

1111 E. UNION ST.
DRB RECOMMENDATION MEETING

SEPTEMBER 2, 2009

Union &
Madison, LLC

Union & Madison, LLC
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Project Data: Union & Madison 1111 E Union Street

Project Data
8/24/09

1.0 PROJECT DATA

1.1 Location:

1.2 Site Area:

1.3 Zone:

1.4 Building Code:

1.5 Proposed Use:

1.6 Occupancy Classification / Separations

Triangular site: 11th Avenue/ E Union Street/E Madison Street, Seattle, WA

17,628 sf

NC3P-65' / Pike-Pine Urban Center Village /

Pike/Pine Conservation Overlay District (effective August 7, 2009)

Seattle Amendments to the 2006 International Bldg. Code (IBC)

Residential Mixed Use

Commercial
Residential
Parking

	M	R-2	S-2
M		1	1
R-2	1		3
S-2	1	3	

1.8 Gross Floor Area:

	Fir. Lev.	PKG (gsf)	VERT CIRC	LOBBY/ CORR	COMMERCIAL (gsf)*	exterior balcony	common space	RESID. (gsf)	TOTAL (gsf)	open space
Type IA	Level P2	12,969	518	115			1831		15,433	
Type IA	Level P1	12,702	518	115			1600		14,935	
Type IA	Level 1	677	779	558	7,357		833		10,204	786
Type IA/VA	Level 2		530	1,495			136	11,501	13,662	
Type VA	Level 3		530	1,491			136	12,717	14,874	
Type VA	Level 4		530	1,491			136	12,717	14,874	
Type VA	Level 5		530	1,491			136	12,394	14,551	
Type VA	Level 6		530	1,491			136	12,394	14,551	
Type VA	Level ROOF		273	493			562	489	1,000	3,599
	Subtotal	26,348	4,738	8,740	7,357	0	5,506	62,212	114,084	4,385

Total Rentable Area (Commercial + Residential) 69,569

average 62,212 / 104 = 598 gsf per unit average

*NOTE: COMMERCIAL GSF INCLUDES (5) RETAIL UNITS AND RETAIL CORRIDORS

UNIT MIX

	STUDIO	OPEN 1s	1-BED	2-BED	TOTAL
Level 1					0
Level 2	5	4	10	1	20
Level 3	5	4	11	1	21
Level 4	5	4	11	1	21
Level 5	5	4	11	1	21
Level 6	5	4	10	2	21
	25	20	53	6	104

STUDIO	24%
OPEN 1s	19%
1-BED	51%
2-BED	6%

5% Type A Accessible units

6 ADA units reqd

2.0 ZONING DATA

2.1 Use:

	SMC 23.47A.004
Residential	Permitted
General Sales/Svc	Permitted
Eating & drinking est.	Permitted
Parks & Open space	Permitted

SMC 23.47A.004.G.1
Live/work units permitted

2.2 Street Development Standards:

SMC 23.47A.005.C
Street-level parking separated from street by other use
Provided: no street level parking

SMC 23.47A.005.E.1
Street-level use: at principal pedestrian street 80% permitted use (non residential)
a. general sales & services
c. eating & drinking establishments
n. parks & open space

SMC 23.47A.008.A.2
Blank facades permitted: no segment longer than 20 ft
total blank facade < 40%
Provided: 0 COMPLIANT
Provided: 0.00% COMPLIANT

SMC 23.47A.008.B.2 - SEE DIAGRAM ON T0.2
Transparency required: 60%
E. Madison Street Provided: 63.5% - 983 SF COMPLIANT
11th Avenue Provided: 60.3% - 486 SF COMPLIANT
E. Union Street Provided: 60.2% - 785 SF COMPLIANT

SMC 23.47A.008.B.3
Depth of nonres.: average 30 ft, minimum 15 ft COMPLIANT
Height of nonres.: 13 ft floor-to-floor COMPLIANT

See also Section 3 Chapter 23.73.010 Development Standards E.

SMC 23.47A.008.C.1 - SEE DIAGRAM ON T0.2
Street-level use: min. 80% facade with permitted uses
E. Madison Street Provided: 91% - 201.2' COMPLIANT
11th Avenue Provided: 100% - 107.2' COMPLIANT
E. Union Street Provided: 95.4% - 172.4' COMPLIANT

SMC 23.47A.008.C.2
Width of driveway: not to exceed 22' if no alley access
up to 22' may be subtracted from 23.47A.008B.2
Subtracted: 18' wide

SMC 23.47A.008.D.2.c - SEE DIAGRAM ON T0.2
Residential use at street: maximum 20% of facade
E. Madison Street Provided: 9.0% - 20' COMPLIANT
11th Avenue Provided: 0% - 0' COMPLIANT
E. Union Street Provided: 4.6% - 8.4' COMPLIANT

See also Section 3 Chapter 23.73.008 Uses at Street Level

2.3 Outdoor Activities:

SMC 23.47A.011.D, E
Outdoor storage prohibited
Outdoor sales/service of food or beverages prohibited within 50 ft of residentially-zoned lot

2.4 Structure Height:

SMC 23.47A.012 A
Max. Allowed: **65'** ht. of underlying zone
Slope Bonus: **0'** (no slope bonus)
SMC 23.47A.012 D.2
Projections allowed MAXIMUM 4' above height limit :
open railings, planters, skylights, clerestories, greenhouses, parapets & firewalls
SMC 23.47A.012 D.4
Projections allowed MAXIMUM 15' above height limit :
solar collectors, elevator/stairs penthouses, playground & mechanical equipment
SMC 23.47A.012 D.6
Solar collectors, planters, clerestories, greenhouses must be 10' from north roof edge

2.5 Floor Area Ratio

SMC 23.47A.013.C & Chart A
Allowed FAR: **4.75**
Allowed Floor Area: 83,733 SF
Project Lot Area: 17,628 SF
Project Floor Area (excluding below grade): 83,716 SF
Project FAR : **4.75**
See also Section 3 Chapter 23.73.009 Floor Area Ratio

2.6 Setbacks

SMC 23.47A.014
Projections permitted into setback: exterior balconies, decks
SMC 23.53.035.4
Structural building overhangs meet min. requirements
Required improvements for existing street per SMC 23.53.015.A
Exist'g R.O.W. meets minimum width req'd per Exhibit 23.53.015A
Existing sidewalks do not meet min. width req'd per R.O.W. Improvement Manual, Section 4.11
Provided: Marquees
Provided: 13'-6" wide sidewalk

2.7 Required Landscaping:

SMC 23.47A.016.A
Required: Seattle Green Factor **0.30**
Required: street trees
Provided: Refer to Landscape Plans
Provided: Refer to Landscape Plans

2.8 Noise Generators:

When noise generators located outdoors (heat exchangers, refrigeration, etc.) acoustic report shall be provided describing measures to be taken so that noise complies with standards

2.9 Residential Amenity Area:

SMC 23.47A.024.A: REFER TO PLANS
Required: 5% gross bldg. in resid. use: 5% of 74,682 = 3,734 SF
Provided: **4,385 SF** COMPLIANT
SMC 23.47A.024.B
Required: minimum dimension 10 ft, no area less than 250 ft

2.10 Solid Waste:

SMC 23.47A.029
Required for residential use, over 100 units: 200 sf + 2 sf /ea. Add'l unit
No dimension less than 6 ft front-loading type
Required: 210 sf
Provided: Refer to Plans

2.11 Parking Location / Access:

SMC 23.47A.032.A.2.B
One 2-way curb cut permitted if no other access feasible
Parking may not be located between structure and street lot line
Parking may not be located inside a structure adjacent to street-level street-facing facade
Provided: 18' CURB CUT

2.12 Driveway

SMC 23.54.030.D2.A: SEE DIAGRAM
Min width of two way driveway = 22'
Provided: 18' **DEPARTURE REQUESTED**

2.13 Required Parking:

SMC 23.54.015.B.2
No parking required in Pike/Pine Urban Center
SBC 1106.2
2% spaces required to be accessible
2 ADA spaces req'd

Provided Parking

	Commercial			ACC.	Residential			totals
	S	M	T		S	M	T	
P2				1	13	16	6	36
P1				1	13	20	6	40
subtotal				2	26	36	12	76
	0 commercial stalls				74 residential stalls			
commercial:					residential:			
					57% Medium			
					43% Small			

SMC 23.54.030.G
Driveway sight triangle: 10' triangle required
COMPLIANT

Bicycle Parking	SMC 23.54.015 Chart E	Required Bicycle Parking Ratio	Required
Sales & Service	7,357 sf	1/ 12000	0.61
Residential	104 units	1/ 4	26.00
			27 long-term bicycle pkg stalls provided at Level 1
Sales & Service	7,357 sf	1/ 4000	1.84 short-term bicycle pkg stalls provided at Level 1

Loading berth: low to medium demand use (general commercial sales, medical services)
less than 10,000 sf no loading berth required

3.0 Chapter 23.73 - Pike/Pine Conservation Overlay District

3.1 Uses at Street Level

SMC 23.73.008 Table A
For total commercial space > 5000sf and < 8,000 sf, 1 commercial space required of 2,000 sf or less.
Provided: 7,357 sf total
Min. 1 space <2000 gsf, refer to Retail #109, potential for 7 retail spaces < 2000 gsf

3.2 Floor Area Ratio

SMC 23.73.009 B.1
Allowed Area for Non-Residential Use = the Lesser Of:
2 FAR = 2 x 17,628 sf = 35,256 SF
50% of total gross floor area = 57,042 SF
.5 x gsf per unit average, WITHOUT Live/Work
Project Area Not in Residential Use: 7,357 SF
Project FAR : **0.13**

3.3 Development Standards

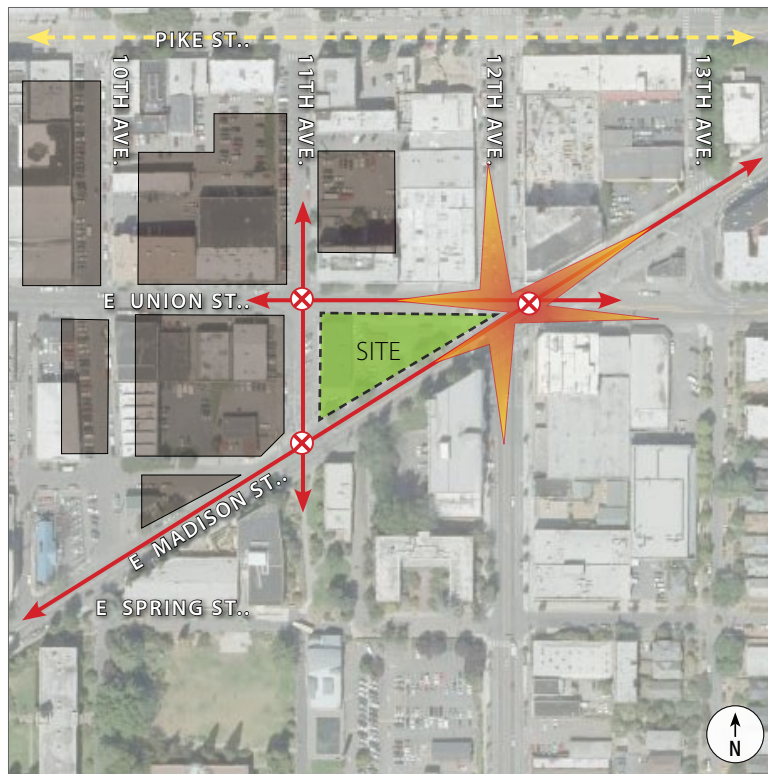
SMC 23.73.010 A
Floor size limit: max. gross floor area for any story above 35' = 15,000 sf
on lots greater than 15,000 sf
Level 4 = 33'-6" above grade
Provided @ Level 4: 14,874 SF COMPLIANT
Provided @ Level 5: 14,551 SF COMPLIANT
Provided @ Level 6: 14,551 SF COMPLIANT
Provided @ Roof: 1,000 SF COMPLIANT

SMC 23.73.010 E
Height Exceptions for Mixed-Use Structures

In zones with a 65' height limit, the Director may permit the height of a mixed use structure to exceed the height limit of the zone by up to 4', only if the residential use and either the nonresidential use or the live-work units are located in the same structure and subject to the following:
(1) nonresidential use or live-work requires a floor to ceiling height that exceeds 13' floor to ceiling
(2) Additional height will not permit an additional story
(3) Transparency requirements shall apply to the portion of the street facing facade between 2' and 12' above the sidewalk.

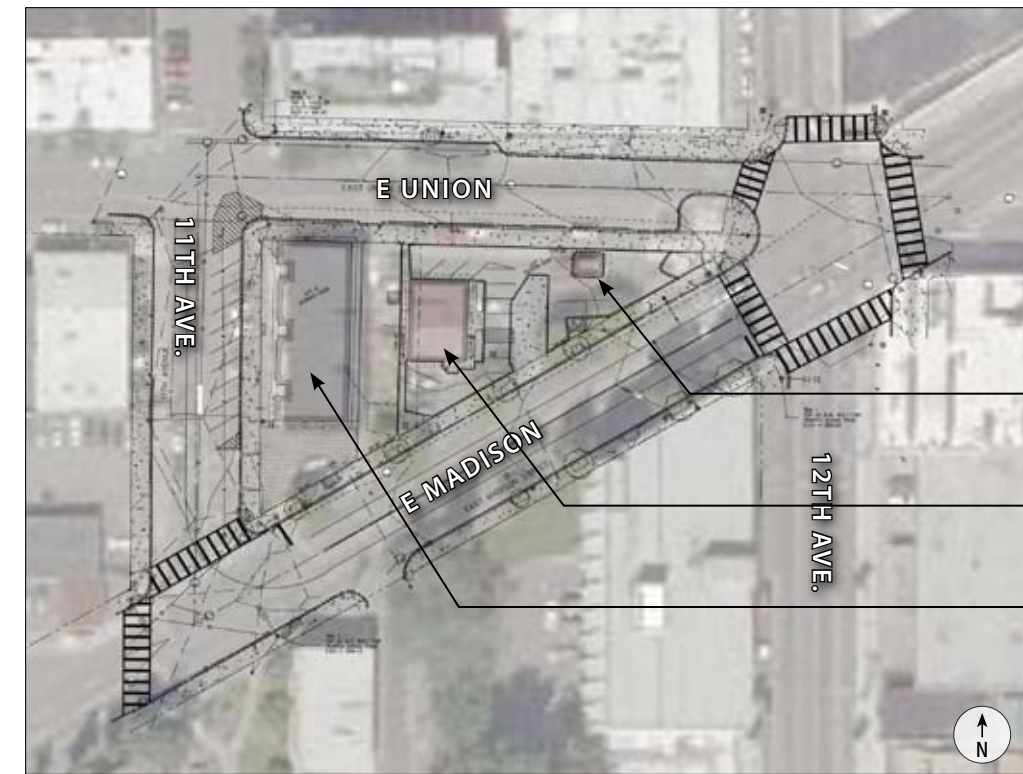
SITE CONTEXT

CONSTRAINTS



- Pike / Pine corridor does not provide a lot of public places to sit and stop
- Site bordered by 3 arterials generates high traffic, high noise and limits curb cuts
- High traffic & high noise at intersection of E Madison St. & 12th Ave. and along E Madison St.
- Area with little to no activity after business hours
- Intersections are not pedestrian friendly
- Six way intersection

EXISTING SITE PLAN



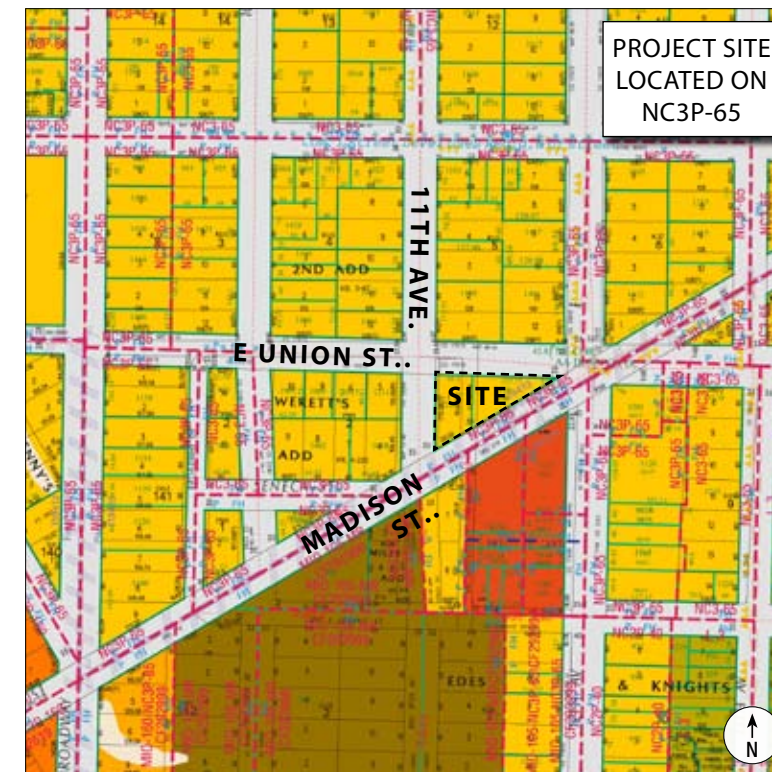
- The Buzz Stop
- The Color Store
- Unidee Apts

OPPORTUNITIES



- Ease of pedestrian access to:
 - Entertainment & retail corridor
 - Retail on Broadway Ave.
 - Seattle University & green spaces at SU
 - Retail on 12th Ave.
- Views to downtown skyline
- Site is located on 2 bus routes with stops nearby
- Arterial connects downtown to Lake Washington
- Neighborhood Entertainment: (walking distance)
- Active Entertainment: (walking distance)

ZONING

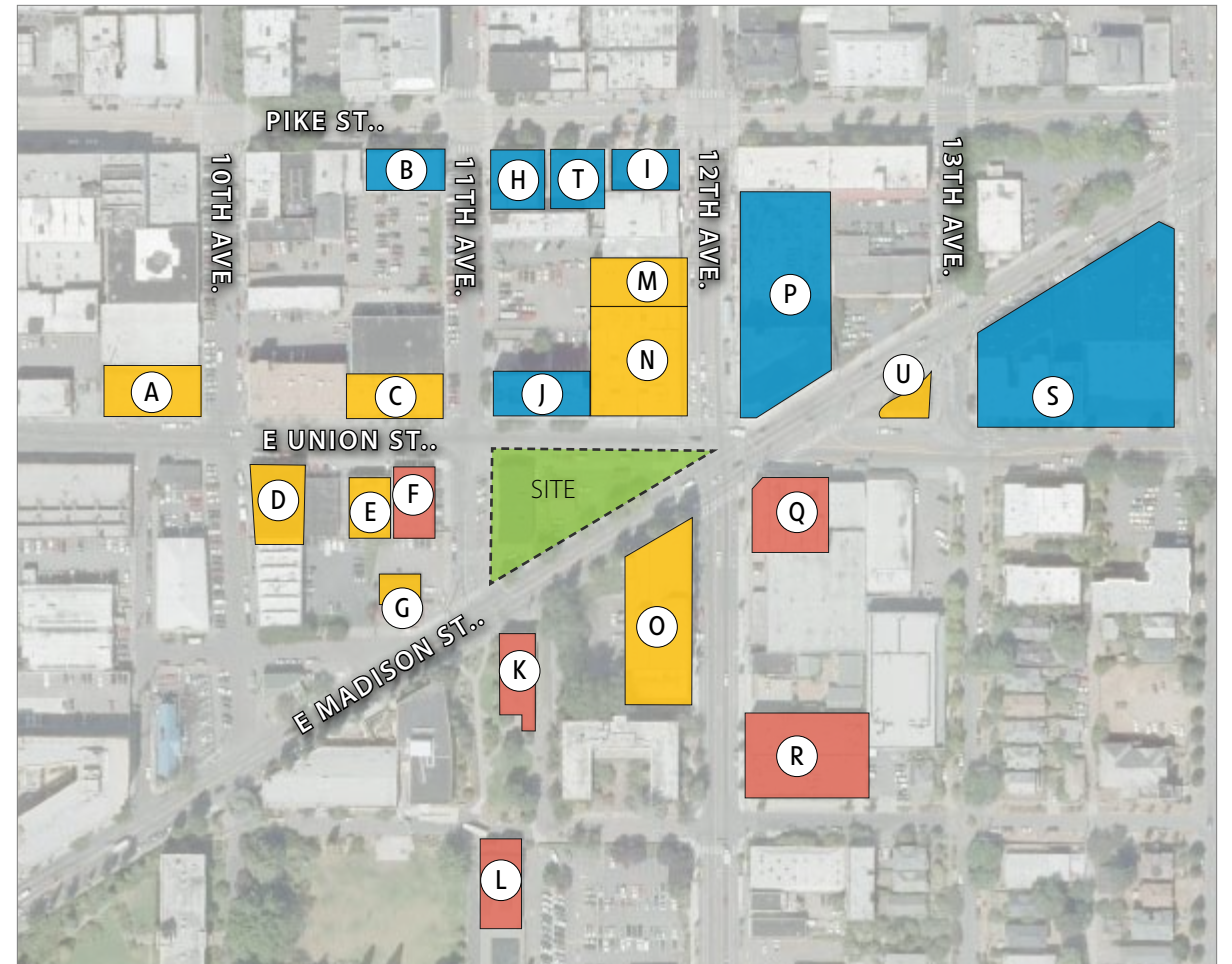


- NC3P-65
- M10-105-MR
- FH
- L-3
- NC3P-160
- SITE

AERIAL VIEW OF SITE



- Community / Educational
- Commercial / Retail
- Residential / Mixed-use



A Warehouse



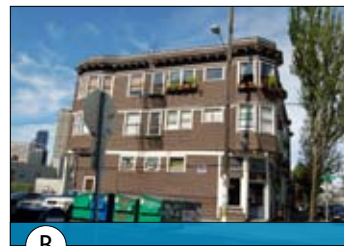
E Thrift Store



I Mixed Use



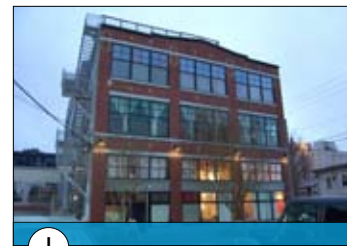
M Retail



B Mixed Use



F Social Services



J Union Art Co-op



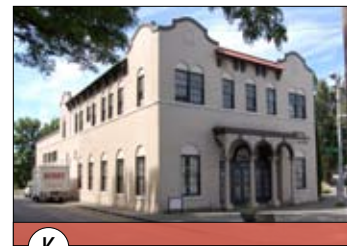
N Car Dealership



C Print Shop



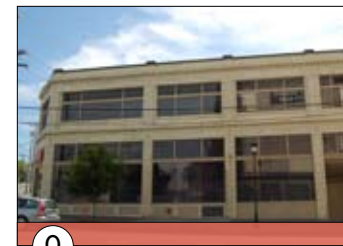
G Copy Mart



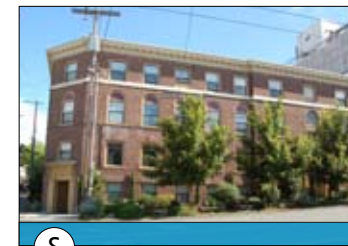
K Seattle Univ. Offices



O Storage Building



Q Seattle Academy



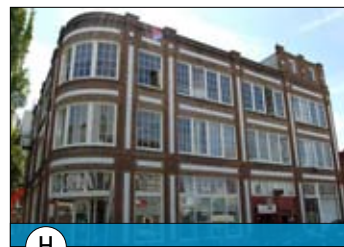
S Apartments



U Pony Bar



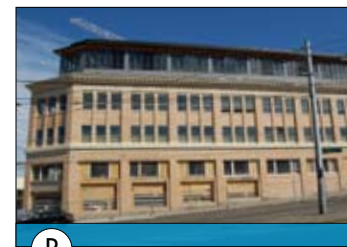
D Auto Repair



H Mixed-use



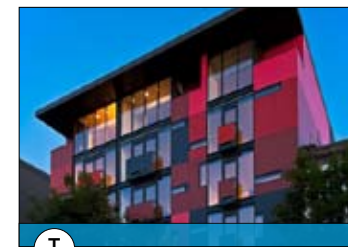
L Chapel of St. Ignatius



P Mixed Use/ Condos



R Seattle Academy/Retail



T Apartments

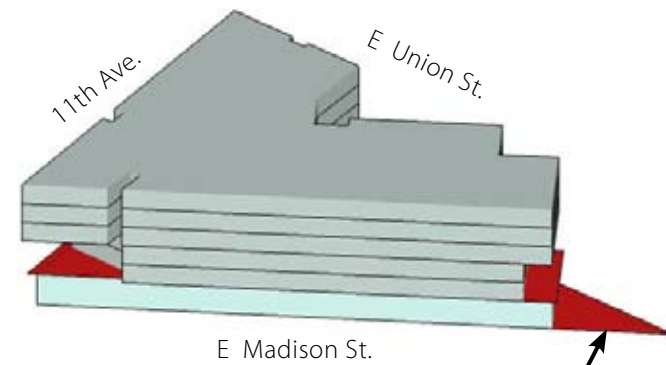
MASSING PRESENTED TO EDG BOARD

SUMMARY:

OPTION C

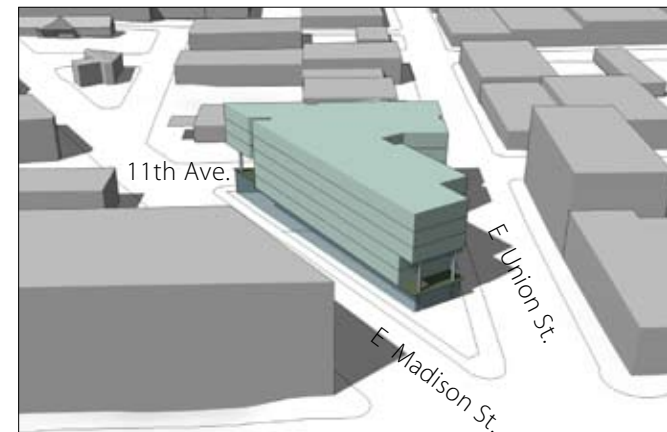
The first scheme (Scheme C) proposed retail and residential units to form an "L" along 11th Ave & E Madison St and a courtyard proposed on the north mid block at E Union St. Additionally, Scheme C proposed upper level open space located on Level 2 at the south, east and north.

AXON:



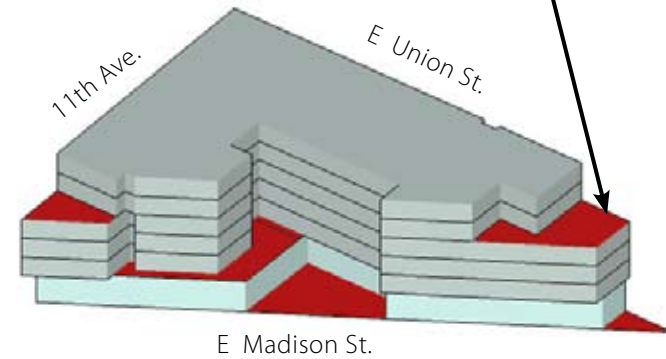
Red indicates open space

BIRD'S EYE VIEW:



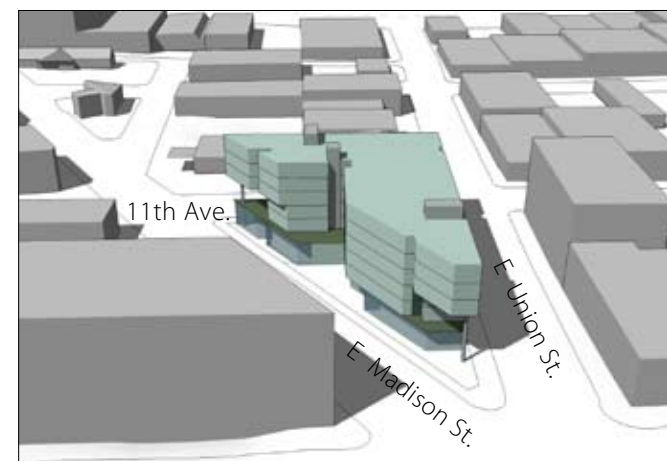
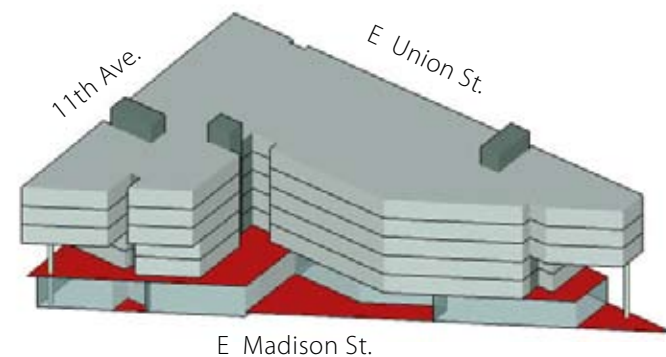
OPTION D

The second scheme (Scheme D) proposed retail and residential units to form an "L" along 11th Ave & E Union St and a courtyard proposed on the south mid block at E Madison St. Additionally, Scheme D proposed upper level open space at level 5 at the south and east of the site to take advantage of southern exposure.



OPTION F

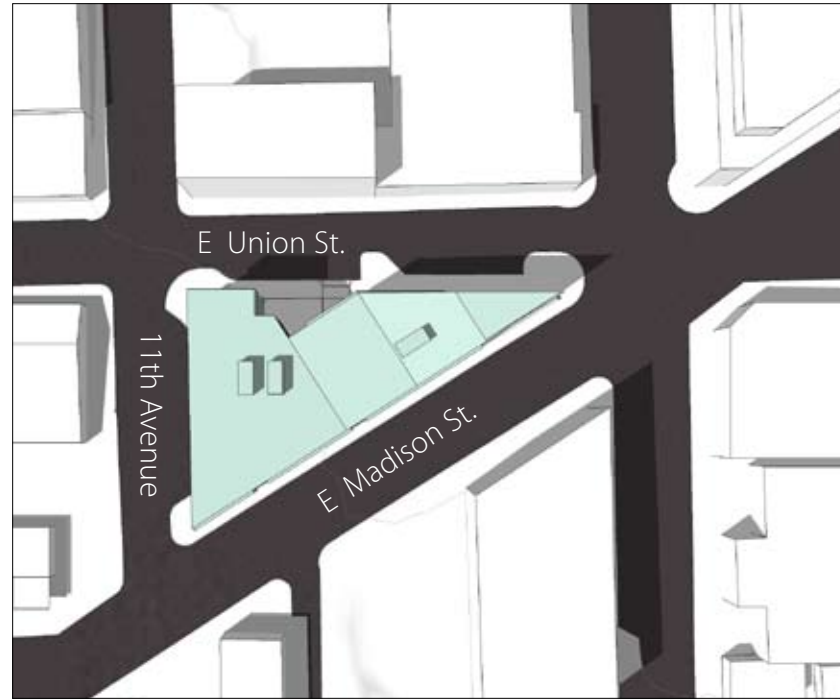
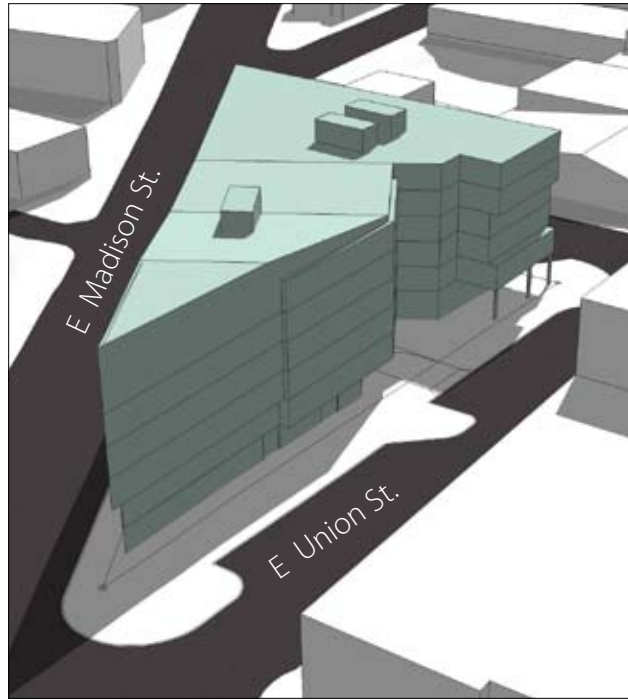
The third scheme, preferred by the applicant, (Scheme F) proposed retail and residential units to form an "L" along 11th Ave & E Union St and a courtyard proposed on the south mid block at E Madison St. Additionally, Scheme F proposed upper level open space located on Level 2 at the south and east to take advantage of southern exposure.



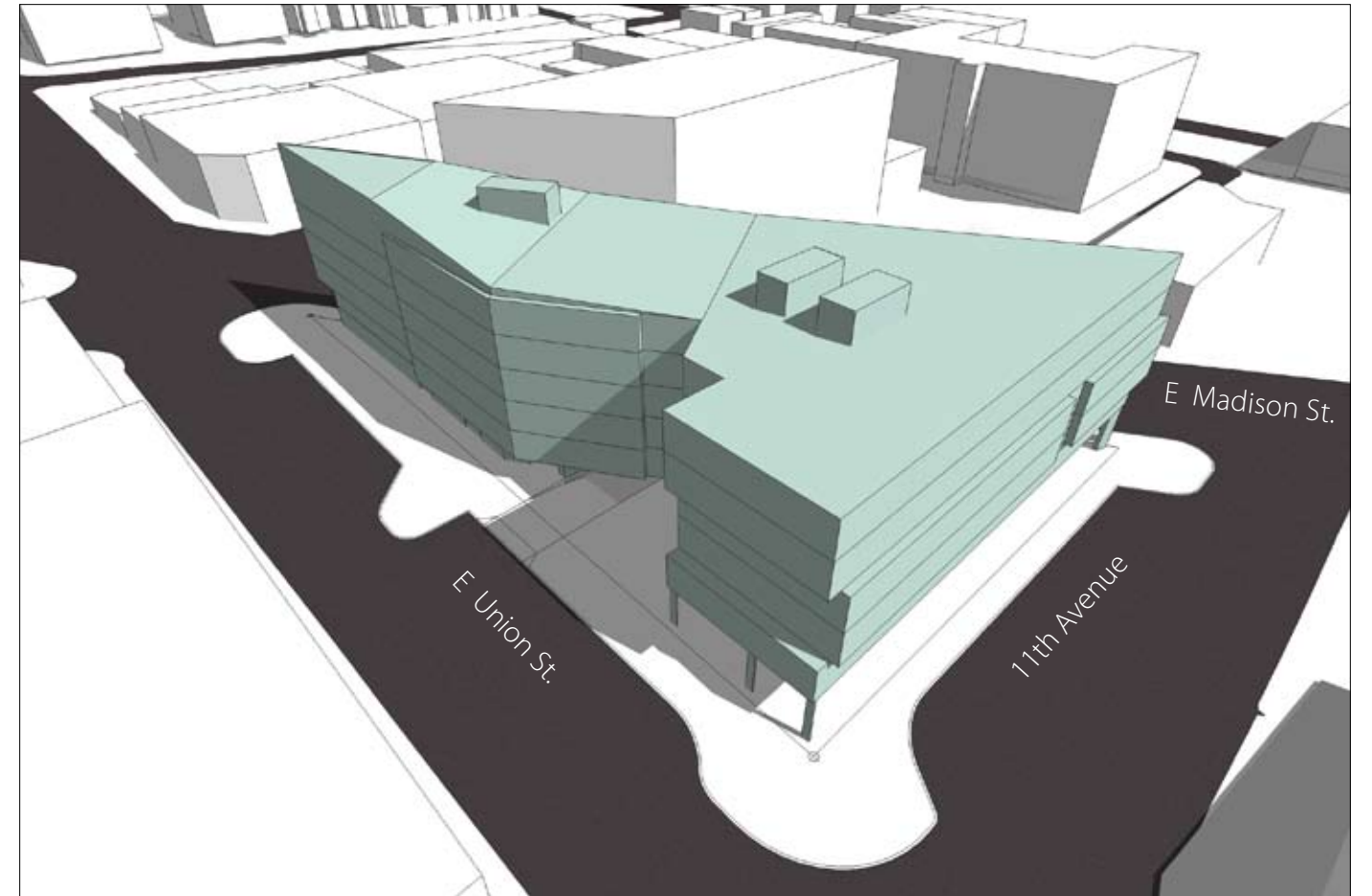
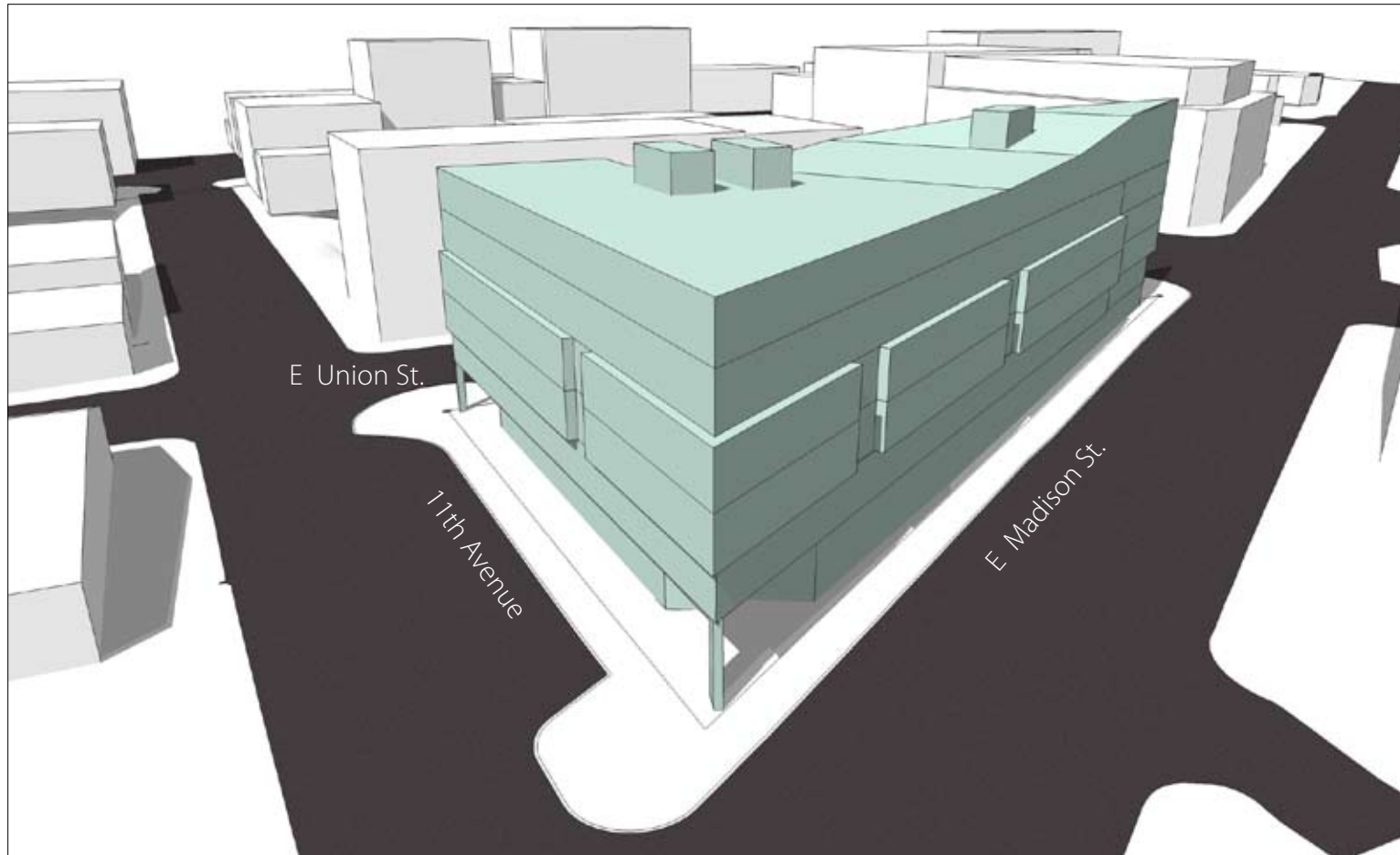
EDG BOARD RECOMMENDATIONS:

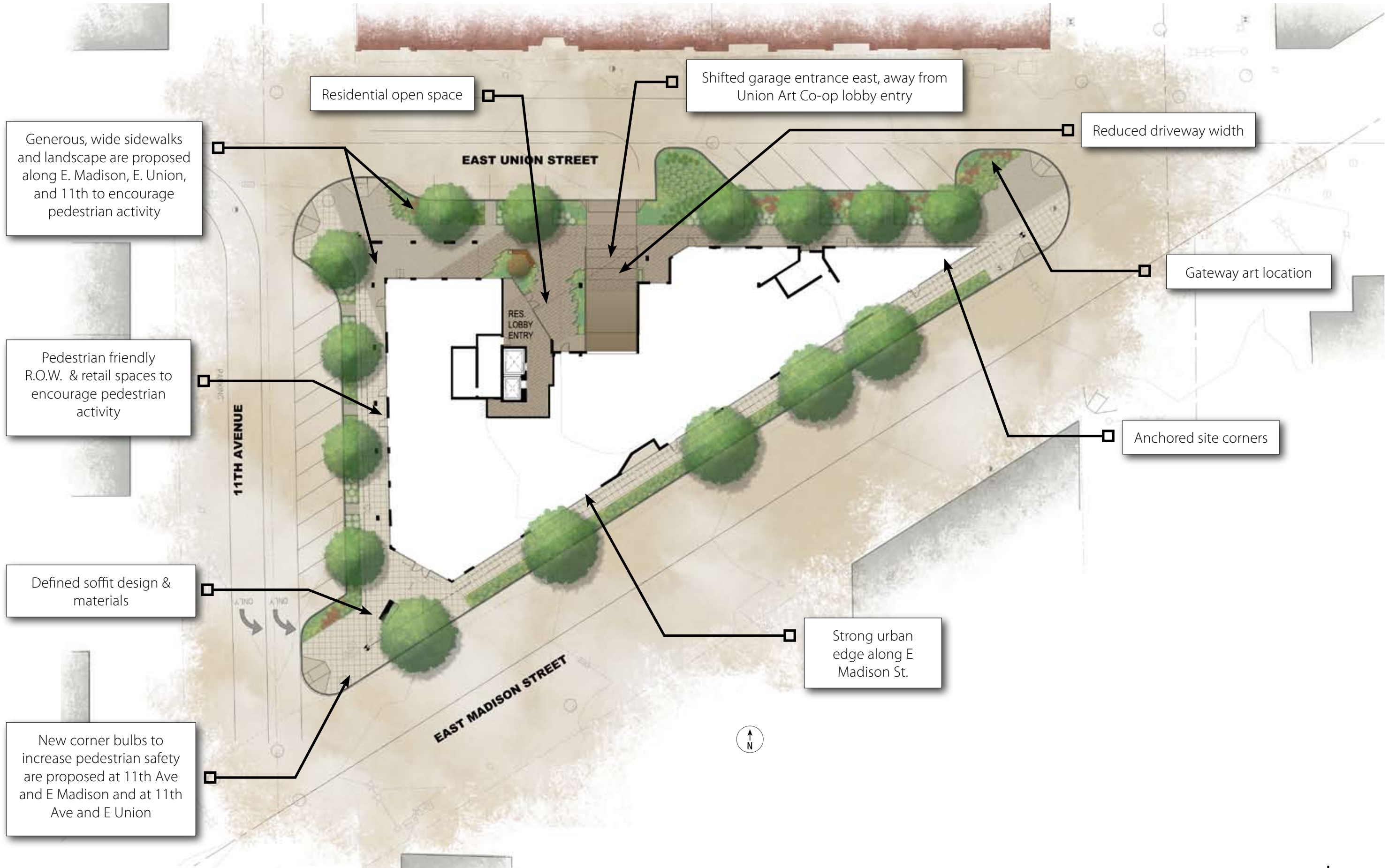
1. Strengthen project massing with a stronger urban edge along E Madison St.
2. Location of residential open space should take into consideration noise of E Madison St.
3. Encourage developing 11th Ave as the strong pedestrian connection with human activity.
4. Acknowledged Union St was the most appropriate location for the garage entrance and encouraged shifting the garage entrance so that it did not face the entry of the Union Coop.
5. Encouraged requesting a Design Departure for the driveway width.
6. The corners could be more anchored, particularly the corner at 12th Ave and E Madison St and the massing could express the triangular geometry of the site.
7. The soffits will become a "fifth façade" and the materials chosen will be important.
8. Enhance the landscaped pedestrian connection from Seattle University to Cal Anderson Park. The project should take advantage of the enlarged curb bulbs at the site as further opportunity for landscaping.

POST-EDG REVISED MASSING



The proposed massing scheme responds to the EDG Board recommendations while reinforcing the original concept of a series of stacked masses that have shifted. The massing forms a strong urban edge along E Madison St and situates the residential lobby and street level open space at the more residential E Union St. Along 11th Avenue, retail under a portico for weather protection and generous landscaping are located to encourage pedestrian activity. The massing responds to the site geometry similar to a flat iron building such as the Seattle University storage building across E Madison Ave. The corners are anchored with retail, each corner responding to the individual character of the intersections: a heavily trafficked 12th and Madison, a more subdued 11th and Madison and a more residential 11th and Union.



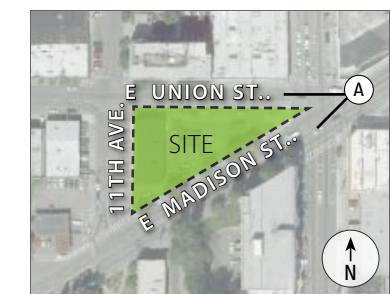
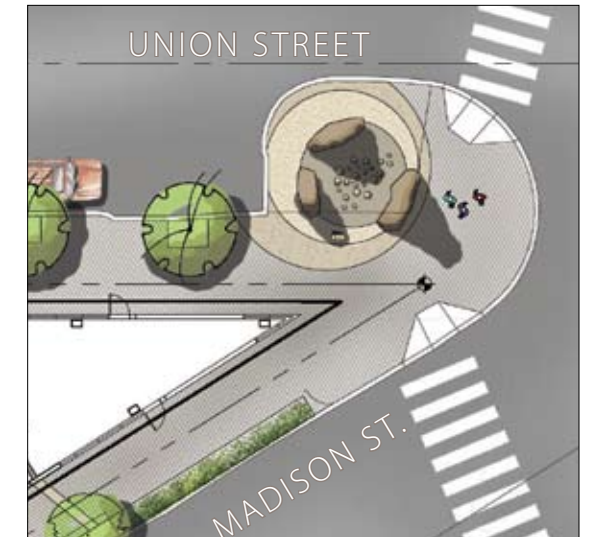


STREETSCAPE: GATEWAY CORNER AT UNION & MADISON



- ① GATEWAY
Outdoor art will anchor the corner, relate to the building form & concept and encourage pedestrians to enter the R.O.W.
- ② Retail with extensive transparency that provides views through the building. Seating enlivens the sidewalk & encourages pedestrian activity along Union.
- ③ Ample plantings and wide sidewalks along E Madison buffer pedestrians and the building from traffic

POTENTIAL CONCEPT FOR GATEWAY ART

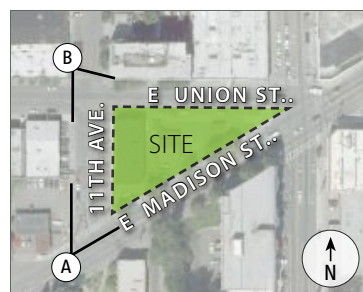


Ⓐ CORNER OF MADISON & UNION

VIEW A: CORNER OF 11TH & MADISON



VIEW B: E UNION ST.. LOOKING TO PLAZA AT RESIDENTIAL LOBBY



PLAZA AT RESIDENTIAL LOBBY ENTRY

PAVERS



EXAMPLE OF CONCRETE PAVERS FOR PLAZA AND DRIVEWAY

SITE FURNISHINGS



EXAMPLE OF RECLAIMED LUMBER BENCH

PROPOSED PLAZA PLANTING



Liriope spicata 'Silver Dragon'



Acer palmatum 'Red Dragon'



Euphorbia amygdaloides 'purpurea'



Podocarpus macrophyllus 'Maki'



Selaginella kraussiana 'Aurea'





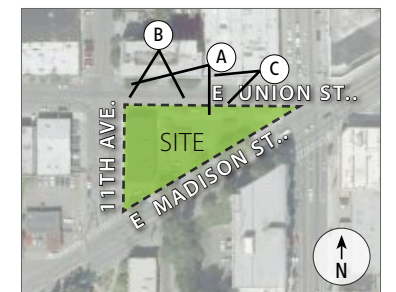
VIEW A: RESIDENTIAL LOBBY ENTRY - VIEW FROM UNION ST.



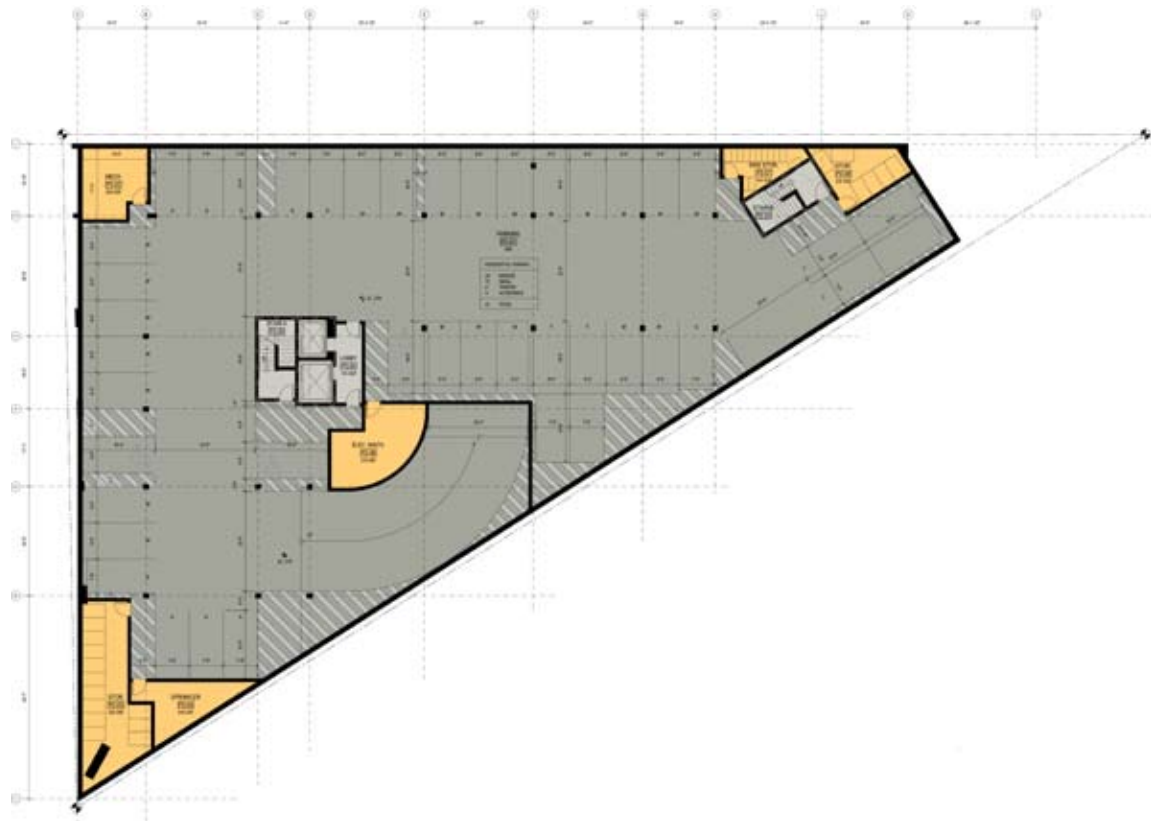
VIEW B: BIRD'S EYE VIEW OF PLAZA



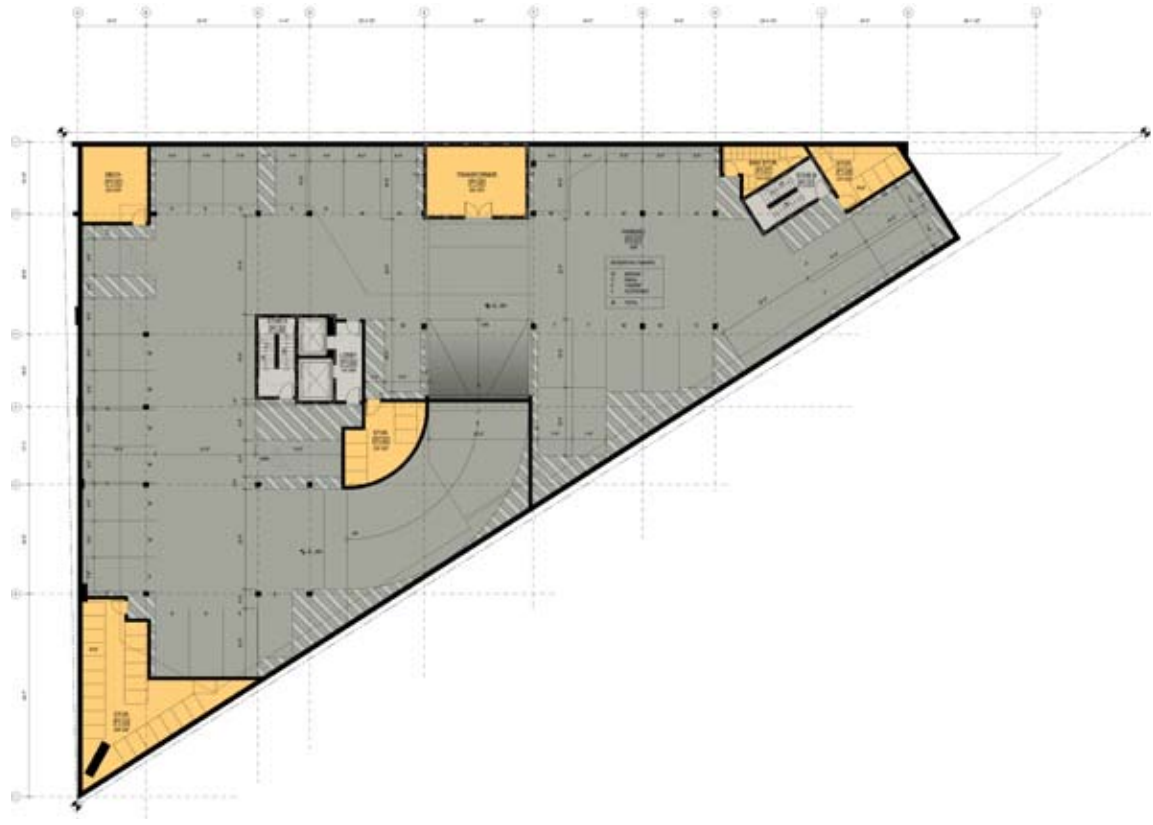
VIEW C: DOWN UNION ST. TO PLAZA



FLOOR PLANS



PARKING LEVEL 2



PARKING LEVEL 1



LEVEL 1



LEVEL 2

- Residential
- Retail
- Mechanical
- Parking
- Circulation



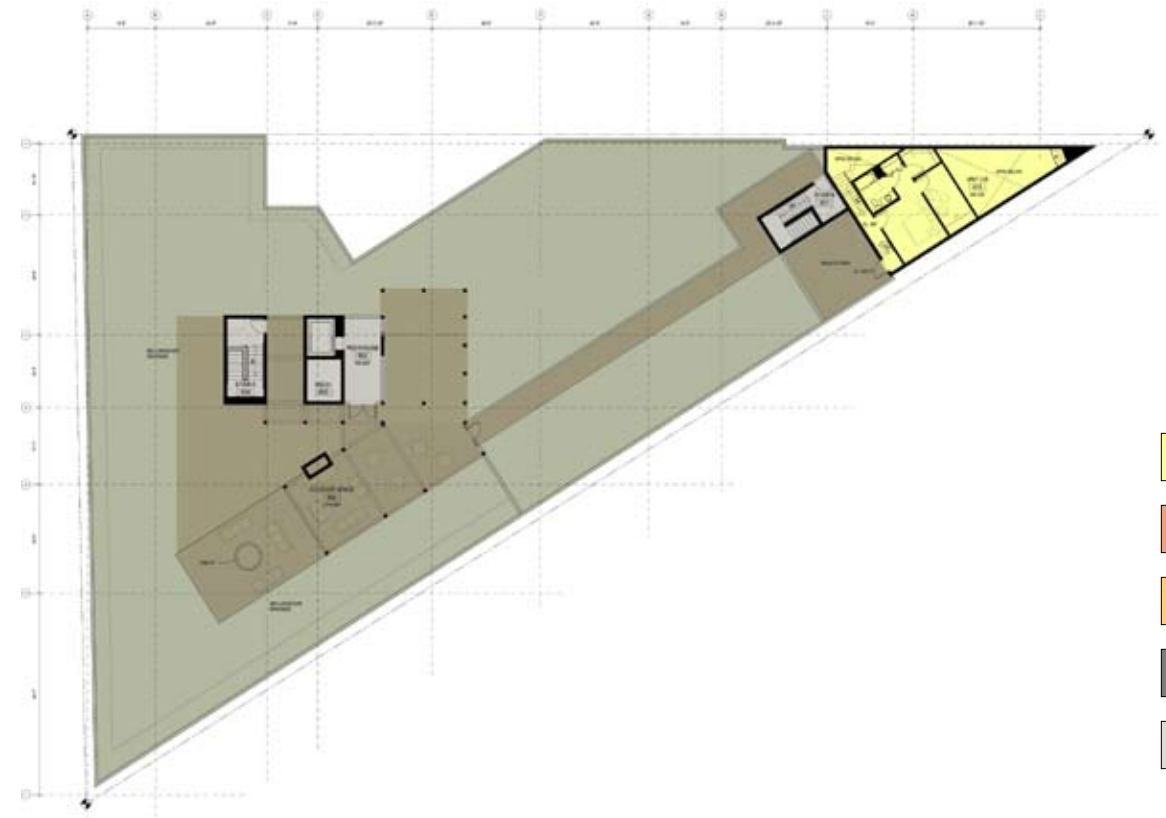
LEVEL 3-4



LEVEL 6

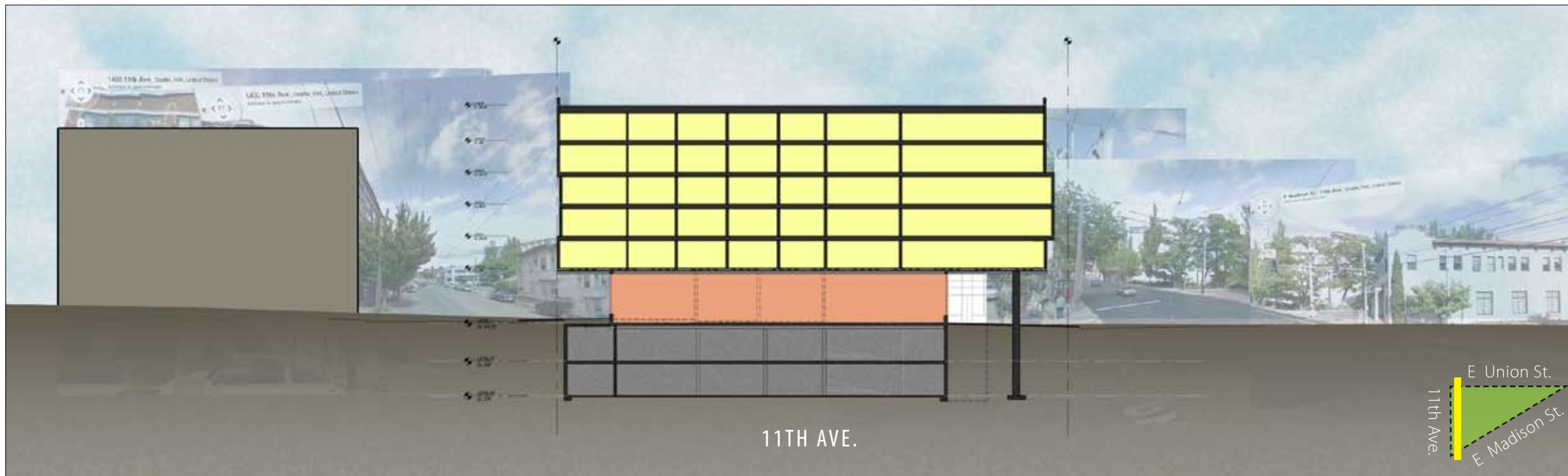


LEVEL 5

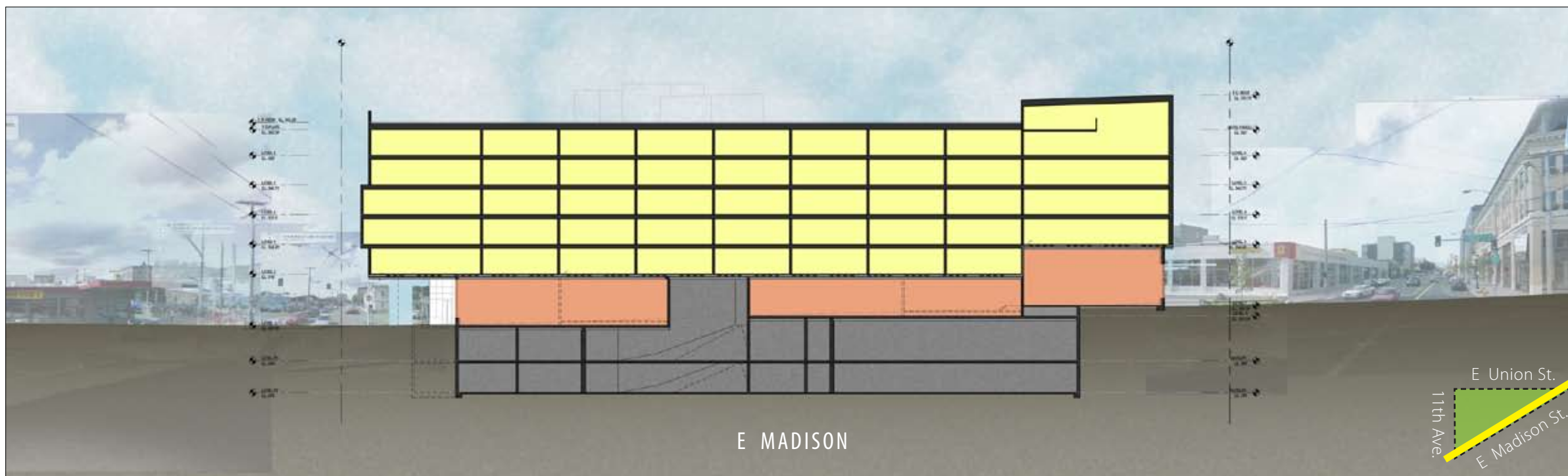


ROOF PLAN

- Residential
- Retail
- Mechanical
- Parking
- Circulation



W Section: 11th Ave.



S Section: E Madison St.

A-1, A-10, B-1, C-1

Building massing responds to the unique triangular site by occupying the corner with retail space to anchor the building, expressing the triangular geometry of the site and further enhancing the site as a gateway into the Pike/Pine neighborhood. The massing also responds to the corner similar to the flat-iron buildings on the 5-point corner at 12th Avenue. The corner bulb at Union and 12th is proposed location for gateway art.

C-2, C-4

Architectural concept and consistency is expressed with modulation and patterns through the arrangement of the windows on the facades. The different functions of the building are reflected through massing, in the change of material and in the arrangement and size of glazing. Durable exterior materials consist of poured-in-place concrete and metal panels of alternating profiles and colors. The soffits at the upper bays are clad in a perforated red metal soffit panel to contrast with the rest of the building. The street level soffit is a more neutral champagne metal soffit panel.

E-2, E-3

The mass of the building is set back along all three streets to provide for a wider sidewalk for pedestrian usage. Additionally, wide, generous planting areas and strips are proposed to enhance the pedestrian experience.

A-7

A roof top deck is proposed for the residents of the building to take advantage of the southern exposure and downtown views.



E UNION ST. ELEVATION

A-4

Storefront glazing will provide maximum transparency at all commercial units.

A-5, A-8, B-1

The garage entry has been shifted to the east to avoid facing the entry to Union Co-op. A departure is being requested to reduce the driveway from 22' to 18'.

A-2, A-7, D-1

Proposed courtyard will serve several functions:
 a.) soften the edge along E. Union street;
 b.) respond to the adjacent residential apartment building to the north;
 c.) strengthen the residential entry.

C-2, C-4

Architectural concept and consistency is expressed with modulation and patterns through the arrangement of the windows on the facades. The different functions of the building are reflected through massing, in the change of material and in the arrangement and size of glazing. Durable exterior materials consist of poured-in-place concrete, and metal panels of alternating profiles and colors are proposed. The soffits at the upper bays are clad in a perforated red metal soffit panel to contrast with the rest of the building. The street level soffit is a more neutral champagne metal soffit panel.

A-1, A-10, B-1, C-1

The corners responds to each distinct intersection: a prominent retail corner at E Madison/11th Ave responds to the busy Madison St corridor and a portico-like corner at 11th/E Union responds to the more residential, pedestrian friendly corner of the site.



11TH AVE ELEVATION

E-2, E-3

Wide, generous planting areas and strips and sidewalks are provided to (1) encourage pedestrians to activate the spaces and (2) create a landscape connection between Cal Anderson Park and Seattle University.

A-5, B-1

11th Avenue facade has been developed as a strong pedestrian connection that will encourage human activity with a variety of small retail spaces.

A-4

Storefront glazing will provide maximum transparency at all commercial units.

C-2, C-4

Architectural concept and consistency is expressed with modulation and patterns through the arrangement of the windows on the facades. The different functions of the building are reflected through massing, in the change of material and in the arrangement and size of glazing. Durable exterior materials consist of poured-in-place concrete and metal panels of alternating profiles and colors. The soffits at the upper bays are clad in a perforated red metal soffit panel to contrast with the rest of the building. The street level soffit is a more neutral champagne metal soffit panel.

A-1, A-10, B-1, C-1

Building massing responds to the unique triangular site by occupying the corner with retail space to anchor the building, expressing the triangular geometry of the site and further enhancing the site as a gateway into the Pike/Pine neighborhood. The massing also responds to the corner similar to the flat-iron buildings on the 5-point corner at 12th Avenue. The corner bulb at Union and 12th is proposed location for gateway art.



E MADISON ST. ELEVATION

A-4

Storefront glazing will provide maximum transparency at all commercial units. A series of canopies will provide visual interest and also provide overhead protection to encourage pedestrian activity

E-2

Garage exhaust vents will be screened with landscaping.

A-5, B-1

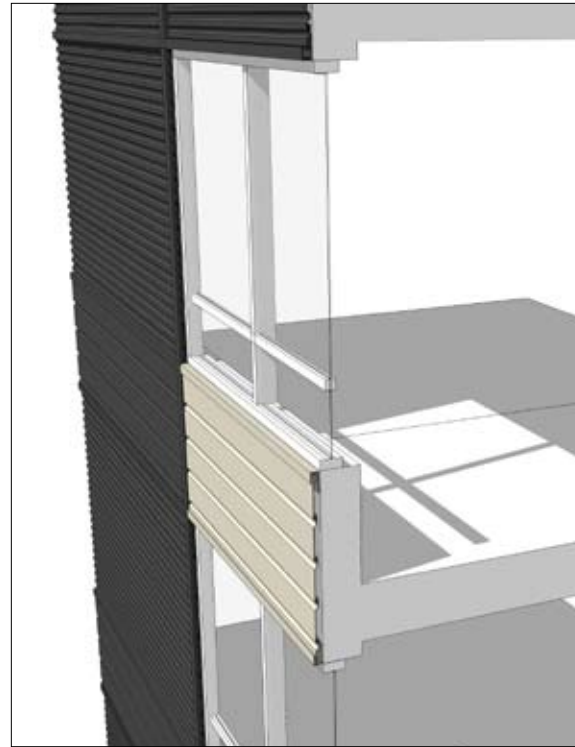
The mass of the building has been concentrated to the south, creating a strong urban edge along the heavily travelled E Madison Ave.

E-2, E-3

The landscape design proposes generous planting strips and wide sidewalks to buffer pedestrians from the heavy traffic of E Madison St. Existing street trees along E Madison St will be preserved.



DETAIL OF METAL SIDING



DETAIL OF WINDOW SECTION

The material palette of metal and concrete fits the neighborhood's mix of historic brick buildings and modern concrete. Regular bays of storefront glazing and architectural concrete along with a variety of landscape zones, textured sidewalk and trees create human scaled spaces at street level.

METAL 1 (DARK BRONZE)



METAL 2 (DARK BRONZE)



ARCHITECTURAL CONCRETE



STOREFRONT (ANOD. ALUMINUM)



METAL 3 (CHAMPAGNE)



SOFFIT PANEL (COLONIAL RED)



METAL 3 (CHAMPAGNE)

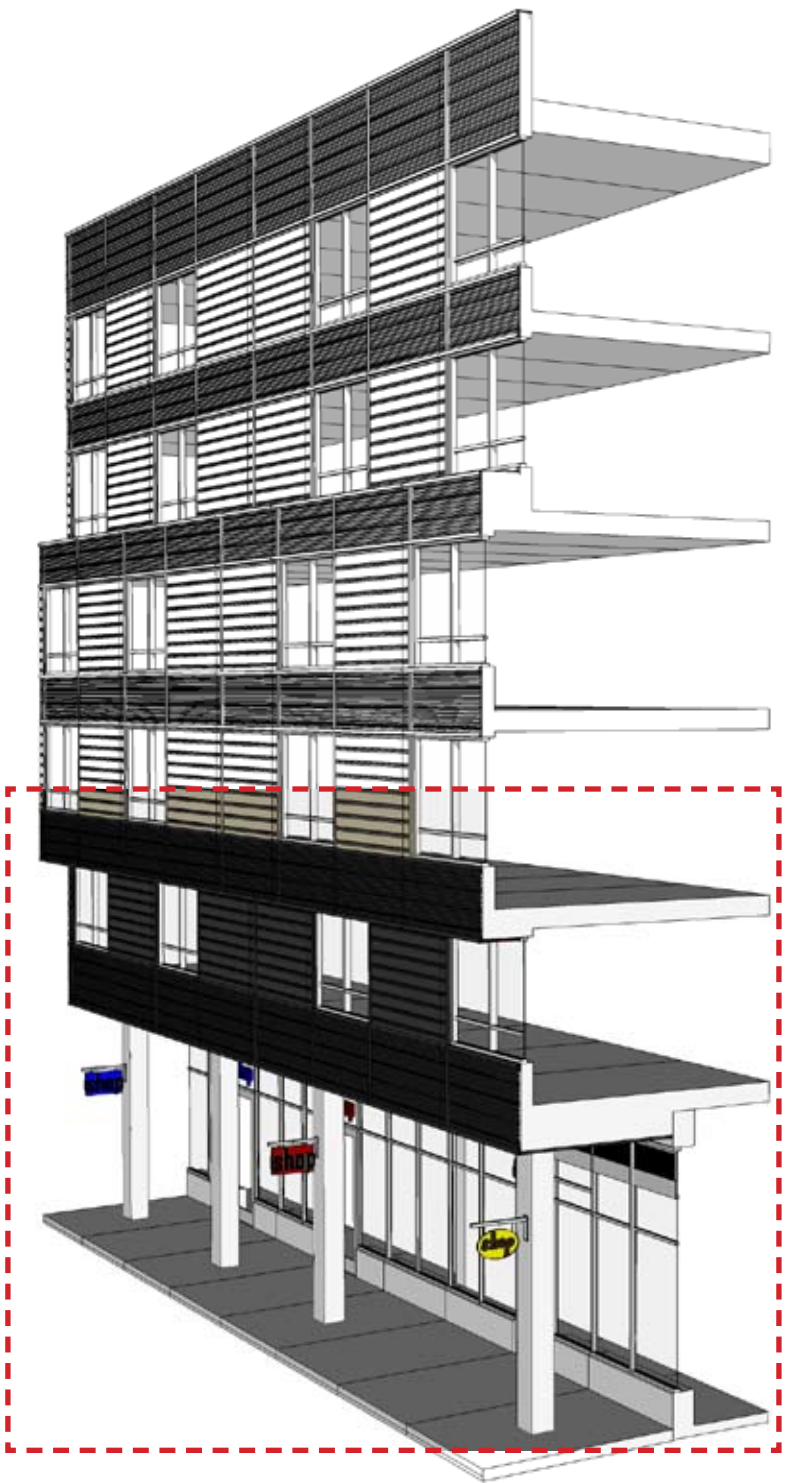
SOFFIT PANEL (COLONIAL RED)



VINYL WINDOW (ADOBE)



STOREFRONT & SOFFIT DETAIL AT 11TH AVE FACADE





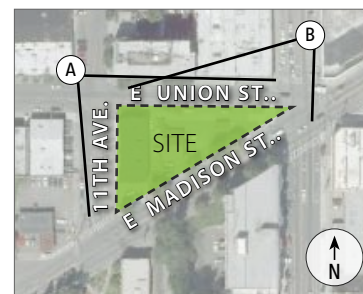
VIEW FROM SOUTHWEST DOWN MADISON ST.

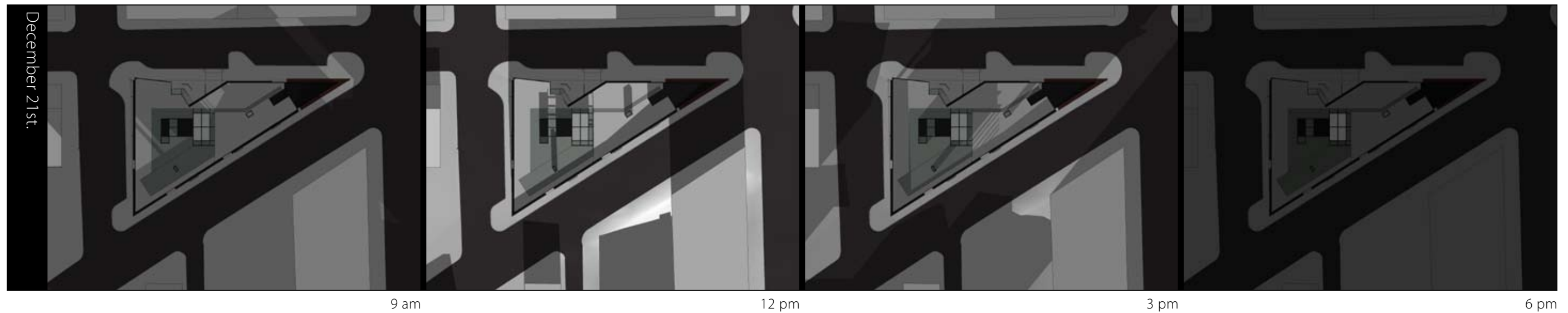
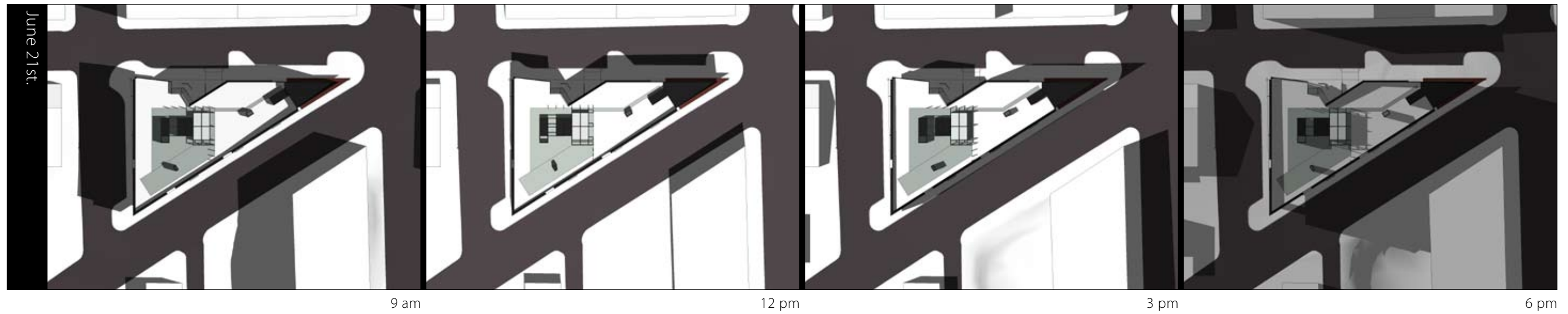
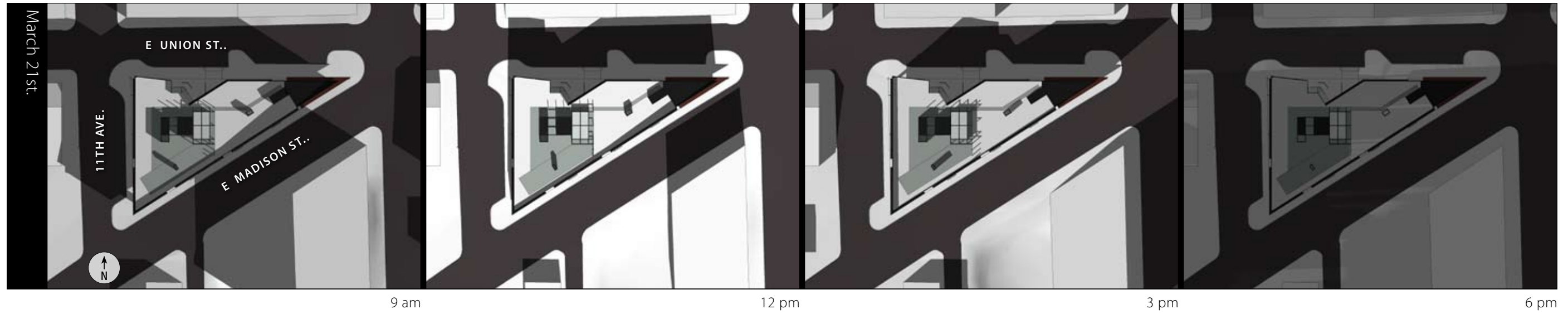


VIEW B: CORNER OF UNION ST. & MADISON ST.

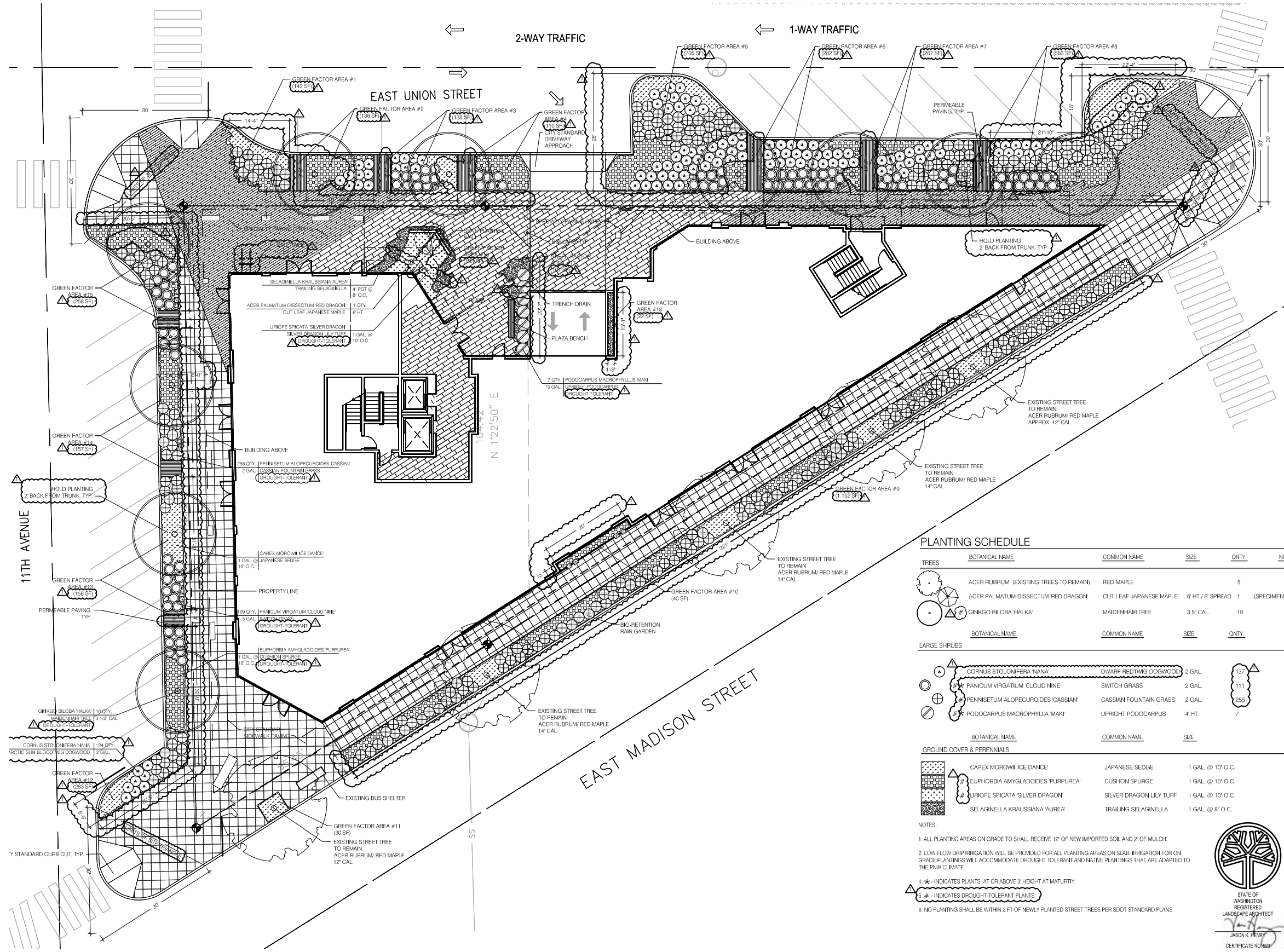


VIEW A: CORNER OF UNION ST. & 11TH AVE





LANDSCAPE PLANTING PLAN



PLANTING SCHEDULE

TREES	BOTANICAL NAME	COMMON NAME	SIZE	QNTY	NOTES
	ACER RUBRUM (EXISTING TREES TO REMAIN)	RED MAPLE		5	
	ACER PALMATUM DISSECTUM 'RED DRAGON'	CUT LEAF JAPANESE MAPLE	6' HT./ 6' SPREAD	1	(SPECIMEN GRADE)
	GINKGO BILOBA 'HALKA'	MAIDENHAIR TREE	3.5' CAL.	10	

LARGE SHRUBS

BOTANICAL NAME	COMMON NAME	SIZE	QNTY
CORNUS STOLONIFERA 'NANA'	DWARF REDTIG DOGWOOD	2 GAL.	137
PANICUM VIRGATUM 'CLOUD NINE'	SWITCH GRASS	2 GAL.	111
PENNISETUM ALOPECUROIDES 'CASSIAN'	CASSIAN FOUNTAIN GRASS	2 GAL.	255
PODOCARPUS MACROPHYLLA 'MAKI'	UPRIGHT PODOCARPUS	4' HT.	7

BOTANICAL NAME	COMMON NAME	SIZE
CAREX MOROWII 'ICE DANCE'	JAPANESE SEDGE	1 GAL. @ 10" O.C.
EUPHORBIA AMYGLAIDOIDES 'PURPUREA'	CUSHION SPURGE	1 GAL. @ 10" O.C.
LIRIOPE SPICATA 'SILVER DRAGON'	SILVER DRAGON LILY TURF	1 GAL. @ 10" O.C.
SELAGINELLA KRAUSSIANA 'AUREA'	TRAILING SELAGINELLA	1 GAL. @ 8" O.C.

- NOTES:
- ALL PLANTING AREAS ON GRADE TO SHALL RECEIVE 12" OF NEW IMPORTED SOIL AND 2" OF MULCH.
 - LOW FLOW DRIP IRRIGATION WILL BE PROVIDED FOR ALL PLANTING AREAS ON SLAB. IRRIGATION FOR ON GRADE PLANTINGS WILL ACCOMMODATE DROUGHT-TOLERANT AND NATIVE PLANTINGS THAT ARE ADAPTED TO THE PNW CLIMATE.
 - * - INDICATES PLANTS AT OR ABOVE 3' HEIGHT AT MATURITY.
 - # - INDICATES DROUGHT-TOLERANT PLANTS.
 - NO PLANTING SHALL BE WITHIN 2 FT OF NEWLY PLANTED STREET TREES PER SDOT STANDARD PLANS.



STATE OF WASHINGTON REGISTERED LANDSCAPE ARCHITECT
 JASON K. HENRY
 CERTIFICATE NO. 622



Acer palmatum 'Red Dragon'



Podocarpus macrophyllus 'Maki'



Ginkgo biloba 'Halka'



Carex morowii 'Ice Dance'



Euphorbia amygdaloides 'Purpurea'



Selaginella kraussiana 'Aurea'



Liriope spicata 'Silver Dragon'



Pennisetum alopecuroides 'Cassian'



Cornus stolonifera 'Nana'



Panicum virgatum 'Cloud Nine'



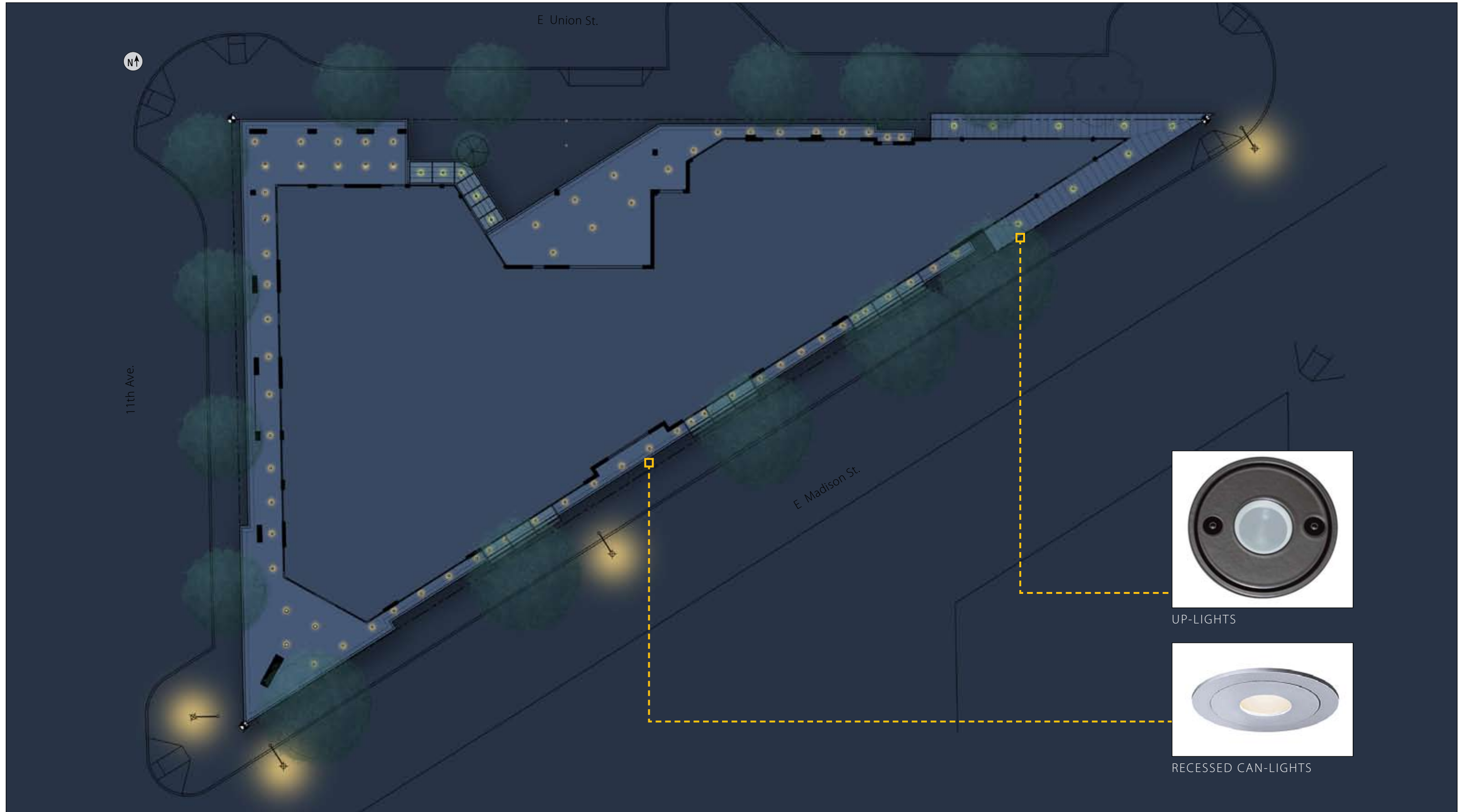
EXAMPLE OF BUILDING SIGN AT LOBBY ENTRY



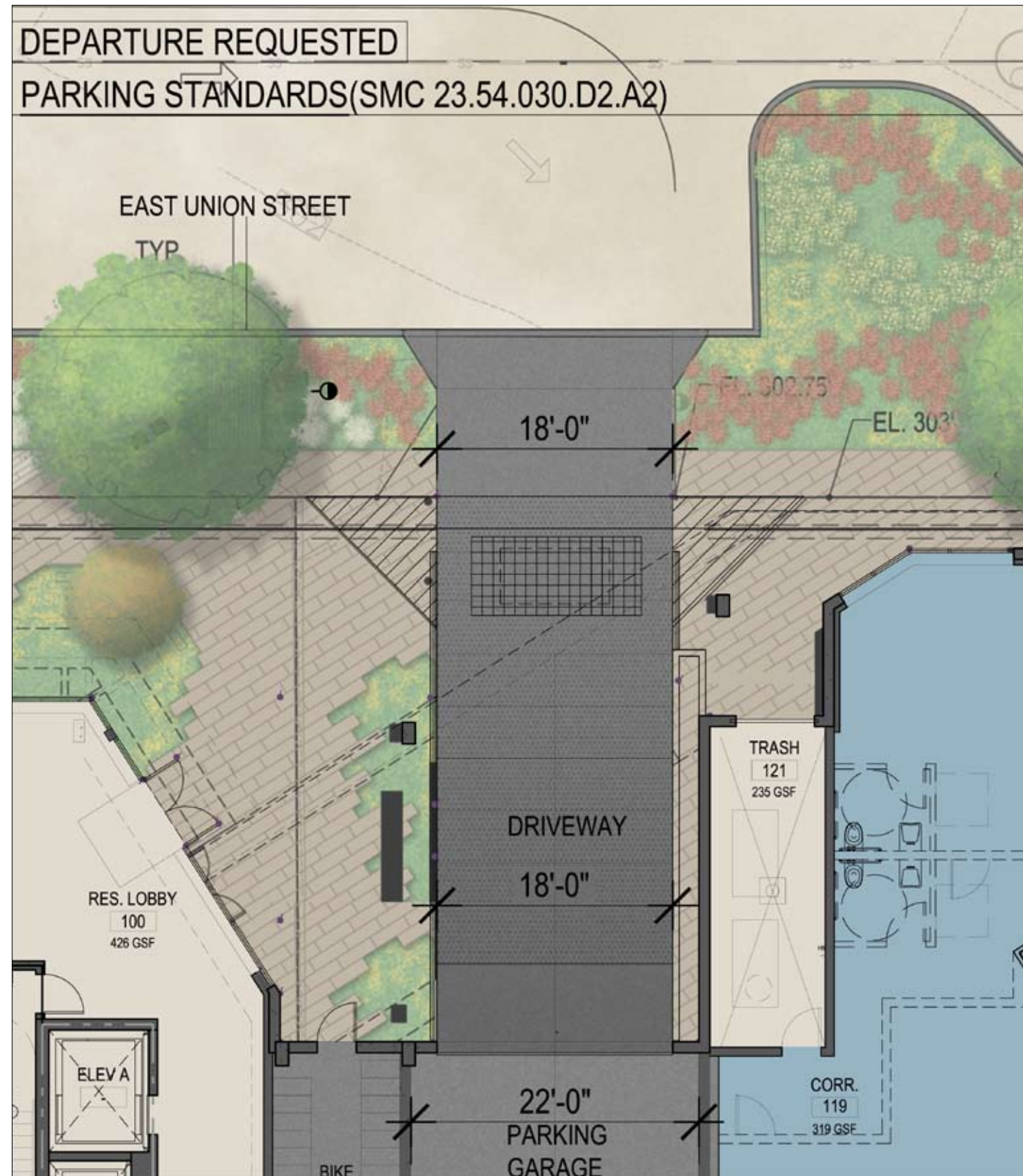
EXAMPLE OF BLADE SIGN AT RETAIL



EXAMPLES OF BLADE SIGN AT RETAIL







DRB encouraged requesting a design departure for the driveway width.

DEVELOPMENT STANDARD REQUIREMENT:
SMC 23.54.030.D2.A2

The minimum width of driveways for two (2) way traffic shall be twenty-two (22) feet and the maximum width shall be twenty-five (25) feet.

REQUEST / PROPOSAL:
The applicant is requesting the driveway for two-way traffic to have a width of 18 ft. (refer to diagram at right)

JUSTIFICATION:
The smaller driveway width would allow for larger open public space, encourage more pedestrian activity, and limit the impact of the automobile on the project. This was also a recommendation of the board at EDG. Furthermore, the project is not gaining any more enclosed area than would otherwise be accommodated by a code-compliant scheme.