">Relevant Guidelines</h2>	<p>2705 S Winthrop Dr Recommendation Meeting</p>
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guideline	comment
<p>C - Architectural Elements and Materials</p> <p>C-2 Architectural Concept and Consistency</p> <p>Building design elements, details and massing should create a well-proportioned and unified building form and exhibit an overall architectural concept. Buildings should exhibit form and features identifying the functions within the building. In general, the roof line or top of the structure should be clearly distinguished from its facade walls.</p>	<p>As mentioned in previous responses, the massing of this design clearly identifies the individual uses of commercial and residential as a base and top. The upper residential units are stepped back from the S Winthrop facade emphasizing the street frontage of the commercial units at ground level. This concept was driven by a desire to reduce the overall impact of the development on the Olmsted boulevard park.</p> <p>Vertical elements of bays windows and fin walls further breaks down the north elevation into the individual units. The result is the massing allows to distinguish the different uses and the facade treatment delineates the individual bays.</p> <p>The rooftop features help to create a cap as well as an interesting roofscape that breaks down as the building rises.</p>
<p>C-3 Human Scale</p> <p>The design of the new buildings should incorporate architectural features, elements and details to achieve a good human scale.</p>	<p>The building is clearly identified as having a base, middle and top which serves to break down the elevations, giving a more human scale to the overall massing. Other design features such as bay windows, guardrails and metal screens also give the elevations a level of detail having an identifiable human scale.</p>

C-4 Exterior Finish Materials

Building exteriors should be constructed of durable and maintainable materials that are attractive even when viewed up close. Materials that have texture, pattern, or lend themselves to a high quality of detailing are encouraged.

The exterior cladding will comprise of stucco, metal (galvalume) and a siding panel with a resin core and wood veneer. The glazing will be aluminum residential and storefront systems. The exterior finishes will be highly durable while achieving a level of warmth and detail associated with traditional materials.

elopment

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guideline	comment
D - Pedestrian Environment	
D-1 Pedestrian Open Spaces and Entrances	
Convenient and attractive access to the building's entry should be provided. To ensure comfort and security, paths and entry areas should be sufficiently lighted and entry areas should be protected from the weather. Opportunities for creating lively, pedestrian-oriented open space should be considered.	The entry courts located in front of each live/work unit will function as open space for the tenants that is an inviting and active space for pedestrians. The entrances will be clearly identifiable and the doors will be protected by metal awnings. The main residential entrance, located on 27th Ave, will also have protective awnings.
D-6 Screening of Dumpsters, Utilities and Service Areas	
Building sites should locate service elements like trash dumpsters, loading docks and mechanical equipment away from the street front where possible.	The waste/ recycling area is housed inside the extension building on 27th Ave on the parking lot side where it will not be visible from the street.
D-7 Personal Safety and Security	
Project design should consider opportunities for enhancing personal safety and security in the environment under review.	The entry courts along S Winthrop will be well lighted and provide good visibility to the sidewalks from the units. The sidewalk along 27th Ave will also be highly visible from the interior of the building.
D-8 Treatment of Alleys	
The design of alley entrances should enhance the pedestrian's street front.	As part of this development the alley entrance will be fully improved to a new sidewalk and street intersection. The building extension along 27th will lengthen the street front and minimize the alley's impact on the pedestrian experience.
D-10 Commercial Transparency	
Commercial storefronts should be transparent, allowing for a direct visual connection between pedestrians on the sidewalk and the activities occurring on the interior of a building. Blank walls should be avoided.	The ground floor live/work units will feature large storefront systems open to the lofted spaces in the interior and the entry courts.

guideline	comment
E - Landscaping	
E-2 Landscaping to Enhance the Building and/or site	
Landscaping, including living plant material, special pavements, trellises, screen walls, planters, site furniture and similar features should be appropriately incorporated into the design to enhance the project	The building will incorporate a series of vertical metal screens draping from the balconies. The screens will be serve as a frame for climbing plants to grow on to. These 'green screens' will give color and texture to the circulation areas as well as providing a degree of privacy.
E-3 Landscape Design to Address Special Site Conditions	
The landscape design should take advantage of special on-site conditions such as high-bank front yards, steep slopes, view corridors, or existing significant trees and off-site conditions such as greenbelts, ravines, natural areas, and boulevards.	The landscaping is designed to allow the greenery from the Olmsted boulevard to extend into the site integrating the building into the landscape. The design will utilize many of the same plantings to help give a sense of continuity from the park.

SITE ANALYSIS SUMMARY

S. Winthrop St

- Wide boulevard, pedestrian oriented
- Minor traffic from Rainier to Beacon Hill
- Entrance to Cheasty Blvd Park

27th Ave S

- Two lane neighborhood street
- limited visibility

Solar Access

- Good southern and western access

Views

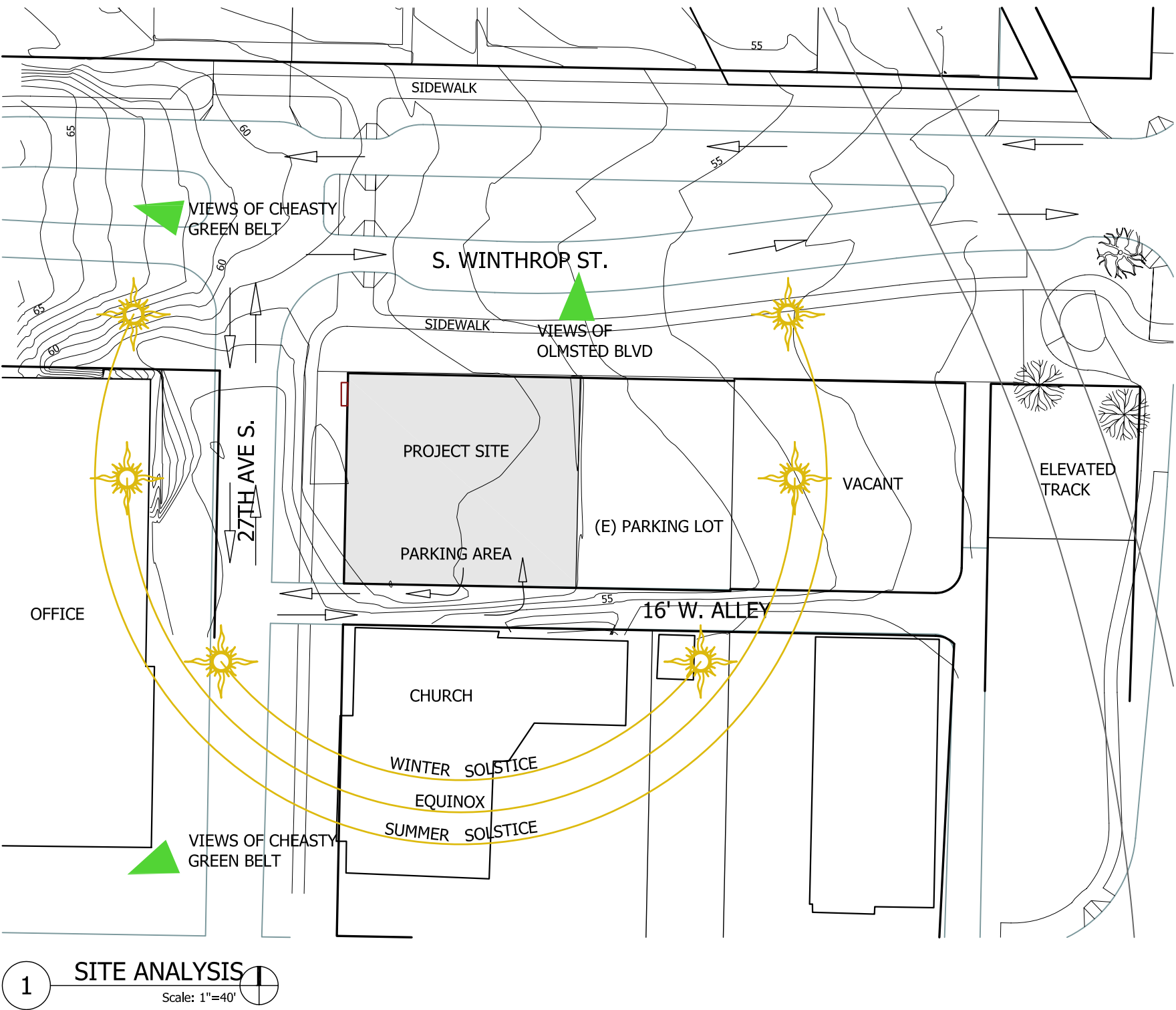
- Views of downtown may be possible from upper floors, but would be blocked by future development around station.
- Territorial views of Cheasty and Olmsted Blvds

Amenities

- Cheasty Park
- Light Link Rail

Parking Access

- Good access from alley

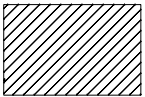


open space

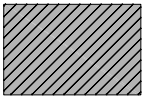
Required:
0.30 x 7298 sf = 2189 sf total
2/3 at grade = 1459 sf
1/3 above grade = 730 sf

Proposed:
Grade Level = 317 sf (13%)
Above Grade = 2039 sf (87%)
Total = 2356 sf (32% of total)

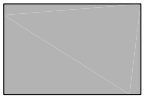
* Areas not included in open space calculations



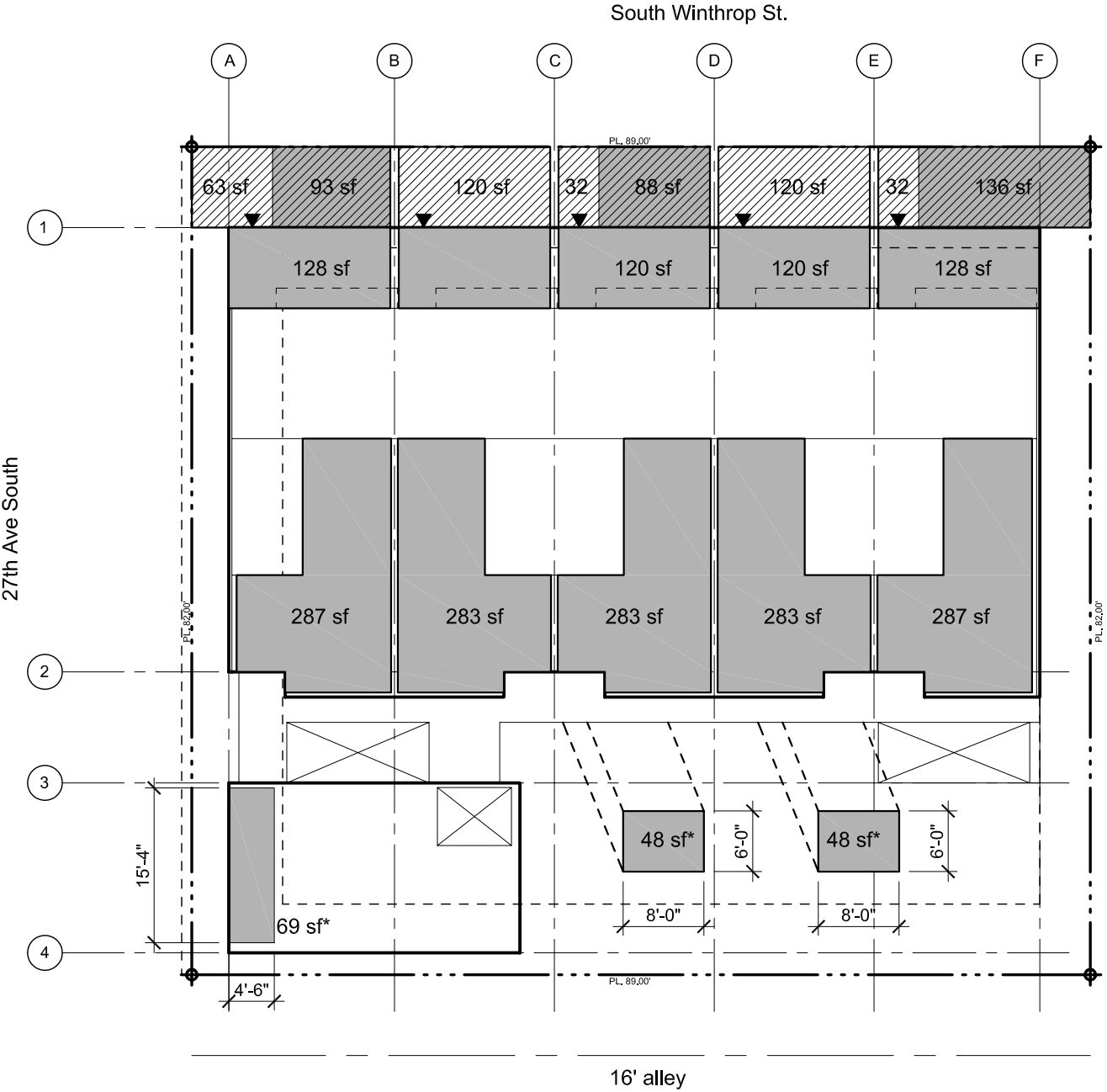
Areas of pedestrian access not counted as open space

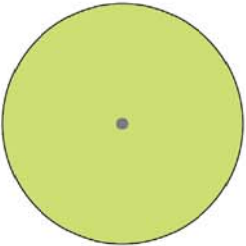


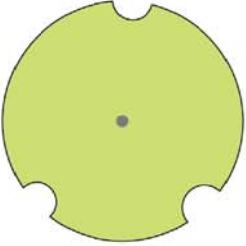
Areas of ground related open space





Areas of open space





- 

Fraxinus Americana 'Autumn Surprise'
Autumn Applause Ash
Moderate drought tolerance
- 

Ulmus Parvifolia 'Allee'
Allee Lacebark Elm
Moderate drought tolerance
- 

Acer Circinatum
Vine Maple as shown
Low drought tolerance
- 

Rosa Rugosa
Rugosa Rose 2'-0" O.C.
High drought tolerance
- 

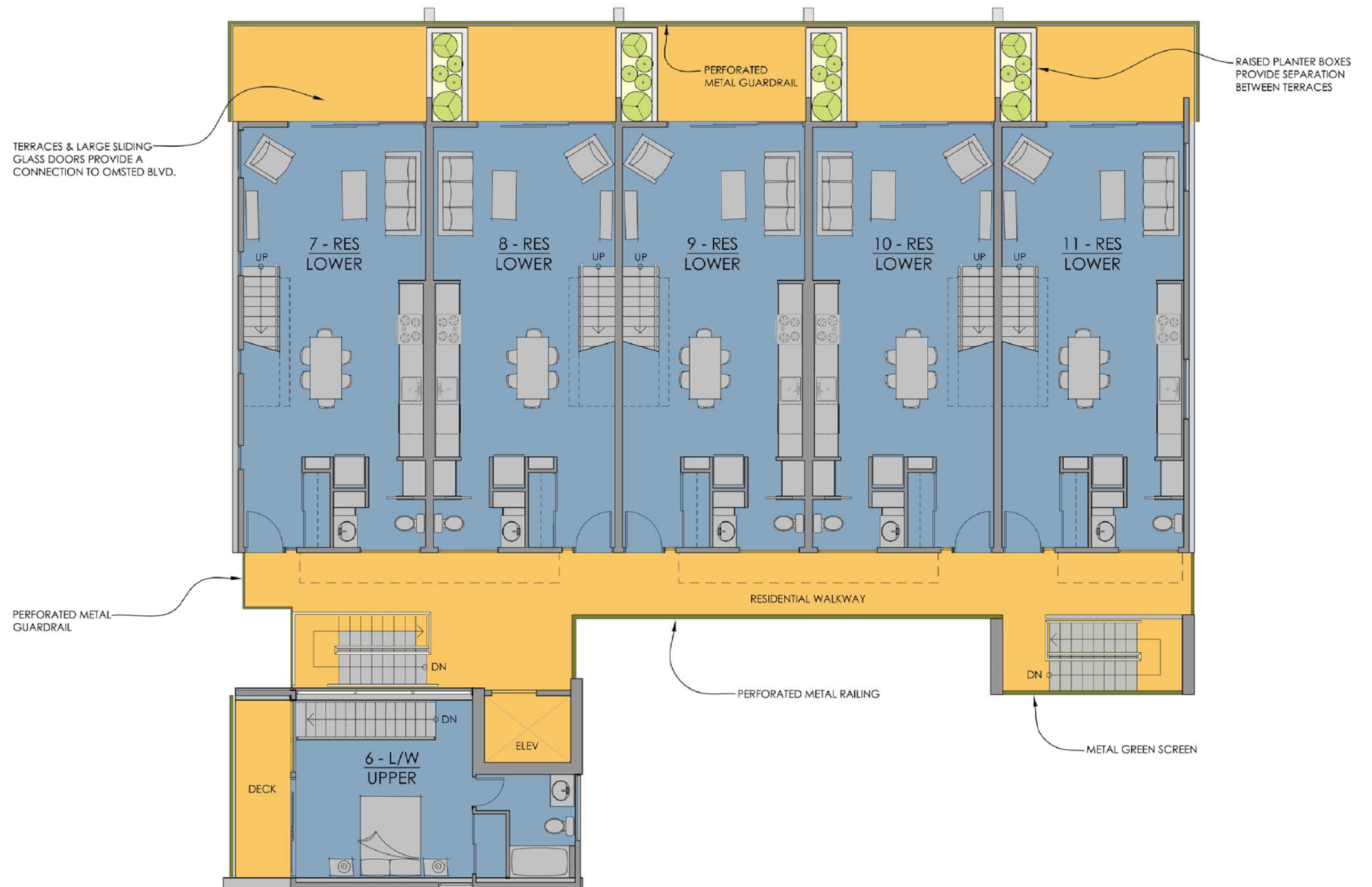
Hydrangea Anomala subspecies Petiolaris
Climbing Hydrangea 5'-0" O.C.
Moderate drought tolerance
- 

Hemerocallis Hybrid (yellow)
Daylily 1'-6" O.C.
Moderate drought tolerance

27th Avenue South













North Elevation

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West Elevation

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South Elevation

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East Elevation

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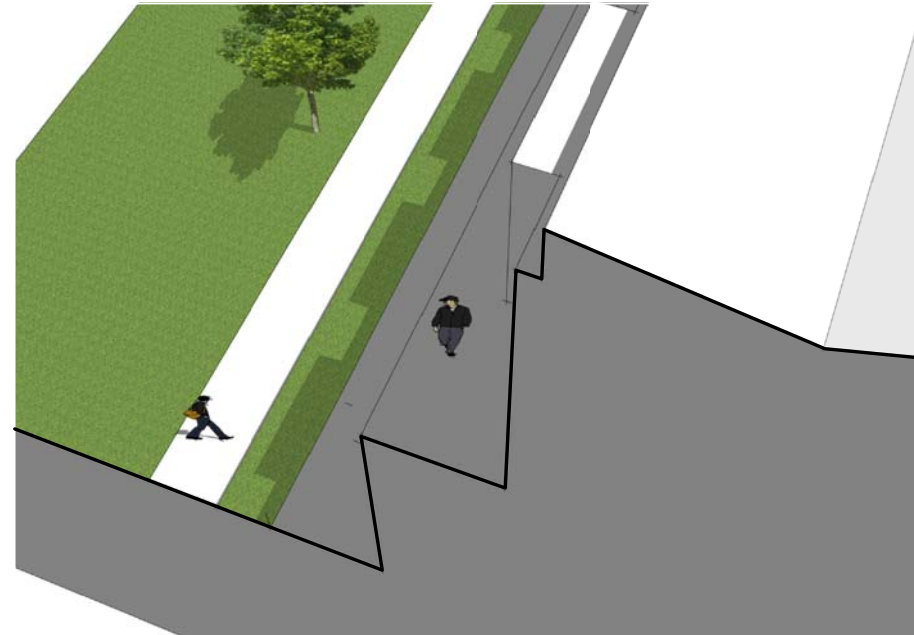
Residential Entry on 27th Ave



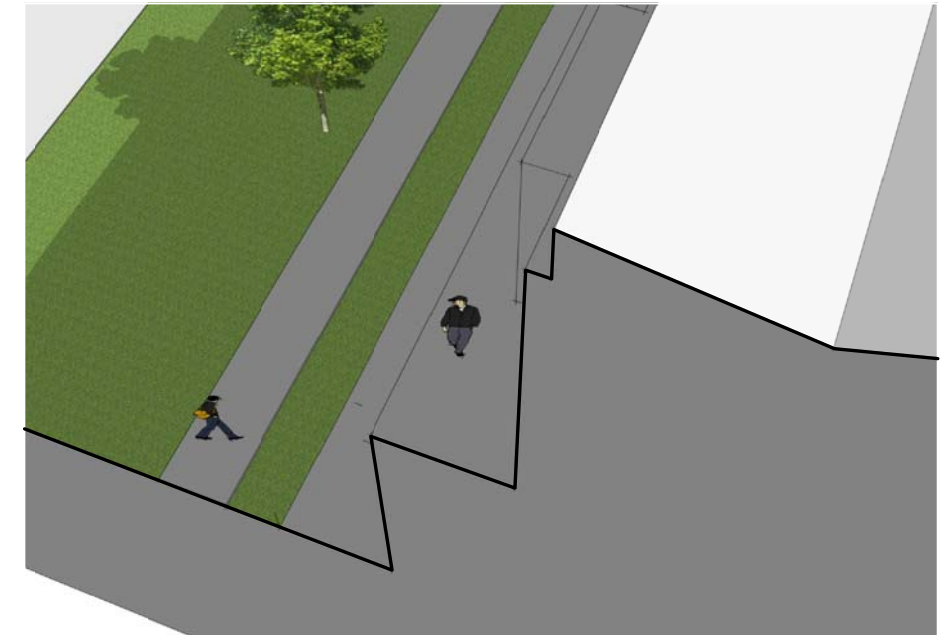
Street section at S Winthrop

CLERESTORY ROOF

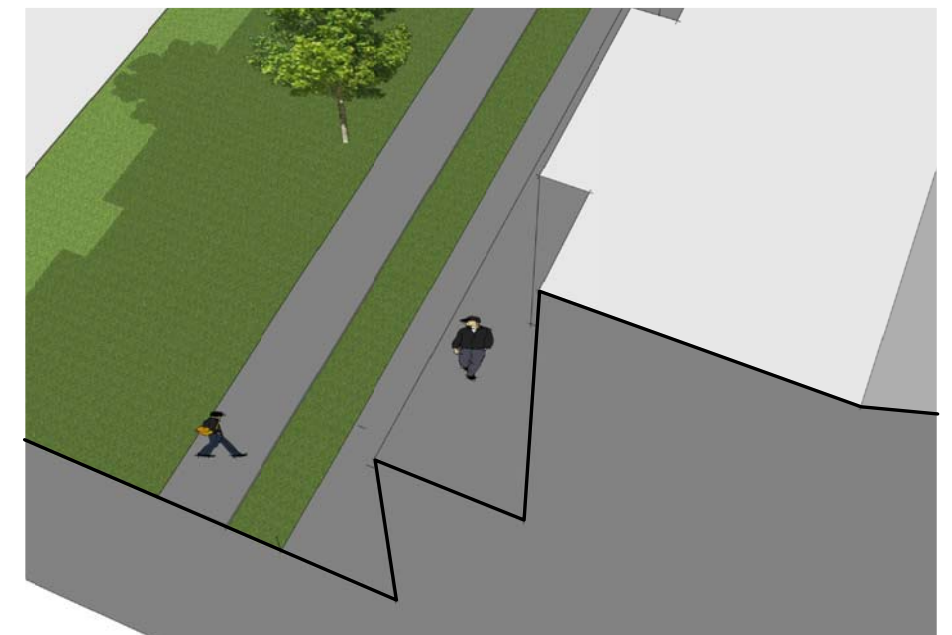
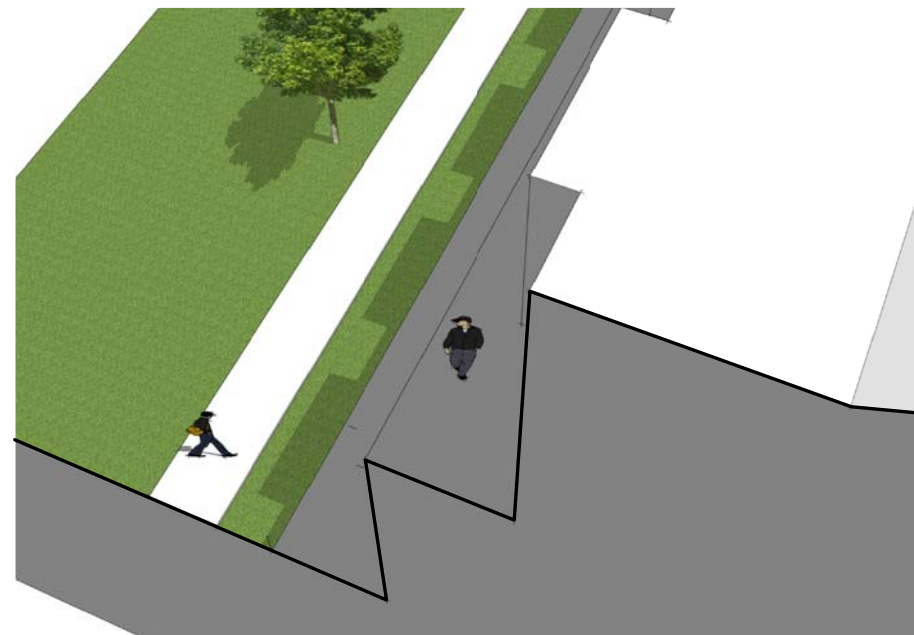
JUNE 21 - NOON



SEPT 21 - NOON



FLAT ROOF



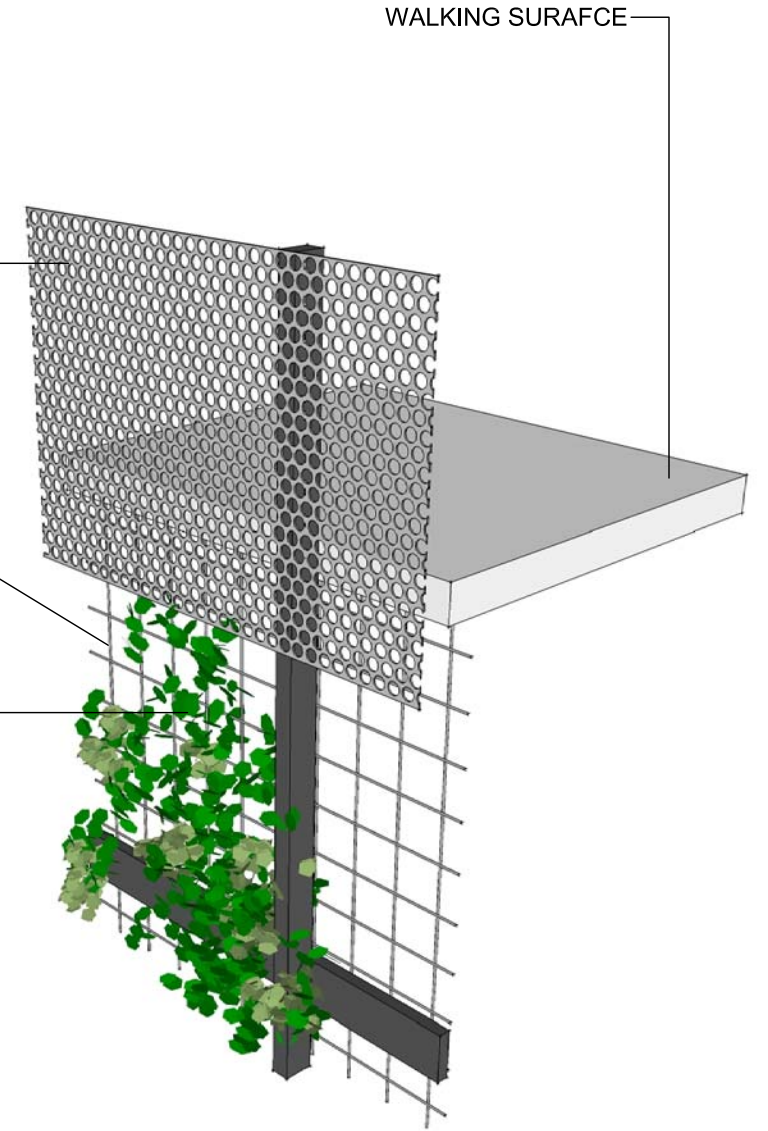


PERSPECTIVE OF GREEN
SCREEN AT PARKING AREA

PERFORATED METAL
PANEL GUARDRAIL

WELDED WIRE FABRIC
OVER STEEL FRAME

CLIMBING PLANT



WALKING SURAFCE

DETAIL OF GREEN SCREEN

PERFORATED METAL - GUARDRAILS AND SHADING
SCREENS



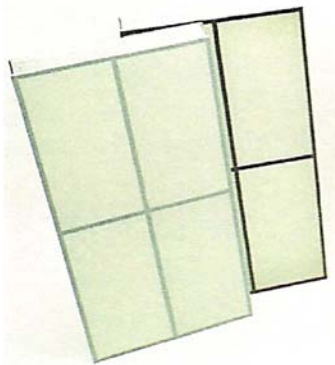
4" WELDED WIRE FABRIC - GREEN SCREEN



GALVALUME METAL PANELS



'KALWALL' PANELS



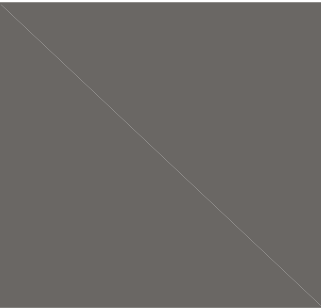
ALUMINUM WINDOWS/ STOREFRONT - CLEAR ANODIZED



'PARKLEX FACADE' WOOD VENEER SIDING PANELS



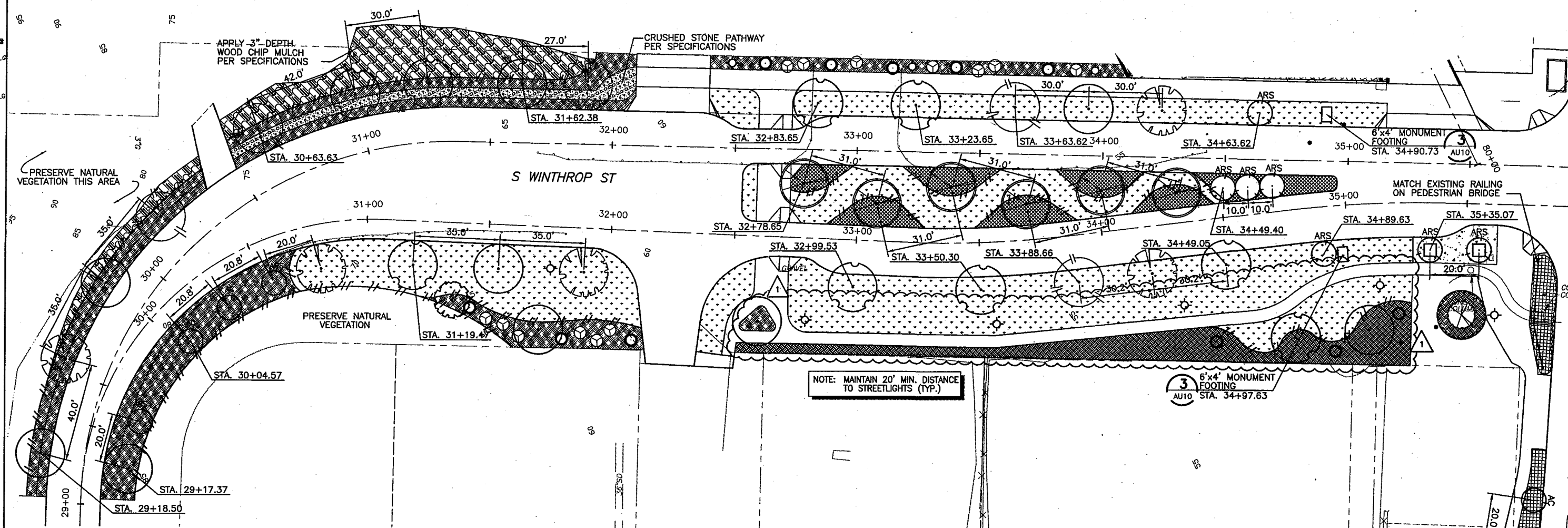
7/8" STUCCO OVER CIF BLOCK























1	SMC 23.45.010A2	2	SMC 23.45.011A	3	SMC 23.45.012A1	4	SMC 23.45.012B
<p>Standard: 50% Maximum Lot Coverage for apartments and ground related townhouses.</p> <p>Proposed: Increase lot coverage to 62%</p> <p>Rationale: An increase in lot coverage allows the development to extend along 27th Ave per EDG recommendation (A-10) and better address the site as a corner property.</p>		<p>Standard: Maximum building depth 65% of lot depth (53'-4").</p> <p>Proposed: Increase building depth to 71'-10"</p> <p>Rationale: The depth of the building increased in order to extend along 27th Ave per EDG recommendation (A-10).</p>		<p>Standard: Front façade modulation of min. 8' for every 30' of building length for facades without principal entrances and 40' with a principal entrance.</p> <p>Proposed: No modulation</p> <p>Rationale: The overlay zoning and the North Rainier Neighborhood plan encourages developments with a commercial and more intensive use. We feel the site is more urban in nature and would benefit from a stronger street edge. The modulation requirements are intended for a development with a more residential character. This treatment creates a strong commercial base having a different character than the residential units above.</p>		<p>Standard: On corner lots, side facades greater than 30' in width shall have an 8' modulation.</p> <p>Proposed: Modulation at 44'-0"</p> <p>Rationale: See the response to item #3.</p>	
5	SMC 23.45.014A1	6	SMC 23.45.014B1	7	SMC 23.45.014C1	8	SMC 23.45.015B1a
<p>Standard: 10' front yard setback</p> <p>Proposed: 8' front yard setback</p> <p>Rationale: A reduced setback reflects the commercial character of the development in keeping with the goals of the neighborhood to create an urban village. The reduction also maximizes the visibility of live/work storefronts along S Winthrop while retaining usable open space.</p>		<p>Standard: Rear setback to be 15% of lot depth, 15' minimum</p> <p>Proposed: 10'-0" rear setback</p> <p>Rationale: The reduction allows the development to fully address 27th Ave and screen the surface parking per EDG recommendations.</p>		<p>Standard: Average side setback of 8', min. 5'</p> <p>Proposed: 3'-8" setback along 27th Ave South</p> <p>Rationale: We believe that the reduced setback emphasizes the commercial character of the development and maintains a strong street frontage and presence at the corner of S Winthrop and 27th Ave.</p>		<p>Standard: Minimum 3' wide landscaping area along all street lot lines with breaks for pedestrian access.</p> <p>Proposed: 2' wide strip along S Winthrop and omit 6' long portion of landscaped strip in front of live/work unit on 27th</p> <p>Rationale: The reduction in landscaped area is greatly mitigated by plans for substantial landscaping from the boulevard treatment of S Winthrop Street by Sound Transit. A 2'-0" planting strip increases the usability of the entry courts in front of the live/work units.</p>	
9	SMC 23.45.016A3b	10	SMC 23.45.016B2a	11	SMC 23.54.030B1b	12	SMC 23.54.030E1
<p>Standard: Maximum of 1/3 required open space above grade.</p> <p>Proposed: 16% of open space located at grade with 84% located above grade.</p> <p>Rationale: Increased lot coverage from the 27th Ave addition relocated open space to private roof decks and terraces. The reduction in ground related open space is greatly mitigated by plans for substantial landscaping and public open space from the boulevard treatment of S Winthrop Street by Sound Transit.</p>		<p>Standard: 10' minimum dimension for ground related open space</p> <p>Proposed: 8' dimension along S Winthrop</p> <p>Rationale: The ground related open space is located within the front yard setback and serves as the entry courts for the live/work units. See response to item #5 for a rationale in reducing the front yard setback.</p>		<p>Standard: Minimum 60% of parking stalls to be for medium vehicles</p> <p>Proposed: 50% medium stalls 50% small stalls</p> <p>Rationale: The building extension along 27th Ave diminished the parking area, allowing for a limited number of medium stalls.</p>		<p>Standard: Minimum aisles width for medium stalls is 22'</p> <p>Proposed: 21' aisle width</p> <p>Rationale: In an effort to maximize the circulation space, the parking stalls are pushed to the south.</p>	

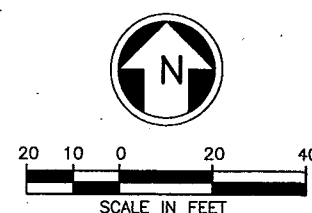
LTSCALE

343206	VAULT SERIAL NO.	DATE	MARK	NATURE	MADE	CHK'D	REY'D
		REVISIONS					
		3					
		4					



SYMBOL KEY:

<p>AC</p>  <p>ACER CAMPESTRE 'EVELYN' QUEEN ELIZABETH MAPLE</p> <p>ARS</p>  <p>ACER CIRCINATUM VINE MAPLE</p>  <p>ACER RUBRUM 'SCARSEN' SCARLET SENTINEL MAPLE</p>  <p>FRAXINUS AMERICANA 'AUTUMN APPLAUSE' AUTUMN APPLAUSE ASH</p>  <p>HAMAMELIS X INTERMEDIA 'RUBY GLOW' RUBY GLOW WITCH HAZEL</p>	<p>TREES</p>  <p>LIQUIDAMBAR STYRACIFLUA 'WORPLESDON' WORPLESDON SWEETGUM</p>  <p>LIRIODENDRON TULIPIFERA TULIP TREE</p>  <p>PARROTIA PERSICA PERSIAN PARROTIA</p>  <p>PLATANUS ACERFOLIA 'YARWOOD' YARWOOD PLANETREE</p>	 <p>PRUNUS SARGENTII 'COLUMNARIS' COLUMNAR SARGENT CHERRY</p>  <p>ULMUS PARVIFOLIA 'ALLEE' ALLEE LACEBARK ELM</p>	<p>GROUNDCOVERS</p>  <p>RUBUS PENTALOBUS 'EMERALD CARPET' BRAMBLE</p>  <p>NATIVE SHRUB MASS, PER DETAIL</p>  <p>SOD, PER SPECIFICATIONS</p>
		<p>GROUNDCOVERS</p>  <p>COTONEASTER APICULATUS CRANBERRY COTONEASTER</p>  <p>GAULTHERIA SHALLON SALAL</p>	<p>MISCELLANEOUS</p>  <p>ALUMINUM LANDSCAPE EDGING PER SPECIFICATIONS</p>  <p>STAMPED COLORED CONCRETE PER SPECIFICATIONS</p>  <p>CRUSHED STONE</p>  <p>TWO MAN ROCK PER SPECIFICATIONS</p>



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