



PROJECT 2: DPD No. 3007492 | 1001 Mercer Street
DPD No. 3007493 | 1021 Mercer Street

02.13.2008 | DRB Recommendation Meeting
LMNARCHITECTS



PROJECT #2

SITE AREA: 78,634 s.f.
 SITE CAPACITY (FAR): 235,900 s.f.
 PARKING: 1.4/1,000 RSF = 346 vehicles (8 accessible stalls – 2 ADA van)
 SERVICE DOCK REQUIREMENTS: 3 required

LAND USE SUMMARY

ZONING
 Zone: IC-65 – Permitted use – office (no maximum s.f.), sales and services (75,000 s.f. maximum)

MAXIMUM HEIGHT
 65 feet: May be increased to 85 feet if: 2 floors are at least 14 feet floor to floor, the extra height is used to accommodate mechanical equipment, and the building is not over 6 stories.

FAR 3

STREET CLASSIFICATION
 Mercer Street: Arterial
 Terry Avenue North: Non-arterial with street car. Design guidelines call for 31 foot sidewalk with back-in 60 degree angled parking (clusters of 3-5 spaces spaced 60 feet apart min. for a total of no more than 12). Street car station at the corner of Terry and Mercer
 Republican Street: Minor arterial
 Boren Avenue North: Non-arterial

STREET TREES
 Republican Street and Boren Avenue North: Street trees are required in 5 foot wide planting strip along street curb.
 Mercer Street: Three existing street trees occur on Mercer near Terry and will remain, until replaced in the Mercer corridor project. Trees are expected to be placed in "green fingers" provided in the Mercer corridor project.
 Terry Avenue North: Clusters of 3-5 street trees for a total coverage of 30%.

MINIMUM SIDEWALK WIDTH
 Republican Street and Boren Avenue North: 6 feet
 Terry Avenue North: 31 feet
 Mercer Street: Existing 6 feet; proposed 10 feet

FACADE TRANSPARENCY AT STREET
 No requirement in IC zone.

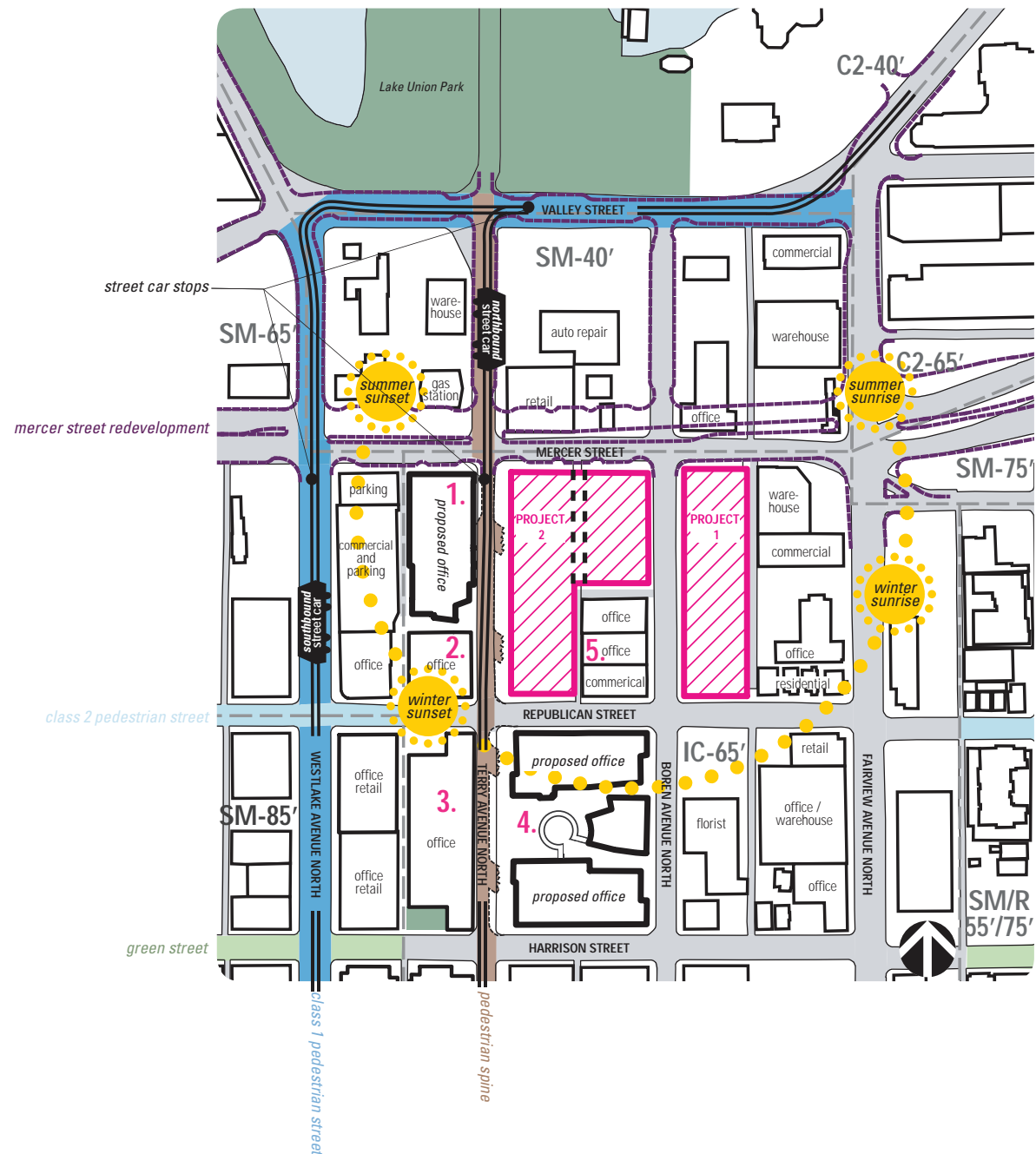
SCREENING AND LANDSCAPING
 Blank facades that are between 2 and 8 feet above the sidewalk, 60 feet or greater in length, and are within 20 feet of the street front must be screened with a hedge, trellis or vines achieving a height of 10 feet.

ROOFTOP FEATURES
 May extend 15 feet above the maximum height limit:
 Unscreened elements: occupy less than 20% of total roof area,
 Screened elements: occupy less than 65% of total roof area if 10 feet or greater in distance from the roof edge.

ALLEY IMPROVEMENT
 Currently the alley widths are 16 feet. The required width is 20 feet. Each property abutting an alley will increase the width to the centerline of the alley to 10 feet.

PARKING REQUIREMENTS
 City requires: 1/1,000 GSF for office use and 2/1,000 GSF for retail use.
 Minimum of 35% of spaces striped for large cars.
 Minimum of 6'9" overhead clearance on at least one floor of garage
 Accessible stalls per ADA requirements
 ADA van stalls at a rate of 1 per 6 accessible stalls w/ overhead clearance of 8'-2".

SERVICE DOCK REQUIREMENTS
 Dock requirements: 10 foot wide x 35 feet long x 14 feet vertical clearance.
 Note: in South Lake Union Hub Urban Village multiple buildings may share a central loading facility and loading berth requirements can be waived or modified by the Director.



SITE ANALYSIS

RESPONSE TO EARLY DESIGN GUIDANCE PRIORITIES

A-1 Responding to Site Characteristics - Project #2 has continued to develop in the siting and massing direction identified in the EDG meeting. Project #2 is composed of two buildings that define and reinforce the urban edges along all four street frontages. A landscaped courtyard positioned between the buildings provides a mid-block connector and a public amenity for the neighborhood. The following have been incorporated into the project in response to EDG priorities.

Alley – The large vents that separated the courtyard from the alley have been removed. The design now allows easy visual and physical penetration through courtyard planting areas to the alley while maintaining a reasonable separation between loading dock maneuvers and pedestrians. In addition, the design proposes to continue the courtyard paving into the east/west portion of the alley in order to strengthen the sense of connection.

Mercer Setback – The design includes a setback that extends along the entire fifth floor and down the center section of the facade.

Vehicle Entry – The building structure at the vehicle entry has been modified to allow the entry and exit lanes to join into a single curb cut at Republican. The entry lane provides access to both the parking garage and the one-way northbound alley.

A-2 Streetscape Compatibility - The buildings, particularly at the pedestrian level, have been designed to respond to the “grand boulevard” scale anticipated at the Mercer Street edge and the “pedestrian spine” scale anticipated as part of the Terry Avenue guidelines.

A-3 Entrance Visible from the Street - Building entries are located such that they address Boren Avenue, Terry Avenue and the courtyard.

A-4 Human Activity - Building entries, retail and retail entries, ground level building articulation and the courtyard are all designed to encourage pedestrian interaction at the street.

B-1 Height, Bulk & Scale Compatibility – The perceived building height and length are moderated by material changes and selective setbacks.

C-1 Architectural Context - The architectural character of Project #1 is unique from that of Project #2. The massing, materials, panel modules, window pattern, use of curtain walls, and relationships to open spaces in Project #1 are all different from that of Project #2.

C-2 Architectural Concept & Consistency - As noted in C-1, differentiation between buildings is proposed.

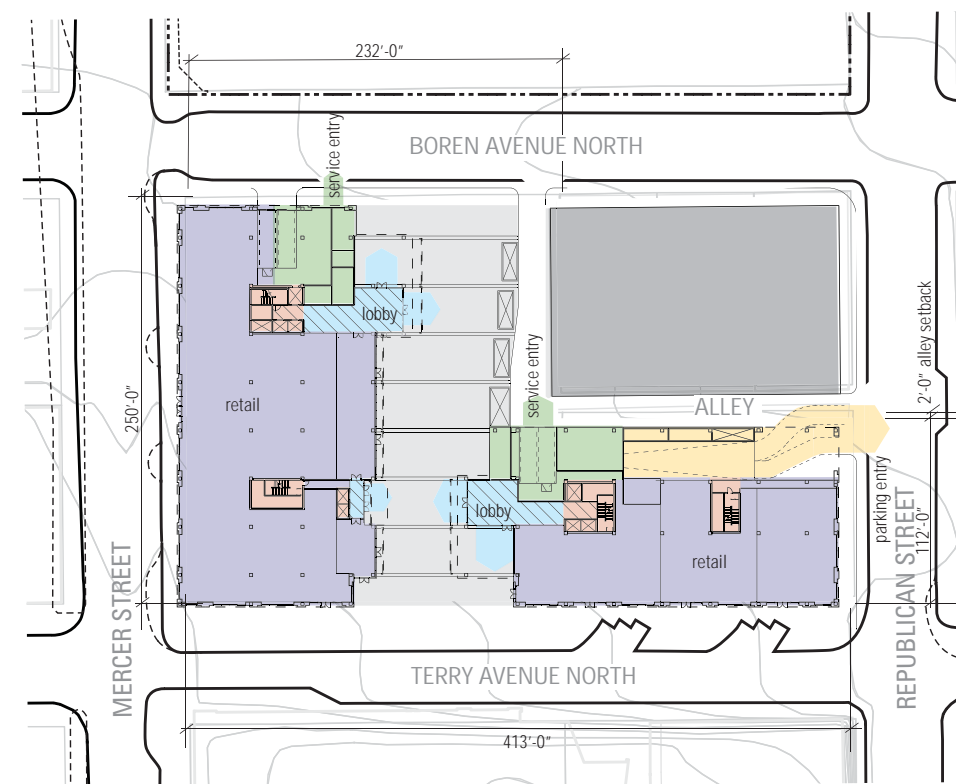
C-3 Human Scale – The project incorporates extensive pedestrian areas on Terry Avenue and in the courtyard that have human scale elements such as landscape plantings, lighting, bollards, and wayfinding elements. The sidewalks along Terry and Mercer will be animated by retail activity, possibly including sidewalk seating areas, and will have tenant-provided canopies with the opportunity to provide variety.

D-1 Pedestrian Open Spaces & Entrances – The primary building entries as well as the lobby that serves the parking garage are accessed via the public courtyard. This means that all building users will traverse some portion of the courtyard, which will help to enliven the open space.

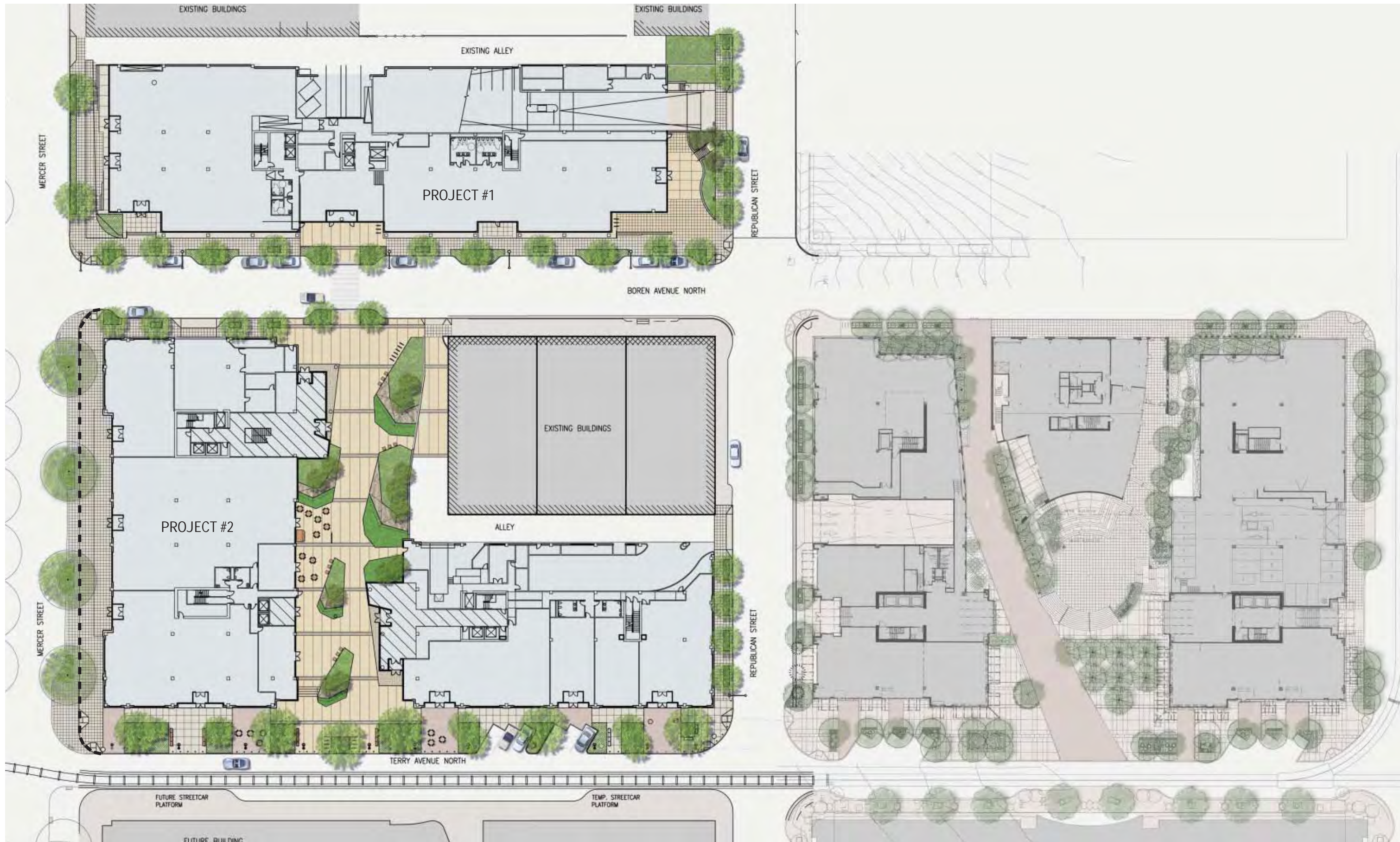
D-7 Personal Safety & Security – Passive security, including balance in the landscaping of the open space between plantings and clear sightlines is a goal of the design. Physical and visual access into and through the courtyard will encourage public use, which will heighten security.



PROJECT #1 AND #2 EDG PREFERRED MASSING OPTION



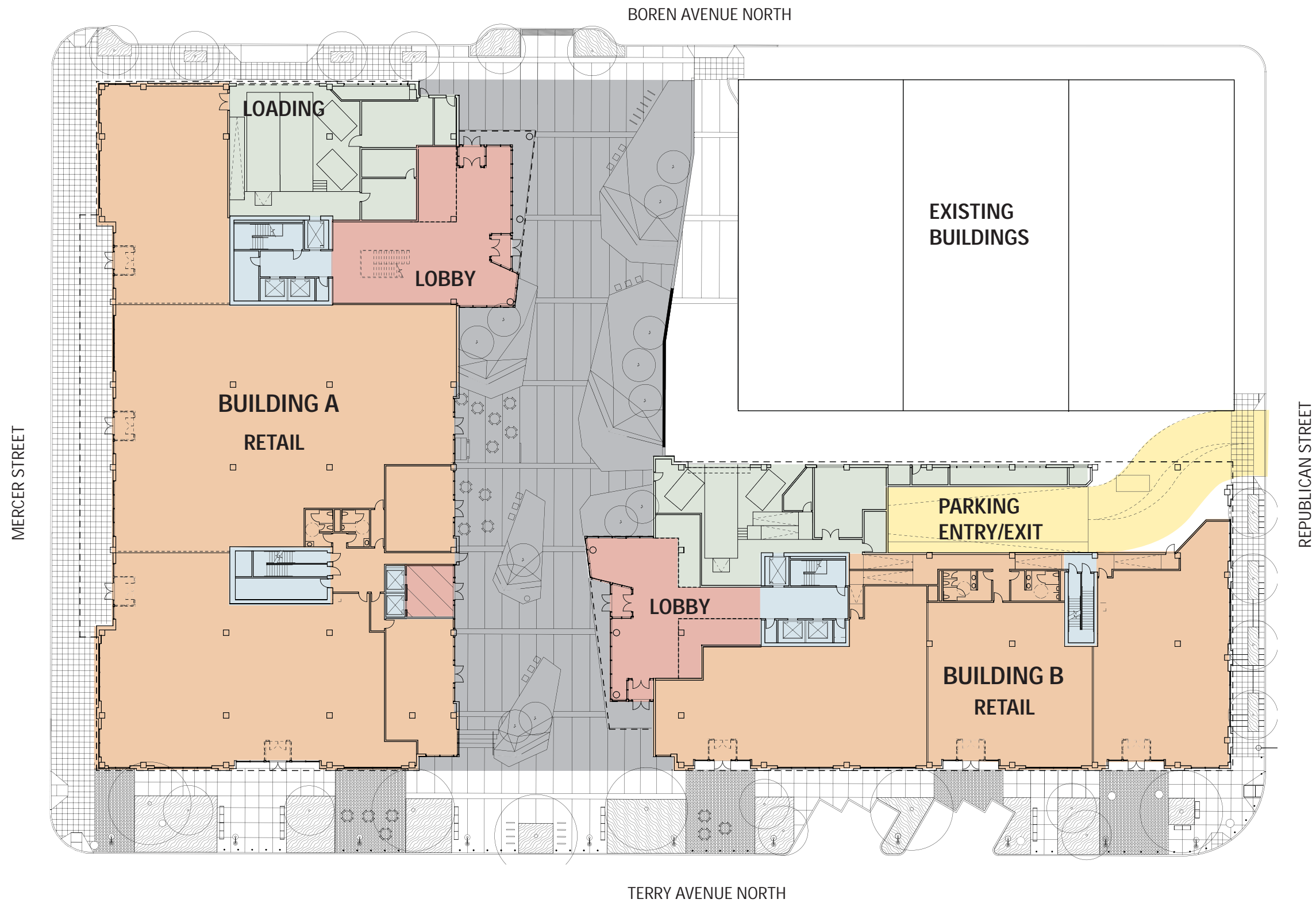
PROJECT #2 EDG PREFERRED GROUND FLOOR PLAN

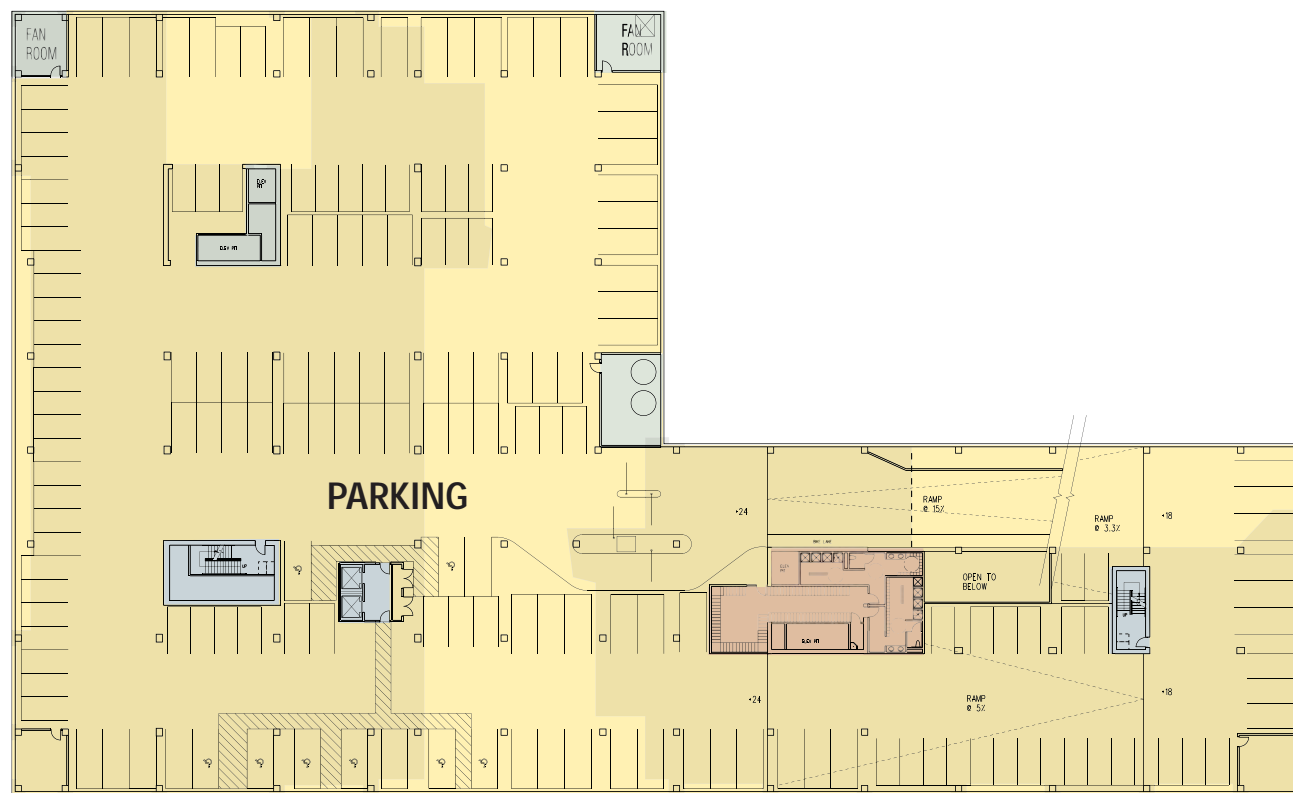




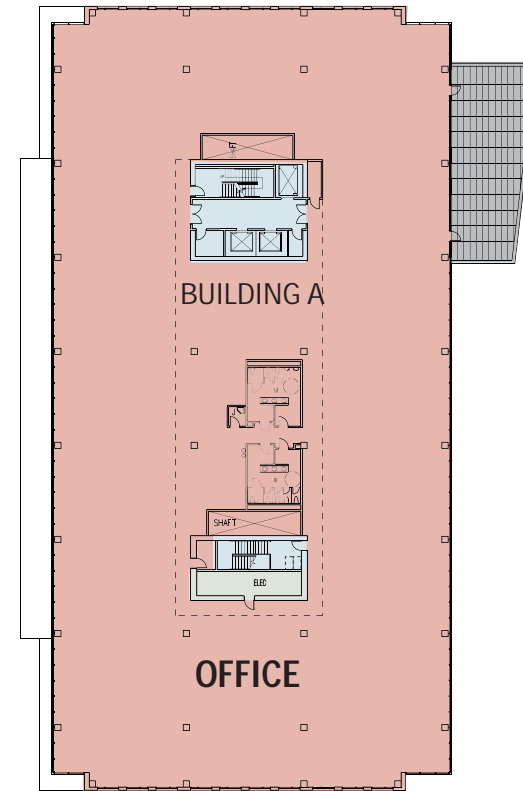
OVERALL VIEW OF BUILDING FROM MERCER STREET AND TERRY AVENUE



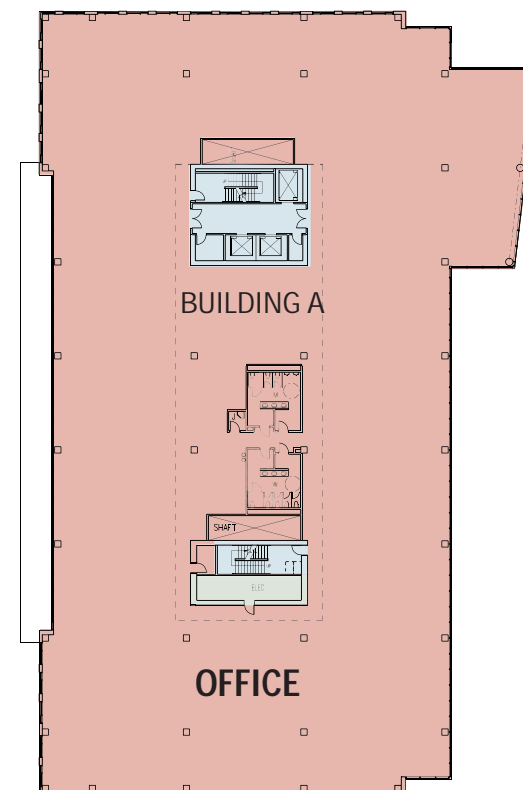
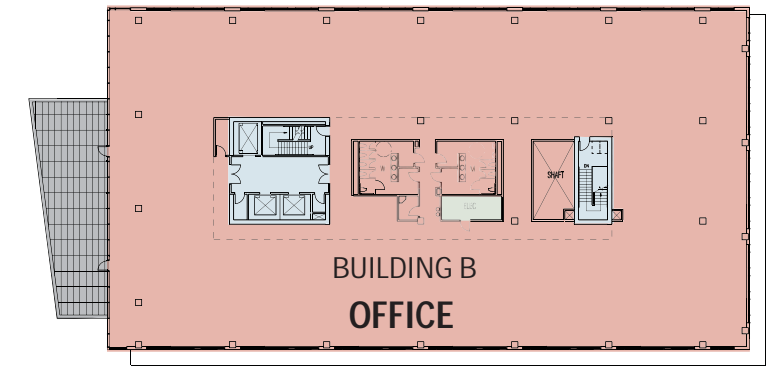




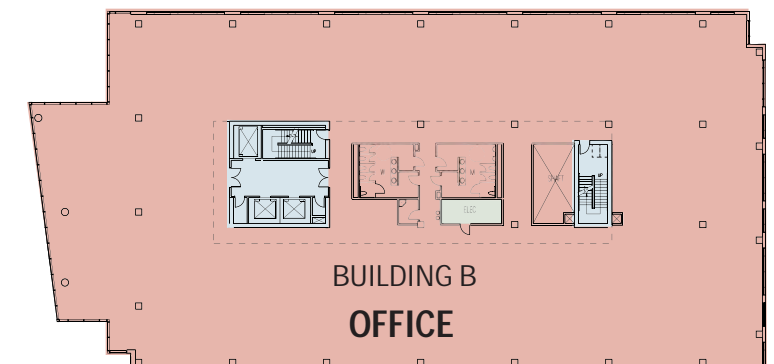
PARKING FLOOR PLAN

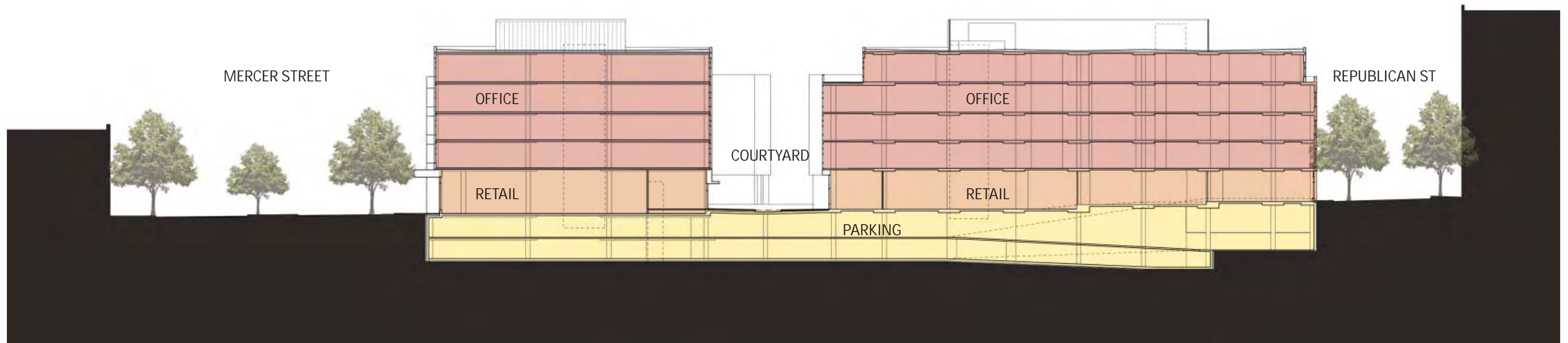


FIFTH FLOOR PLAN

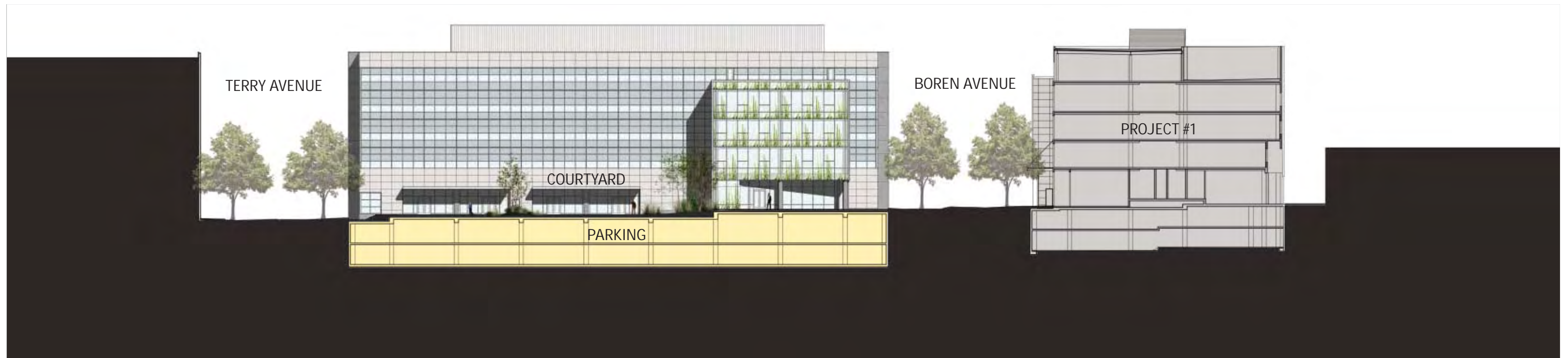


TYPICAL FLOOR PLAN

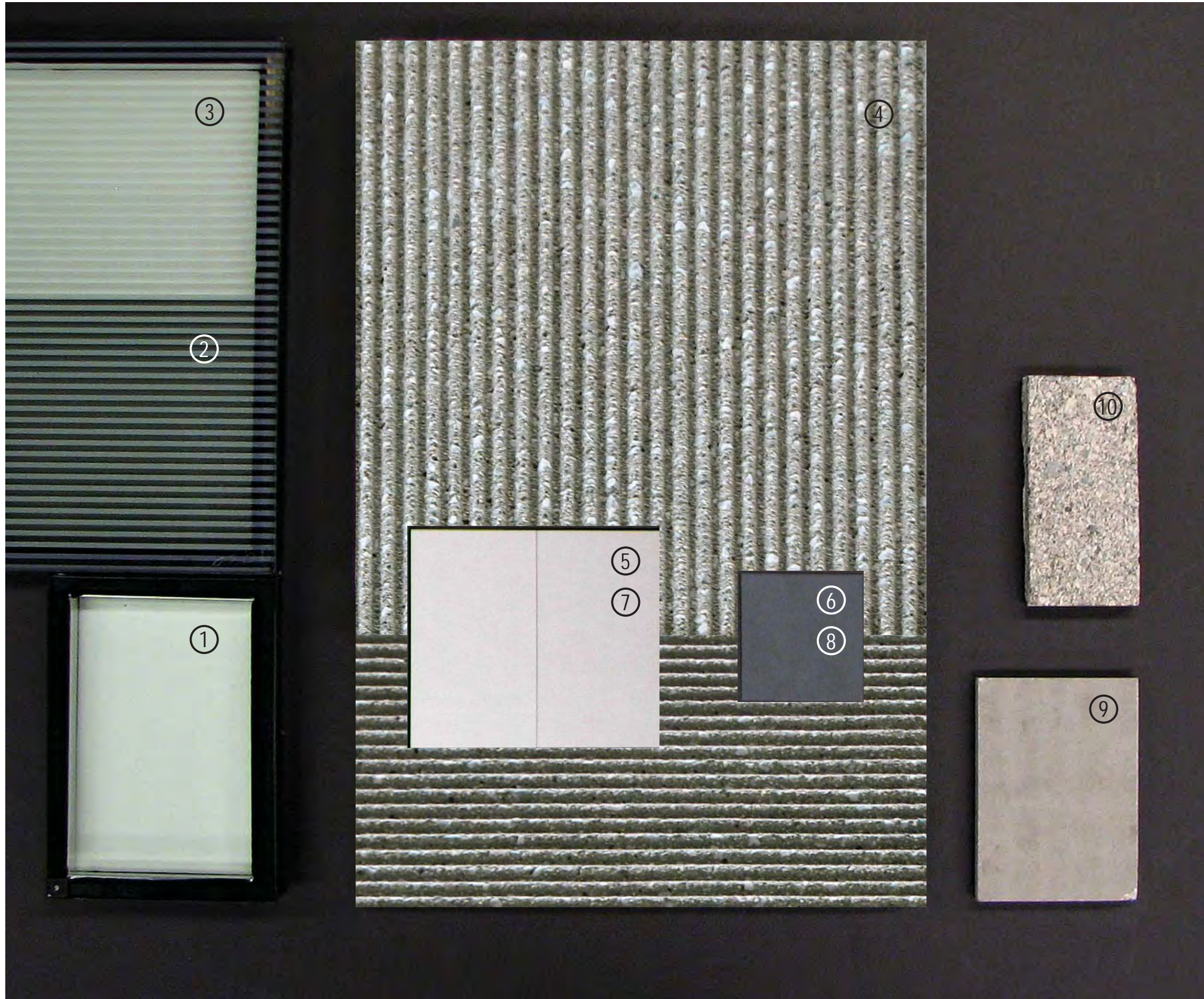




NORTH - SOUTH BUILDING SECTION



EAST - WEST BUILDING SECTION



1. VISION GLASS
 Insulated glass unit with low-e coating
 Located at office and retail vision panels

2. SPANDREL GLASS
 Insulated glass unit with low-e coating, translucent frit pattern and opaque spandrel paint
 Located at office spandrel panels

3. FRITTED GLASS
 Insulated glass unit with low-e coating and translucent frit pattern
 Located at office clerestory vision panels on north, south and west elevations

4. PRE-CAST CONCRETE PANEL
 Medium sandblast finish on corrugated face concrete panel
 Located on all elevations except facing courtyard

5. METAL MULLION
 Aluminum mullion with silver metallic coating
 Located at all office glazing systems and retail glazing systems facing courtyard

6. METAL MULLION
 Aluminum mullion with charred blue metallic coating
 Located at all other retail glazing systems

7. METAL PANEL
 Aluminum panel with silver metallic coating
 Located at facades on north, courtyard and alley elevations as well as setback fifth floor elevations

8. METAL PANEL
 Aluminum panel with charred blue metallic coating
 Located at retail on elevations facing streets

9. CONCRETE
 Exposed cast-in-place concrete
 Located at structural columns and building base

10. CONCRETE MASONRY UNITS
 Ground face natural concrete masonry units
 Located on alley elevation



11. PATTERNED GLASS
 Insulated glass unit with low-e coating and graphic ceramic frit pattern
 Located at building entries and above

12. SPECIAL PAVING
 Medium sandblast/exposed aggregate paving with steel trowelled concrete bands
 Located at courtyard

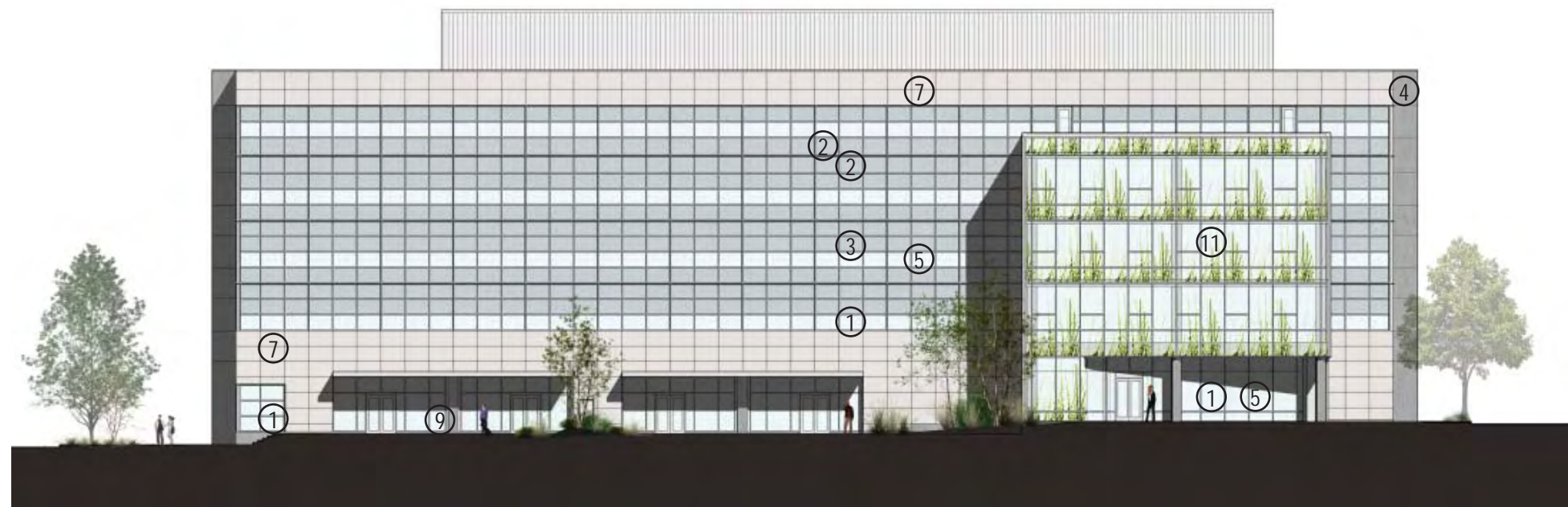
13. STONE
 Corbett Basalt dry-stack fitted stone
 Located at landscape elements in courtyard

14. SPECIAL UNIT PAVING
 Holland series harvest blend concrete unit pavers per Terry Avenue guidelines
 Located at Terry Avenue sidewalk

15. CONCRETE PAVING
 Standard SDOT concrete paving with 2'-0" x 2'-0" scores
 Located at sidewalks



BUILDING A NORTH ELEVATION - MERCER STREET



BUILDING A SOUTH ELEVATION - COURTYARD



WEST ELEVATION - TERRY AVENUE



BUILDING A EAST ELEVATION - BOREN AVENUE



BUILDING B NORTH ELEVATION - COURTYARD



BUILDING B SOUTH ELEVATION - REPUBLICAN STREET



BUILDING B EAST ELEVATION - ALLEY

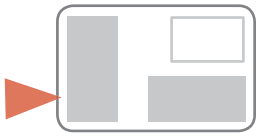


DETAIL SECTION AT MERCER STREET

- Aluminum Panel with Silver Metallic Coating
- Aluminum Mullion with Silver Metallic Coating
- Extended Aluminum Mullion with Silver Metallic Coating
- Pre-Cast Concrete Panel
- Fritted Glass
- Vision Glass
- Spandrel Glass
- Canopy
- Retail Signage
- Storefront Glazing System with Silver Metallic Coating
- Storefront Aluminum Panel & Glazing System with Charred Blue Coating
- Concrete Column
- Concrete Base



DETAIL ELEVATION AT MERCER STREET





PEDESTRIAN VIEW ALONG MERCER STREET AT TERRY AVENUE

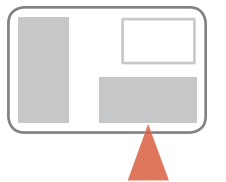




DETAIL SECTION AT TERRY AVENUE

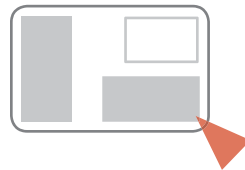


DETAIL ELEVATION AT TERRY AVENUE





PEDESTRIAN VIEW ALONG TERRY AVENUE AT REPUBLICAN STREET



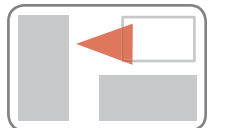


DETAIL SECTION OF RETAIL IN COURTYARD

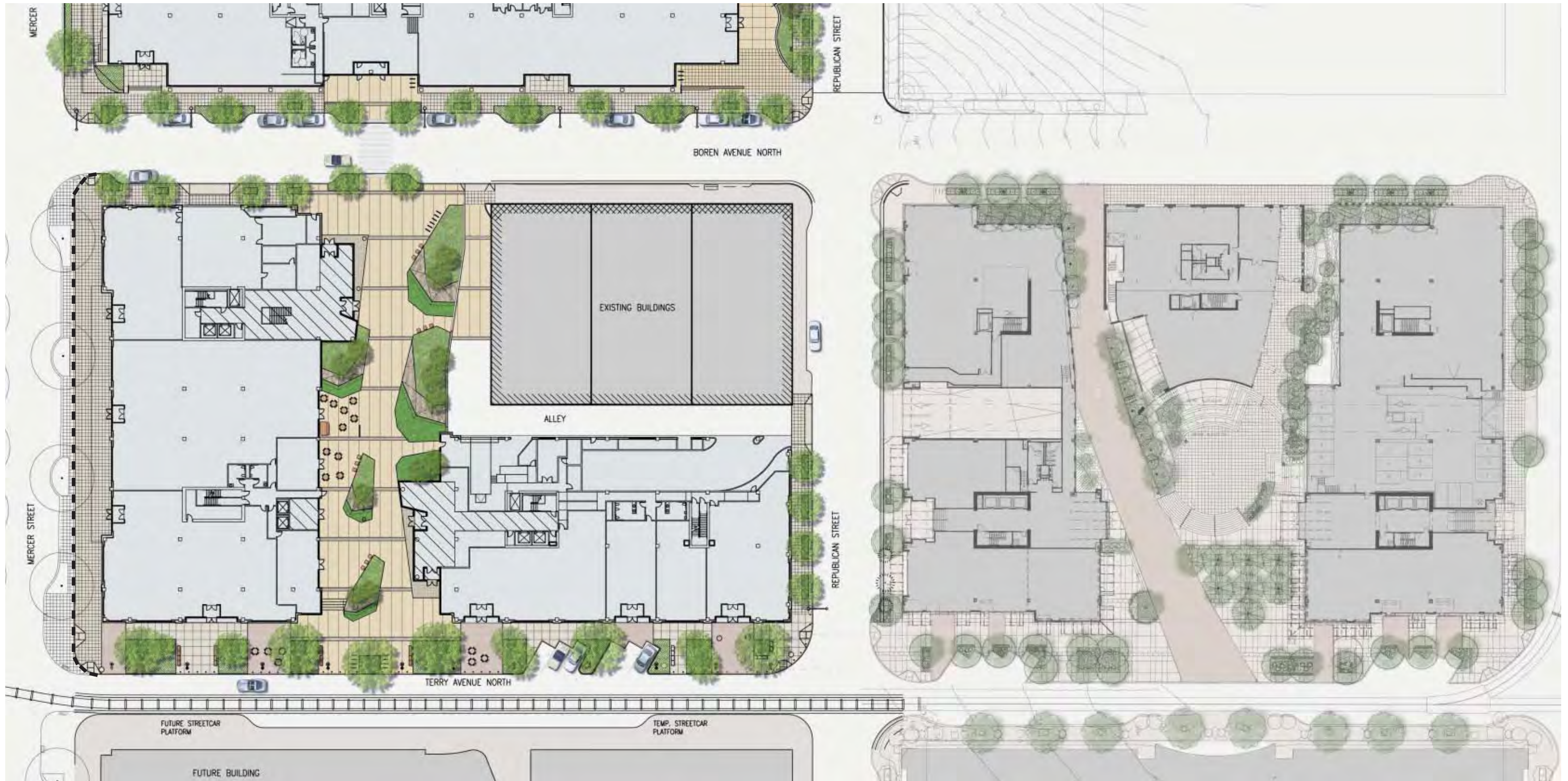


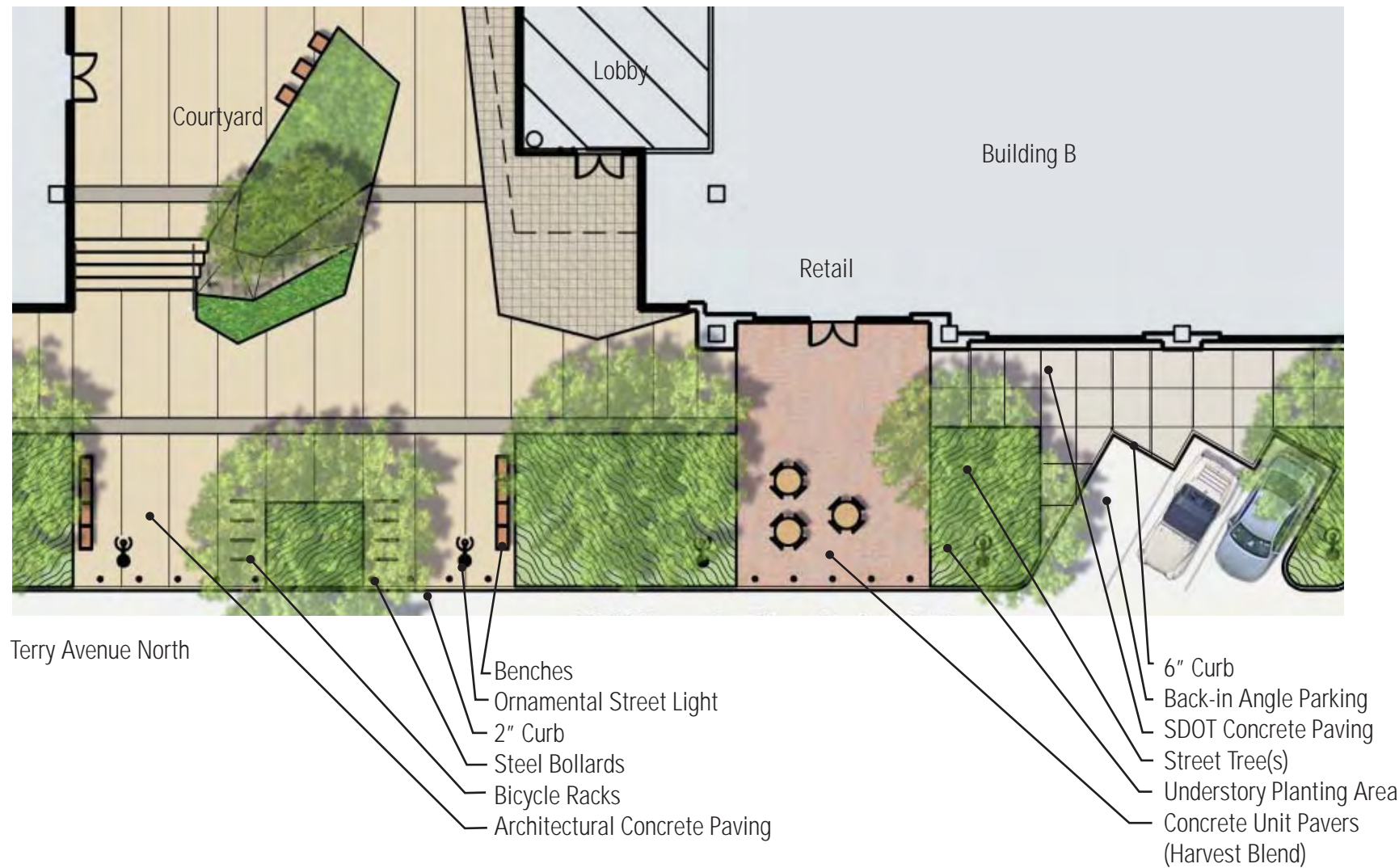
DETAIL ELEVATION OF BUILDING ENTRY IN COURTYARD

- Aluminum Panel and Mullion with Silver Metallic Coating
- Exterior Terrace
- Extended Mullion
- Fritted Glass
- Vision Glass with Graphic Frit
- Vision Glass
- Spandrel Glass
- Canopy
- Retail Signage
- Concrete Column
- Courtyard Landscaping



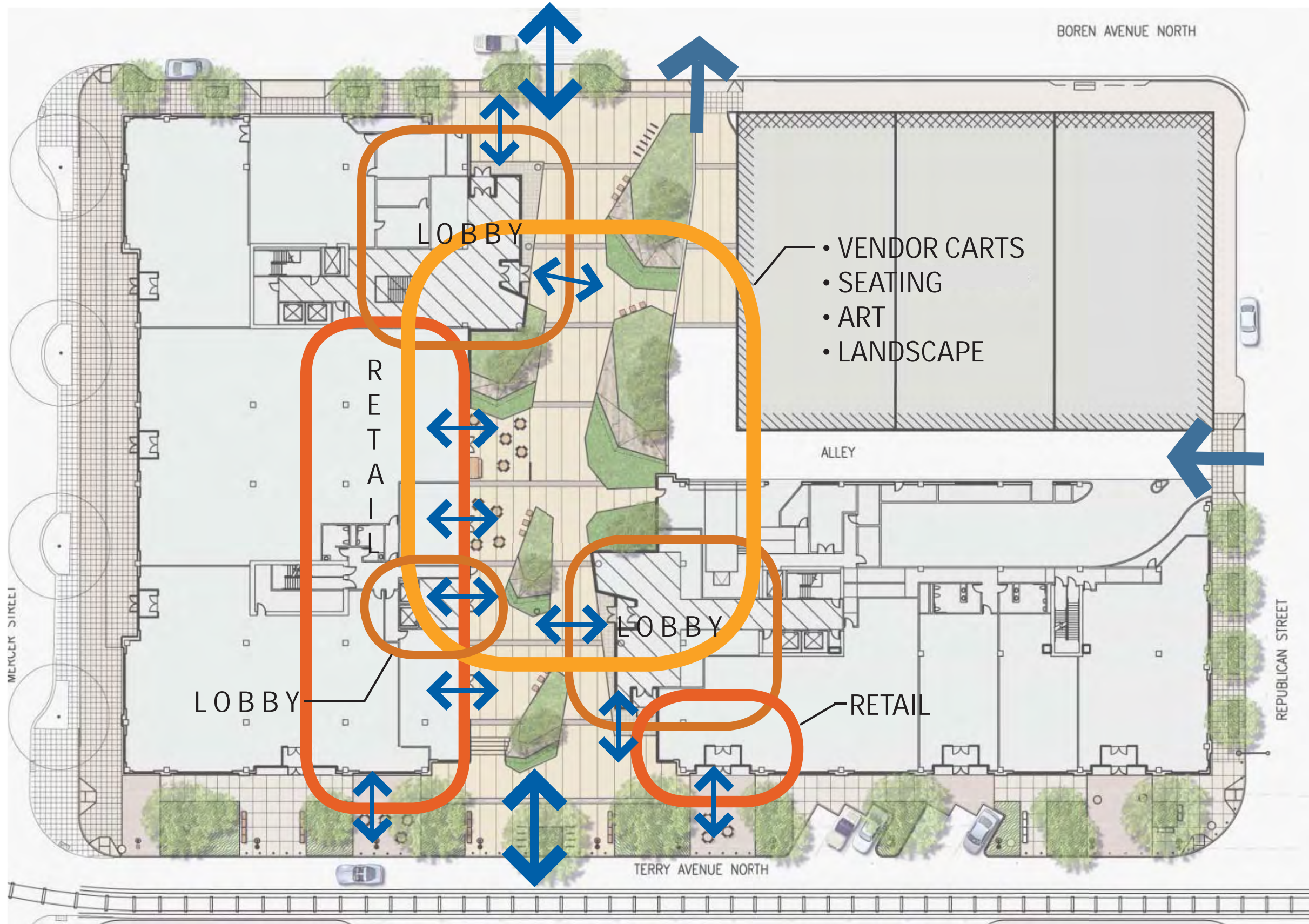






Terry Avenue North sidewalk plan and street tree locations.





FUNCTION DIAGRAM



9:00 AM



8:00 AM



7:00 AM



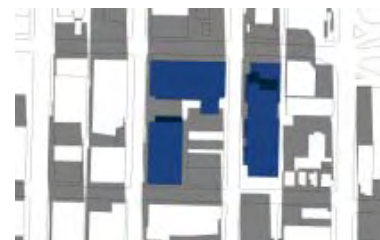
11:00 AM



10:00 AM



10:00 AM



12:00 PM



12:00 PM



12:00 PM



1:00 PM



2:00 PM



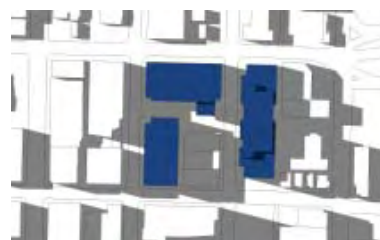
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3:00 PM
DECEMBER



4:00 PM
MARCH

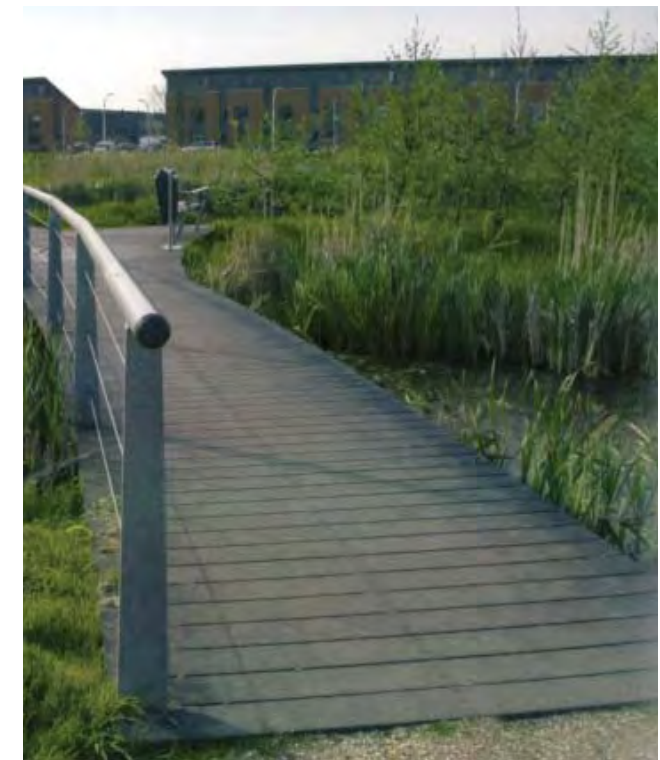


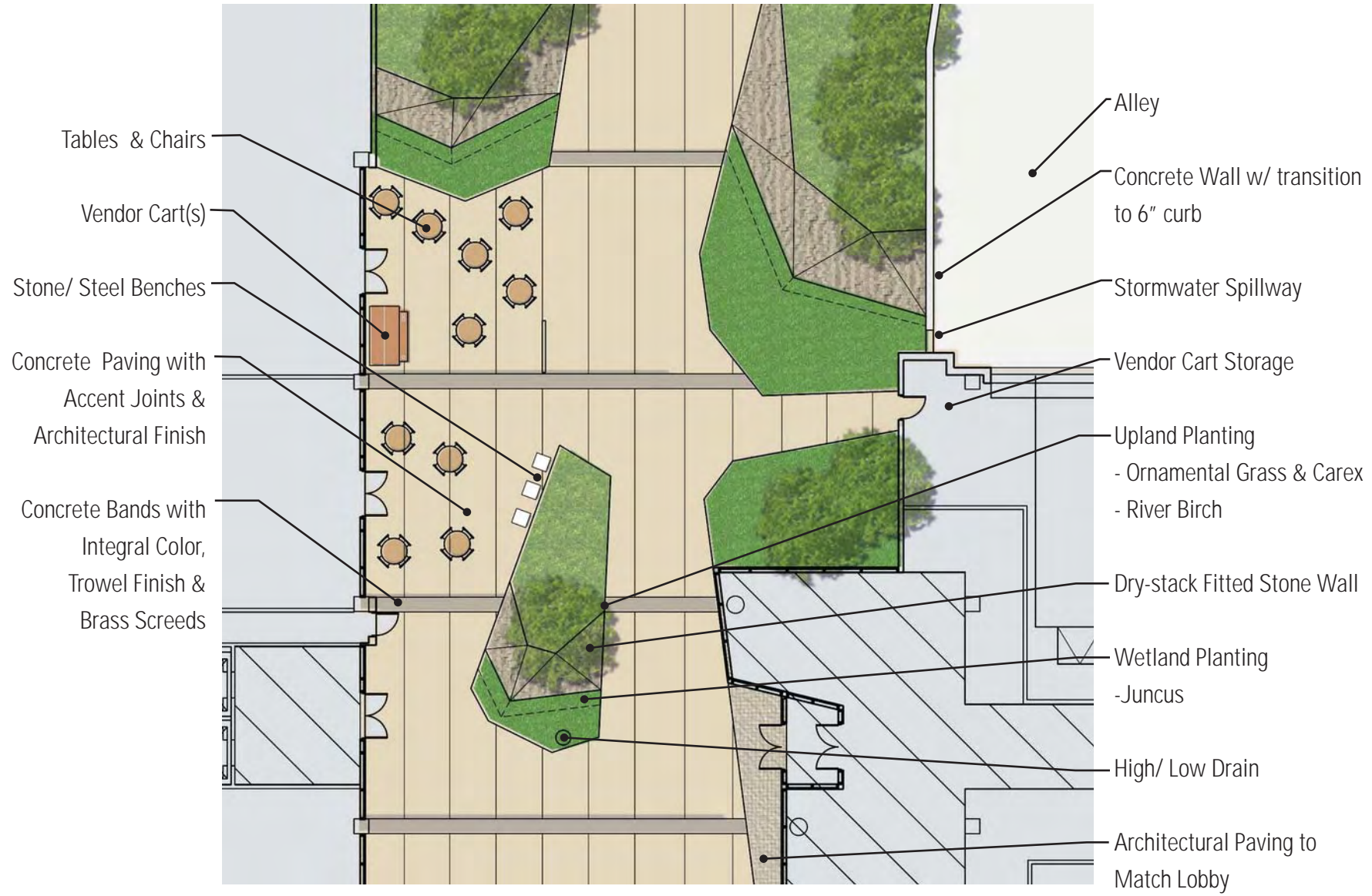
6:00 PM
JUNE

SUN STUDIES



CONCEPT IMAGES





Enlarged courtyard plan with materials and vegetation.

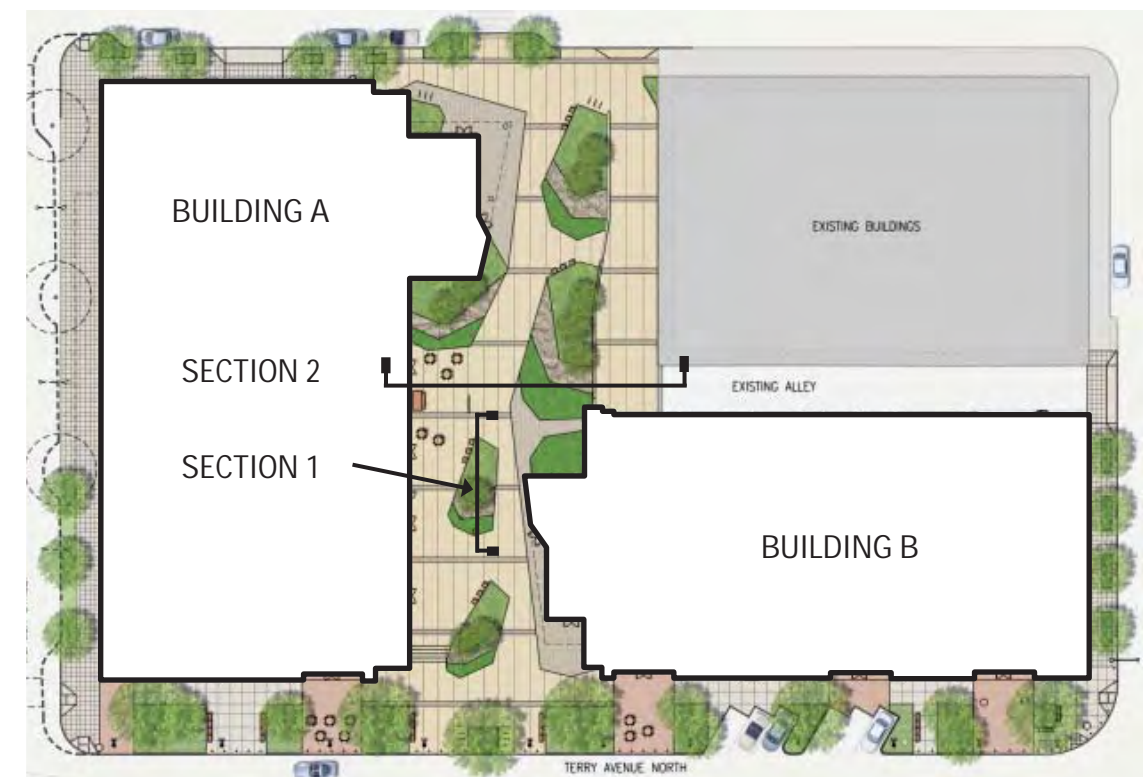




SECTION 2



SECTION 1



KEY PLAN



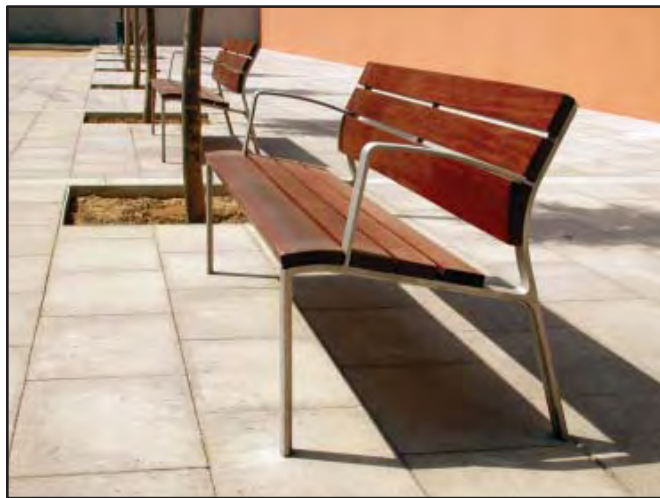
4" Diameter Steel Bollard- Painted



Calamagrostis acutiflora- Feather Reed Grass



Betula nigra- River Birch



6' Bench- Wood and Aluminum



Courtyard Bench Stainless Steel or Stone with Miscanthus sinensis



Sesleria nitida- Moor Grass



Hakonechloa macra- Forest Grass



Carex muskingumensis- Palm Sedge Forest Grass



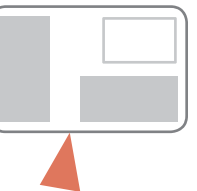
Bike Rack- Stainless Steel



Dry-stack Fitted Stone- Corbett Basalt



View from Terry Ave. North looking into courtyard.





Terry Ave. North light fixture.

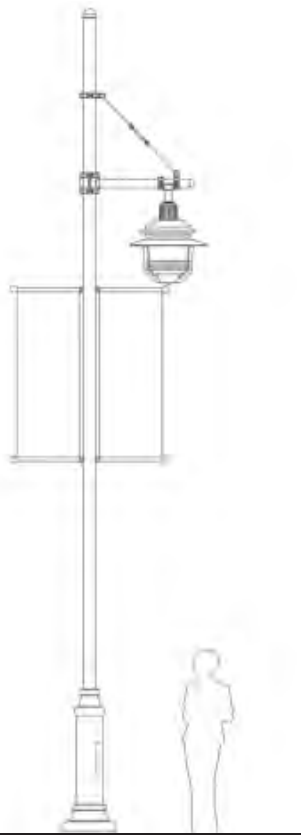
LIGHT FIXTURE TYPE



Courtyard light fixture.



Night view from Terry Ave. North looking into courtyard.

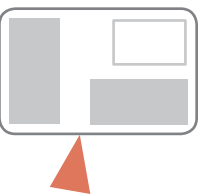


Terry Ave. North light fixture.

SCALE

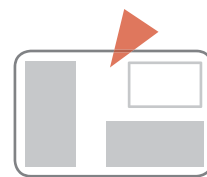


Courtyard light fixture.





View from Boren Ave. North looking into courtyard.



View to Terry Ave. North from courtyard.





View to Boren Ave. North from courtyard.



