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- SPACE NEEDLE 02
- DENNY PARK 03
- WESTLAKE MALL 04
- PIKE PLACE MARKET 05
- WATERFRONT PARK 06
- SCULPTURE PARK 07
- GROCERY STORE 08
- BELLTOWN P-PATCH 09
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## FIRST & CEDAR APARTMENTS

Studio apartments for currently homeless individuals

## FIRST & CEDAR APARTMENTS

THE PROJECT INCLUDES: 84 AFFORDABLE STUDIO APARTMENTS FOR PLYMOUTH HOUSING GROUP AND APPROXIMATELY 2,000 SF OF RESTAURANT AND/OR RETAIL ON FIRST FLOOR AS WELL AS ACCESSORY ON-SITE SOCIAL SERVICES FOR THE RESIDENTS. NO PARKING IS REQUIRED AND NONE IS PROPOSED.

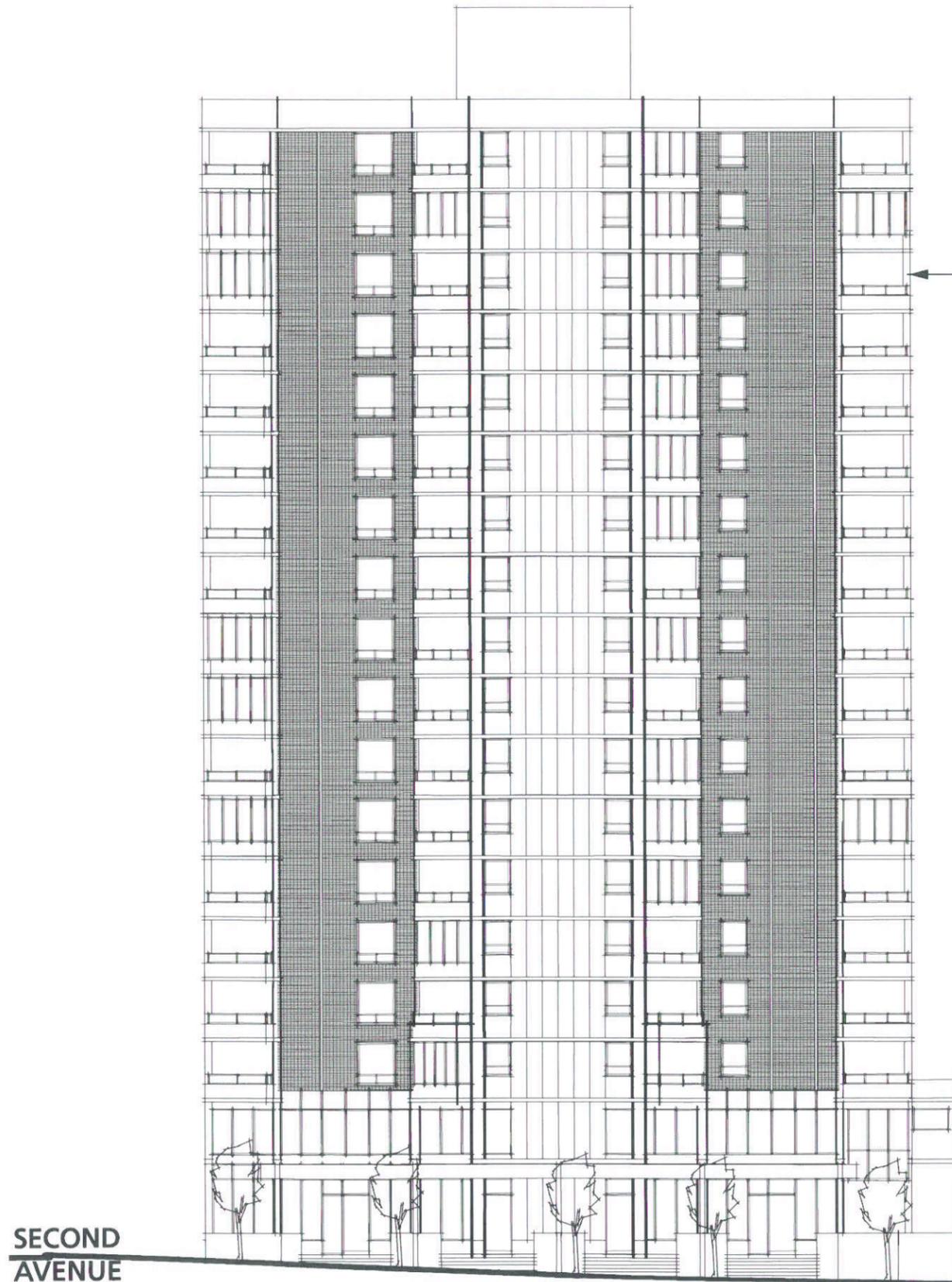
DPD PROJECT NUMBERS:  
 3007687 AND 6146540



Early Design Guidance

April 8, 2008



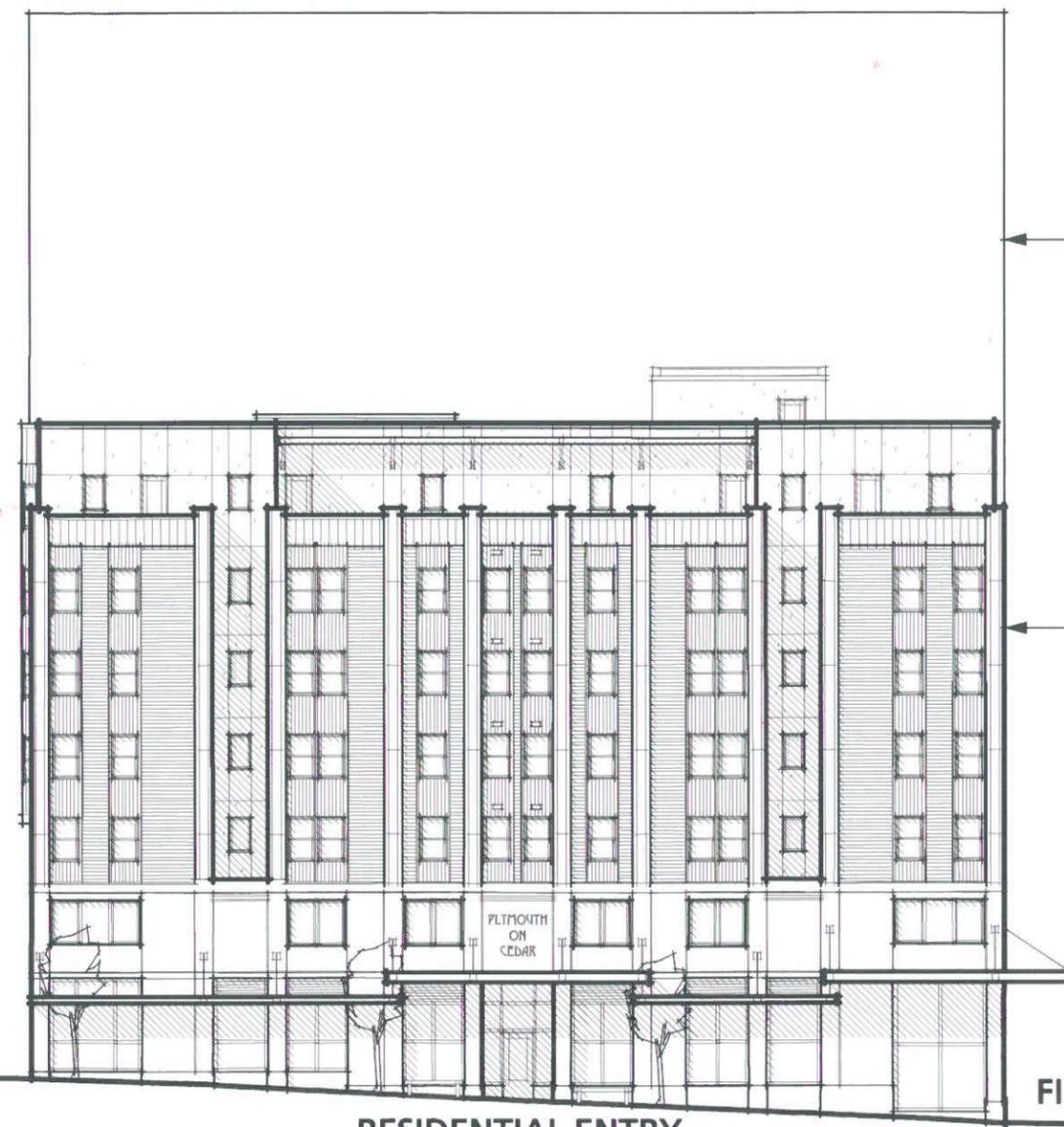


HARBOR HEIGHTS  
CONDOMINIUMS

SECOND  
AVENUE

ALLEY

**CONSIDER AN ALTERNATE  
RESIDENTIAL ENTRY**  
  
MOVING THE RESIDENTIAL  
ENTRY TO THE CENTER OF THE  
BUILDING CLEARLY  
ACCENTUATES THE ENTRY.  
FURTHERMORE, WE HAVE  
INTEGRATED BUILDING SIGNAGE  
ABOVE THE ENTRY AND  
INCREASED THE HEIGHT AND  
DEPTH OF THE CANOPY.



ADJACENT  
PROPERTY  
ZONING  
ENVELOPE

FIRST & CEDAR  
APARTMENTS

PLYMOUTH  
ON  
CEDAR

FIRST AVENUE

RESIDENTIAL ENTRY



**FIRST & CEDAR APARTMENTS**

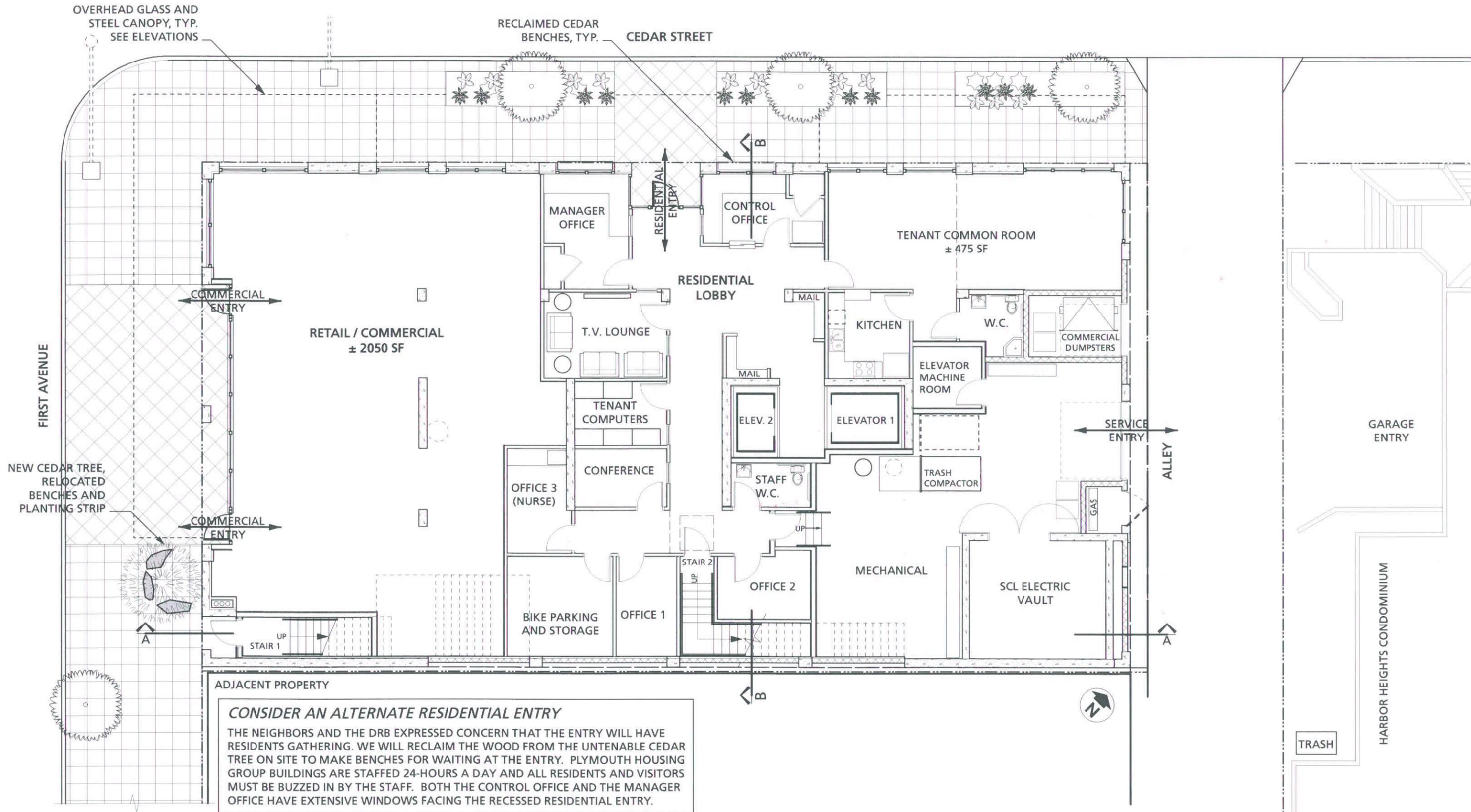
*Studio apartments for currently homeless individuals*

**CEDAR STREET ELEVATION**

1" = 20'-0"

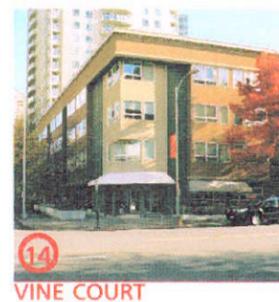
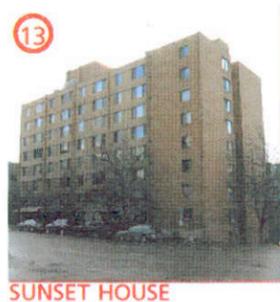
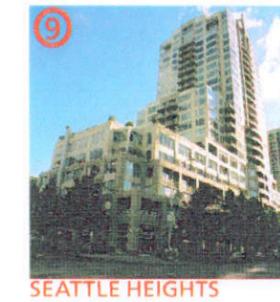
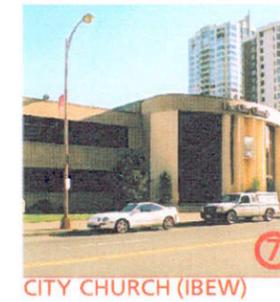
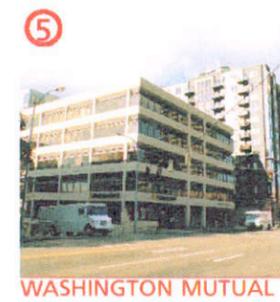
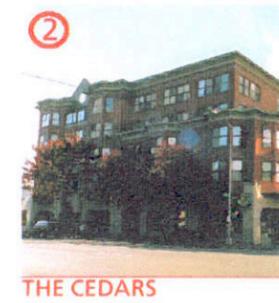
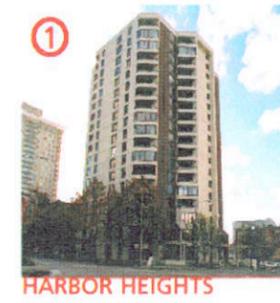
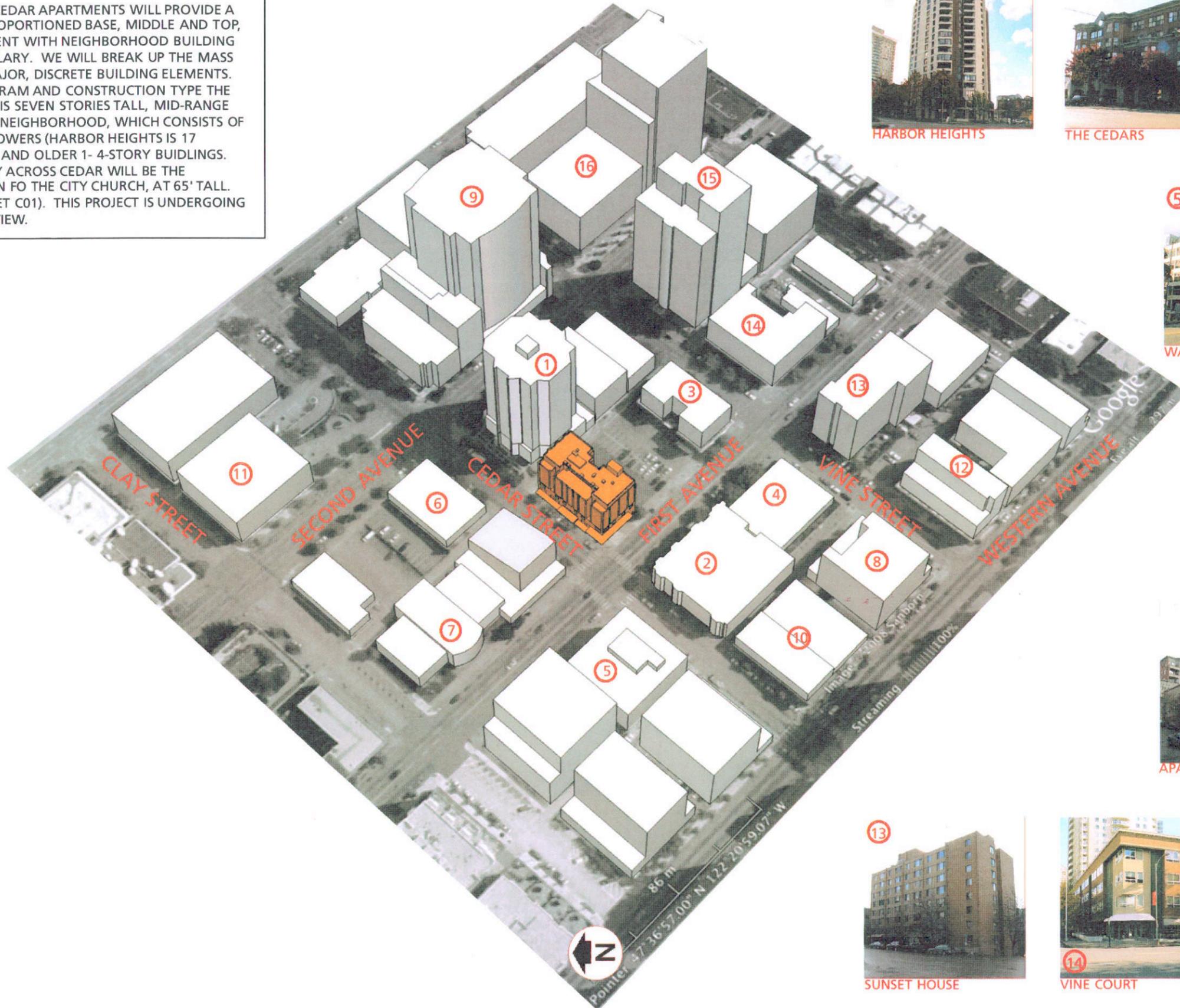
**A02**

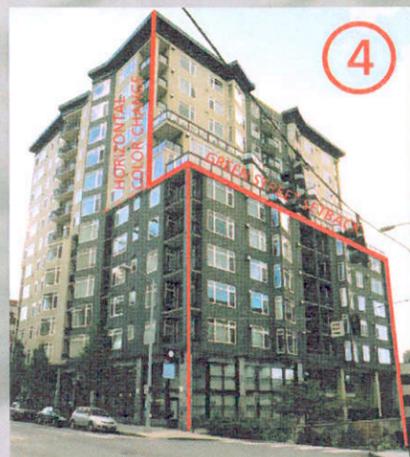
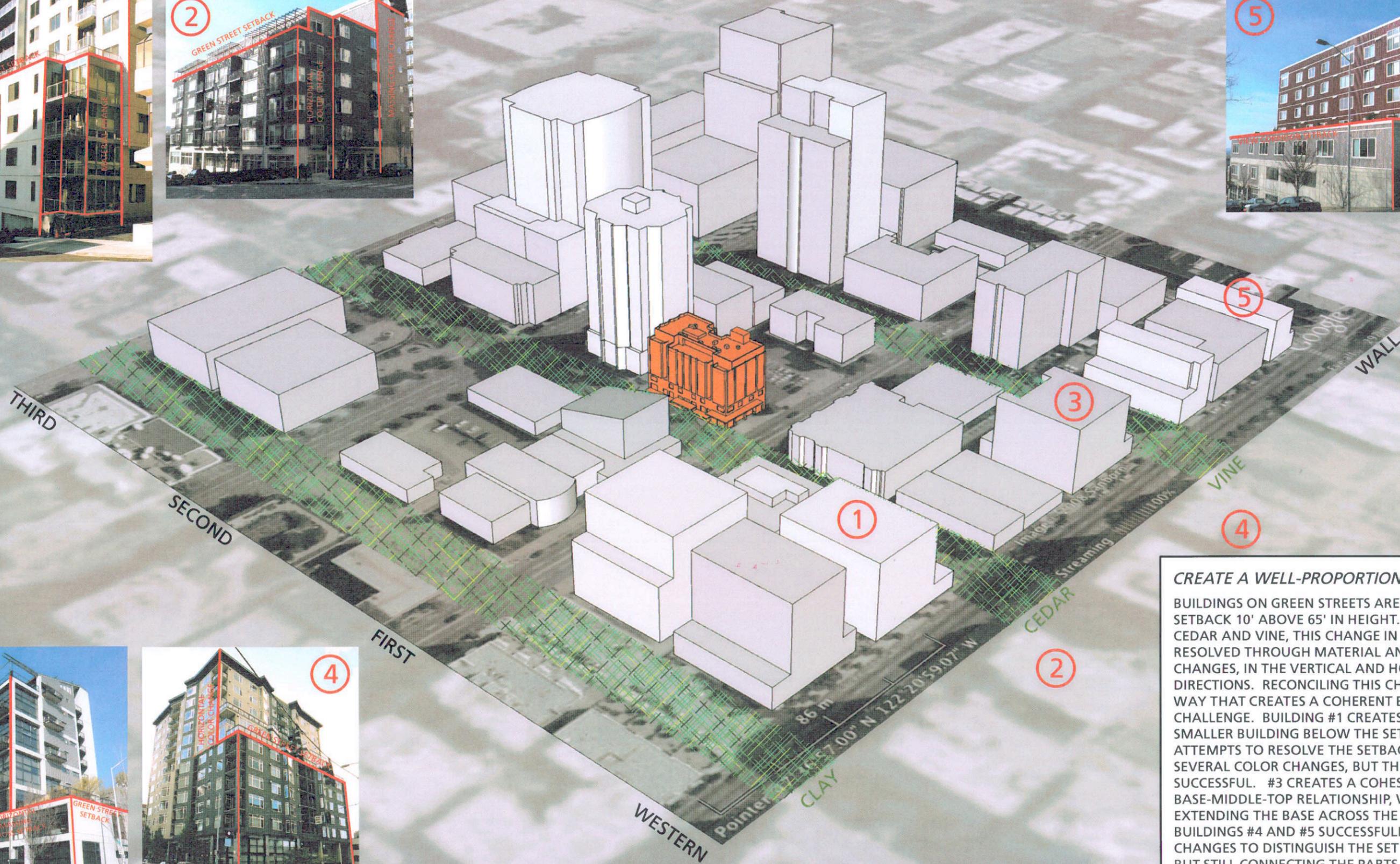
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April 8, 2008



**CREATE A WELL-PROPORTIONED BUILDING**

FIRST & CEDAR APARTMENTS WILL PROVIDE A WELL-PROPORTIONED BASE, MIDDLE AND TOP, CONSISTENT WITH NEIGHBORHOOD BUILDING VOCABULARY. WE WILL BREAK UP THE MASS WITH MAJOR, DISCRETE BUILDING ELEMENTS. BY PROGRAM AND CONSTRUCTION TYPE THE PROJECT IS SEVEN STORIES TALL, MID-RANGE FOR THE NEIGHBORHOOD, WHICH CONSISTS OF LARGE TOWERS (HARBOR HEIGHTS IS 17 STORIES) AND OLDER 1- 4-STORY BUILDINGS. DIRECTLY ACROSS CEDAR WILL BE THE ADDITION FO THE CITY CHURCH, AT 65' TALL. (SEE SHEET C01). THIS PROJECT IS UNDERGOING MUP REVIEW.





**CREATE A WELL-PROPORTIONED BUILDING**  
 BUILDINGS ON GREEN STREETS ARE REQUIRED TO SETBACK 10' ABOVE 65' IN HEIGHT. ALONG CLAY, CEDAR AND VINE, THIS CHANGE IN MASSING IS RESOLVED THROUGH MATERIAL AND/OR COLOR CHANGES, IN THE VERTICAL AND HORIZONTAL DIRECTIONS. RECONCILING THIS CHANGE IN A WAY THAT CREATES A COHERENT BUILDING IS A CHALLENGE. BUILDING #1 CREATES A DISTINCT, SMALLER BUILDING BELOW THE SETBACK. #2 ATTEMPTS TO RESOLVE THE SETBACK WITH SEVERAL COLOR CHANGES, BUT THEY ARE NOT SUCCESSFUL. #3 CREATES A COHESIVE BASE-MIDDLE-TOP RELATIONSHIP, WHILE EXTENDING THE BASE ACROSS THE SETBACK. BUILDINGS #4 AND #5 SUCCESSFULLY USE COLOR CHANGES TO DISTINGUISH THE SET BACK MASS, BUT STILL CONNECTING THE PARTS AS A WHOLE.

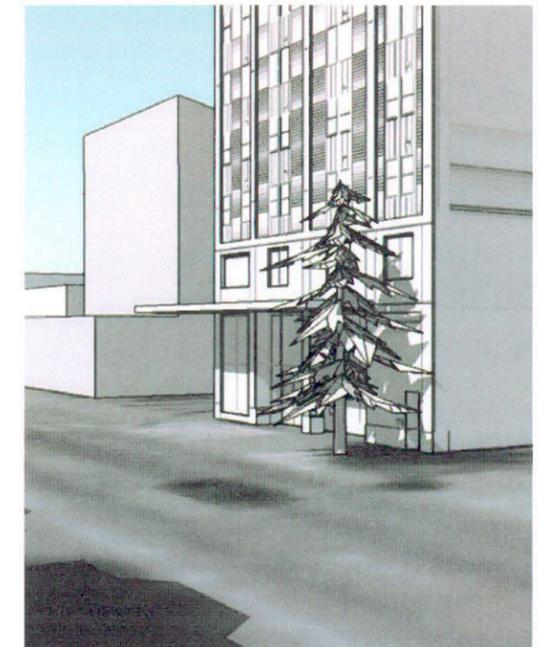


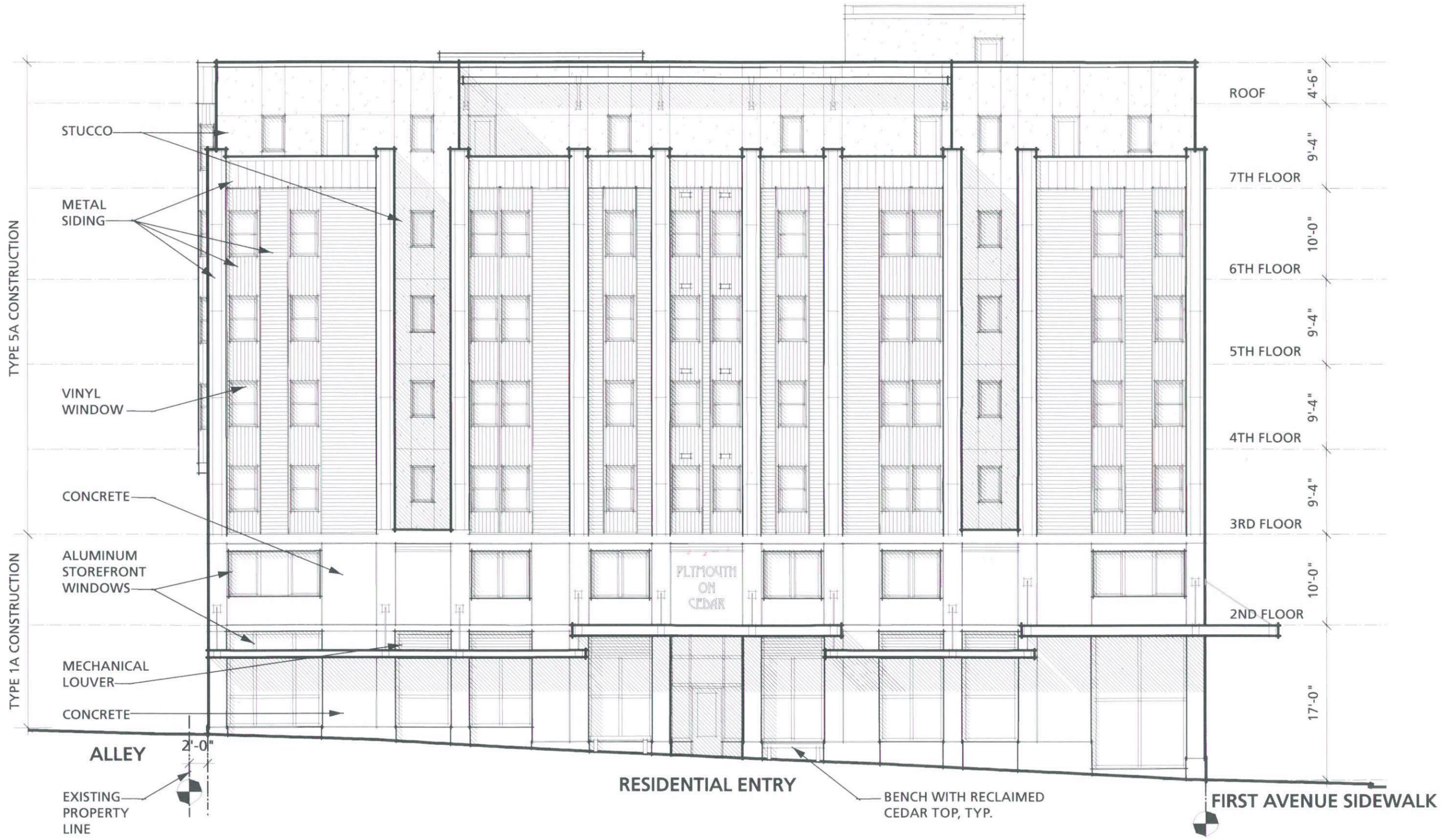
**CREATE A WELL-PROPORTIONED BUILDING**

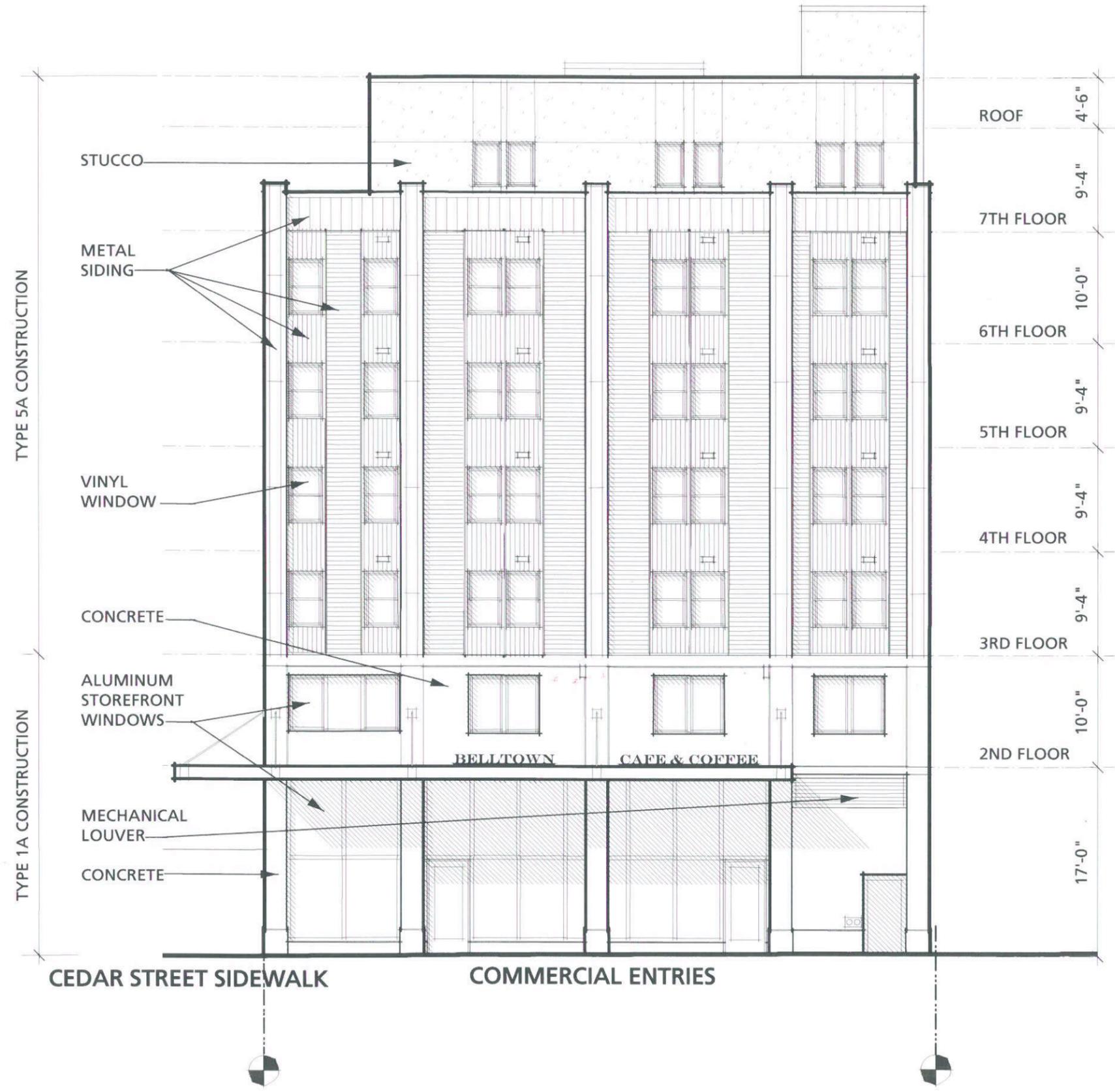
AS NOTED ON THE PREVIOUS SHEET, WE HAVE SHIFTED THE RESIDENTIAL ENTRY SEVERAL BAYS TOWARD FIRST AVENUE; IT IS NOW AT THE CENTER OF THE CEDAR STREET FACADE. WE HAVE PROVIDED A WELL-MARKED ENTRY AT THIS LOCATION, WITH INTEGRAL SIGNAGE AND A RECESSED VESTIBULE. AS PART OF THE GREEN STREET IMPROVEMENTS, WE WILL PROVIDE CEDAR BENCHES AT THE RESIDENTIAL ENTRY AS A MEANS FOR GATHERING. WE HAVE PROPOSED A LARGER, MORE PROMINENT CANOPY AT THIS LOCATION. THE COMMERCIAL ENTRY IS ACCENTUATED BY A TWO-BAY RECESS, AS WELL AS A PROMINENT CANOPY THAT EXTENDS FOR THE LENGTH OF COMMERCIAL STREET FRONTAGE, HIGHLIGHTING THE RETAIL SPACE. THE BUILDING "TURNS-THE-CORNER" GRACEFULLY AT THE SOUTH ELEVATION AT BOTH FIRST AND THE ALLEY; THERE IS NOT AN ABRUPT CHANGE OF MATERIALS.

THE WINDOWS AT THE FIRST AVENUE FACADE, AND TURNING THE CORNER ONTO CEDAR STREET, ARE MUCH TALLER THAN THE WINDOWS FARTHER DOWN CEDAR. THE PEDESTRIAN EXPERIENCE IS EMPHASIZED BY THE CONTINUOUS, THOUGH SEGMENTED, CANOPY AND BY THIS COMPLETE VISIBILITY AT THE CORNER. THE ALLEY CORNER HAS BEEN MADE MORE TRANSPARENT BY SITING THE TENANT COMMON AREA ALONG THE ALLEY; THIS CONDITION HAS BEEN ANALYZED FURTHER ON SHEETS A11 AND A12.

THE PROJECT WILL PROVIDE CONTINUOUS OVERHEAD WEATHER PROTECTION ON BOTH STREET FRONTAGES AND AT THE CORNER OF 1ST AND CEDAR. WE ARE ASKING FOR A DEPARTURE AS REQUIRED BY SDOT ARBORIST TO ELIMINATE WEATHER PROTECTION ABOVE THE CEDAR TREE ON FIRST AVENUE (SMC 23.49.018A)







STAIR TO ROOF LEVEL FOR FIREFIGHTING (NO PUBLIC OR TENANT ACCESS). WE CHOSE TO USE THE STAIR FARTHEST FROM ADJACENT BUILDINGS (I.E. HARBOR HEIGHTS). STUCCO FINISH WITH METAL ROOF.

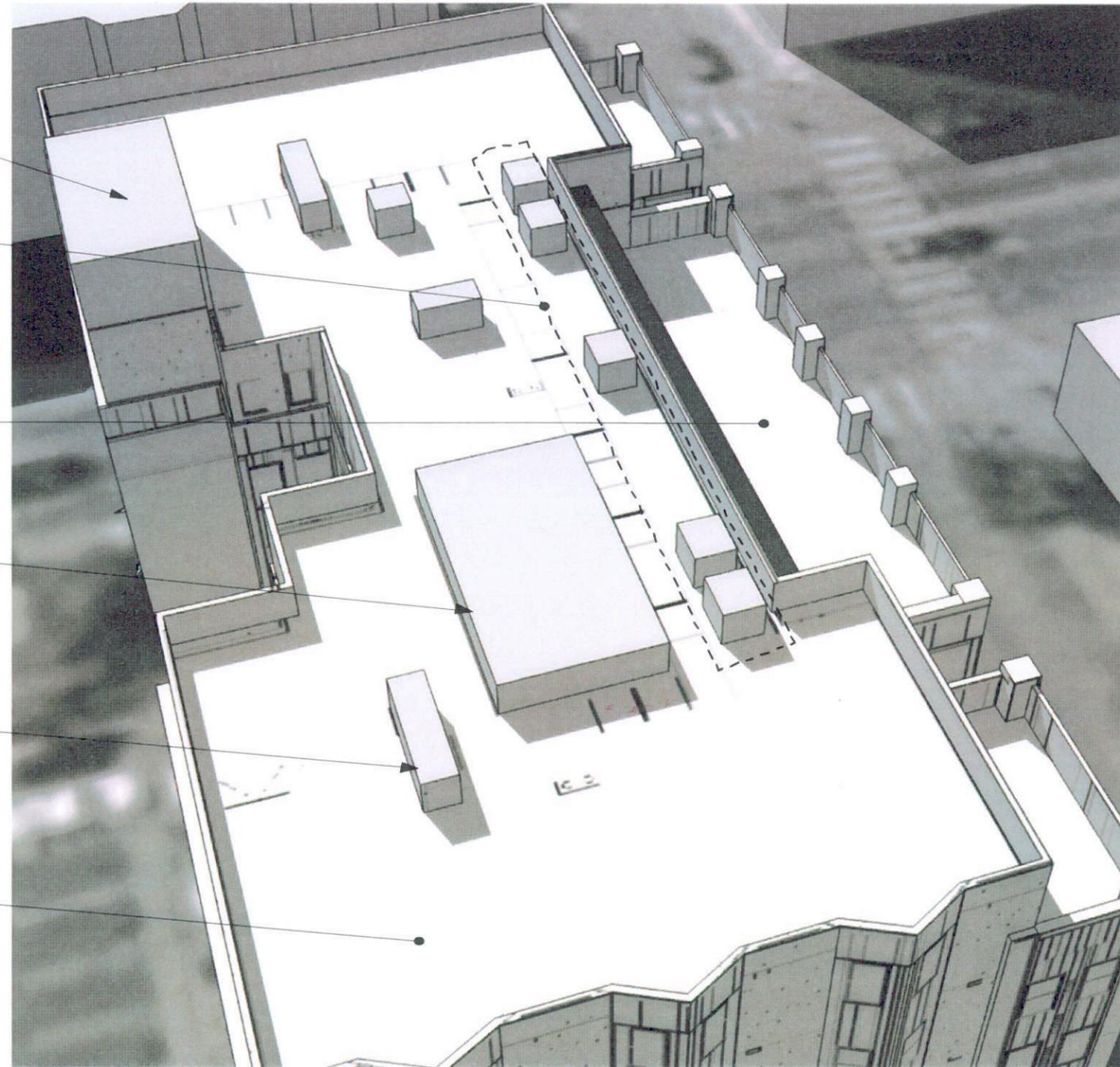
AIR CONDITIONING CONDENSER UNITS-- AS CLOSE TO CEDAR STREET AS POSSIBLE.

THE SEVENTH FLOOR DECK, OVERLOOKING CEDAR STREET, WILL BE LANDSCAPED AND THE SURFACE WILL BE CONCRETE PAVERS. PLEASE SEE SHEETS A15 AND A16 FOR MORE INFORMATION.

ELEVATOR PENTHOUSE: 4'-0" ABOVE ROOF (THEREFORE 6" ABOVE PARAPET). STUCCO COLOR WITH METAL ROOF.

THERE ARE TWO CORRIDOR VENTILATION UNITS ON THE ROOF. BOTH ARE 7' LONG, 3' DEEP AND 3' TALL. THEIR LOCATION IS FIXED BY THE LOCATION OF CORRIDORS.

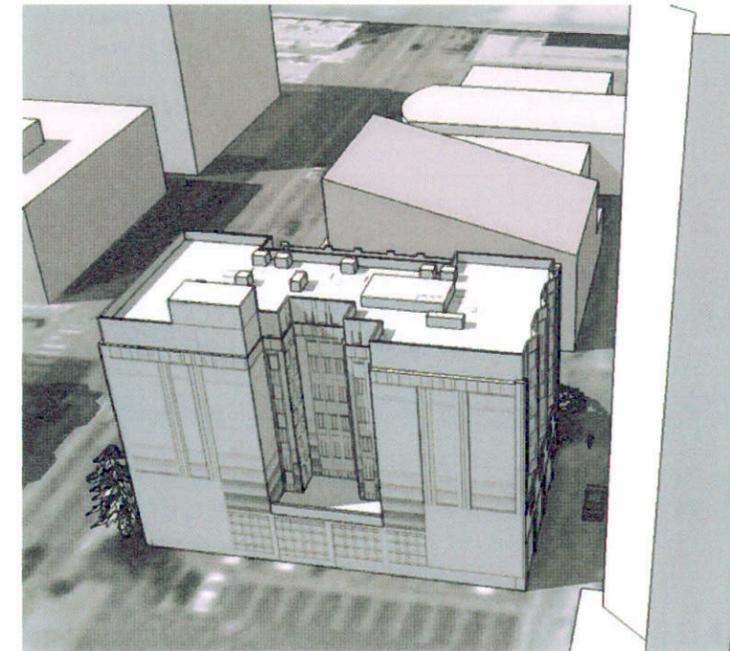
WE HAVE PLANNED THE ROOF AS A LIGHT GREY MEMBRANE ROOF, A TYPICAL ROOF FOR FLAT ROOFED BUILDINGS IN SEATTLE.

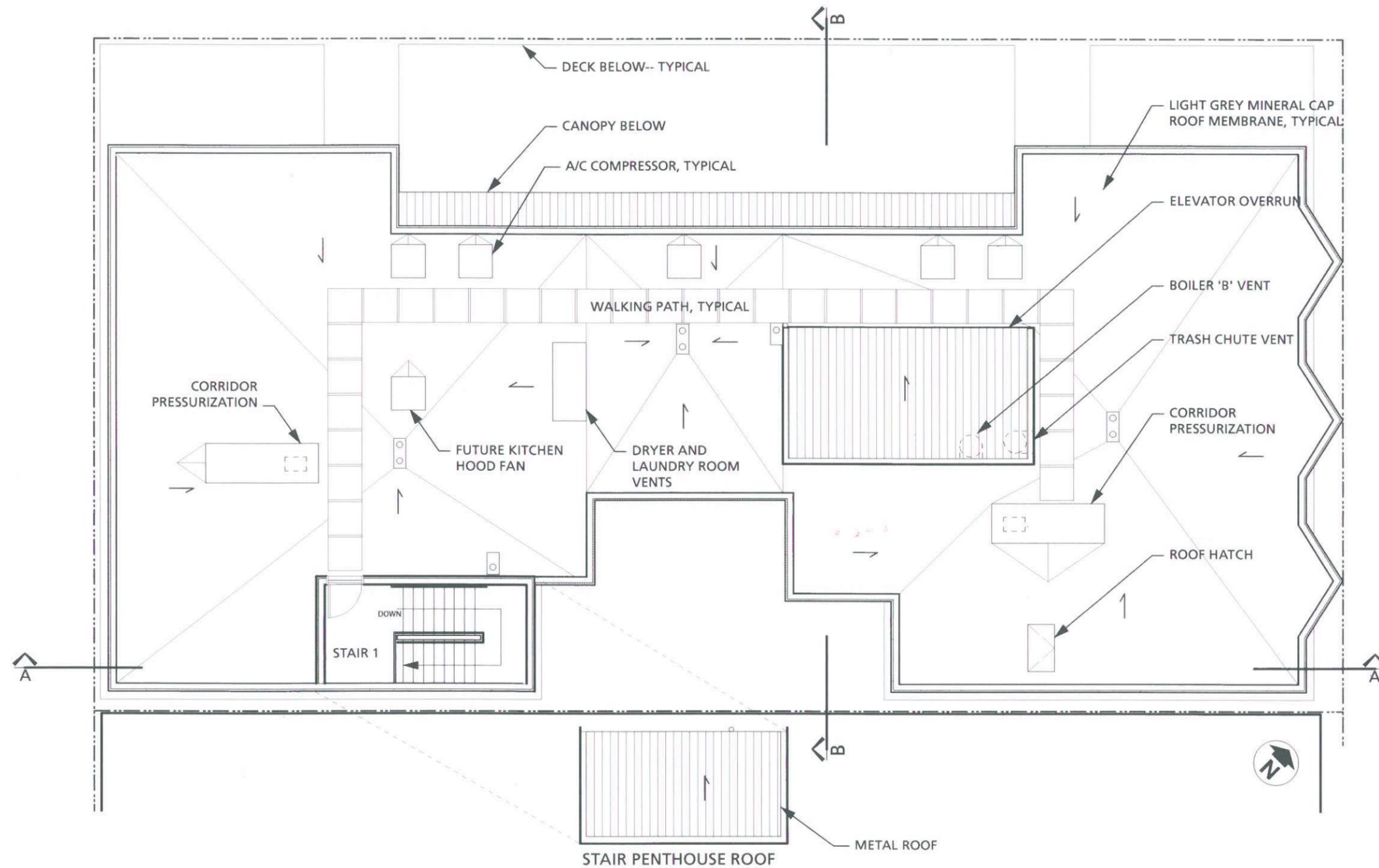


ROOF AS SEEN FROM 17TH FLOOR (TOP FLOOR) BALCONY AT HARBOR HEIGHTS

**CREATE A WELL-ORGANIZED ROOF**

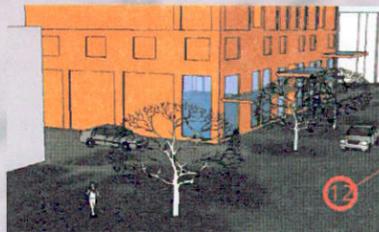
WE HAVE CREATED AN ORGANIZED AND ATTRACTIVE ROOF TOP DESIGN BECAUSE IT WILL BE VISIBLE FROM TALLER BUILDINGS. MECHANICAL EQUIPMENT HAS BEEN SIZED AND PLACED TO MINIMIZE THE OBTRUSIVENESS TO RESIDENTS ABOVE. ALL RANGEHOOD AND BATHROOM VENTILATION DISCHARGE LOCATIONS ARE PROPOSED TO BE ROUTED HORIZNTALLY-- ELIMINATING 30 SHEET-METAL HOODS AT THE ROOF SURFACE. A 42" HIGH PARAPET WILL HIDE ALL PROTRUSIONS EXCEPT FOR THE FIRE STAIR TO THE ROOF AND THE FOUR FOOT HIGH ELEVATOR PENTHOUSE (ELEVATOR DOES NOT EXTEND TO THE ROOF). THESE PROTRUSIONS WILL HAVE NON-REFLECTIVE METAL ROOFS. THE ROOF MEMBRANE ITSELF WILL BE OF A NON-REFLECTIVE GRAY COLOR. THE STAIR PENTHOUSE PALLET WILL BE OF A LIGHT, NEUTRAL COLOR, TO DOWNPLAY ITS VISUAL IMPACT.

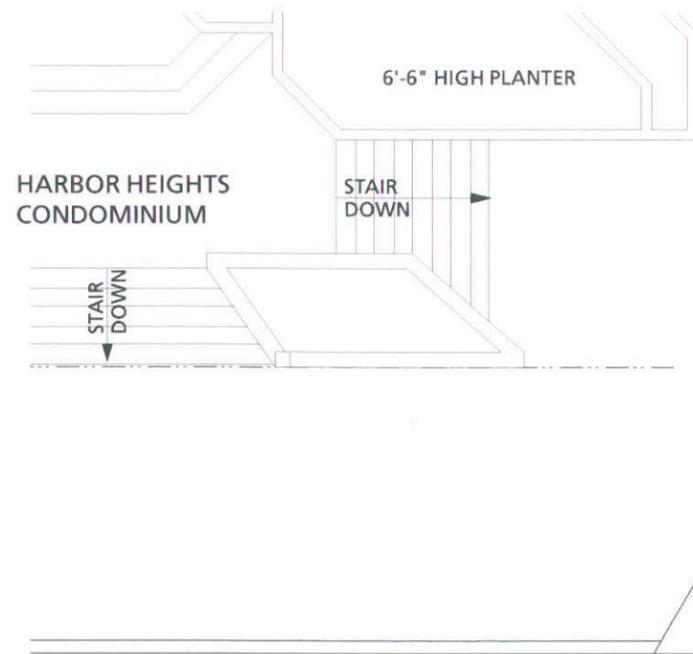
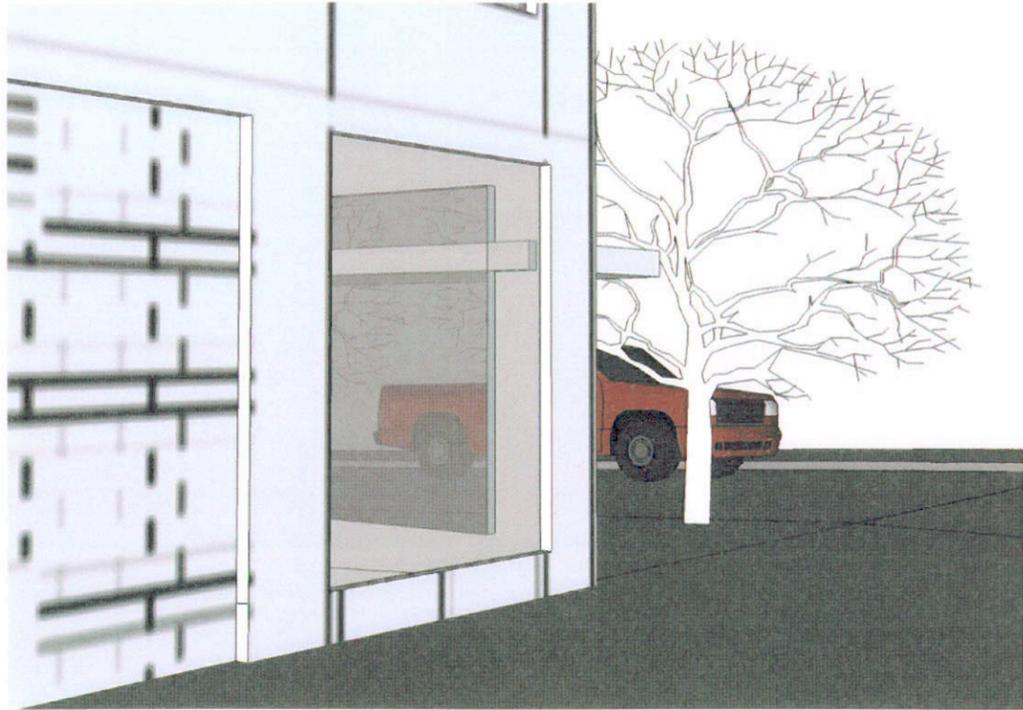




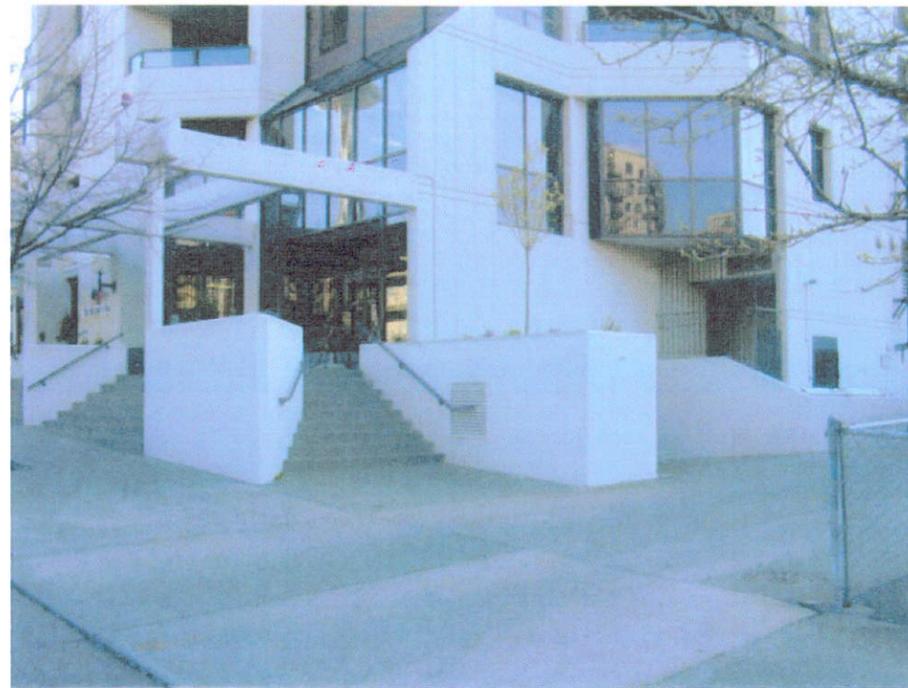
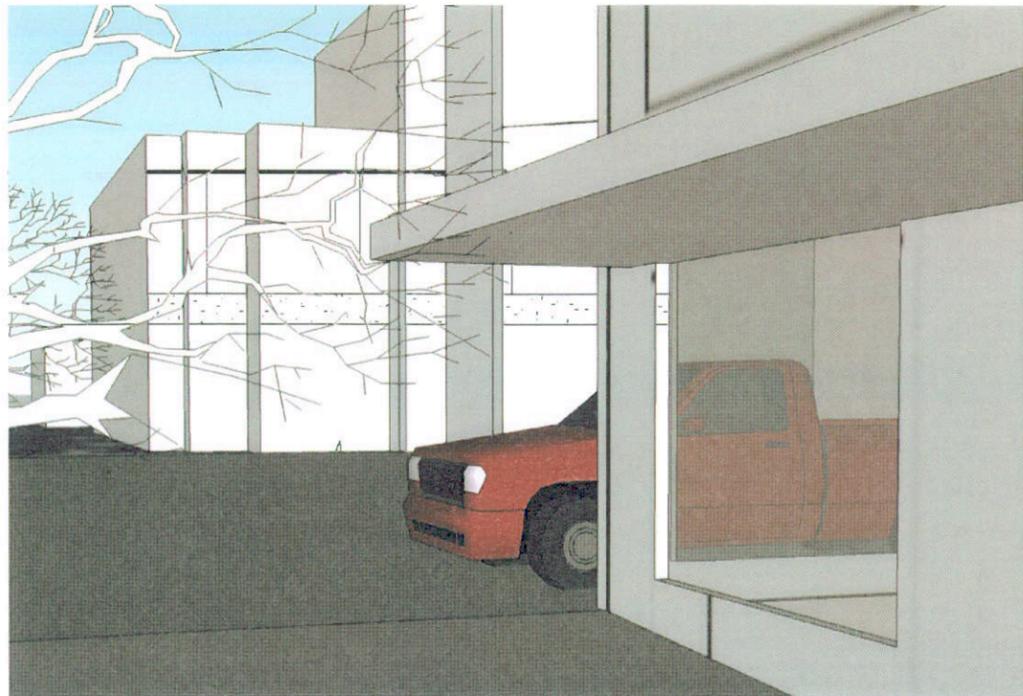
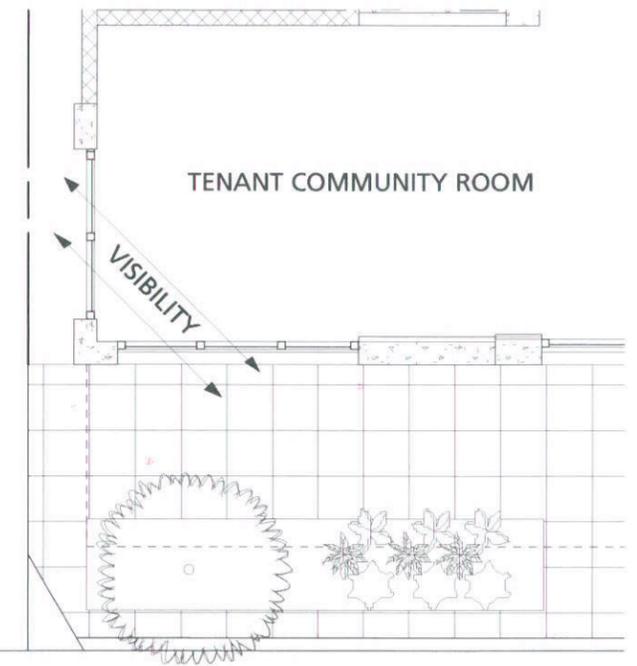
**CREATE A TRANSPARENT CORNER AT THE ALLEY**

AT EDG 1, NEIGHBORS WERE CONCERNED WITH ALLEY VEHICULAR VISIBILITY. THE DRB WAS CONCERNED WITH THE BLANK FACADE PRESENTED AT THE ALLEY. WE UNDERTOOK AN ANALYSIS OF LOCAL CONDITIONS AND LEARNED THAT MOST BUILDINGS IN NORTH BELLTOWN ARE BUILT TO THE 2' DEDICATION LINE. MANY, (#4 + #5) HAVE BAYS ABOVE 26' THAT EXTEND TO THE PROPERTY LINE. WE (#12) HAVE CREATED A TRANSPARENT CORNER AT THE ALLEY. UNLIKE #2 + #11, WHICH ARE MESH, OUR CORNER IS STOREFRONT GLASS.



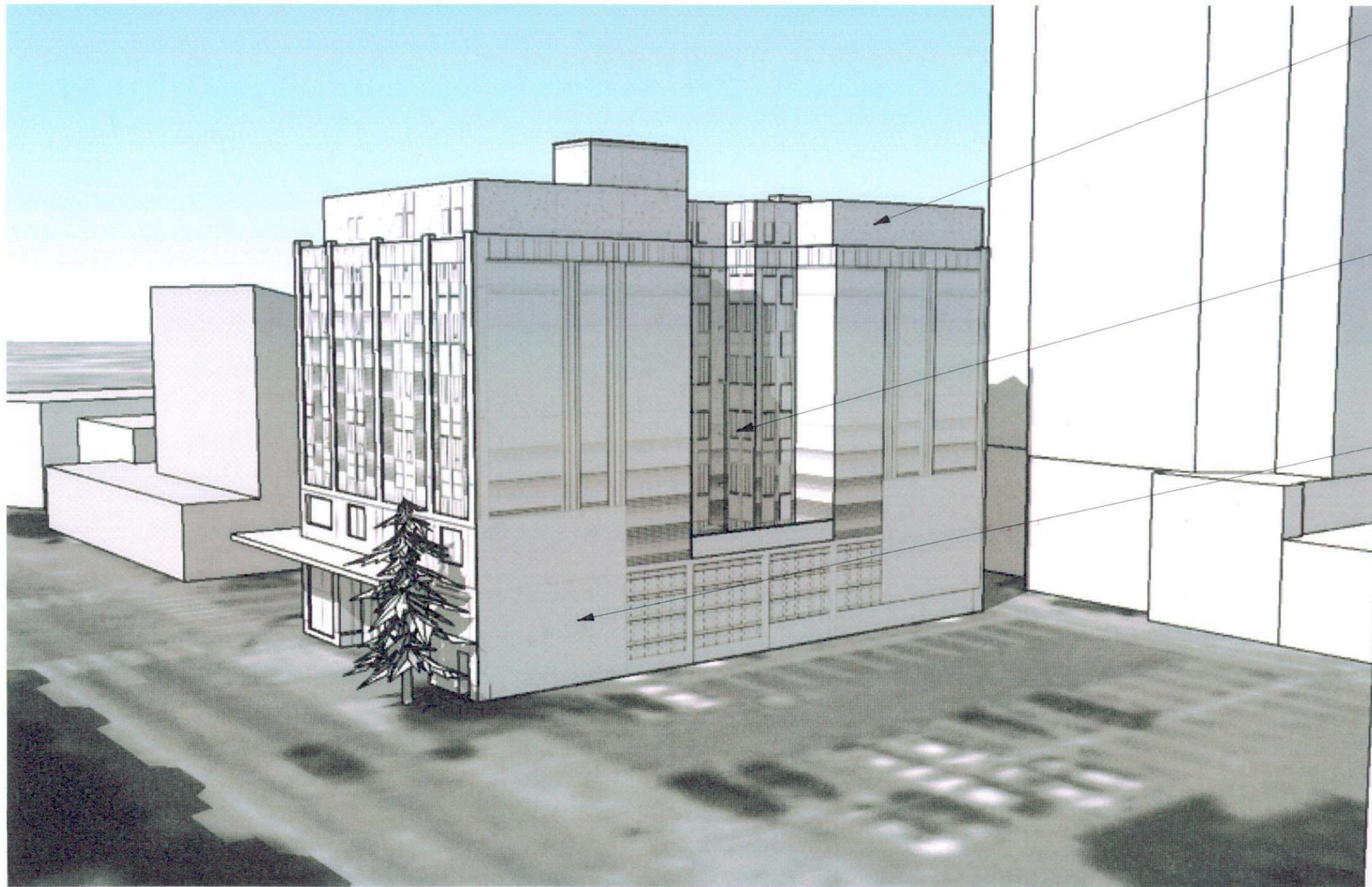


ALLEY



**DEVELOP A TRANSPARENT CORNER AT THE ALLEY**

THIS PROJECT RESPONDS TO OUR IMMEDIATE NEIGHBOR ACROSS THE ALLEY, HARBOR HEIGHTS, AND TO ITS OWNERS' CONCERNS, IN SEVERAL WAYS. ON THE FIRST FLOOR, THE LARGE TENANT COMMON ROOM HAS BEEN SITED ON THE ALLEY, TO PROVIDE TRANSPARENCY AT THE ALLEY'S INTERSECTION WITH THE CEDAR STREET SIDEWALK AS WELL AS TO AVOID A BLANK FACADE AT THE ALLEY.



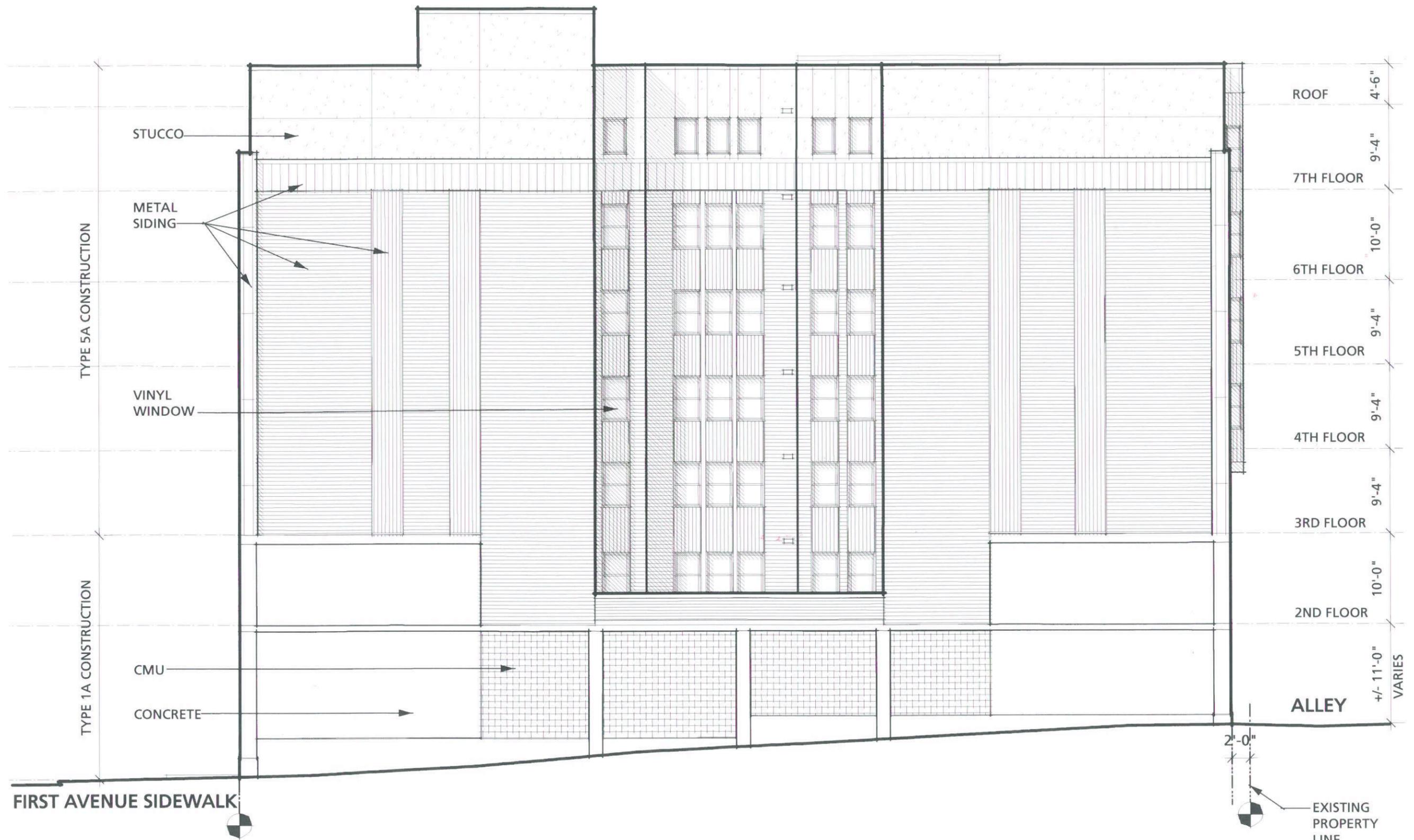
THE SAME MATERIAL CHANGE THAT DEFINES THE GREEN STREET SETBACK ON THE NORTH ELEVATION, DEFINES THE "TOP" OF THE BUILDING AT THIS SOUTH ELEVATION. ARCHITECTURAL METAL WRAPS AROUND THE CORNERS TO THE SOUTH ON FLOORS 2-6, THEN TRANSITIONS TO STUCCO FOR THE SEVENTH FLOOR.

THREE UNITS ON EACH RESIDENTIAL FLOOR LOOK ONTO THE LIGHT COURT. EACH UNIT HAS THREE WINDOWS, INSTEAD OF THE TYPICAL TWO IN ORDER TO MAXIMIZE LIGHT WHEN THE PARKING LOT OWNER DEVELOPS HIS SITE. THE COURT IS 19' DEEP AT ITS DEEPEST.

CAST-IN-PLACE CONCRETE ANCHORS THE FIRST TWO FLOORS AT THE ALLEY EDGE AND THE FIRST AVENUE EDGE. CMU PROVIDES INFILL DIRECTLY UNDER THE FLOOR OF THE LIGHT COURT AT THE SECOND LEVEL.

**DEVELOP A PLEASING SOUTH ELEVATION**

THE SURFACE PARKING LOT ABUTTING TO THE SOUTH IS NOT SLATED FOR DEVELOPMENT AT THIS TIME: THE OWNER WAS NOT INTERESTED IN SELLING THE LOT AT THE TIME OUR LOT WAS ON THE MARKET. WE HAVE DEVELOPED THE SOUTH ELEVATION OF THE PROJECT ASSUMING IT WILL BE VISIBLE FROM FIRST AVENUE FOR SOME TIME. THE MASSING IS BROKEN AT THE CENTER WITH A LIGHT COURT FOR 18 UNITS. WHILE FUTURE DEVELOPMENT PRECLUDES WINDOWS ON THE PROPERTY LINE, THE FACADE EMPLOYS MATERIALS CONSISTENT WITH THE REST OF THE BUILDING.

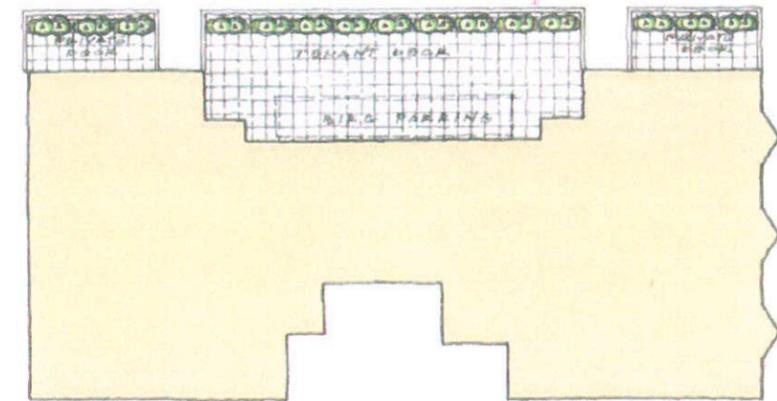
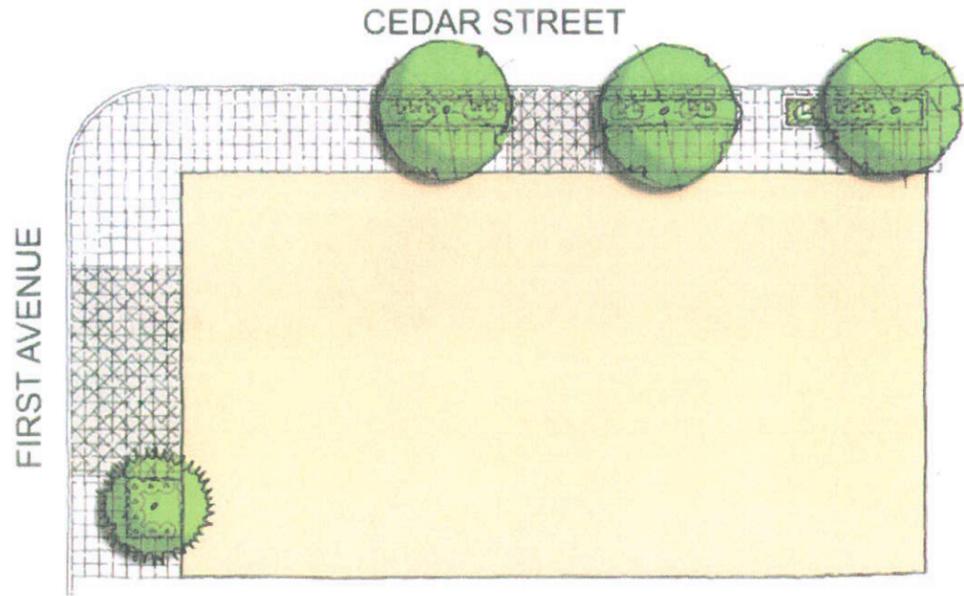


ON CEDAR STREET, WE ARE PROPOSING GREEN STREET LANDSCAPING IN FRONT OF THE RESIDENTIAL ENTRY. WE WILL USE THE EXISTING CEDAR TREE TO CREATE "WAITING BENCHES" IN FRONT OF THE MANAGERS' OFFICES.

**DEVELOP THE TERRACE AND GROUND LANDSCAPE**

THE SEVENTH FLOOR DECKS (WHICH ARE APPROXIMATELY 1/3 OF THE BUILDING FOOTPRINT) WILL BE LANDSCAPED BEAUTIFULLY AND EXTENSIVELY. THESE DECKS ARE A RESULT OF THE GREEN STREET SETBACK REQUIREMENT AND WITH THAT IN MIND, WE HAVE PLANNED FOR LUSH, LOW-MAINTENANCE TROUGHS OF PLANTS OF VARYING HEIGHTS. SIMILAR TROUGHS HAVE BEEN USED ON OTHER PLYMOUTH PROJECTS WITH GREAT SUCCESS.

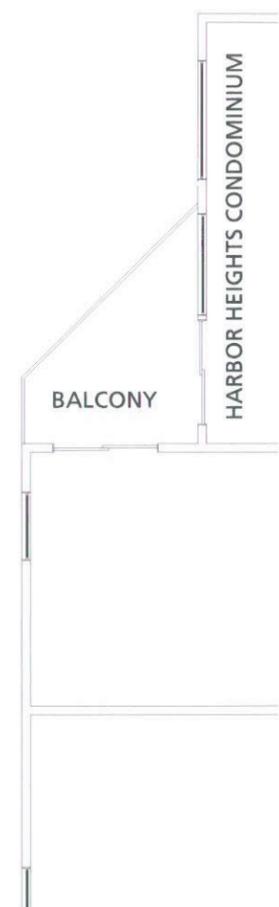
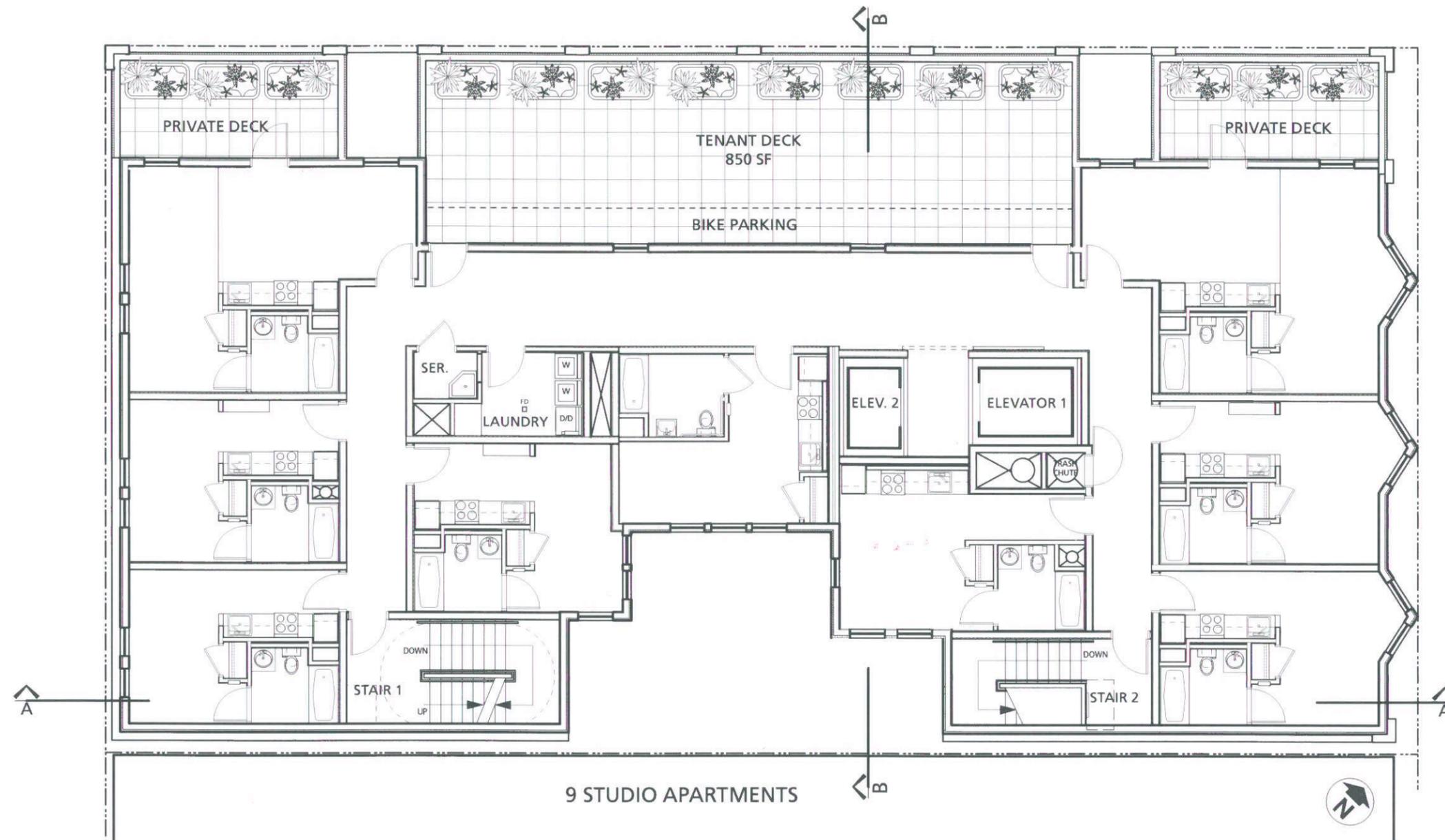
THE FIRST AVENUE ARBORETEUM WILL CONTINUE WITH A REPLACEMENT CEDAR TREE ON FIRST, IN ADDITION TO RELOCATED STONE ART BENCHES. WE HAVE WORKED CLOSELY WITH THE ARTISTS BUSTER SIMPSON AND JACK MACKIE TO FOLLOW THE ORIGINAL CONCEPT FOR THIS AREA.

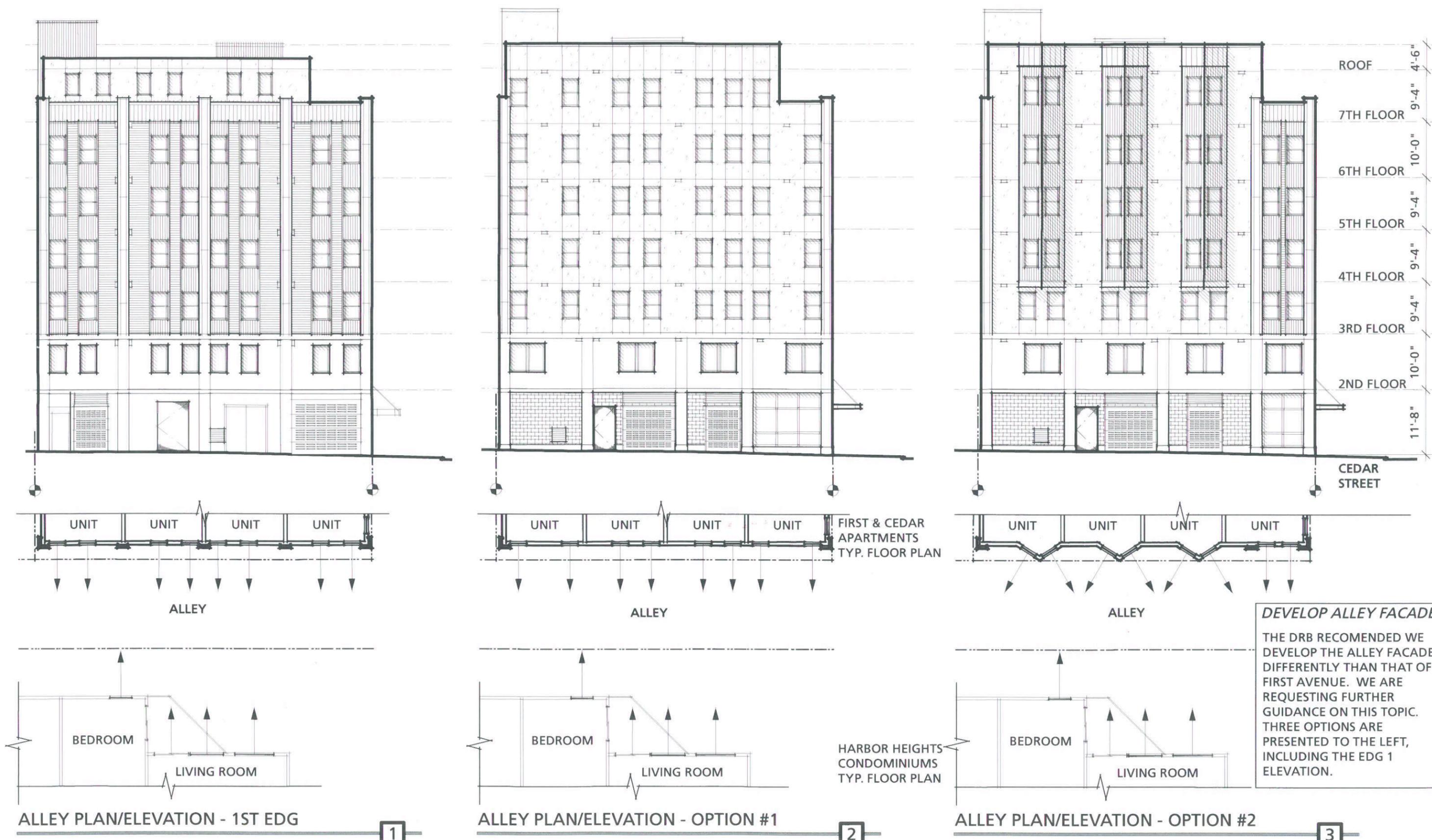


**STREET LEVEL LANDSCAPE PLAN 1" 10'**

**LEVEL SEVEN LANDSCAPE PLAN 1" 10'**











CEDAR STREET ELEVATION

2



FIRST AVENUE ELEVATION

1



SOUTH ELEVATION

4



ALLEY ELEVATION

3



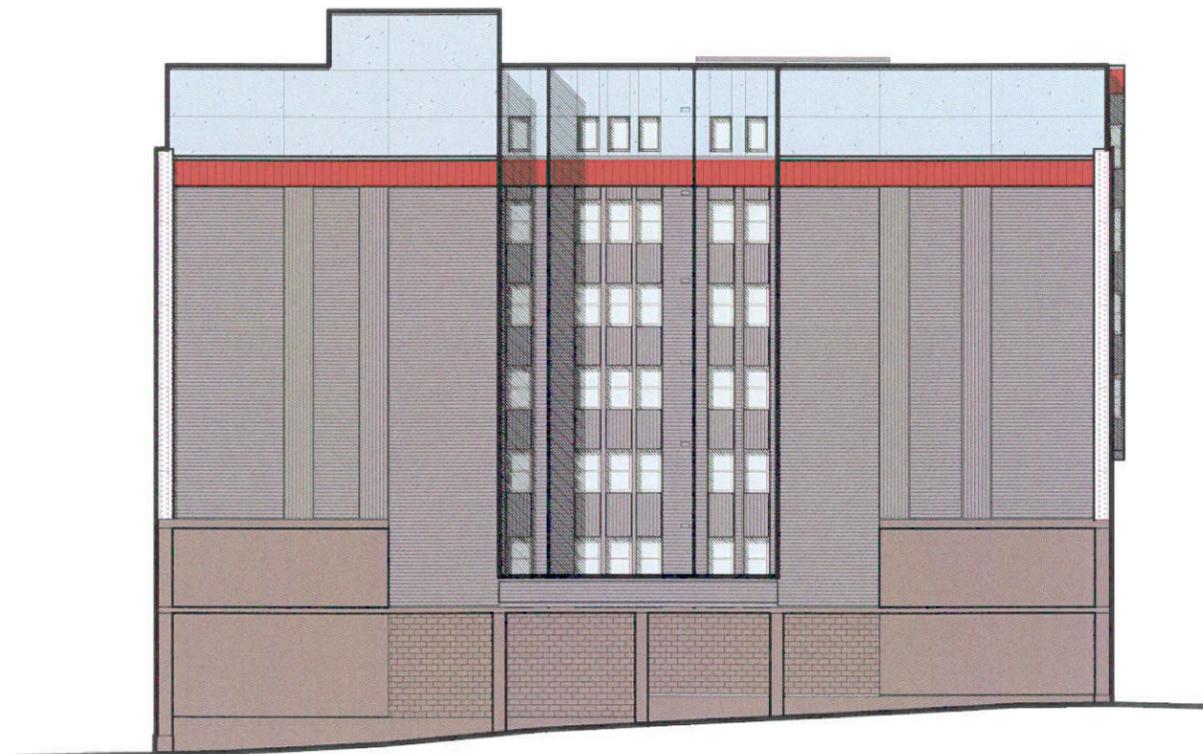
CEDAR STREET ELEVATION

2



FIRST AVENUE ELEVATION

1



SOUTH ELEVATION

4



ALLEY ELEVATION

3



CEDAR STREET ELEVATION

2



FIRST AVENUE ELEVATION

1



SOUTH ELEVATION

4



ALLEY ELEVATION

3

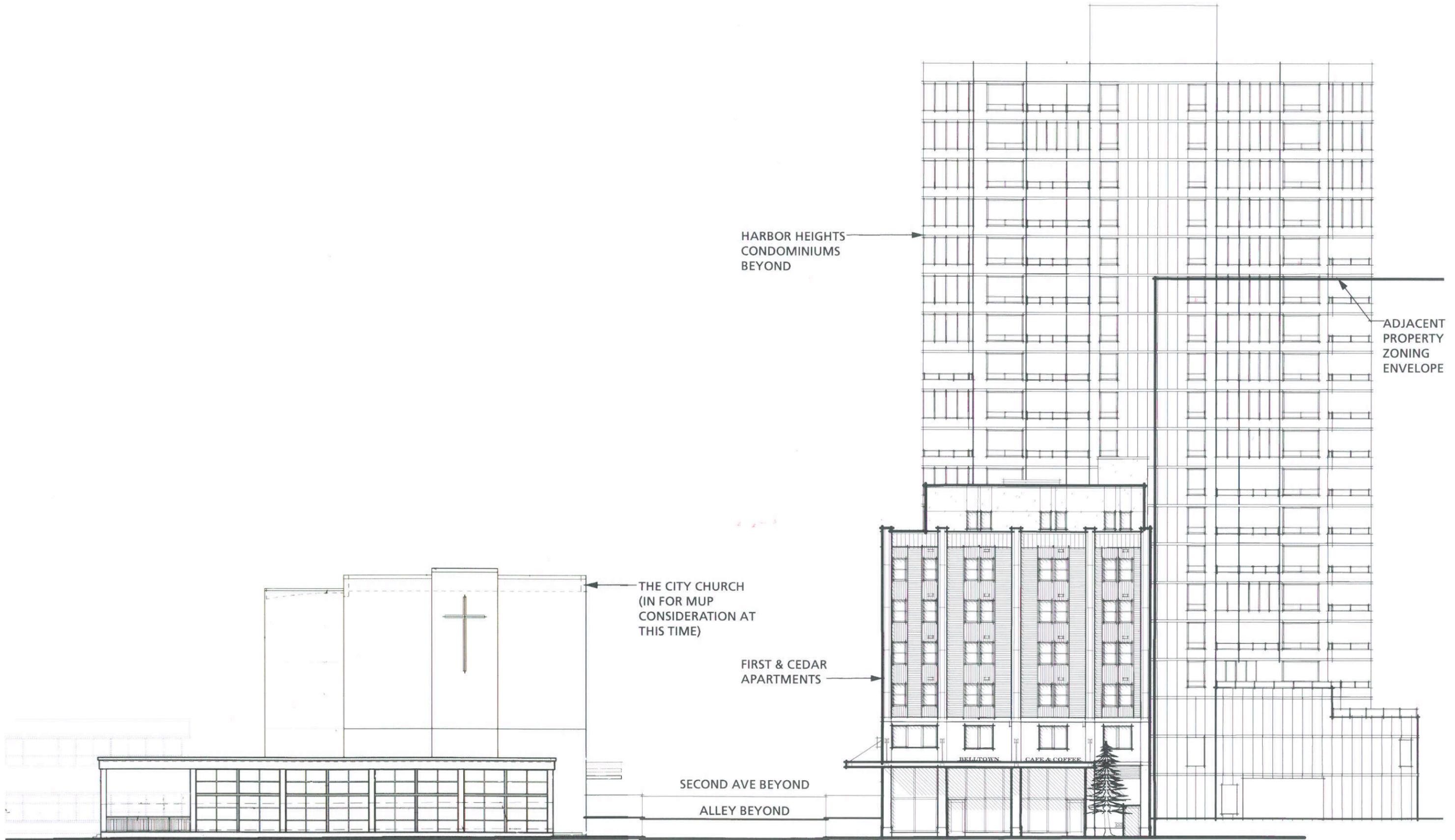


**FIRST & CEDAR APARTMENTS**  
*Studio apartments for currently homeless individuals*

COLOR OPTION #3

**B05**

Early Design Guidance  
 April 8, 2008



HARBOR HEIGHTS  
CONDOMINIUMS  
BEYOND

ADJACENT  
PROPERTY  
ZONING  
ENVELOPE

THE CITY CHURCH  
(IN FOR MUP  
CONSIDERATION AT  
THIS TIME)

FIRST & CEDAR  
APARTMENTS

SECOND AVE BEYOND

ALLEY BEYOND

CEDAR STREET

BELLTOWN CAFE & COFFEE



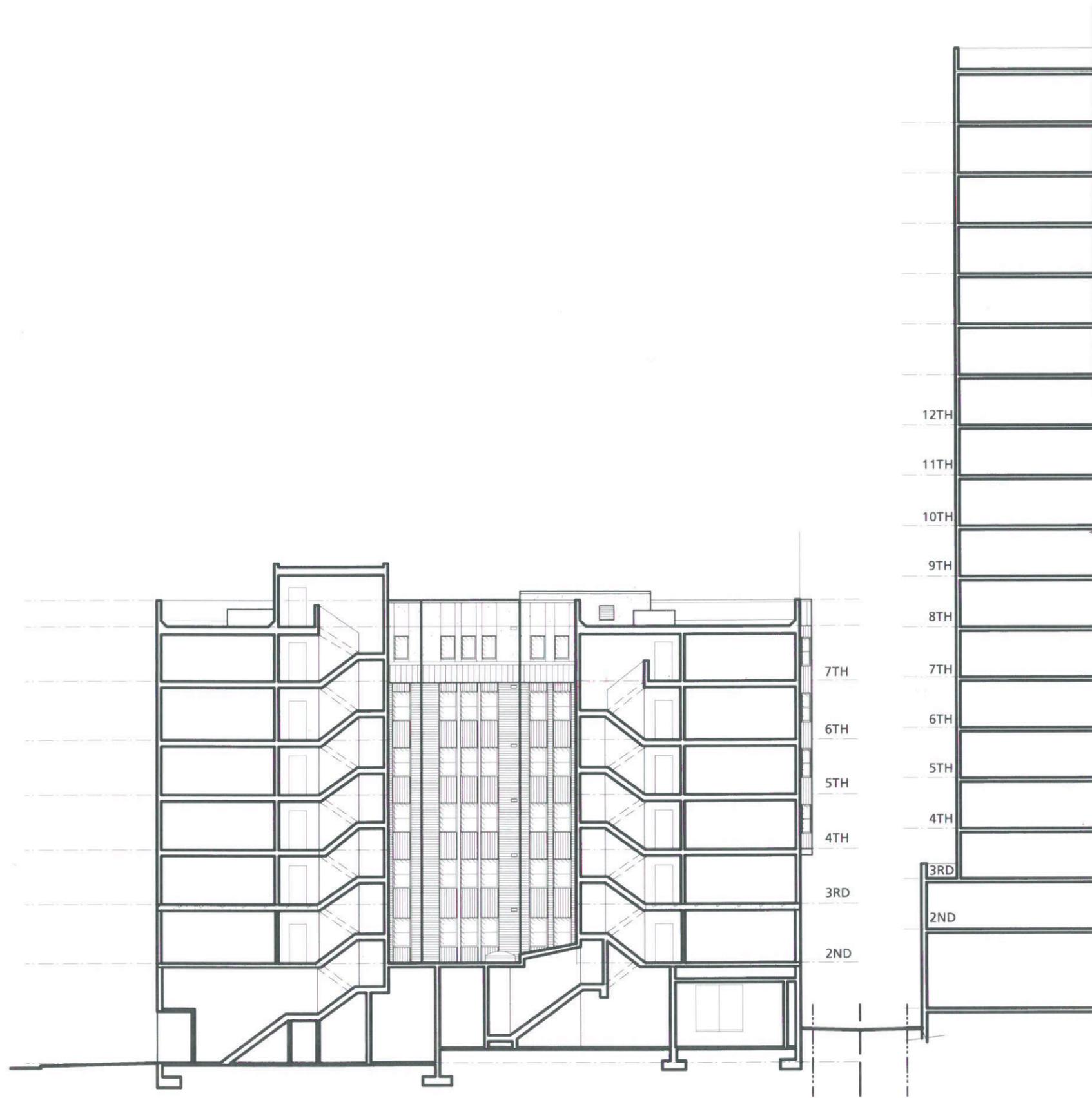
**FIRST & CEDAR APARTMENTS**  
*Studio apartments for currently homeless individuals*

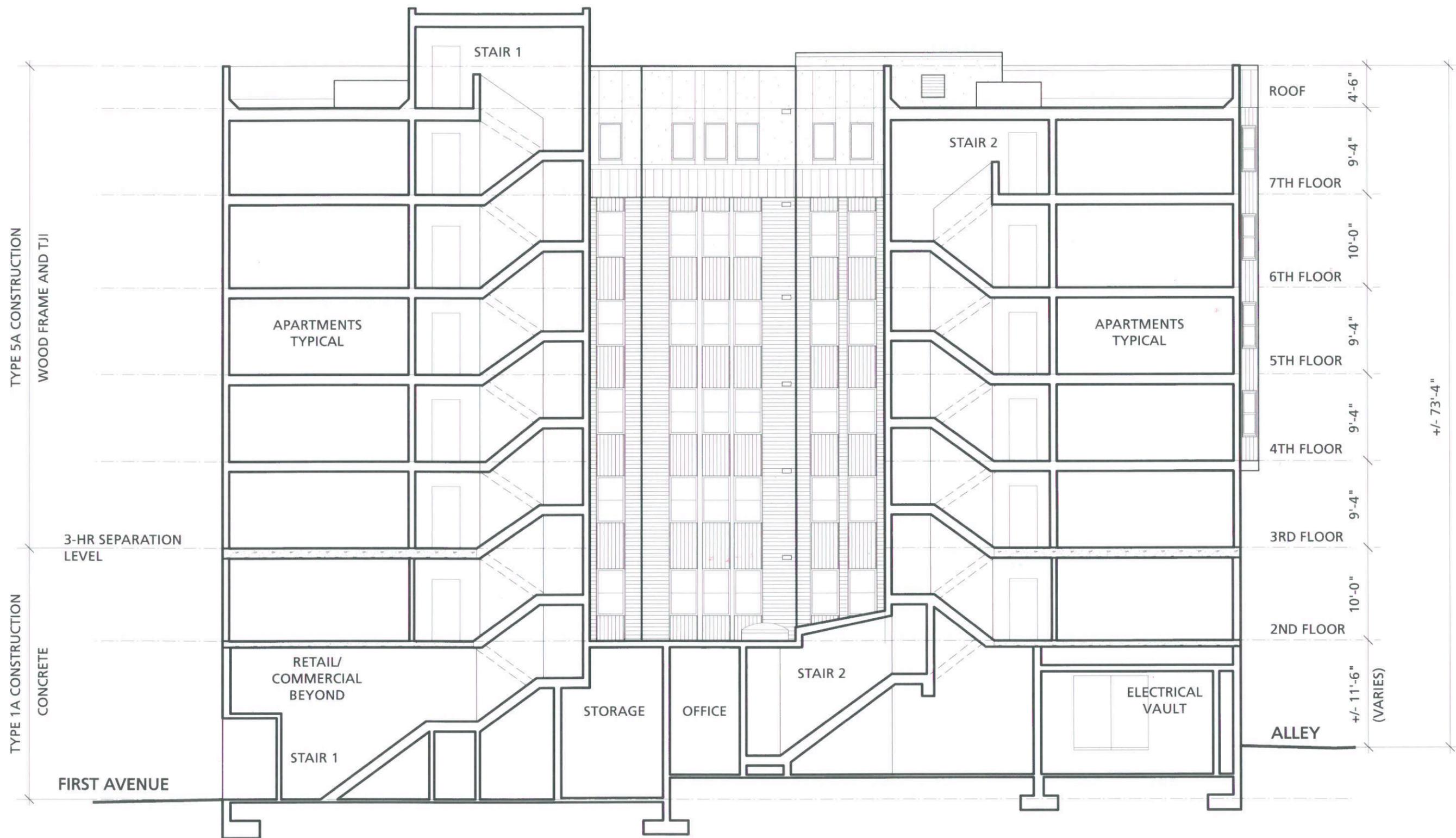
FIRST AVENUE ELEVATION

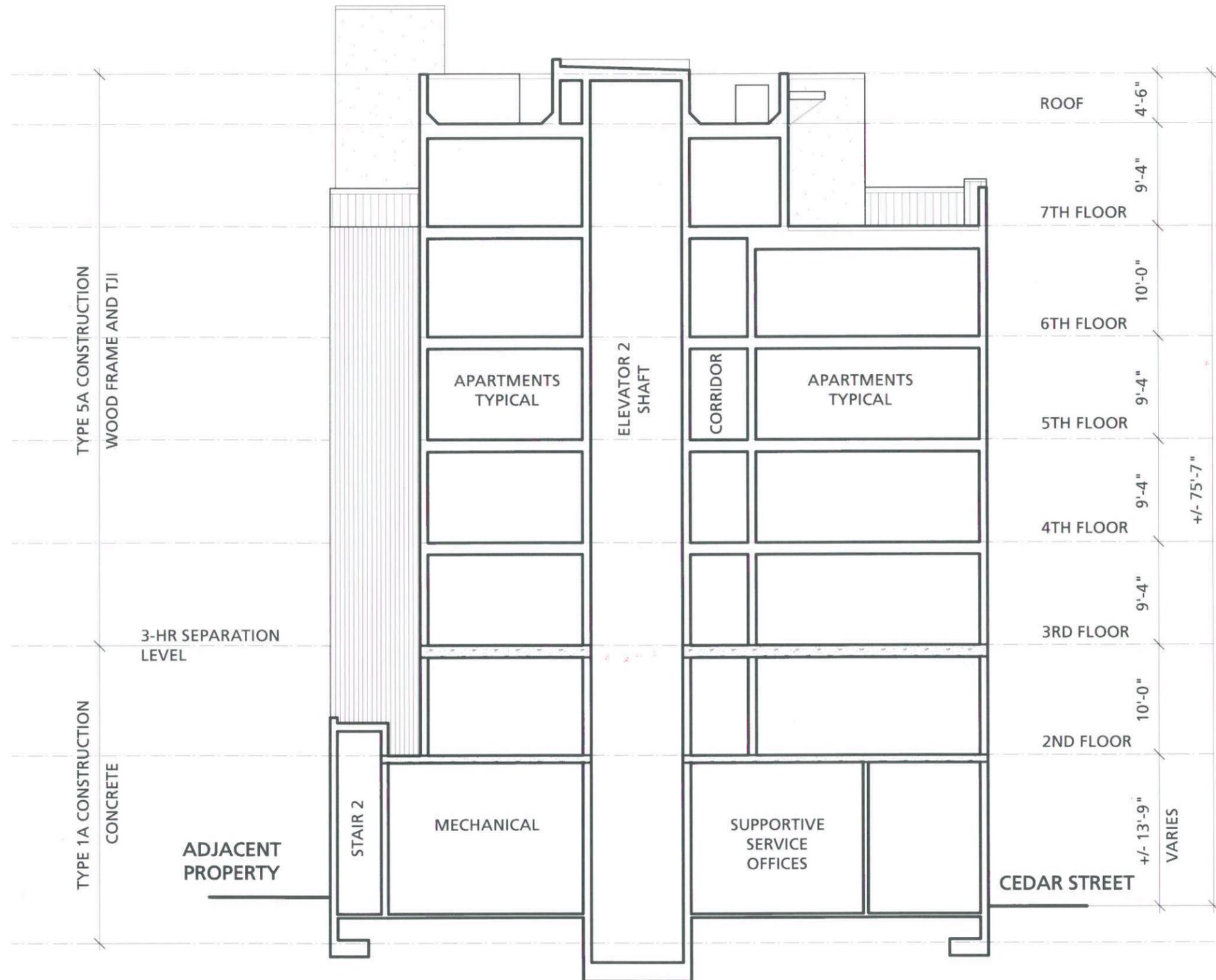
**C01**

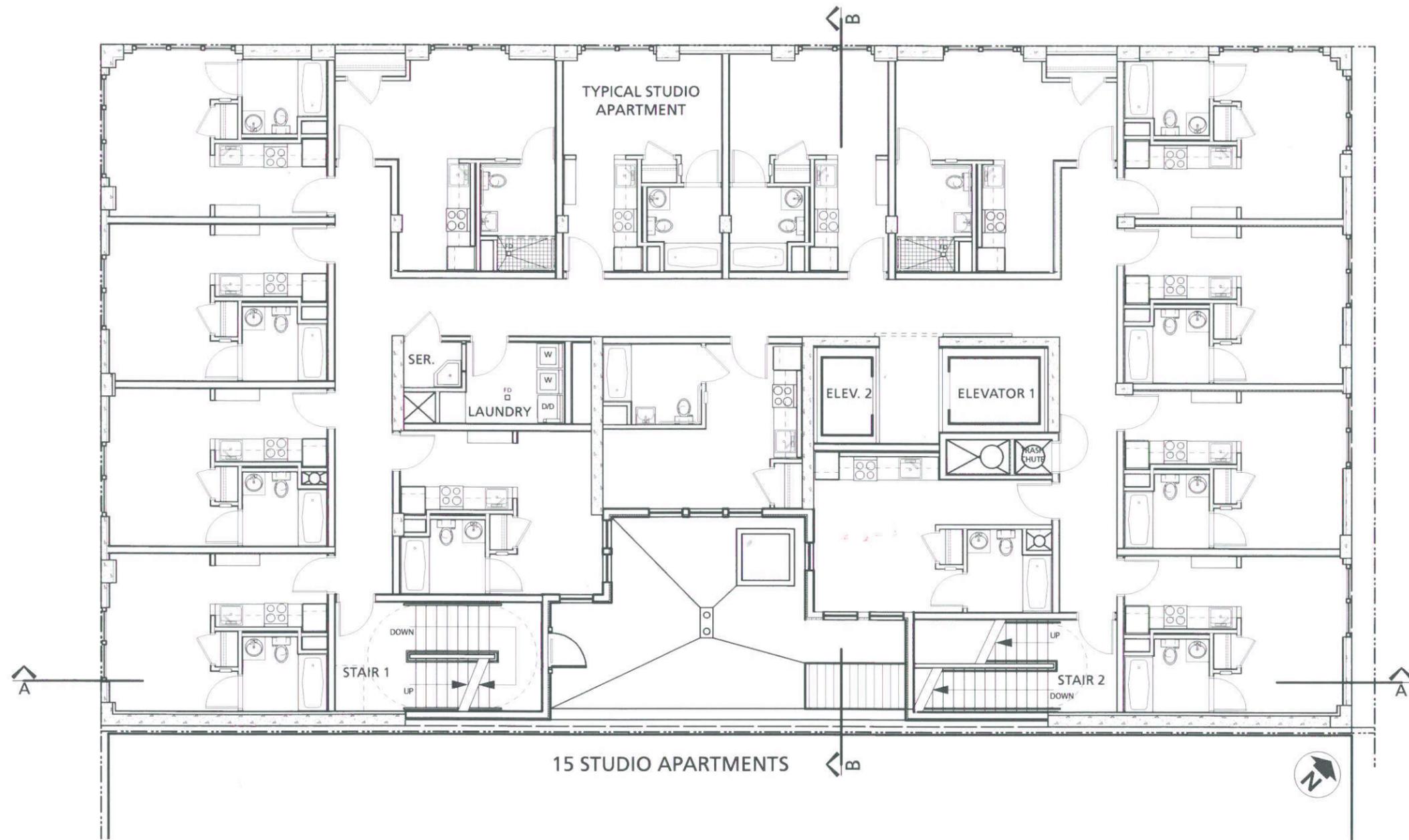
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1" = 20'-0"

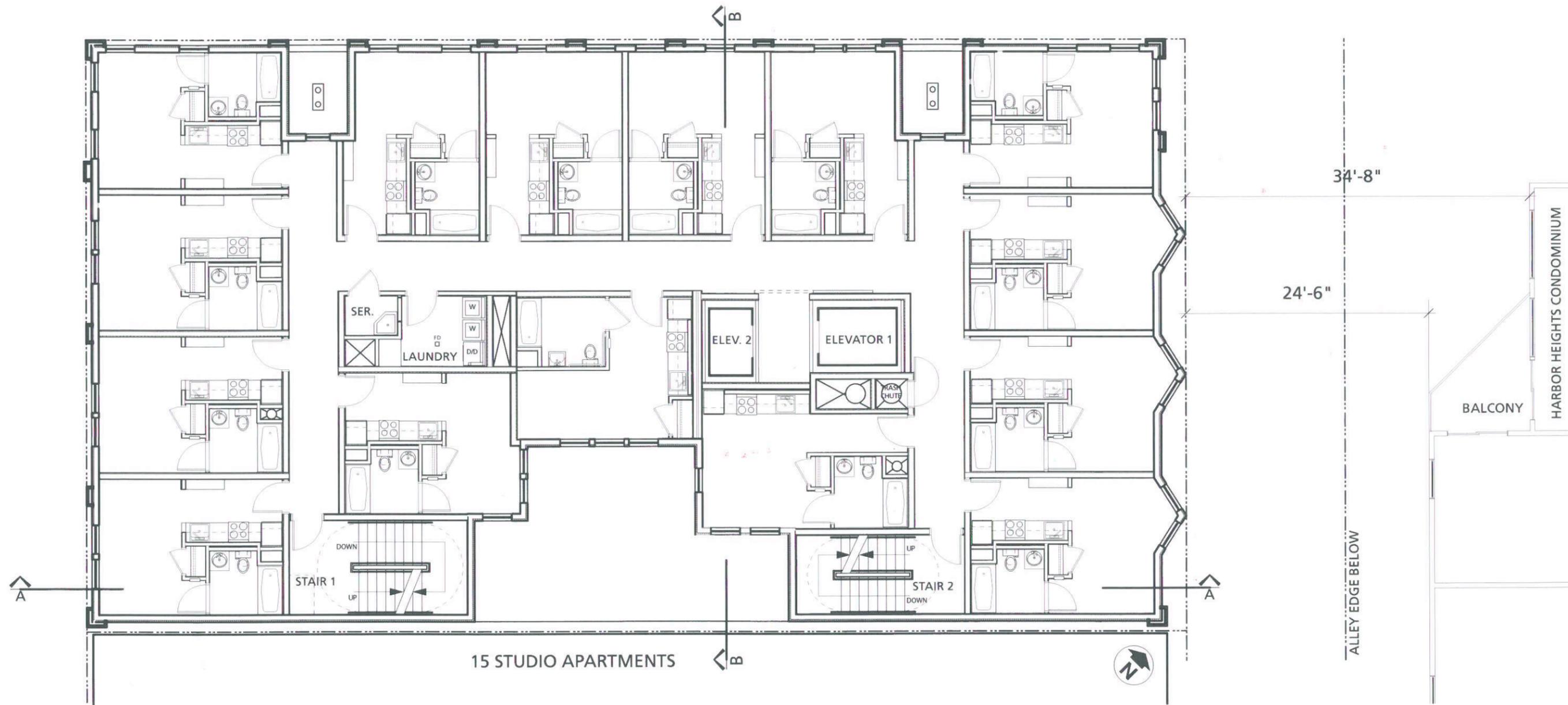








HARBOR HEIGHTS CONDOMINIUM



**SMC 23.49.158 DMR coverage and floor size limits**

For sites 0-19,000 SF

Coverage at height 0 – 65 ft = 100%

Coverage at height 66 -- 85 ft = 75%

**SMC 23.49.162A Minimum Facade Height**

First Avenue is located on a "Property Line Facade" street per Map 1H; 35' high facade required.

Cedar Street is a Green Street: 25' facade is required.

**SMC 23.49.162B Facade Setback Limits**

1. First Avenue is located on a "Property Line Facade" street per Map 1H.
  - b2. Between the elevations of fifteen (15) and thirty-five (35) feet above sidewalk grade, the facade shall be located within two (2) feet of the street property line.
  - c. The maximum setback of the facade from the street property line at intersections is ten (10) feet. The minimum distance the facade must conform to under this limit is twenty (20) feet along each street.

**SMC 23.49.162C Facade Transparency Requirements**

1. Facade transparency requirements apply to the area of the facade between two (2) feet and eight (8) feet above the sidewalk.
2. Facade transparency requirements do not apply to portions of structures in residential use.
3. When the transparency requirements of this subsection are inconsistent with the glazing limits in the Energy Code, this subsection applies.
4. Transparency requirements are as follows:
  - a. Class I pedestrian streets: A minimum of sixty (60) percent of the street-level facade shall be transparent.
  - b. Class II pedestrian streets and designated green streets: A minimum of thirty (30) percent of the street-level facade shall be transparent.

**SMC 23.49.162D Blank Facade Limits**

- 1a. Blank facade limits apply to the area of the facade between 2 and 8 feet above the sidewalk.
  - b. Any portion of a facade that is not transparent is considered to be a blank facade.
  - c. Blank facade limits do not apply to portions of structures in residential use.
2. Blank Facade Limits for Class I Pedestrian Streets (First Avenue)
  - a. Blank facades shall be limited to segments fifteen (15) feet wide
  - b. Any blank segments of the facade shall be separated by transparent areas at least two (2) feet wide.
  - c. The total of all blank facade segments, including garage doors, shall not exceed forty (40) percent of the street facade of the structure on each street frontage
3. Blank Facade Limits for Designated Green Streets. (Cedar Street)
  - a. Blank facades shall be limited to segments thirty (30) feet wide,
  - b. Any blank segments of the facade shall be separated by transparent areas at least two (2) feet wide.

**SMC 23.49.162F Landscaping Requirements**

1. Street Tree Requirements. Street trees shall be required on all streets abutting a lot.
2. The square feet of landscaped area provided shall be at least one and one-half (1 1/2) times the length of the street property line.
  - a. The landscaped area shall be at least eighteen (18) inches wide.
  - c. All or a portion of the required landscaped area may be provided in the sidewalk within five (5) feet of the curb line.
  - d. Landscaping provided within five (5) feet of the curb line shall be located and designed in relation to the required street tree planting and take into consideration use of the curb lane for parking and loading.
  - e. A minimum unobstructed sidewalk width of five (5) feet on east/west streets and eight (8) feet on avenues shall be provided.
  - f. All plant material shall be planted directly in the ground. A minimum of fifty (50) percent of the plant material shall be perennial.

**SMC 23.49.166 DMR side setback and green street setback**

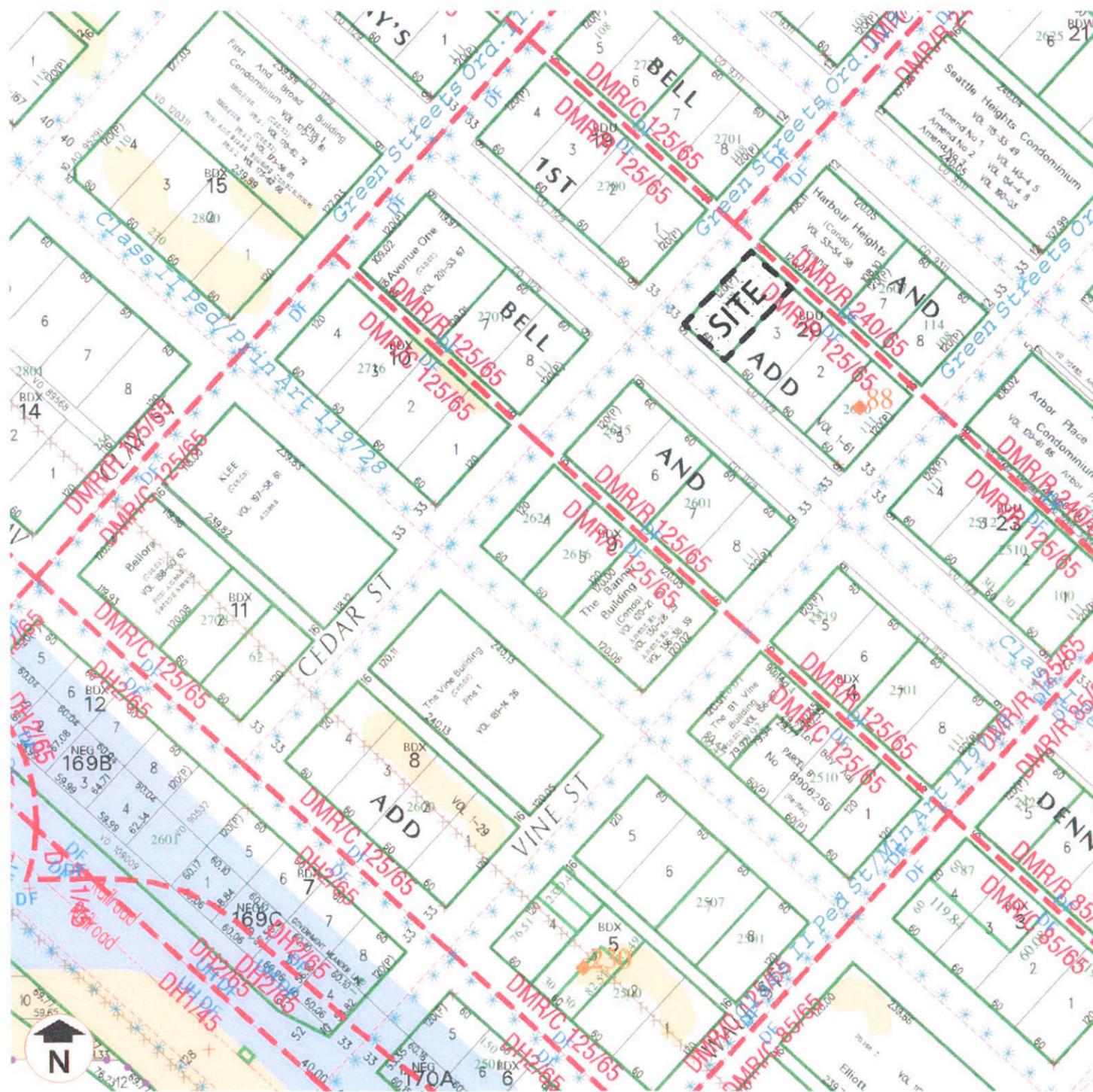
- A. 60' Frontage on First Avenue, so no required side setback.
- B. Green Street Setbacks on Cedar: 65' to 85' elevation = 10' setback.



ZONING ENVELOPE



PROPOSED ENVELOPE



ZONING MAP

**RELEVANT ZONING INFORMATION FOR DMR/R 125/65**

*SMC 23.49.009 Street-level use requirements*  
Per map 1G, street-level use is required on First Avenue.

*SMC 23.49.008 Structure height*  
A3. 125' height limit because of residential use.  
D. Rooftop Features.  
2. a.2, Stair penthouses: 15'  
b. Elevator penthouse: 23'

*SMC 23.49.010 General requirements for residential uses*  
B. Common Recreation Area.  
1. An area equivalent to five (5) percent of the total gross floor area in residential use...shall be provided as common recreation area. The common recreation area shall be available to all residents and may be provided at or above ground level.  
2. A maximum of fifty (50) percent of the common recreation area may be enclosed.  
3. The minimum horizontal dimension for required common recreation areas shall be fifteen (15) feet. No required common recreation area shall be less than two hundred twenty-five (225) square feet.

*SMC 23.49.011 Floor area ratio*  
A. Downtown Mixed Residential/Residential: FAR 2 in 125'/65' height district  
*Proposed FAR < 1*

*SMC 23.49.018 Overhead Weather Protection and Lighting.*  
A. Continuous overhead weather protection shall be required for new development along the entire street frontage of a lot.  
B. Overhead weather protection shall have a minimum dimension of eight (8) feet measured horizontally from the building wall or must extend to a line two (2) feet from the curb line, whichever is less.

*SMC 23.49.019 Parking*  
A. No (car) parking is required.  
E1. Bicycle Parking: 2 bicycle spaces per dwelling unit  
2. Required bicycle parking shall be provided in a safe, accessible and convenient location. When any covered automobile parking is provided, all required long-term bicycle parking shall be covered.  
4. Bicycle parking for residential uses shall be located on-site.

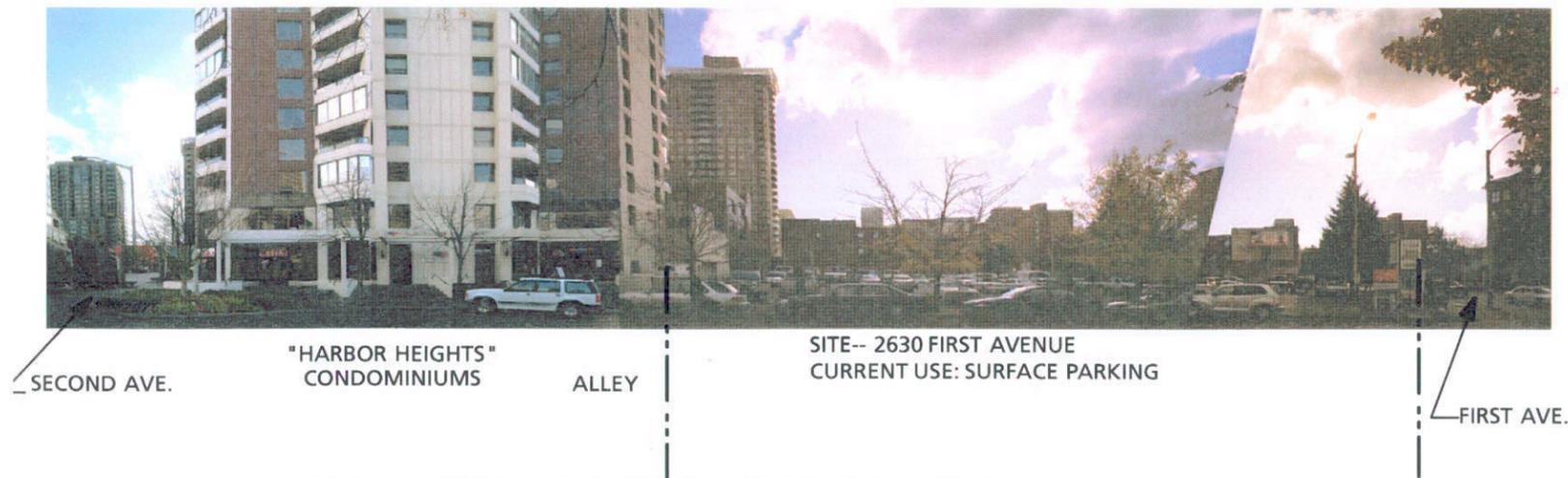
*SMC 23.49.022 Minimum sidewalk and alley width.*  
A. Minimum sidewalk widths are established for certain streets by Map 1C.1 When a new structure is proposed on lots abutting these streets, sidewalks shall be widened, if necessary, to meet the minimum standard. The sidewalk may be widened into the right-of-way if approved by the Director of Transportation. First Avenue's minimum sidewalk width is 15'. Cedar Street's minimum sidewalk width is variable, as it is a Green Street.



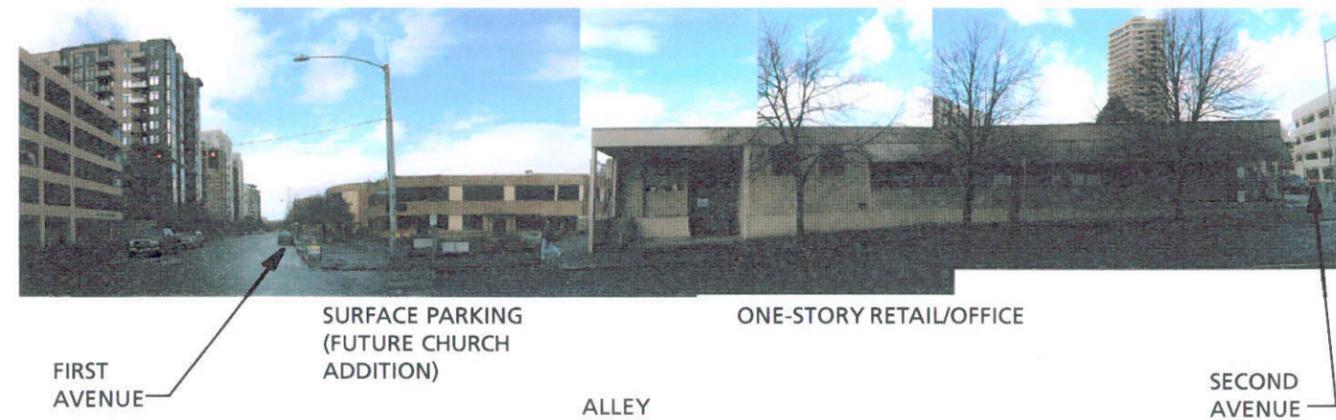
FIRST AVENUE STREETScape (EAST SIDE)



FIRST AVENUE STREETScape (WEST SIDE)



CEDAR STREET STREETScape (SOUTH SIDE)



CEDAR STREET STREETScape (NORTH SIDE)



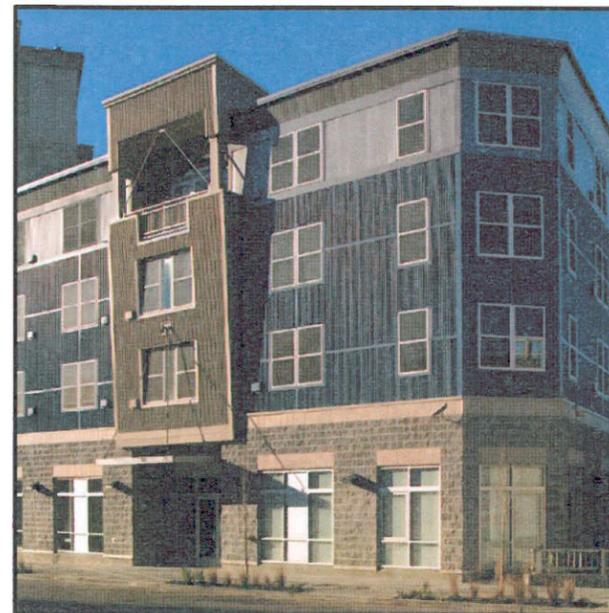
### PLYMOUTH PLACE

Plymouth Housing Group  
Completed: 2003  
73 affordable studio apartments for  
formerly homeless individuals  
Restaurant and retail on first floor



### LANGDON & ANNE SIMONS SENIOR APARTMENTS

Plymouth Housing Group  
Under Construction  
95 affordable studio apartments for  
formerly homeless seniors and veterans  
Restaurant and Plymouth Housing Group  
offices on first floor



### 1811 EASTLAKE

Downtown Emergency Services Center  
Completed: 2006  
49 affordable studio apartments for  
formerly homeless individuals  
Shelter space and social services on first floor



### OPPORTUNITY PLACE

YWCA  
Completed: 2003  
145 affordable studio and one-bedroom  
apartments for formerly homeless women.  
Retail and social services on first floor.

### SMR ARCHITECTS

911 Western #200  
Seattle, WA 98112  
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### FIRST & CEDAR APARTMENTS

*Studio apartments for currently homeless individuals*

### RELEVANT SMR PROJECTS

C10

Early Design Guidance  
April 8, 2008