

# SITE ANALYSIS



# PROJECT #1

**SITE AREA:** 50,880 s.f.  
**SITE CAPACITY (FAR):** 152,640 s.f.  
**PARKING:** 1.4/1,000 RSF = 227 vehicles (7 accessible stalls - 2 ADA van)  
**SERVICE DOCK REQUIREMENTS:** 2 required

# LAND USE SUMMARY

**ZONING**  
 Zone: IC-65 – Permitted use – office (no maximum s.f.), sales and services (75,000 s.f. maximum)

**MAXIMUM HEIGHT**  
 65 feet: May be increased to 85 feet if: 2 floors are at least 14 feet floor to floor, the extra height is used to accommodate mechanical equipment, and the building is not over 6 stories.

**FAR** 3

**STREET CLASSIFICATION**  
 Mercer Street: Arterial  
 Republican Street: Minor arterial  
 Boren Avenue North: Non-arterial

**STREET TREES**  
 Republican Street and Boren Avenue North: Street trees are required in 5 foot wide planting strip along street curb.

**MINIMUM SIDEWALK WIDTH**  
 Republican Street and Boren Avenue North: 6 feet  
 Mercer Street: Existing 6 feet; proposed 10 feet

**FACADE TRANSPARENCY AT STREET**  
 No requirement in IC zone.

**SCREENING AND LANDSCAPING**  
 Blank facades that are between 2 and 8 feet above the sidewalk, 60 feet or greater in length, and are within 20 feet of the street front must be screened with a hedge, trellis or vines achieving a height of 10 feet.

**ROOFTOP FEATURES**  
 May extend 15 feet above the maximum height limit:  
 Unscreened elements: occupy less than 20% of total roof area,  
 Screened elements: occupy less than 65% of total roof area if 10 feet or greater in distance from the roof edge.

**ALLEY IMPROVEMENT**  
 Currently the alley widths are 16 feet. The required width is 20 feet. Each property abutting an alley will increase the width to the centerline of the alley to 10 feet.

**PARKING REQUIREMENTS**  
 City requires: 1/1,000 GSF for office use and 2/1,000 GSF for retail use.  
 Minimum of 35% of spaces striped for large cars.  
 Minimum of 6'9" overhead clearance on at least one floor of garage  
 Accessible stalls per ADA requirements  
 ADA van stalls at a rate of 1 per 6 accessible stalls w/ overhead clearance of 8'-2".

**SERVICE DOCK REQUIREMENTS**  
 Dock requirements: 10 foot wide x 35 feet long x 14 feet vertical clearance.  
 Note: in South Lake Union Hub Urban Village multiple buildings may share a central loading facility and loading berth requirements can be waived or modified by the Director.



RESPONSE TO EARLY DESIGN GUIDANCE PRIORITIES

**A-1 Responding to Site Characteristics** - Both Project #1 and Project #2 have continued to develop in the siting and massing direction identified in the EDG meeting. Project #1 incorporates a massing gesture that defines the building entry and frames the open space created by the building massing of Project #2. In addition, the massing of Project #1 is held back from Republican Street to create an intimate open space or “pocket park” at the south end of the block. The pocket park has been enlarged since the EDG meeting. The adjacent ground floor space has extensive windows and a pair of doors into the park area. Although tenant improvements are not part of the proposal, the use of the adjacent space could include office and/or meeting space, which would help to animate and interact with the park. The landscape palette of the park provides texture and color and is extended east up Repbulcan Street to the bermed end condition in the alley.

**A-2 Streetscape Compatibility** - Project #1 has been sited to respond directly to the character of each street frontage. The building has been located on the assumed north property line to reinforce the proposed Mercer Street design. The building alignment along Boren Avenue further reinforces the urban character of this street.

**A-3 Entrance Visible from the Street** - The building entry is oriented towards Boren Avenue, creating visibility from the street and from the open space in Project #2. Other ground level entries supporting retail and office use have been located on Mercer Street, Boren Avenue and the pocket park.

**A-4 Human Activity** - As described above, building entries, retail entries, ground level building articulation and the pocket park are designed to encourage pedestrian interaction at the street.

**B-1 Height, Bulk & Scale Compatibility** - The building design uses architectural massing to break down the perceived bulk and scale of the building. The building steps in and out along its east and west facades to provide articulation and a heirarchy of scale. The top level (5th floor) is a partial floor that is selectively held back from the perimeter of the floors below in order to reduce the perceived height and scale.

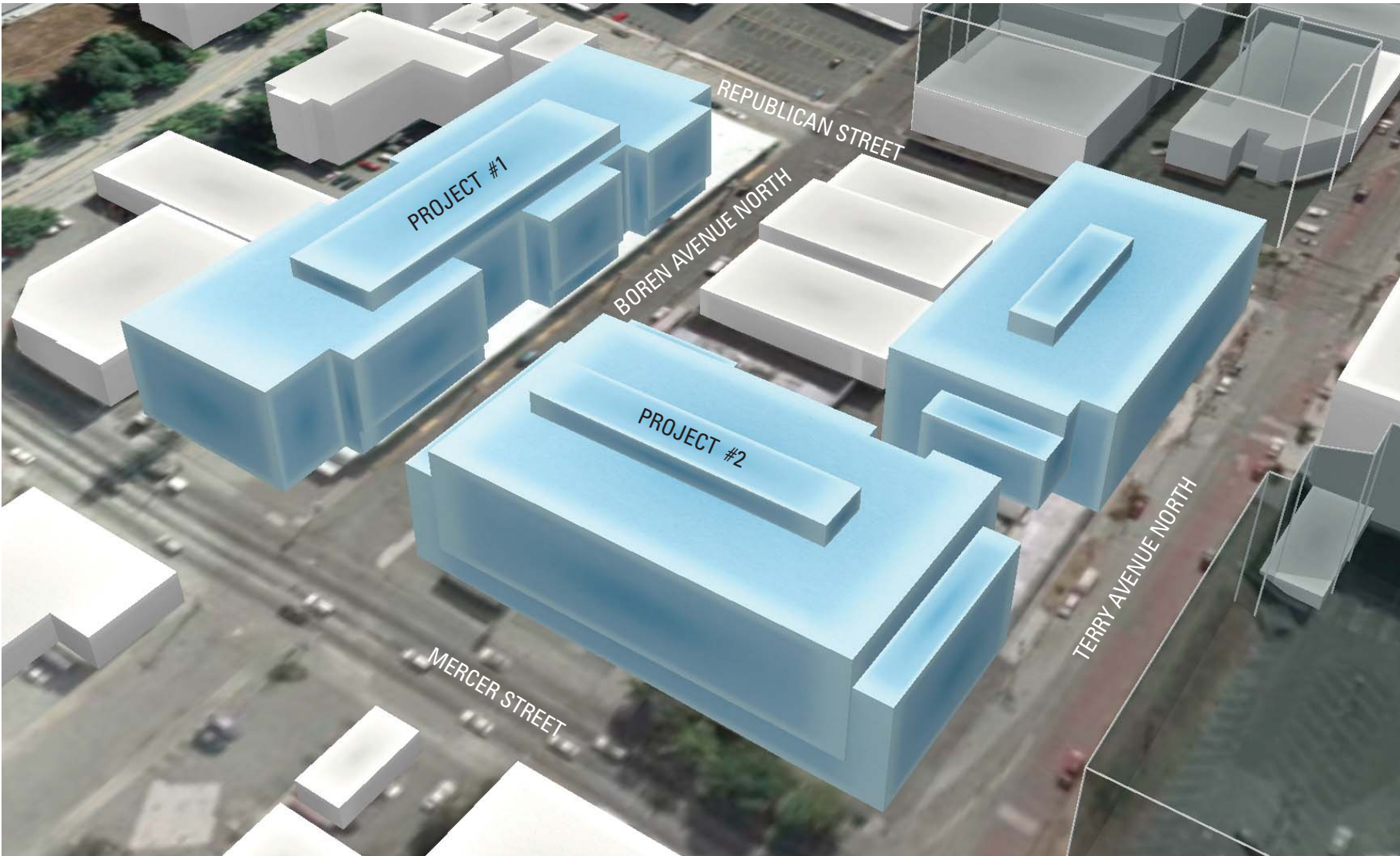
**C-1 Architectural Context** - The architectural character of Project #1 is unique from that of Project #2. The massing, materials, panel modules, window pattern, use of curtain walls, and relationships to open spaces in Project #1 are all different from that of Project #2.

**C-2 Architectural Concept & Consistency** - As noted in C-1, differentiation between buildings is proposed.

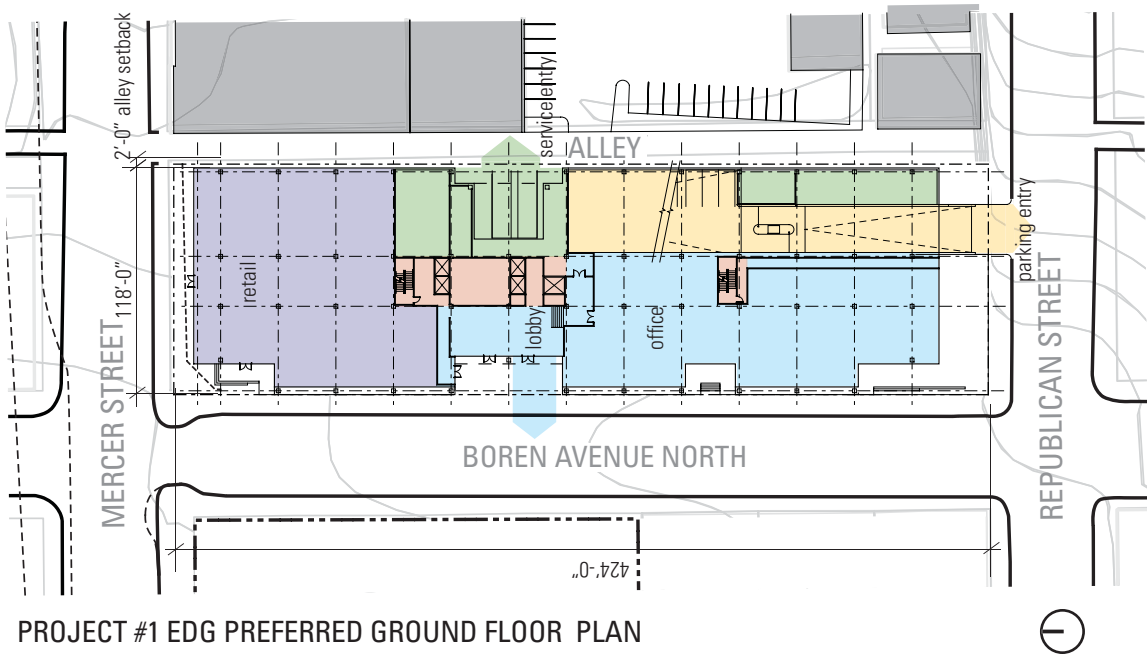
**C-3 Human Scale** - Human scale is addressed through landscape measures at the sidewalks and pocket park and a shift from the more solid upper floor facades to a more transparent enclosure at the ground floor. The sidewalks along Mercer and half of Boren will be animated by retail activity. The project includes two different conditions where pedestrians will be present (at the sidewalks). The south part of the ground floor is office function and a low base has been developed along Boren Avenue to create a physical separation between the sidewalk and the offices, without creating a visual separation. The north part of the ground floor is lobby and retail, where a transparent window wall encourages both visual and physical connection.

**D-1 Pedestrian Open Spaces & Entrances** - As noted in A-1, the pocket park at the south end of the site is readily accessible from the building interior. The main entrance to the building is strategically located to face the public courtyard in Project #2.

**D-7 Personal Safety & Security** - Passive security, including balance in the landscaping of the open space between plantings and clear sightlines is a goal of the design. Physical and visual access from the adjacent public sidewalks into the pocket park encourages public use, which will heighten security.

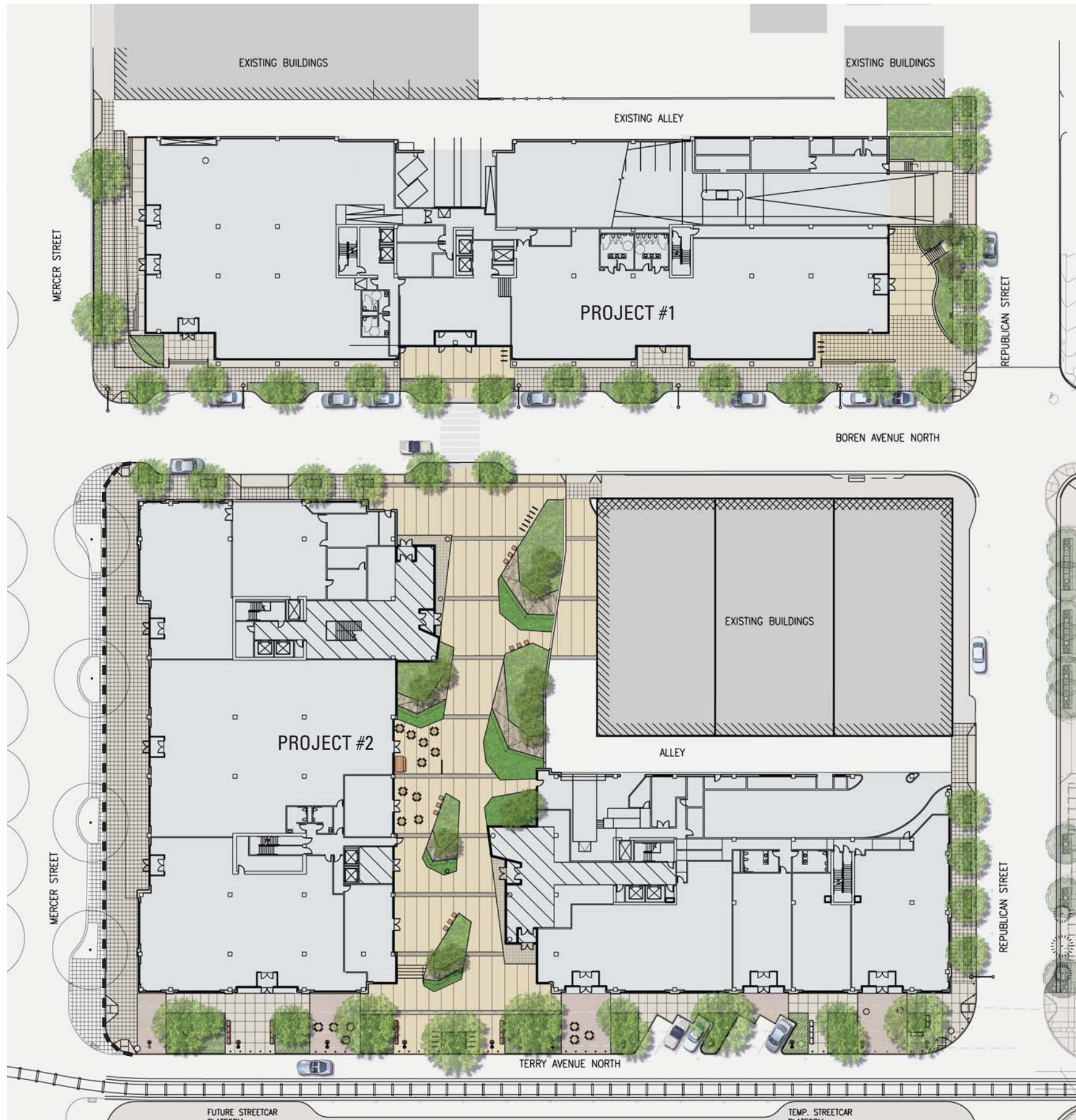


PROJECT #1 AND #2 EDG PREFERRED MASSING OPTION



PROJECT #1 EDG PREFERRED GROUND FLOOR PLAN





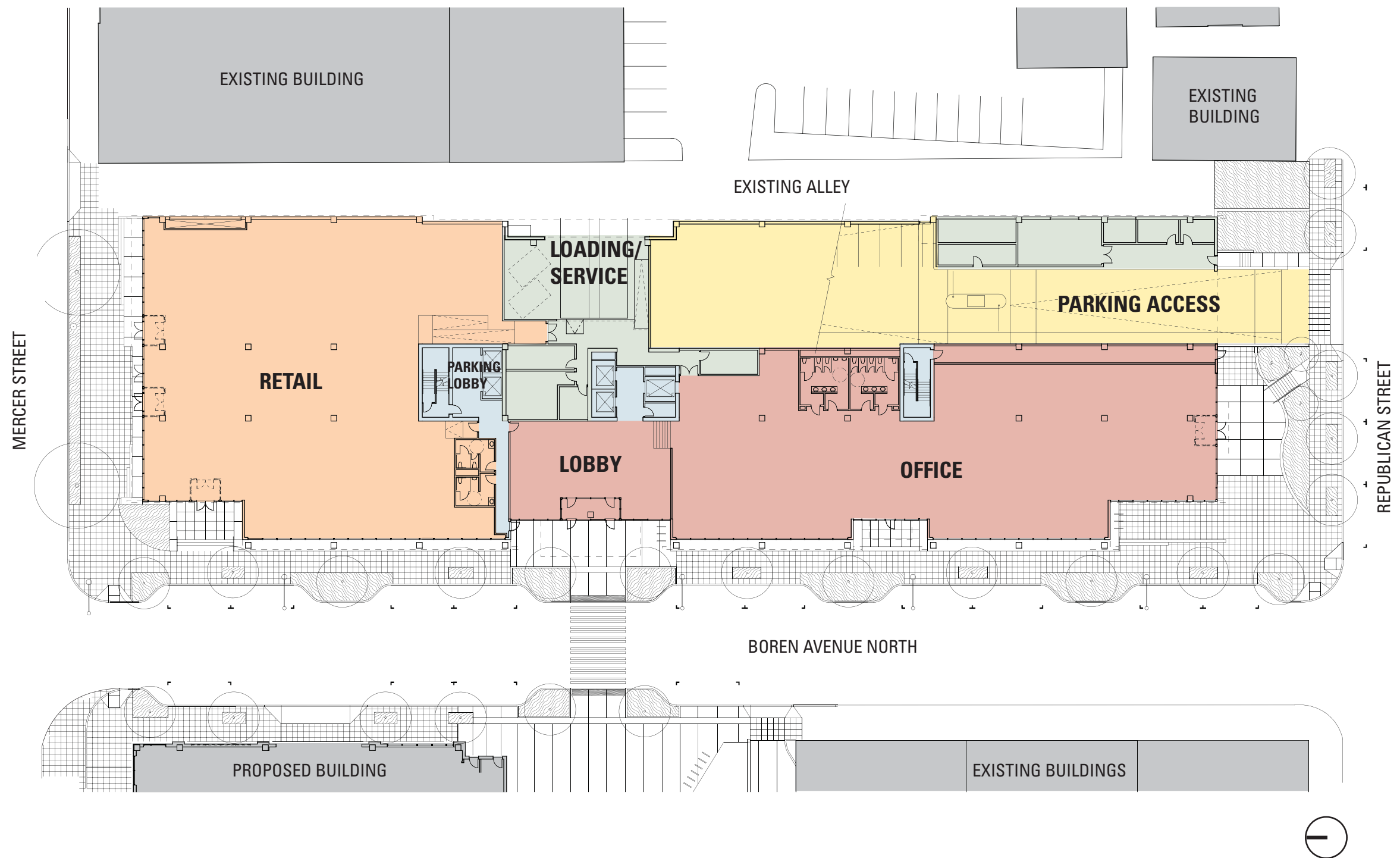


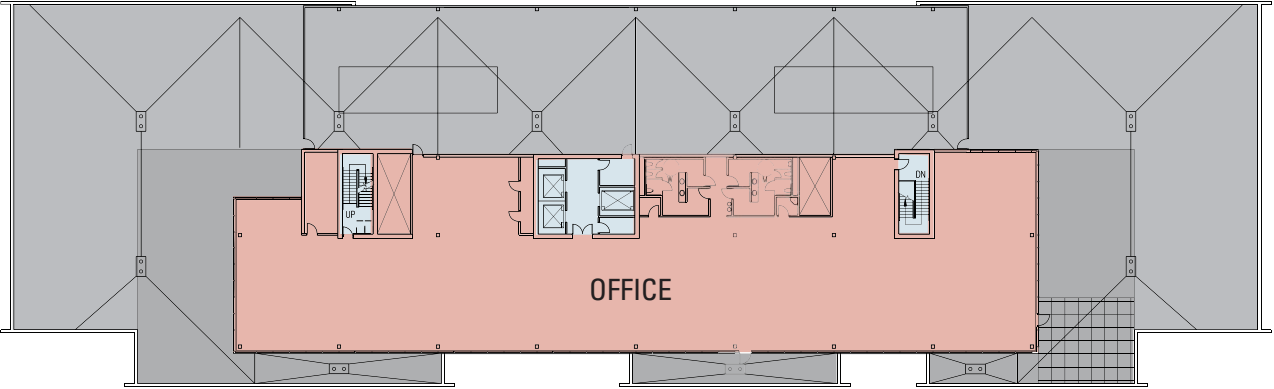


OVERALL VIEW OF BUILDING FROM MERCER STREET AND BOREN AVENUE

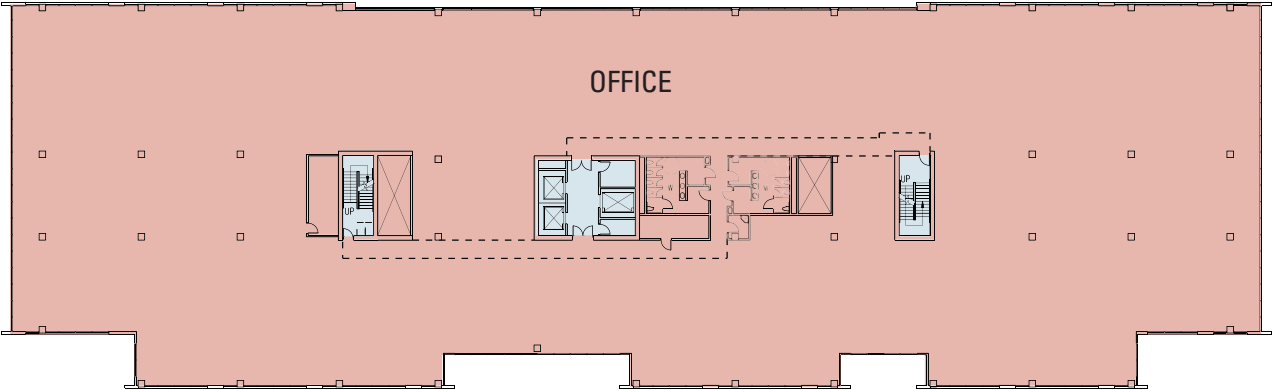




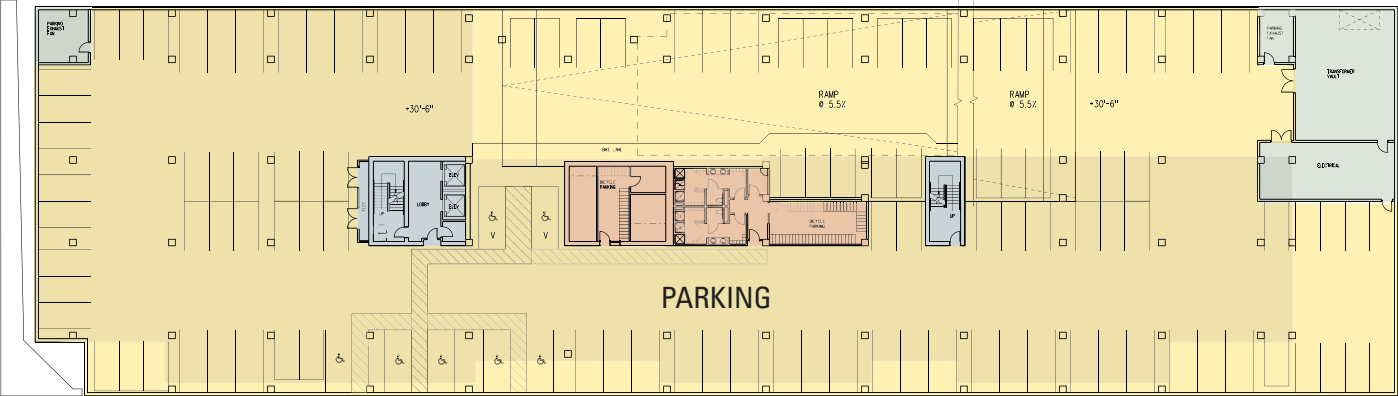




FIFTH FLOOR PLAN

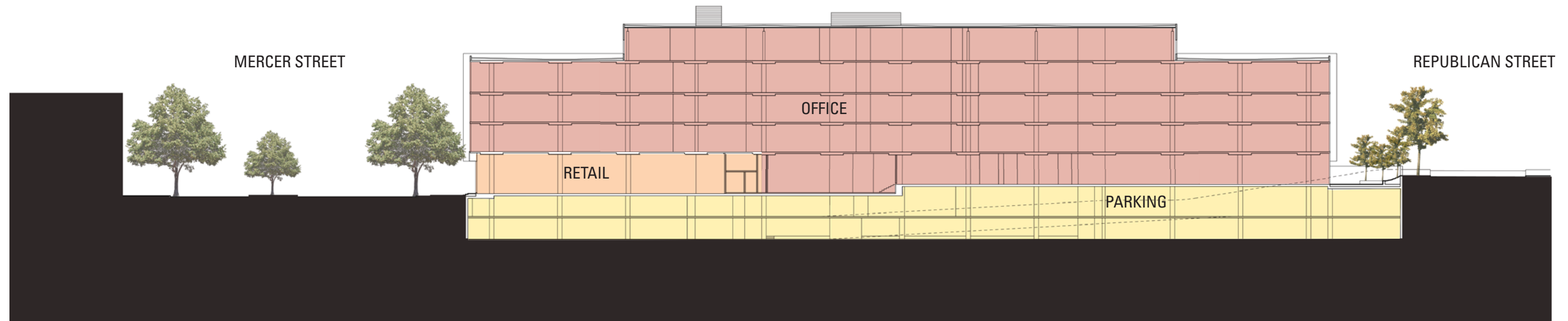


TYPICAL FLOOR PLAN

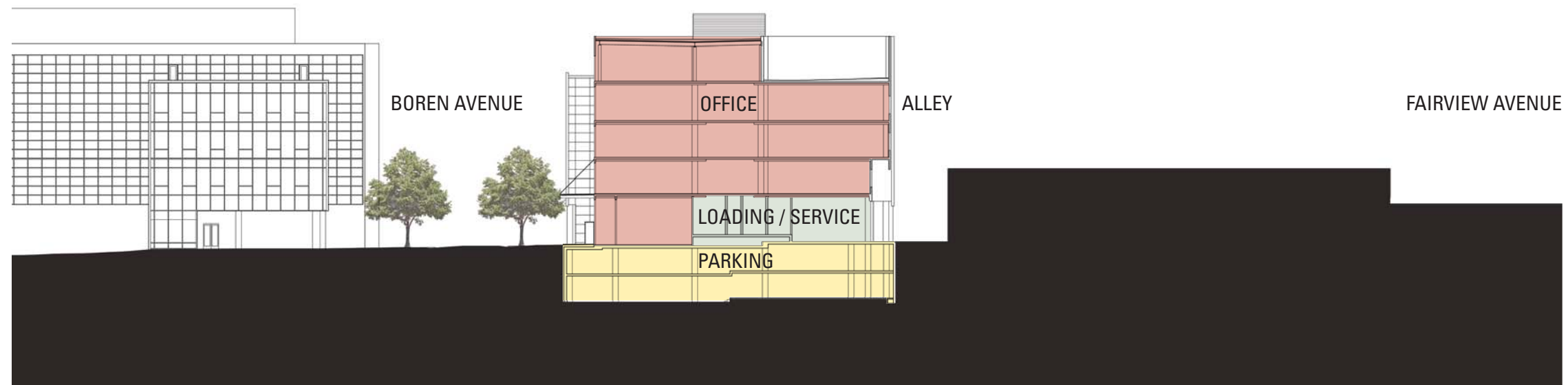


BELOW GRADE PARKING PLAN



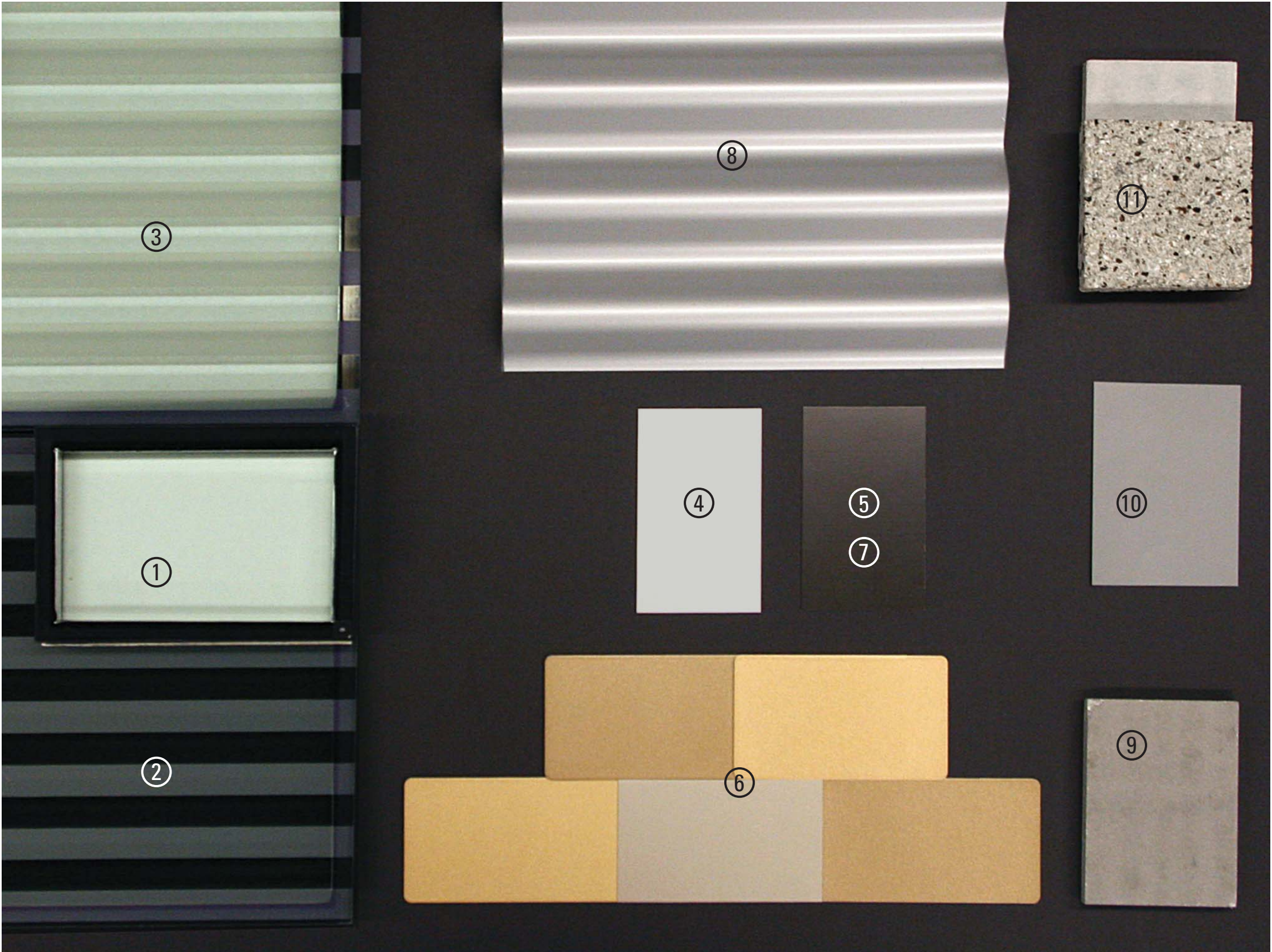


NORTH - SOUTH BUILDING SECTION



EAST - WEST BUILDING SECTION





**1. VISION GLASS**

Insulated glass unit with low-e coating  
Located at office and retail vision panels

**2. SPANDREL GLASS**

Insulated glass unit with low-e coating, translucent frit pattern and opaque spandrel paint  
Located at office spandrel panels

**3. FRITTED GLASS**

Insulated glass unit with low-e coating and translucent frit pattern  
Located at clerestory vision panels on north and south elevations and alternating vision panels on fifth floor and recessed facades on west elevation

**4. METAL MULLION**

Aluminum mullion with silver metallic coating  
Located at glazing systems on fifth floor and recessed facades on east and west elevations

**5. METAL MULLION**

Aluminum mullion with dark bronze coating  
Located at all other glazing systems

**6. METAL PANEL**

Three color scheme (champagne, desert sand and moneta gold metallic coating or similar) with dark bronze metal trim pieces  
Located on east and west elevations

**7. METAL PANEL**

Aluminum panel with dark bronze coating  
Located on north and south elevations

**8. METAL SIDING**

Corrugated metal with silver metallic coating  
Located on fifth floor and recessed facades on east and west elevations

**9. CONCRETE**

Exposed cast-in-place concrete  
Located at structural columns, building base and seating walls

**10. CONCRETE MASONRY UNITS**

C.M.U. painted to match exposed cast-in-place concrete  
Located on east elevation

**11. SPECIAL PAVING**

Medium sandblast/exposed aggregate paving with steel trowelled concrete bands  
Located at building entry

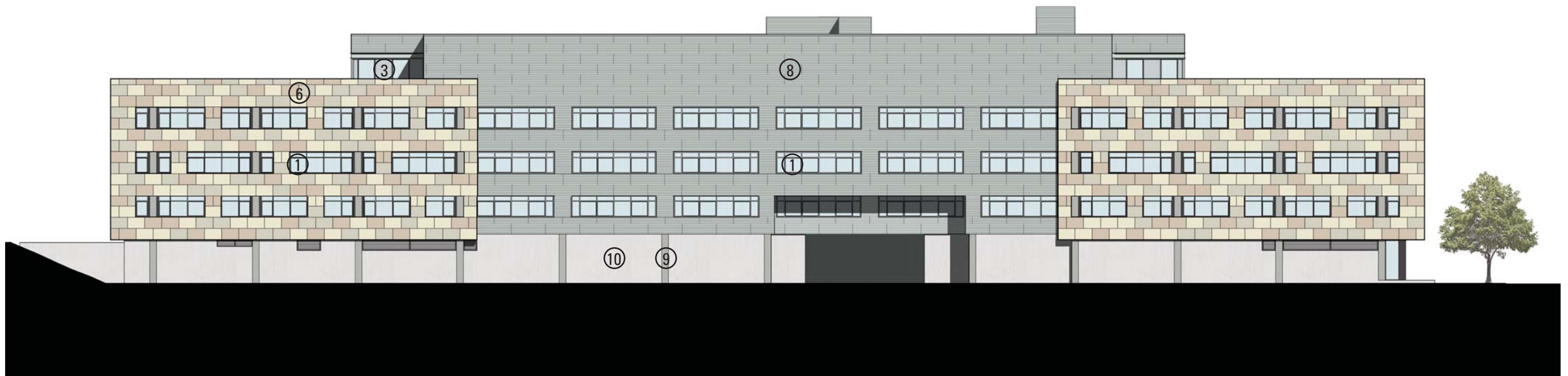
**12. CONCRETE PAVING**

Standard SDOT concrete paving with 2' -0" x 2'-0" scores  
Located at sidewalks and pocket park



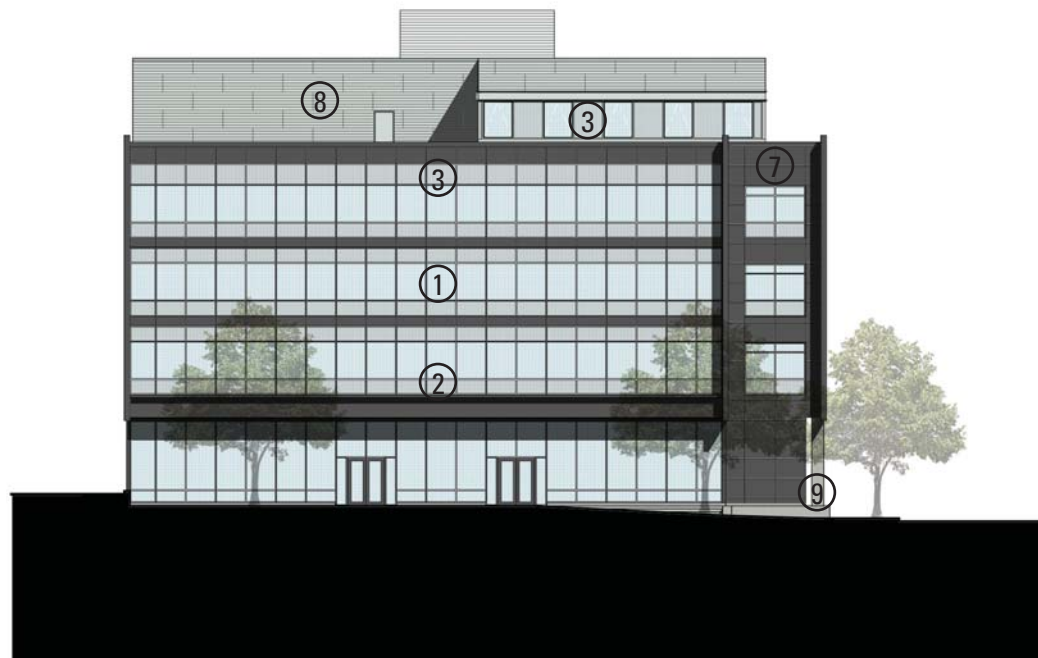


WEST ELEVATION - BOREN AVENUE



EAST ELEVATION - ALLEY





NORTH ELEVATION - MERCER STREET



SOUTH ELEVATION - REPUBLICAN STREET

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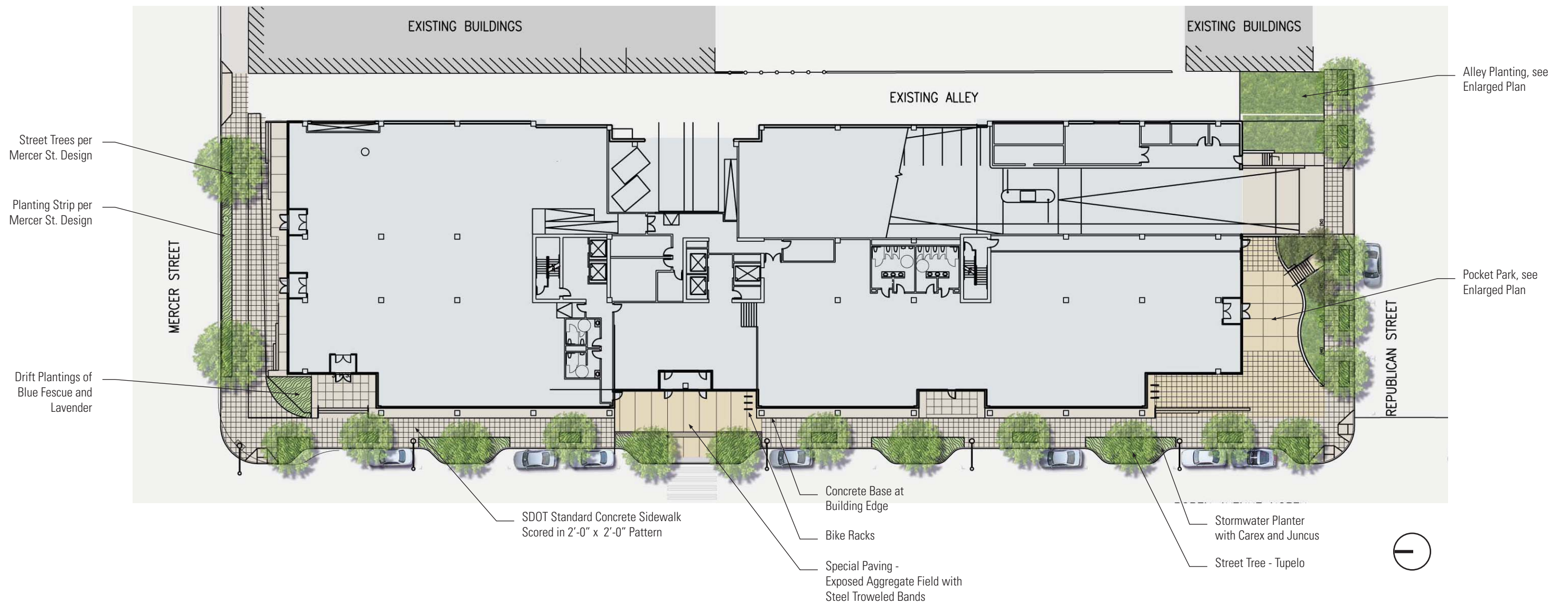
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## LANDSCAPE PLAN



Bike Rack - Stainless Steel



Carex muskingumensis - Palm Sedge



Juncus Effusus



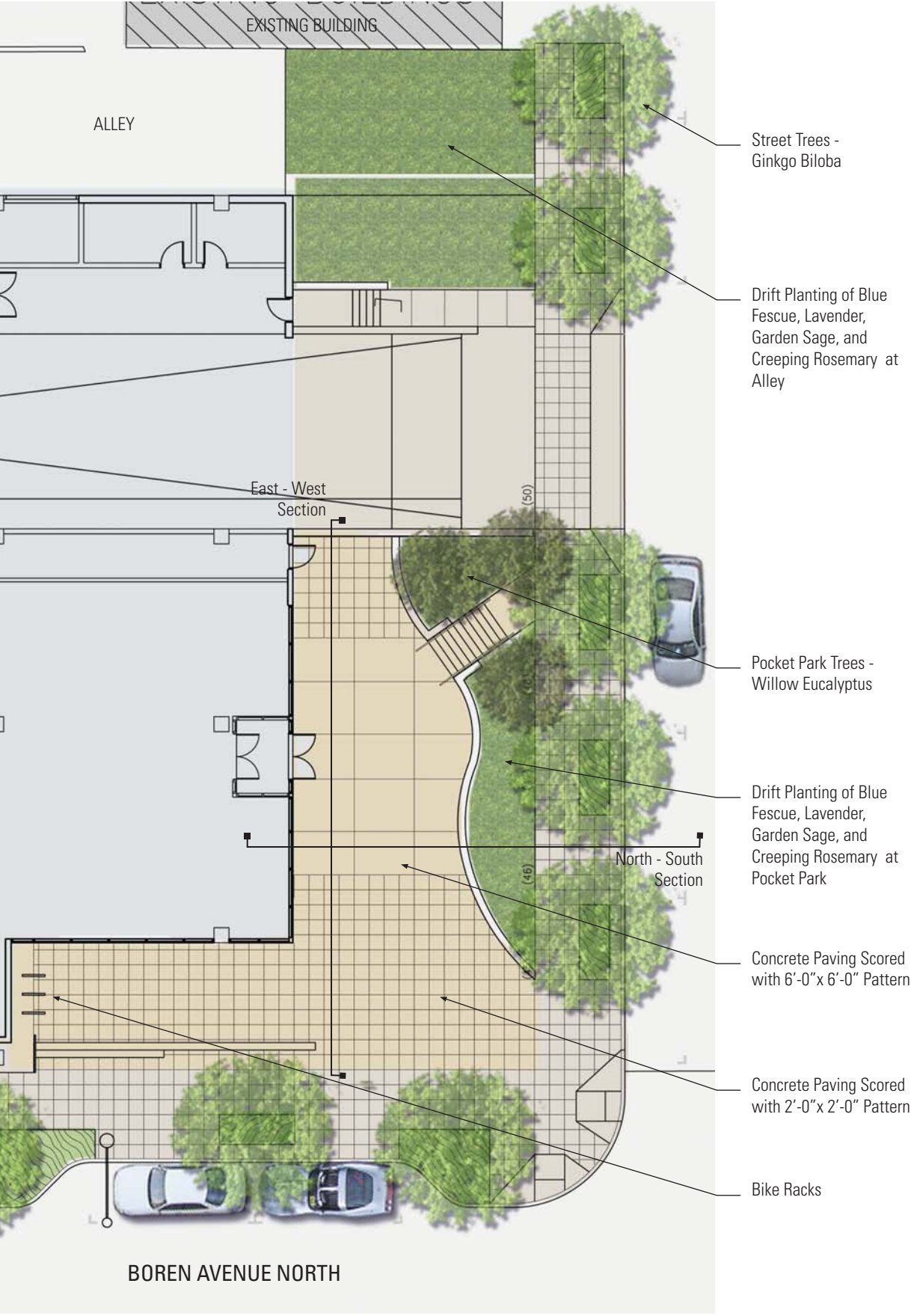
Stormwater Planter



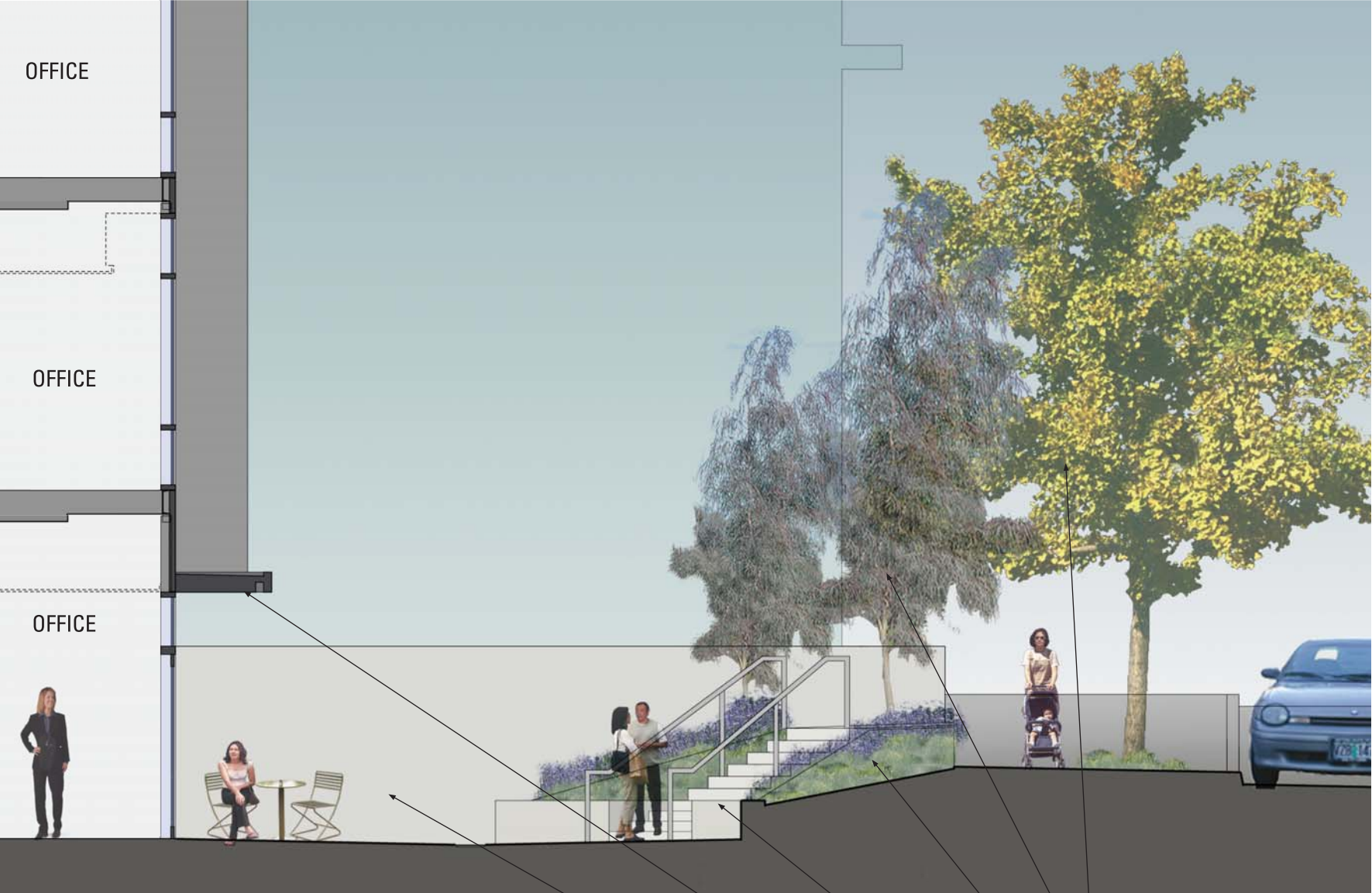
Tupelo

## BOREN AVE. LANDSCAPE PALETTE

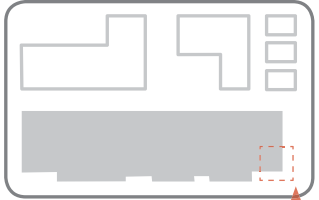




DETAIL AT POCKET PARK



NORTH - SOUTH DETAIL SECTION THROUGH POCKET PARK







EAST - WEST DETAIL SECTION THROUGH POCKET PARK



Ginkgo Biloba



Willow Eucalyptus



Blue Fescue and Lavender



Creeping Rosemary



Garden Sage

POCKET PARK AND ALLEY LANDSCAPE PALETTE





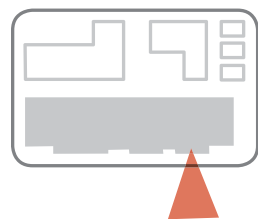
PEDESTRIAN VIEW OF POCKET PARK FROM CORNER OF REPUBLICAN STREET AND BOREN AVENUE







ELEVATION AT BOREN AVENUE



Three Color Metal  
Panel System w/  
Dark Bronze Trim

Concrete Column  
Dark Bronze Panel and Window  
Mullions  
Vision Glass

Dark Bronze Metal Soffit  
Vision Glass  
Concrete Column  
Vision Glass at Retail  
Spandrel Glass at Office  
Concrete Base,  
Varies in Height



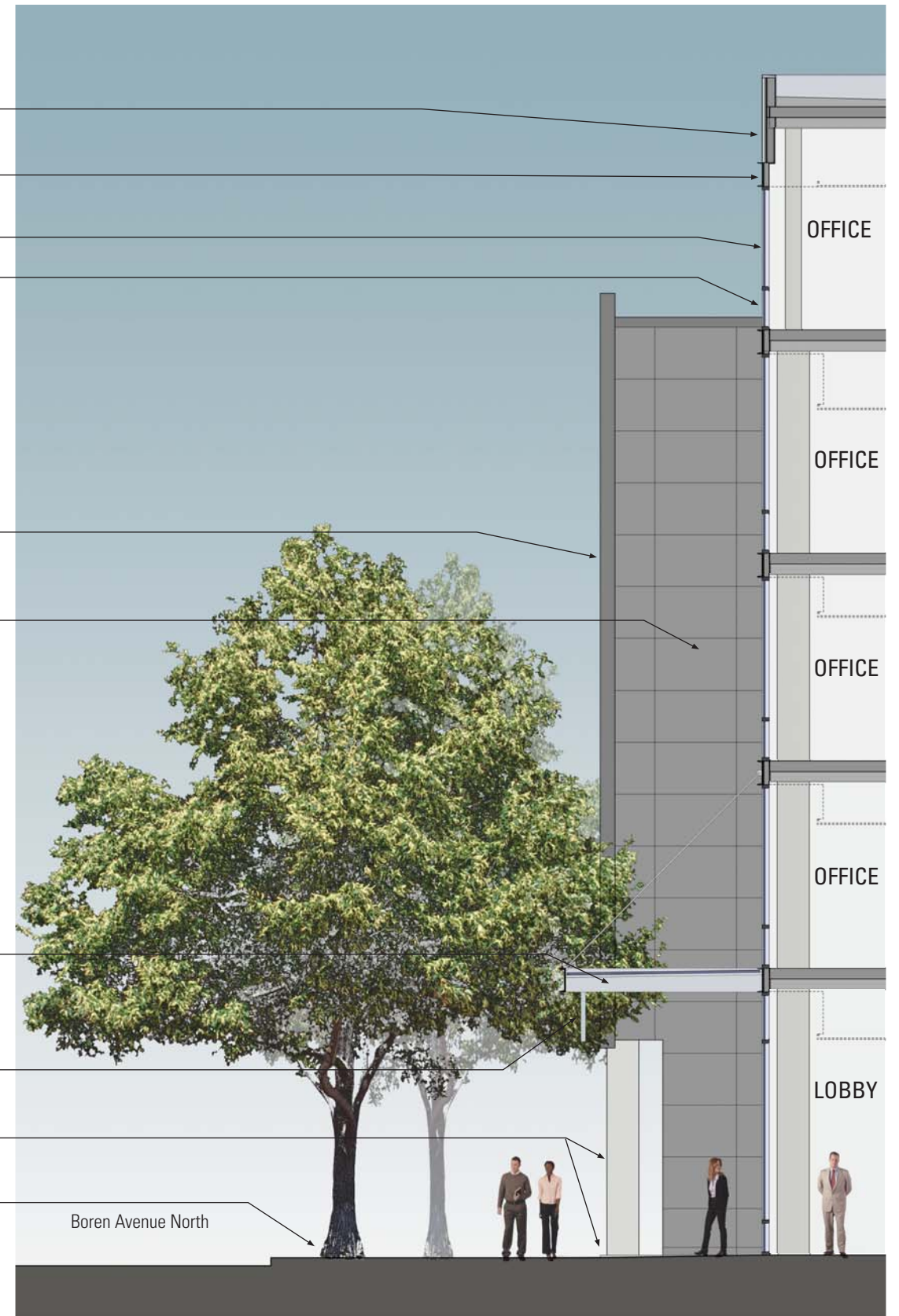
SECTION AT BOREN AVENUE



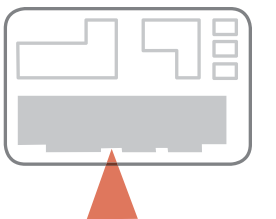


ELEVATION OF BUILDING ENTRY

- Corrugated Metal Siding
- Steel Channel
- Vision Glass
- Spandrel Glass
- Fritted Glass
- Three Color Metal Panel System w/ Dark Bronze Trim
- Dark Bronze Metal Panel
- Steel Channel Frame at Building Entry
- Steel Hanger Rods
- Steel Channel Entry Canopy
- Building Signage
- Concrete Column & Concrete Base
- Crosswalk Curb Bulb with Stormwater Planter and Tupelo Street Tree



SECTION AT BUILDING ENTRY







PEDESTRIAN VIEW ALONG BOREN AVENUE FROM MERCER STREET







AERIAL VIEW ABOVE BOREN AVENUE

