

the eight one five pine

815 Pine Street
Denny Triangle Urban Center Village
DPD Project # 3007151



SECURITY
PROPERTIES
INC



BUMGARDNER
ARCHITECTURE • INTERIORS • PLANNING



Development Goals

1. Take advantage of the location, views, zoning and access to transit services to create the maximum amount of housing possible, including inclusionary low-income housing.
2. Create the best possible opportunity to attract a signature restaurant tenant.
3. Minimize the cost of parking.
4. Take advantage of the small site and important adjacent structures to create a landmark tower that complements its neighbors in creating a portal to downtown Seattle.

Project Team

OWNER/APPLICANT

SP 815 Pine LLC

Third Avenue, Suite 5400, Seattle, WA 98101
Contact: Craig Kolbitz - Project Manager
(206) 628-8046

ARCHITECT

Bumgardner

2111 Third Avenue, Seattle, WA 98121
Contacts: Mahlon Clements - Principal
(206) 223-1361

CIVIL

KPFF,

1601 5th Avenue, Seattle, WA

Contact: Scott Gonsar - Project Manager
(206) 622-5822

LANDSCAPE

Windrose Landscape Architecture

111 West John, Suite 203A, Seattle, WA 98119
Contact: Scott Woodcock - Principal
(206) 274-5979

STRUCTURAL

Cary Koczynski & Company

10500 N.E. 8th Street, Suite 800, Bellevue, WA 98004
Joe Ferzli - Senior Associate
(425) 455-2144

MECHANICAL, ELECTRICAL, PLUMBING

GLUMAC

1325 4th Avenue, Suite 1515, Seattle, WA 98101
Scott Vollmoeller - Principal
(206) 262-8360

Project Location

The project is located at 815 Pine Street at the southwest corner of Ninth Avenue and Pine Street on a site currently used for surface parking.

Project Description

The project consists of a 440 foot tall tower with approximately 330 apartments on 32 floors, 4,200 square feet of street level retail/restaurant, and 300 parking spaces in eight levels (both below and above grade)

Recommendation Meeting Goal:

Obtain final DRB approval to allow the project to move forward to construction.

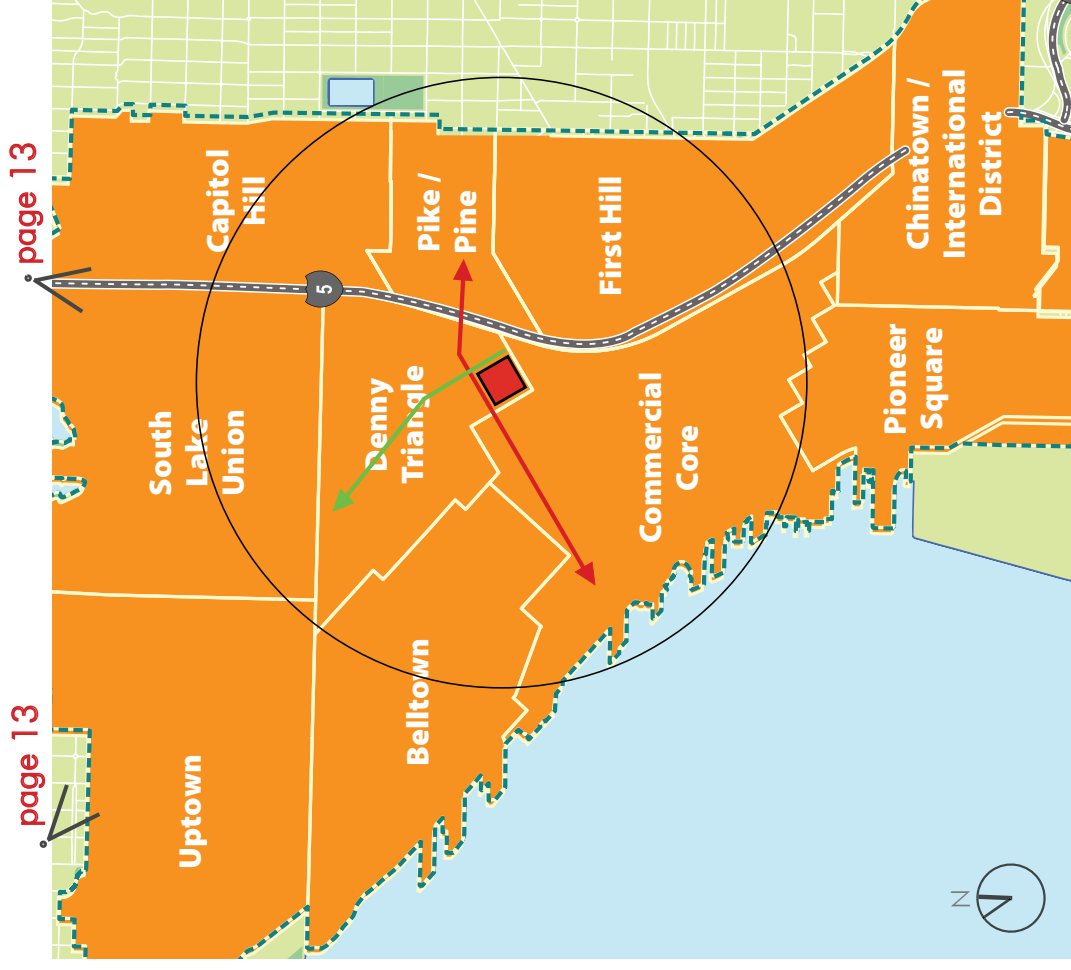
Departure Requests

1. Sidewalk Width
2. Facade Width
3. Upper Level Setback
4. Parking Size Ratios

Table of Contents

Site Analysis	2
Design Statement	4
Response to EDG	5
Views of Project	13
Plans	21
Elevations	25
Materials	26
Sections	31
Departure Requests	32





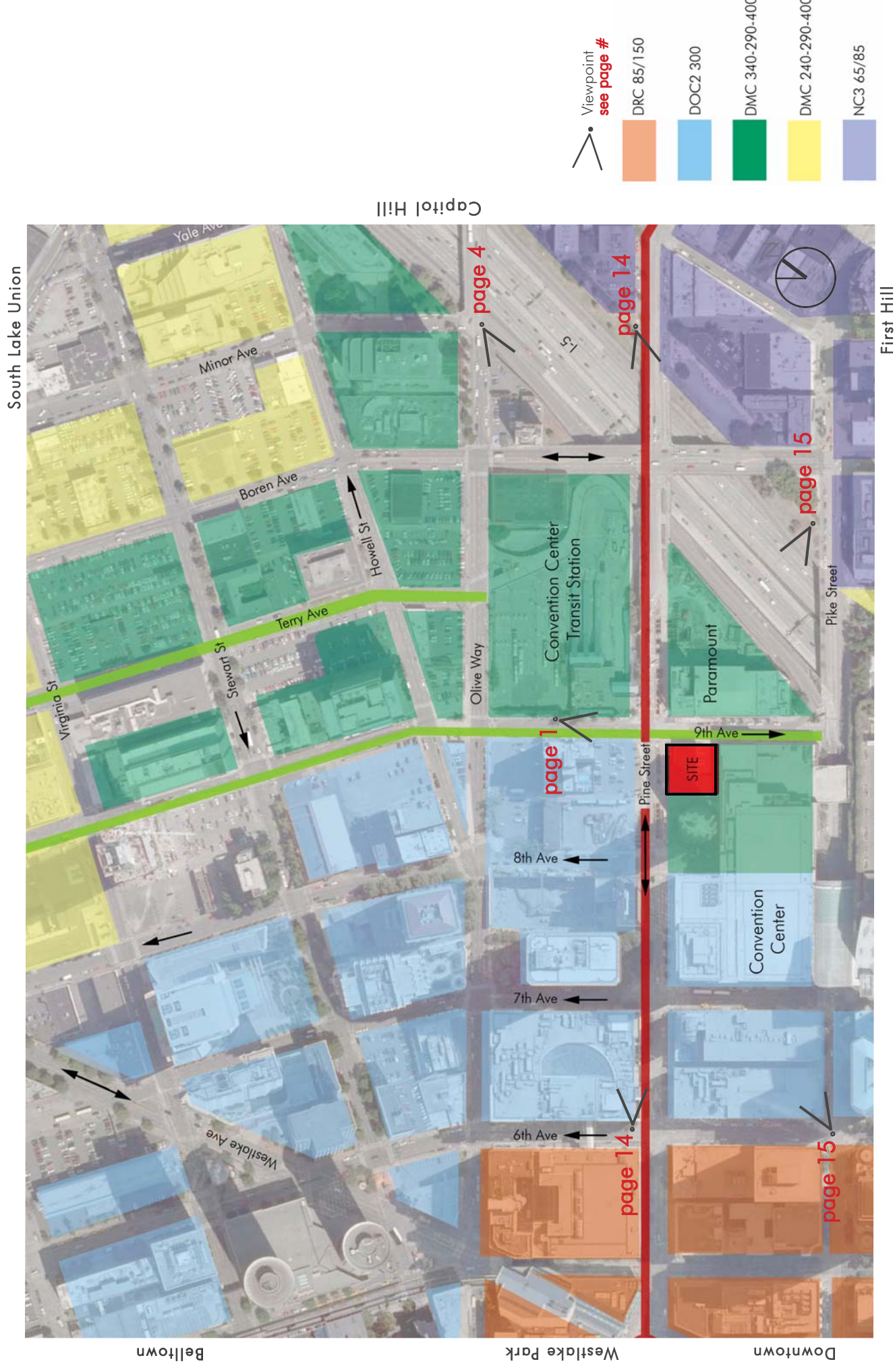
Important Corner

The corner of Pine Street and Ninth Avenue is unique and significant. It is marked by the historic Paramount Theater and busy Convention Center transit station. Pine Street is the most active pedestrian and transit street between downtown and Capitol Hill. However, the site sits in a 1000 foot long 'dead zone' between 7th and Minor Avenues. Pine Street runs both ways in front of the site, but west only after 8th Avenue.

Ninth Avenue is a designated 'green street' that extends from the site to Denny Park and South Lake Union. Although the green street designation does extend slightly beyond to Pike Street, the sidewalks on both sides are characterized by wide curb cuts, freeway ramps and generally unfriendly pedestrian conditions. Therefore, the design for the corner of Pine Street and Ninth Avenue will create an opportunity to intercept pedestrians with a generous space and redirect them to either Capitol Hill or downtown. Ninth Avenue is one-way south to its terminus at Pike Street.

Views To and From

Opportunities to see the full tower will be conspicuous from a few locations in the surrounding neighborhood. Some of these current vantage points will be eliminated when future development occurs. Dramatic views from the tower toward the mountains to the east and south will be protected by the Paramount Theater and Convention Center. Views through existing buildings to the west are also likely to remain as they currently exist. Views toward Lake Union to the North will eventually be reduced by future developments that may be 100' higher than this building.



Central Location

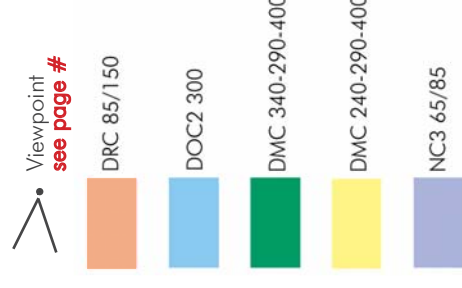
The site is located at an important corner of Pine Street and 9th Avenue in an area zoned for both office and residential buildings (DMC 340/290-400). Building heights up to 440' are allowed with specific bonus incentives. The small quarter block site is nestled between the historic Paramount Theater, the Convention Center and a 220' residential apartment building (801 Pine Street). The backside of the site faces a 75' high blank concrete wall of the Washington Trade and Convention Center loading dock and parking garage.

Eastern Edge of Skyline

The site will complete the last high rise tower site at the eastern edge of downtown. Current and/or future towers to the west and northwest currently are or will be slightly taller. As a result, full panoramic views of the skyline will be primarily from I-5 and Kerry Park in Capitol Hill.

Feet, Bikes, Buses, and Cars

The site is within a 10-15 minute walk to all of the 10 Center City Neighborhoods. Pine Street and 8th Avenue provide marked bicycle lane access. Melrose and the 9th Avenue green street also provide bicycle friendly connections. Regional access to the site, by both transit and auto is also exceptional since the site is adjacent to I-5 and the Convention Center Transit Center.



2 Site and Zoning Analysis



Complex Site Issues

- Small site within CBD for a residential high rise (112'x 120').
- Large setback requirements constrain ability to maximize allowable development.
- Sloping sidewalk grades limit and complicate activating adjacent uses.
- Adjacent utility ducts, transit tunnel and Convention Center foundations complicate shoring.
- Access to and from the site is limited by one way streets and restricted alley heights.

Diverse Neighbors

The small quarter block site sits between the historic Paramount Theater and a midrise residential apartment building (801 Pine Street), which is approximately half the height of the 815 Pine. The backside of the site faces a 75' tall blank concrete wall of the loading dock and parking garage for the Washington Trade and Convention Center. Vacant 500' high rise development parcels sit directly across Pine Street to the north. One (AVA) is permitted for development and the other is constrained by the transit tunnel that runs below. The historic Camlin Hotel sits just beyond this site on 9th Avenue. The Convention Center transit station is kitty corner across the intersection.



1. Olive 8



2. Paramount Hotel



3. AVA



4. Grand Hyatt



5. Convention Center



6. Camlin Hotel



7. 801 Pine



8. Paramount Theater

Design Statement

815 Pine Street is a forty-story residential apartment tower with 330 homes and 4200 square feet of restaurant and retail space. It responds architecturally to the intricately flamboyant and historic Paramount Theater box on one side, the iconic circular 801 Pine apartment on the other and the massive Convention Center behind, all while clearly marking it's corner location as both a Portal to Downtown Seattle and the Termination of a Green Street.



On Ninth and Pine, the transparent vertical proportions, amplified top to bottom at the corner, emphasize the tiny site by providing a marker post to simply define this portal/termination intersection.



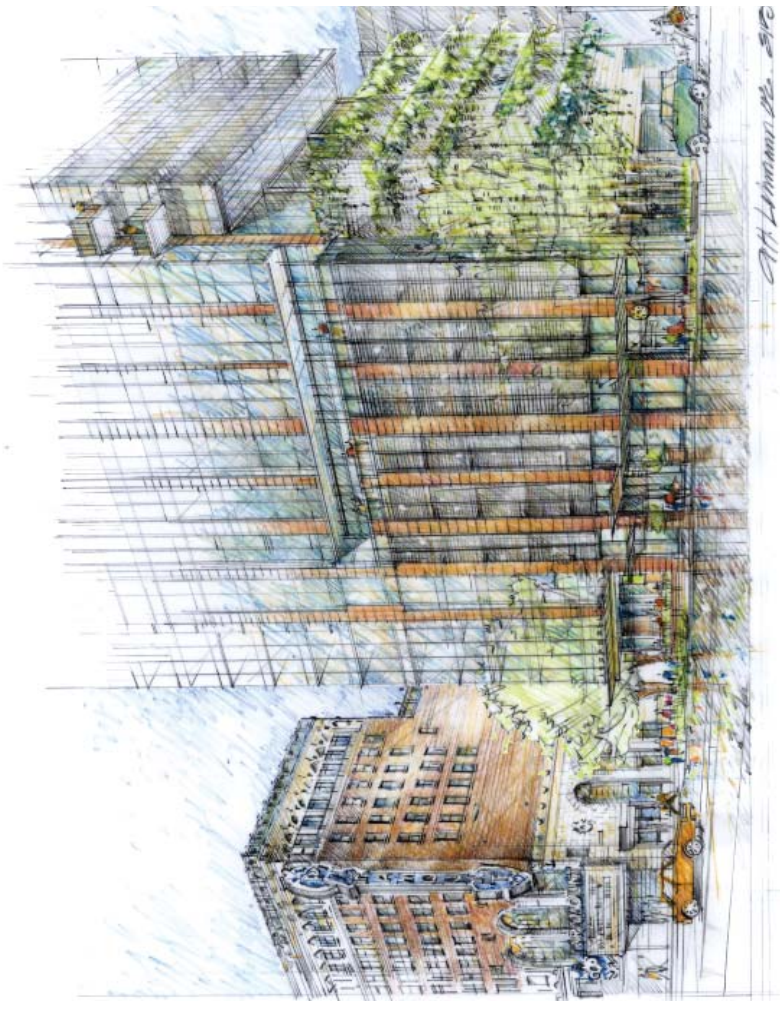
At sidewalk level a 20' high retail level is laid out to accommodate a signature "indoor/outdoor" pre-and post-theatre restaurant that emphasizes the corner marker post with a void that allows the restaurant activities to spill out to a covered outdoor dining area that also allows pedestrian surge space at event conclusion.

A verdant landscape scheme marks the termination of the green street while helping to create an outdoor space and provide protection from heavy traffic.

Above the pedestrian corner, the top to bottom curtain wall corner begins with a pair of two-story residential unit that provides street level visual interest and "eyes on the corner", but also provide two unique housing opportunities for an artist or home business with both corridor access as well as direct parking garage access at two levels. The corner location will provide some of the city's most interesting street outlooks down Pine and down Ninth, and up close-and-personal views of one of our most intricate buildings and its flamboyant sign.



At the top the box breaks and curves to reveal a large outdoor open space. To emphasize the strong material continuity of the thin vertical top to bottom corner marker at Ninth and Pine, the other elements of the top change materials and repeat material elements of other portions of the structure.



Adjacent to the residential corner, a sixth floor residential outdoor space creates another void repeating the corner street level pedestrian void, while establishing a datum point that helps defer, in scale, to the adjacent Paramount. The square proportions defined by the four floors of parking garage screen also speak to the square shape of the Paramount. A stainless steel curtain with a Dan Corson designed lighting system will both conceal yet honestly hint at parking in a way that makes subtle references to the less subtle theatrics of the Paramount.

Creating a pleasant outlook for the immediate adjacent residents of the units in the 801 Pine apartments directly across the alley is a green wall that will further provide quiet interest as an urban habitat while screening parking. At the busy narrow intersection of the alley and Pine a planting of Black Bamboo (quickly rising to 60') links the green wall to the ground, and draws the pedestrian eye up.

The northeast and northwest facing Ninth and Pine facades are the "public" front and are more urbane and business like with a conspicuous vertical emphasis, greater glass area and fewer balconies.

The southeast and southwest sides are not visible top to bottom, and present a more private residential feel, opening up to the south with more balconies and a more horizontal layering that subtly defines residential units within.

Linking all facades is a warm inviting palette of clear vision glass, warm grey spandrel glass, and burnt ochre metal panels in a pattern that moves in recognition of the individuality of residential use.

A. Site Planning

A-1 Respond to the Physical Environment

The Board did not add to its earlier comments.

A-2 Enhance the Skyline

DRB Comments – Reconsider the rooftop of the structure with the intention of creating a more expressive structure. One technique is to express the internal program such as the pool on the exterior. With the exception of the curved wall, the roof facing the two streets is a continuation of the shaft. The rooftop at these elevations should possess a greater distinction from the shaft while maintaining a sense of continuity. See guidance B-4.

Response – The top has been revised such that only the roof at the corner of Ninth and Pine is a continuation of the shaft. This is done to clearly mark the corner from the distance and to enhance the verticality of corner element.

The rooftop mechanical screen is now screened with the same elegant stainless steel material as the parking levels at the base, to both provide a greater distinction from the shaft and provide a continuity of materials.

The functions of the rooftop common spaces below are expressed by a higher floor to floor.



View from Top of Olive 8



View from I - 5

B. Architectural Expression

B-1 Respond to the Neighborhood Context

DRB Comments – The proposal with its use of terra cotta, corner cut out and balcony, exposed stairs along Ninth Avenue and potential for suffused illumination from the parking garage, alludes to the Paramount Theater, a city historic landmark. The Board wondered whether the conditions that are important to the Ninth and Pine corner as expressed at the lower levels, should be continued upward to define the corner for its entire height as a means of visually anchoring the structure.

The proposed balcony at the corner and the exposed staircase facing Ninth Ave. are opportunities to create truly elegant architectural elements. The Board looks forward to seeing these features, with so much potential, realized in a contemporary manner that matches the refinement of the Paramount Theater.

Response – The corner of Pine Street and Ninth Avenue is visually anchored by the recessed corner entrance and rooftop balcony which are amplified by contiguous curtain wall façade and defined by the stacked row of balconies. The residential balconies and stair on the east side complement similar uses on the Paramount Theater but are expressed with architecturally finished concrete and clear glass that is consistent with the contemporary tower.

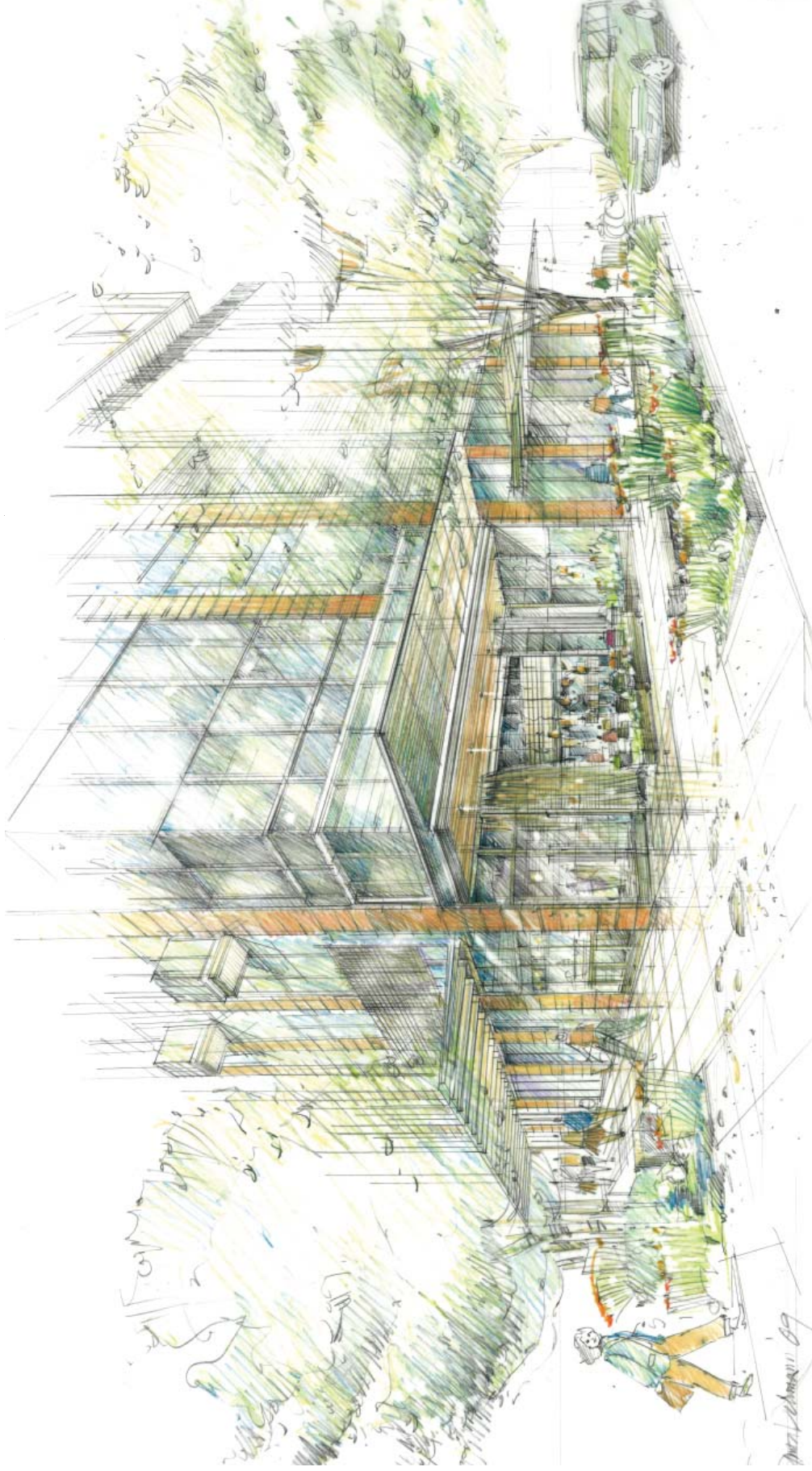
B-2 Create a Transition in Bulk and Scale

The proposed structure's relationship to the 801 Pine St. apartment building appeared satisfactory to the Board.

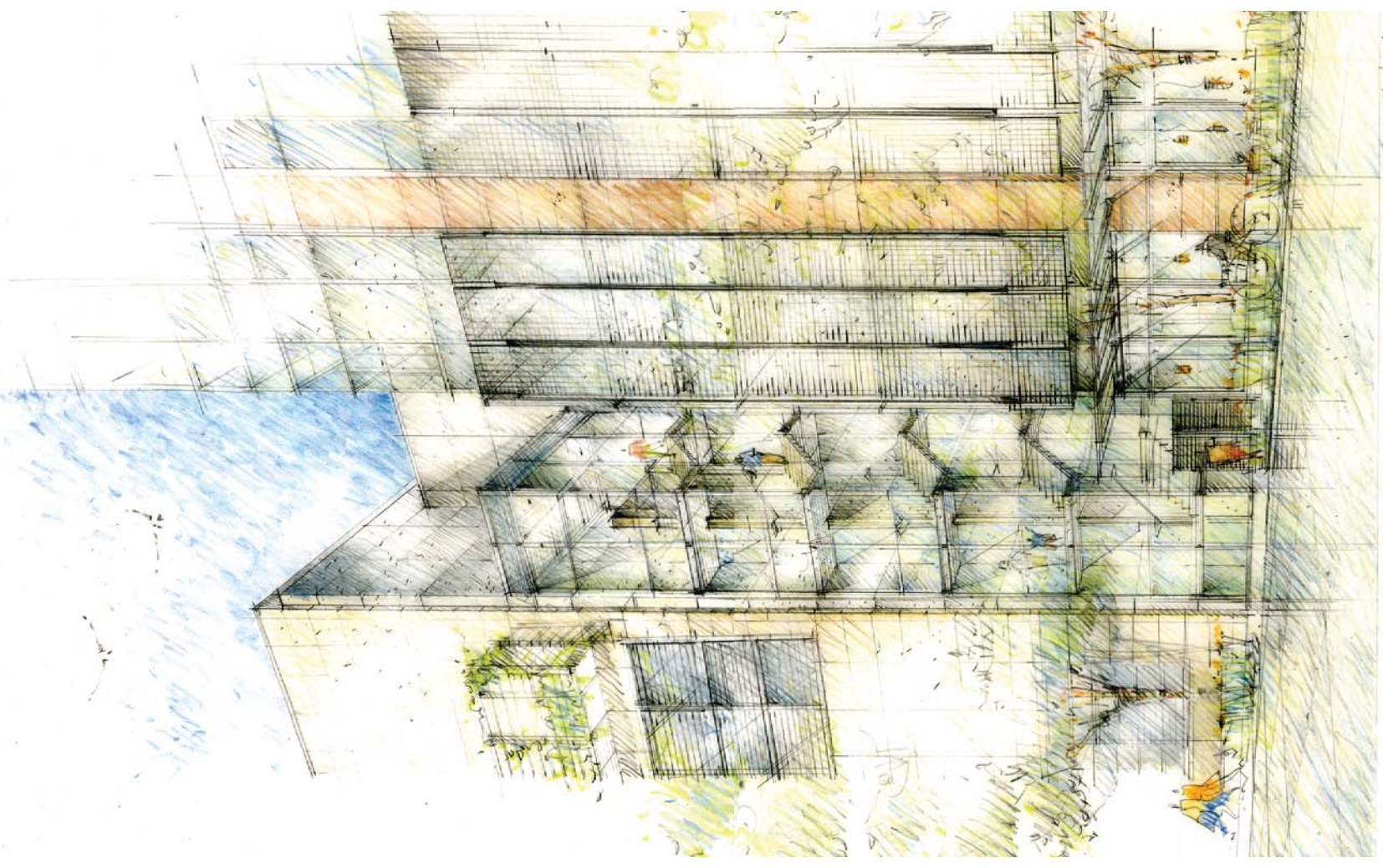
B-3 Reinforce the Positive Urban Form & Architectural Attributes of the Immediate Area

DRB Comments – The proposed treatment of the corner with its second floor balcony, raised sidewalk café and cut out of the façade engages the structure with pedestrian activity at the street; however, the design forces the pedestrian to circumnavigate the raised seating platform and walk beyond the overhead canopy's protection. The second floor balcony is less than the required height of ground floor uses as expected in the Land Use Code. A representation of the second floor plan (and section) would have helped define the how the interior space works.

Response – A covered outdoor dining area is maintained in a configuration that can be expanded in the future. The scale and proportion of the corner is intended to subtly echo the Paramount's entrance and marquee. The balcony level was not feasible.



View of Pine Street and Ninth Avenue Corner

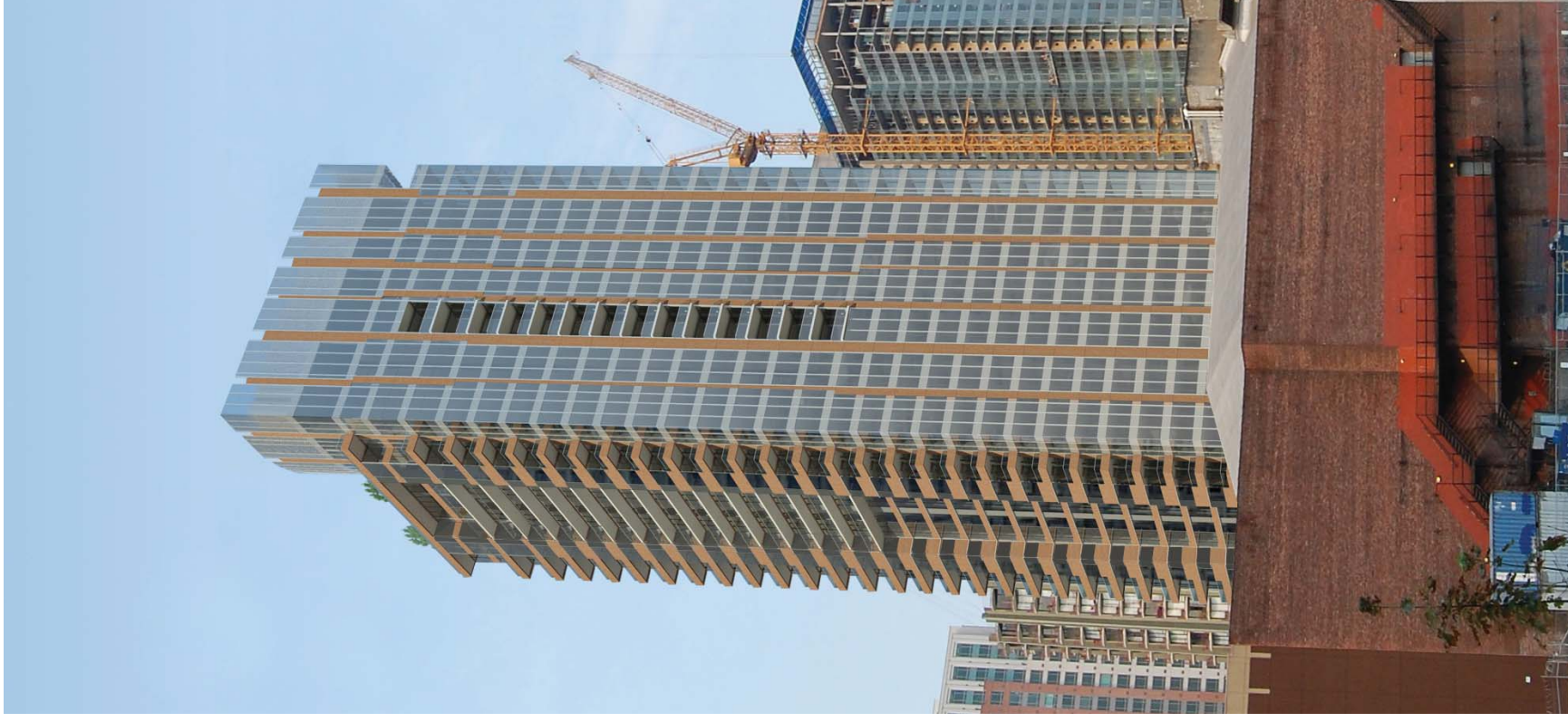


Stair on Ninth Avenue

B-4 Design a Well Proportioned & Unified Building

DRB Comments – Recognizing the playfulness of the vertical striations on the north and east elevations, the Board asked that the two facades with horizontal stripes be more assertive. Just as the Pine St. and Ninth Ave. facades subtly express the density of units on each floor, this occurs on the alley and convention center sides as well. In spite of the changes in the height of the spandrels and the width of the balconies, the two minor facades lack the whimsy of their sisters. Unresolved is the transition at the corners from the horizontal to the vertical facades. At the northwest corner, a vertical spine of balconies creates a transition between the facades. At the southeast corner, this transition appears less sure of itself. The architect's attempt to define a base, middle and top lacks clarity. In the small elevations presented in the design review booklet, both the vertical, terra cotta stripes and the homogeneity of color in the façade renderings, overwhelm the distinctions created by the six floor balcony (on Pine St.) and the channel glass proposed for the garage. Unlike the west and south facades, in which the balconies clearly define the shaft, the vertical columns of balconies on the north and east walls do not extend to the base. The curtain wall at the roof top of the north and east elevations lacks resolution---the only distinction between it and the shaft is the lack of balconies. The top should possess clarity and a better resolution. See guidance A-2.

Response – Additional articulation was added to the south and west elevations. The corner balconies were also made larger to better articulate where the two façade concepts meet. Overall, the full tower is intentionally composed with a recessed balconies and changes in materials to achieve a more subtle articulation of traditional base, middle and top. The rooftop is expressed at primary 'public' corner of the tower where the curtain wall glazing continues to the sky



View from Pike Street of South and East Facades



West Elevation at Alley

C. The Streetscapes

C-1 Promote Pedestrian Interaction

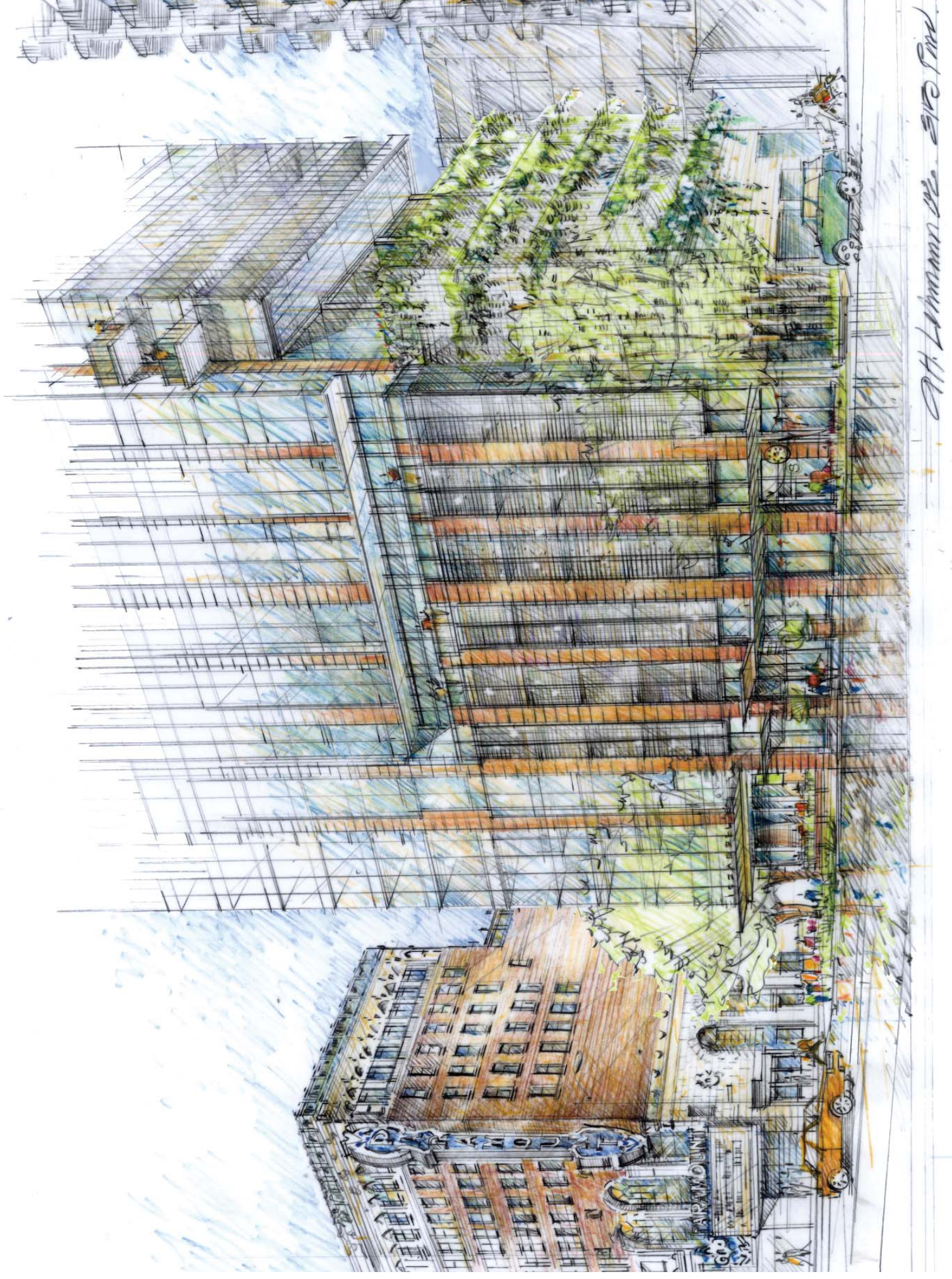
DRB Comments – The Board supported placing the residential entry on Pine St., a shift from the guidance given at the earlier meeting. Overall, the Board expects a more realistic representation of materials at the street and garage levels. Future drawings should delineate the pedestrian experience at the ground plane. Provide analysis of the relationship of the restaurant (retail) floor level and the sidewalk level for the Recommendation meeting; for example, how does the sloping sidewalk relate to the restaurant?

Response – The design provides three different uses along Pine Street to maximize pedestrian activity. A grand 20'+ height is provided both here and along Ninth Avenue. A smaller human scale four foot storefront and glass canopy module is also provided. A slight horizontal rib is introduced into the vertical "burnt ochre" colored metal panel bands to provide greater scale and detail.

C-2 Design Facades at Many Scales

DRB Comments – The six story base has several architectural features and materials such as terra cotta, balconies, and exposed stairs which provide a sense of the human scale. Execution of the details for these features will further enhance the intimacy of scale. The Board especially noted the importance of the terra cotta detailing. In sum, the closer the proximity to the streetscape the finer the grain of detail should be provided. The shaft with its playful variations in the skin, noting changes in program, and severe strip of balconies must also suggest the human scale. The challenge for the architect is to invest the facades with a finer grain. Consider using texture and incident on the façade that highlight solar conditions which ultimately provide visual interest to the on-looker.

Response – The design is intended to provide a balanced composition a multiple scales: the complete tower, the base and the sidewalk. The overall tower is articulated by several larger recessed balconies and the stacked vertical unit balconies within a consistent four foot module. Operable windows have also been introduced to provide a finer grain of detail. The design of the base introduces several functional architectural features that provide greater scale. The sidewalk level is provided the most detail and scale with recessed storefront windows, thin steel and glass canopies, signage and landscaping. The terra cotta has been replaced with a painted 'burnt ochre' metal panel that will articulate horizontal ribs at the sidewalk and base level.



View from Pine Street

C-3 Provide Active, Not Blank, Facades

DRB Comments – The Board emphatically urged the applicant to add small work spaces at each level of the northwest corner of the parking garage in order to further activate the lower façade. These units will have attractive views down Pine Street.

Response – Two large residential units at the primary corner cover over thirty percent of the Pine St. and Ninth Ave elevations and rise directly above the retail storefront. The remaining areas that contain parking are screened with a stainless steel architectural screen that has been specifically considered to restrict views inside of the parking areas. Several stacked balconies are provided in the corner by the corner to allow views to the west thru a dramatic tall stand of black bamboo.

C-4 Reinforce Building Entries

DRB Comments – The Board agreed with the applicant that the formal residential entry could be located on Pine St. However, the lobby appears less than gracious and should be enhanced to celebrate the sense of entry and movement through the building. Techniques include using materials to provide continuity between exterior and interior, widening the lobby, and shaping a series of modulated or discrete spaces from entry door to elevators.

Response – The residential entrance is expressed with a raised canopy and special sidewalk paving pattern. The design for the lobby will be inviting and direct residents and guests toward the elevators. However, the size, location and program for the lobby has intentionally been kept relatively small to maximize the more active retail/restaurant/café spaces on each side.

C-5 Encourage Overhead Weather Protection

DRB Comments – The lack of overhead weather protection at the corner presents a problem since the raised platform at the sidewalk café pushes the pedestrian beyond the realm of overhead weather protection.

Response – Full continuous overhead weather protection is provided.

C-6 Develop Alley Facade

The Board appeared satisfied with the green screen overlooking the alley.



View East on Pine Street

D. Public Amenities

D-1 Provide Inviting and Usable Open Space

DRB Comments – The green street concept for Ninth Avenue met with general approval and the redesigned curb bulb enlarges the open space in the right of way. DPD and SDOT will review the pull out lane and the curb bulb as the project progresses to MUP stage. [Note: DPD staff does not support retaining the pullout land on Pine St.]

D-2 Enhance Building with Landscaping

DRB Comments – The bamboo proposed at the corner should not block the views from the Board requested transparent windows at the corner.

Response – The vertical bamboo, the monumental green wall at the alley and landscaped edge on the public balconies are primary landscape features of the building. The views from the balcony windows in the parking garage will be thru the bamboo and less important.

D-3 Provide Elements that define Space

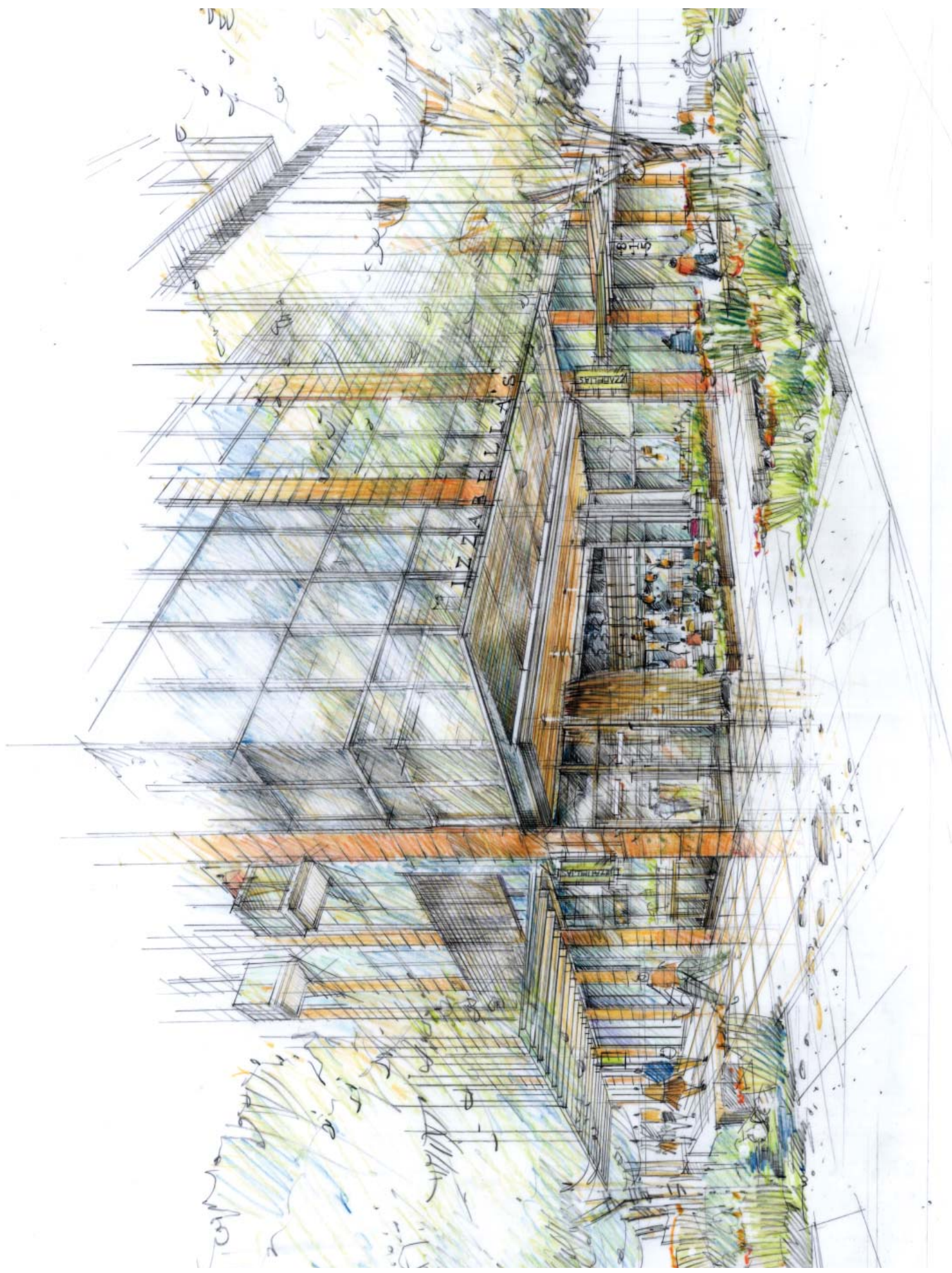
DRB Comments – The idea of a restaurant engaging the interior and exterior of the corner as well as providing activity at two levels interested the Board members. Done right, the design could define the place as an attractive neighborhood feature and complement to the neighboring theater. The Board looks forward to seeing more refinement for the Recommendation meeting.

Response – The coordinated design of the recessed building corner and street landscaping concept will provide an area of respite and sense of place at this important intersection.

D-4 Provide Appropriate Signage

DRB Comments – The Board will review signage concepts at the Recommendation meeting.

Response – Three distinct signs will identify the three different types of building entrances along Pine Street. The corner retail/restaurant space has been designed to accommodate a larger marquee sign in area above the canopy as well as a pedestrian level sign on the vertical panels adjacent the recessed area. The residential entrance is provide a street scale sign in the area above the canopy as well as pedestrian signs in the vertical panel adjacent the entrance. The small retail space will only have a sign provided in the vertical recessed panel adjacent the entrance.

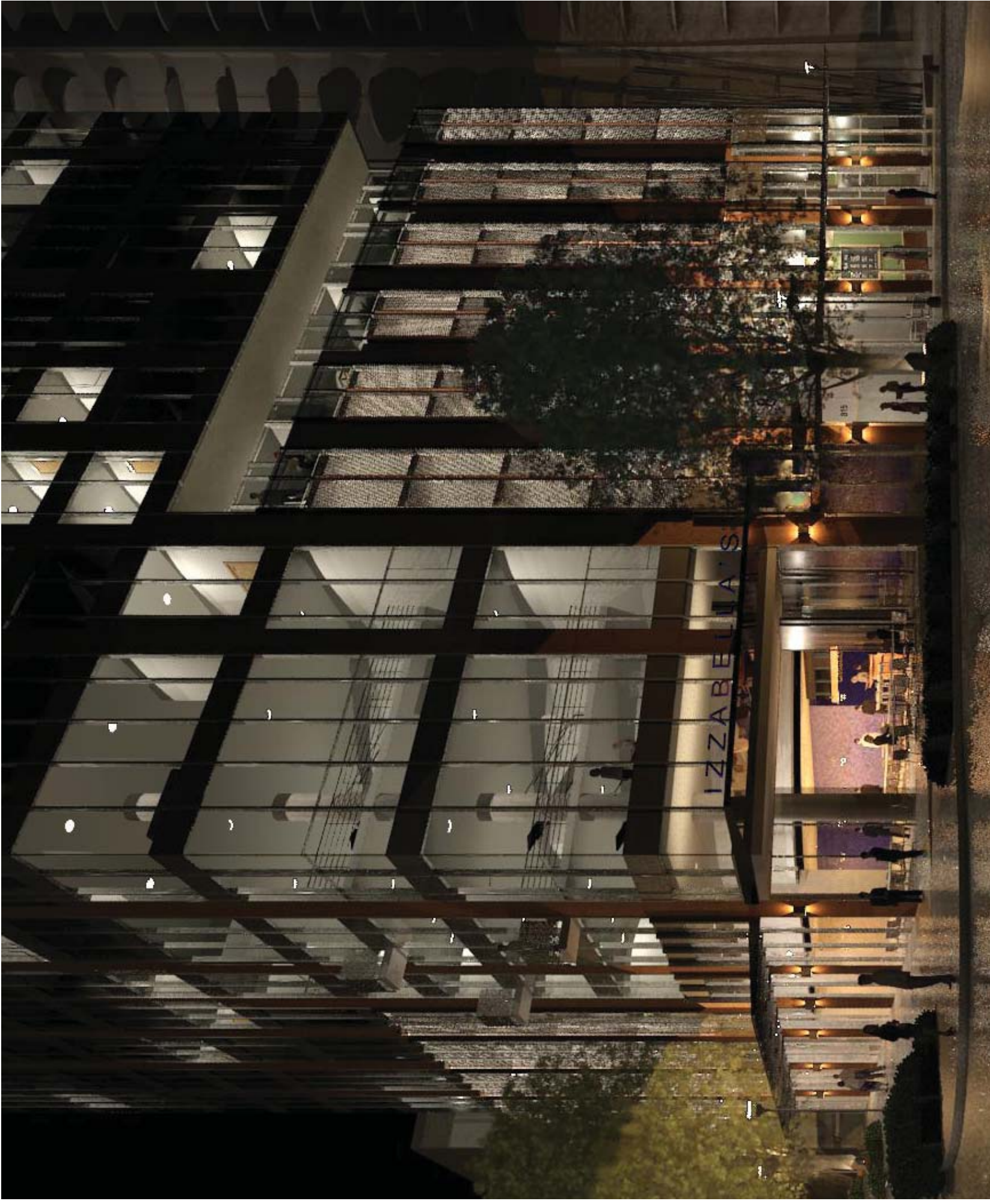


View of Pine Street and Ninth Avenue Corner

D-5 Provide Adequate Lighting

DRB Comments – Basing its remarks on the nighttime renderings, the Board requested suffused illumination at the corner rather than the harsh light as shown on the drawings. Drawings for the next meeting should make this clear.

Response – The primary sidewalk lighting will be provided by the tall 20'+ high storefront windows. The glass canopies will maximize the amount of this light that spills upon the sidewalk. Above the sidewalk the parking screen will be lit with continuous vertical LED lighting that will wash both the inside and outside of the screen. The unique 'egg crate' design of the mesh was specifically chosen for its ability to capture and reflect light. The lighting of the tower top will highlight the balcony and curtain wall high above the Pine Street and Ninth Avenue corner. This corner focal point will be flanked by a gentle glow of the stainless steel mesh mechanical screen lighting similar to the base.



Night View of Pine Street and Ninth Avenue Corner

E. Vehicular Access and Parking

E-1 Minimize Curb Cut Impacts

DRB Comments – The Board lauded the applicant’s placement of all vehicular access on the alley.

E-2 Integrate Parking Facilities

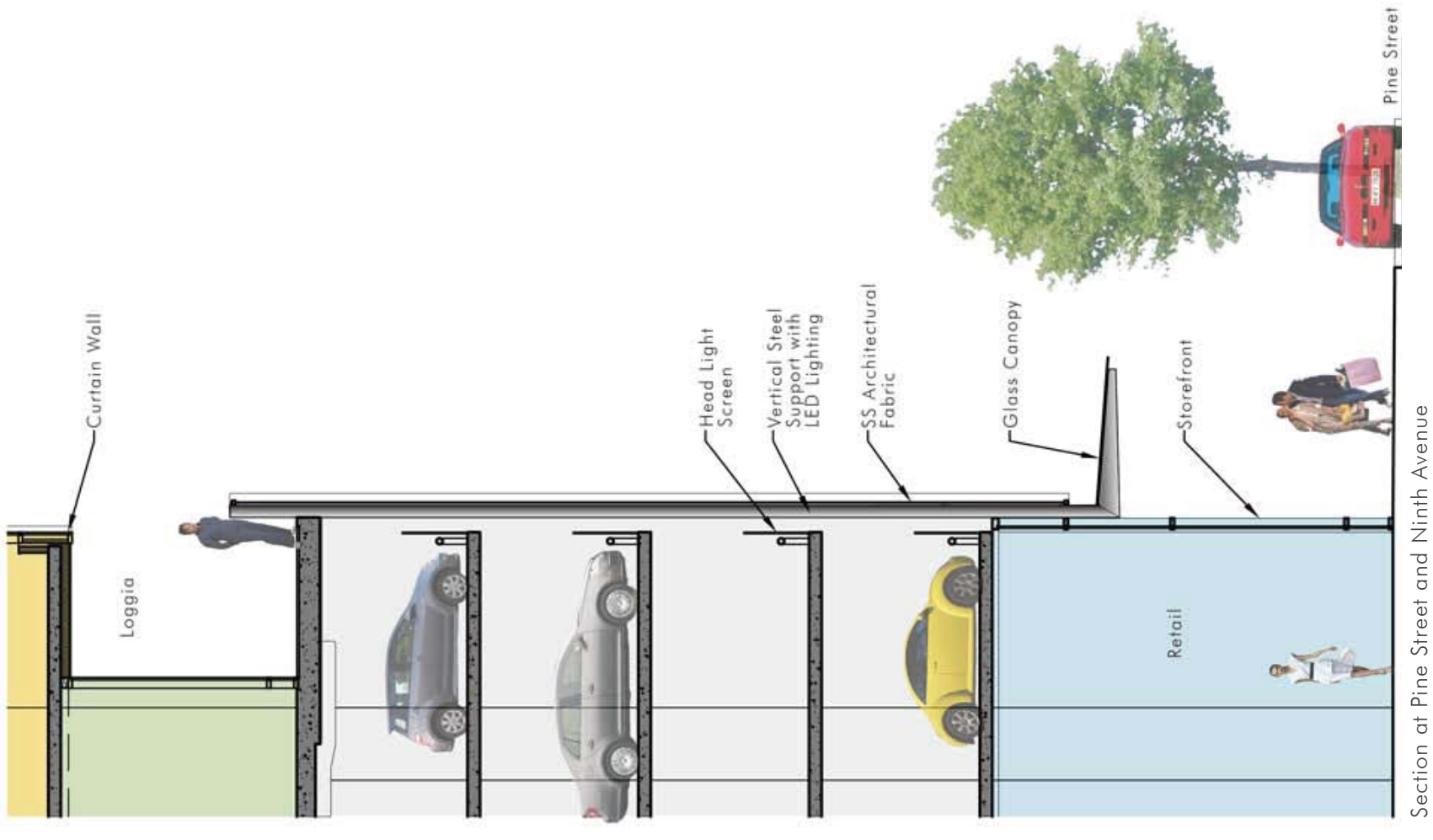
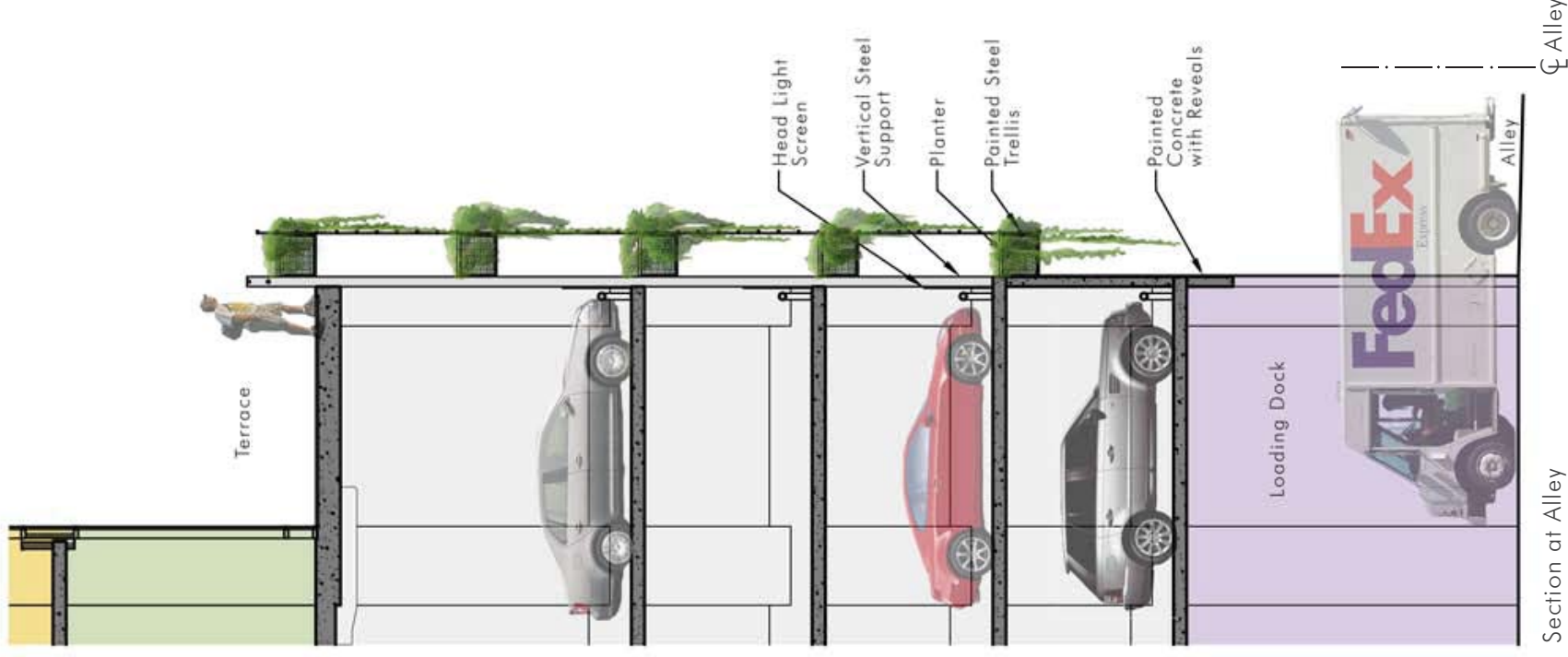
DRB Comments – Intrigued by the potential of channel glass for the façade of the parking garage, the Board urged the architect to extend the investigation of what the material’s possibilities are. The Board would like a list of local examples of where channel glass has been used. Follow-up drawings should show a realistic night rendering of the glass and the open separations between panels explaining how headlamps and overhead garage lighting will be addressed by the channel glass.

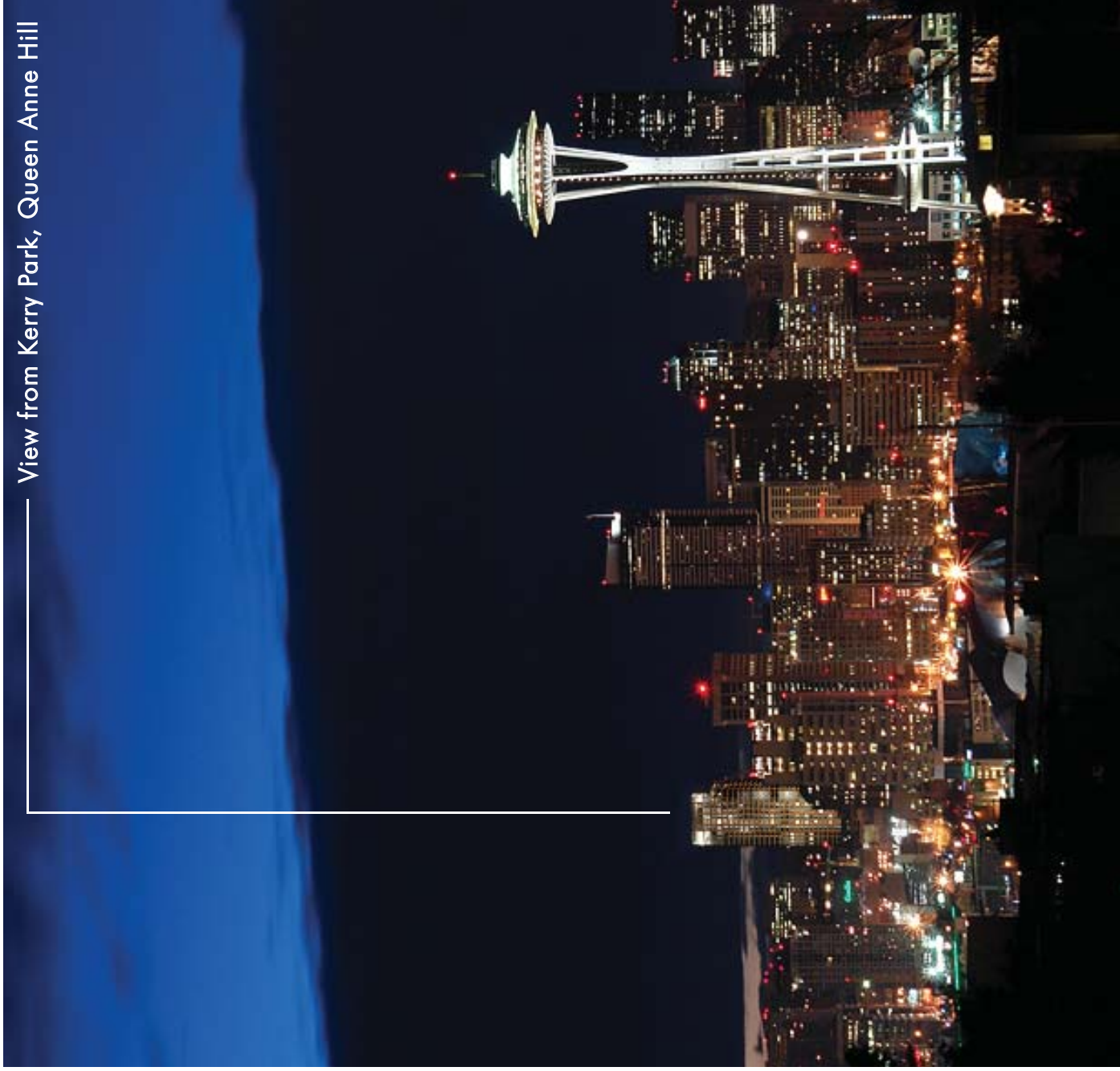
Response – Two distinct parking screen concepts are provided. At the public street sides of Pine and Ninth a stainless steel architectural mesh is provided. The design provides a vertical emphasis consistent with the overall design concept for these elevations and the attachment details will provide interesting scale. The depth of the mesh restricts views from the sides and sidewalk below. A dramatic planted green screen wall is provided at the alley elevation on the west side of the building. This green wall will utilize previously grown vines that allow for the screen to be installed in a substantially compete condition.

E-3 Minimize the Presence of Service Areas

At the Second EDG meeting, the Board did not address this guidance.

- Lobby / Circulation
- Retail Space
- Amenity Space
- Residential
- Services
- Parking / Decks

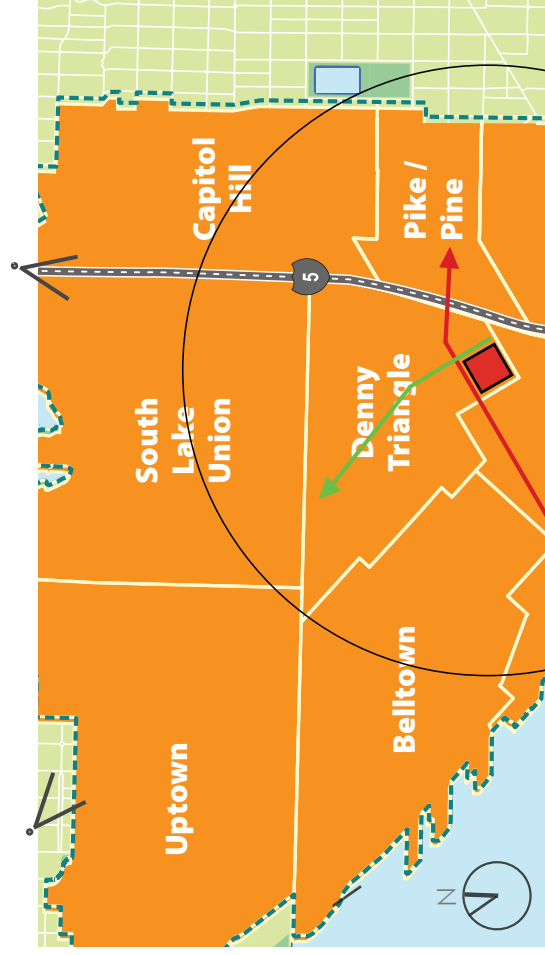




View from Kerry Park, Queen Anne Hill



View from I-5





View West from Pine Street



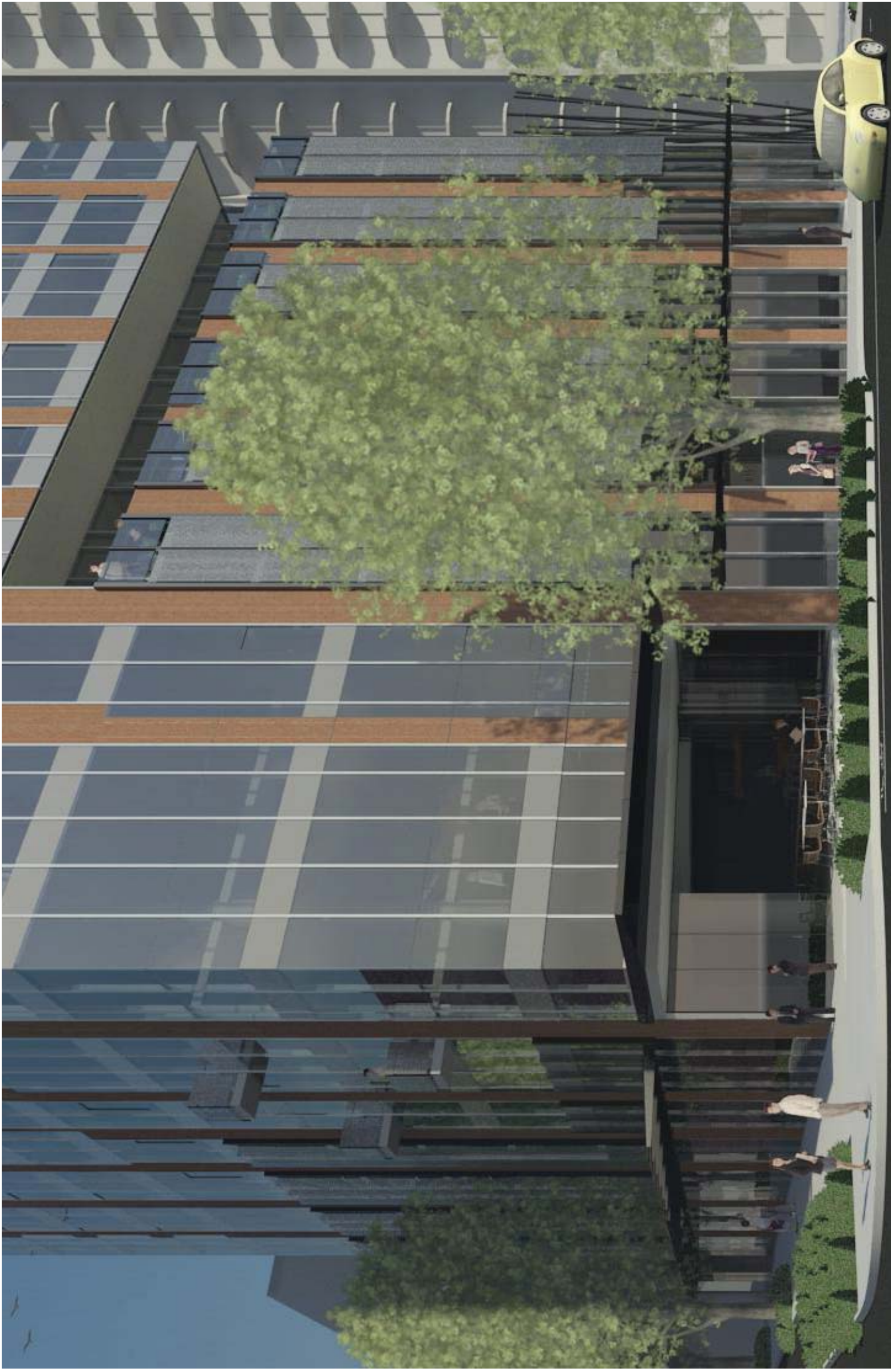
View from 9th Avenue



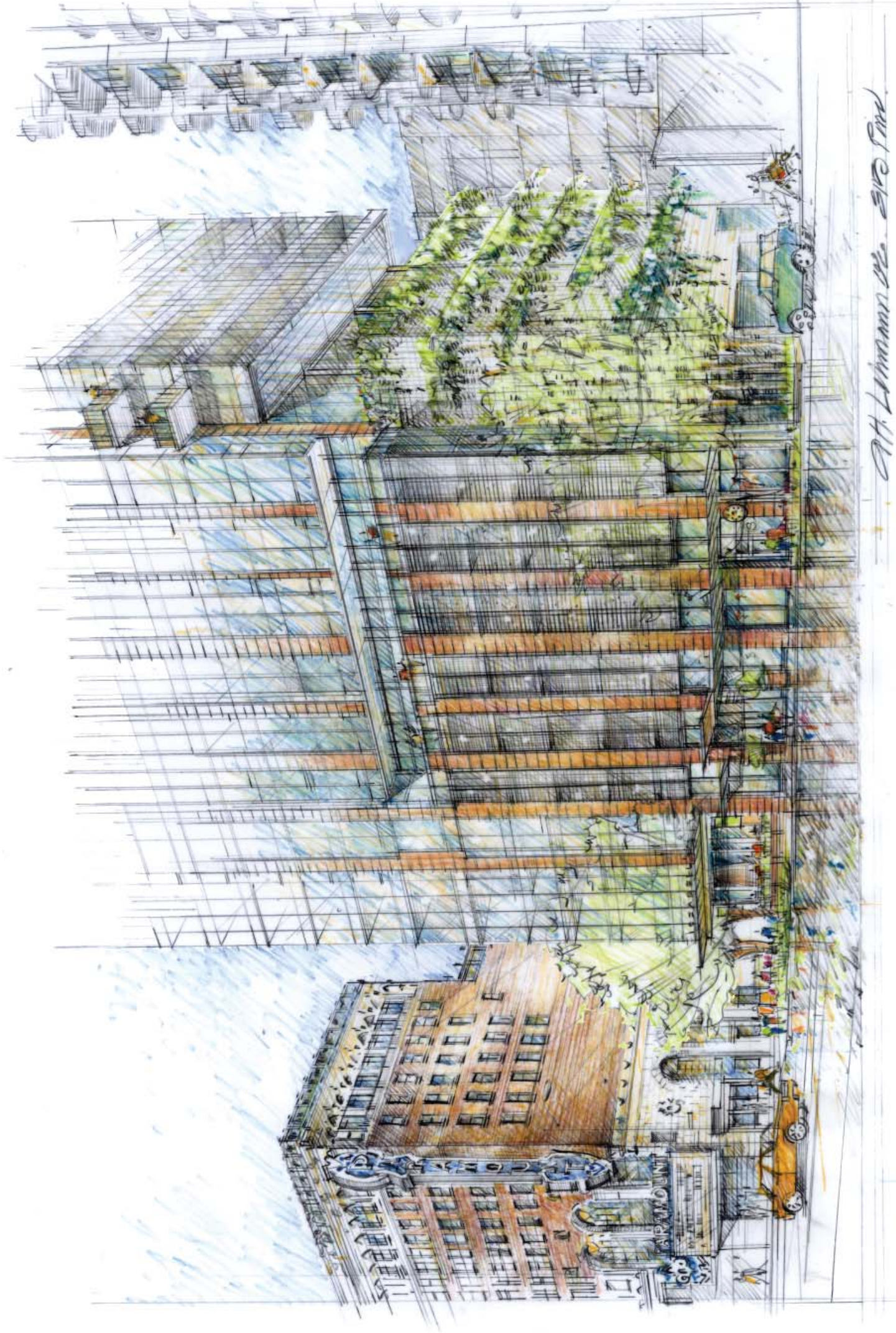
View from Pike Street



View from Pike Street and 6th Avenue



View of Pine Street and Ninth Avenue Corner



View from Pine Street

A. H. Lehmann & Co. 210 Pine



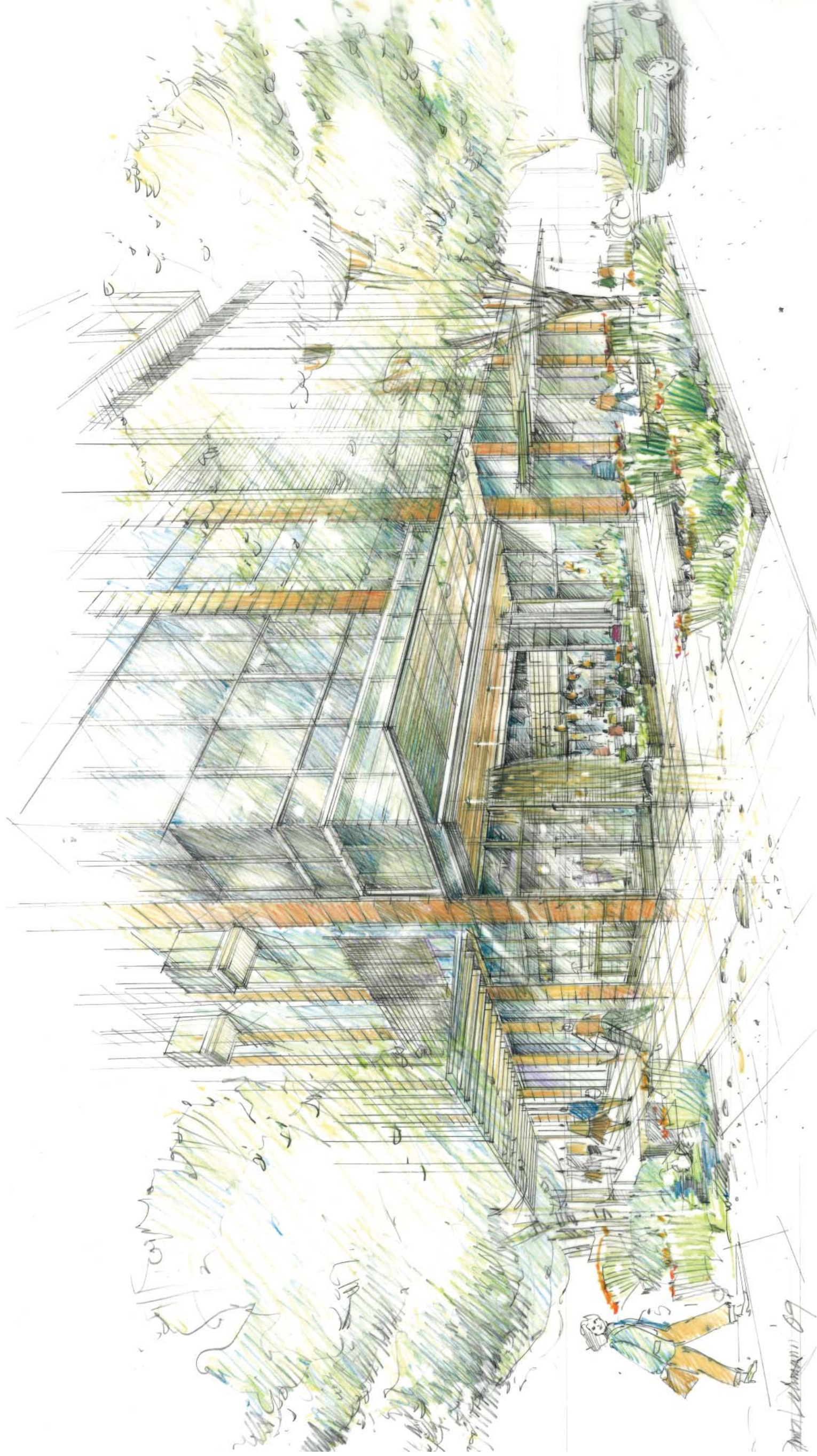
SECURITY
PROPERTIES
INC



BUMGARDNER
ARCHITECTURE • INTERIORS • PLANNING



Sidewalk Viewing East from Pine Street

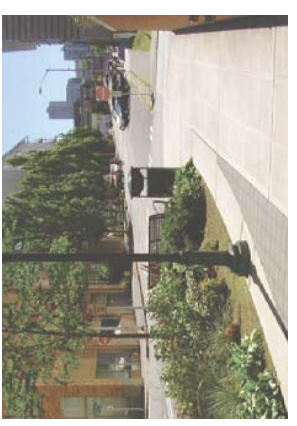


View of Pine Street and Ninth Avenue Corner



View of Top from Northwest





1. Digitalis purpurea



2. Dicentra spectabilis



3. Mahonia media



Street Level Plan

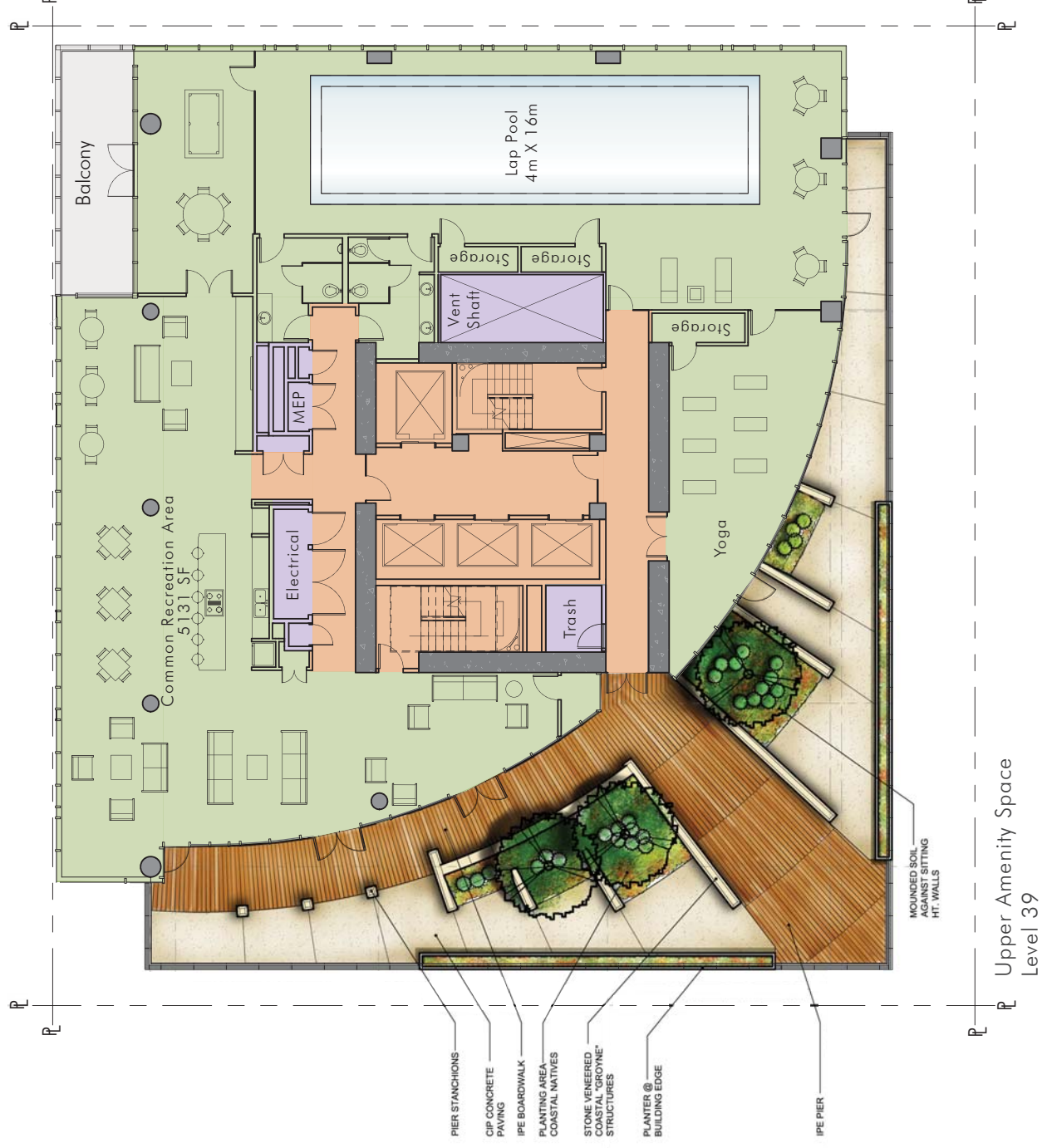
Both green and urbane streetscapes...

A flourishing green street concept is proposed to mark the importance of this corner intersection as the effective beginning/end of the 9th Avenue / Green Street. We are proposing a water feature along 9th to carry canopy/roof rain water in a boulder lined course representing the upper reaches of mythical Cascade Creek, similar to the one in Cascade Park. This feature terminates in an expanded curb bulb area composed of Northwest natives. The curb bulb extension also reduces the pedestrian crossing distance and provides a small garden respite. The remaining street edge planting is a continuation of adjacent Red Maples, mid-height understory of India Hawthorne, huckleberry, ornamental grasses, and perennials.

In contrast to the quieter green street, Pine Street is more urbane with greater energy and activity. Consequently, an outdoor dining terrace is proposed to add to this energy. We propose to liberate the sole Zelkova tree from its tree grate and expand the planting area to match the similar area to the west. Building entrances are marked with special paving and metal sidewalk joint insets are proposed to connect to the 4' building module.



Lower Amenity Space
Level 6



Upper Amenity Space
Level 39

- Lobby / Circulation
- Retail Space
- Amenity Space
- Residential
- Services
- Parking / Decks

22 Floor Plans

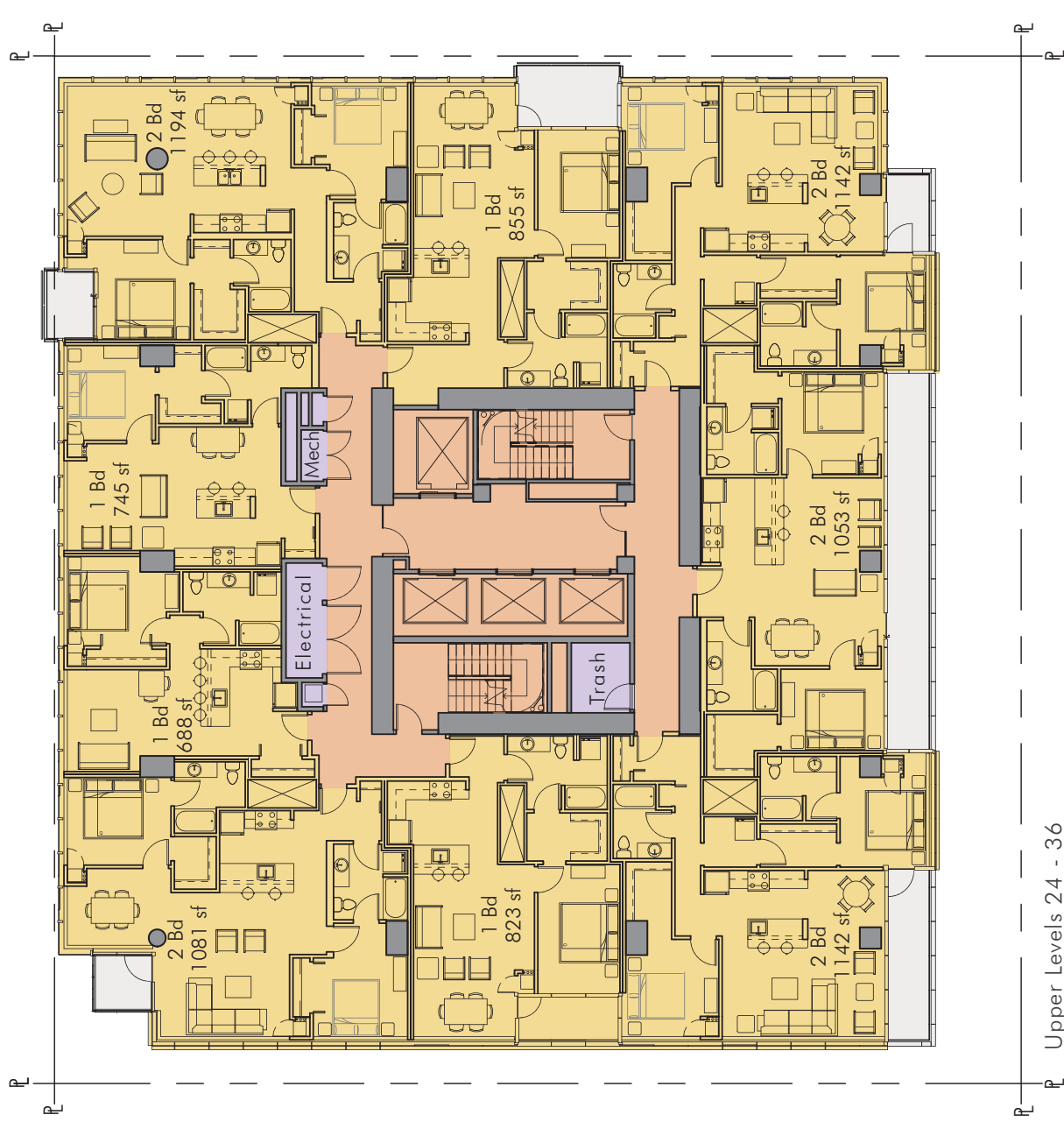
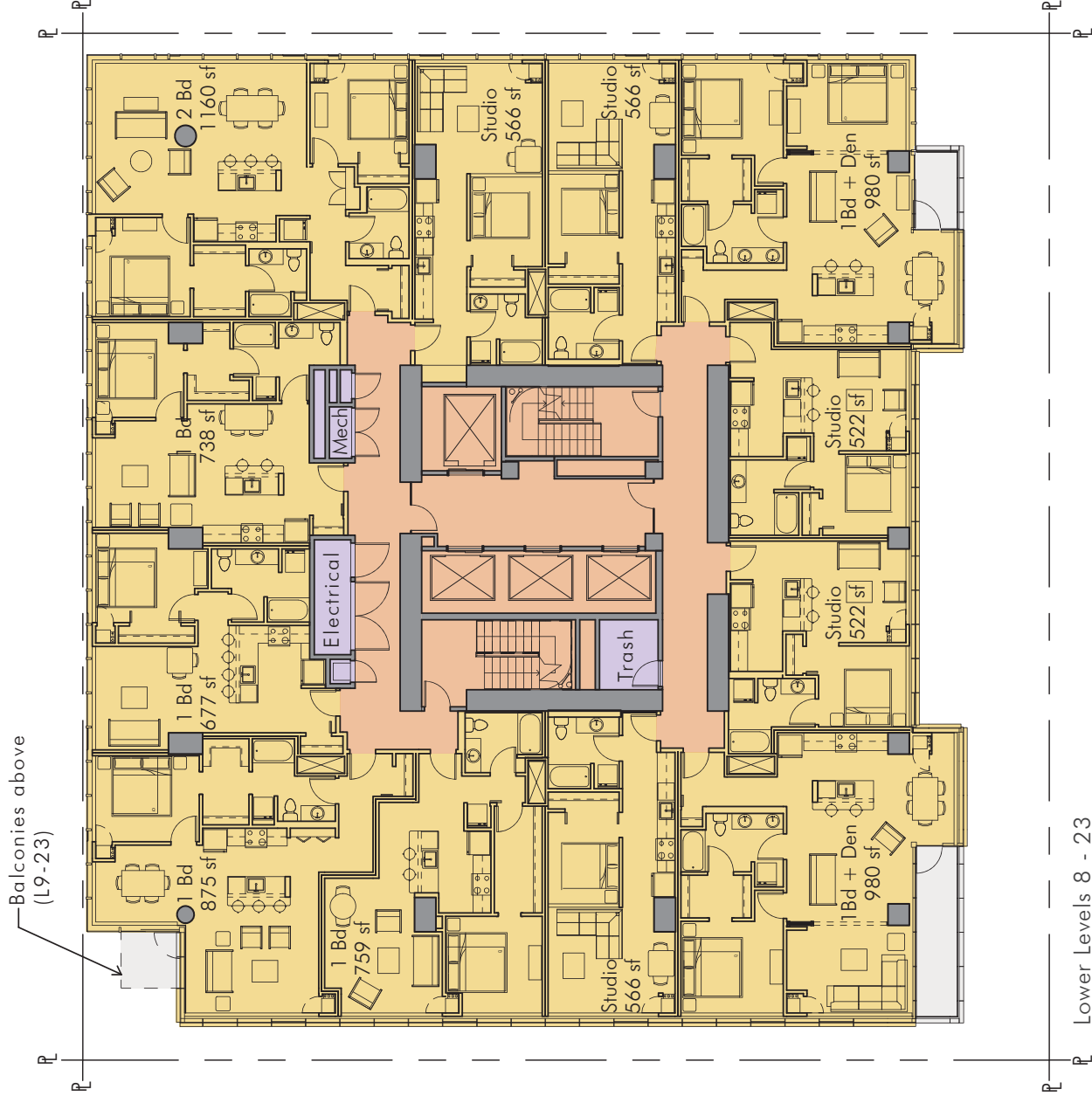


SECURITY
PROPERTIES
INC



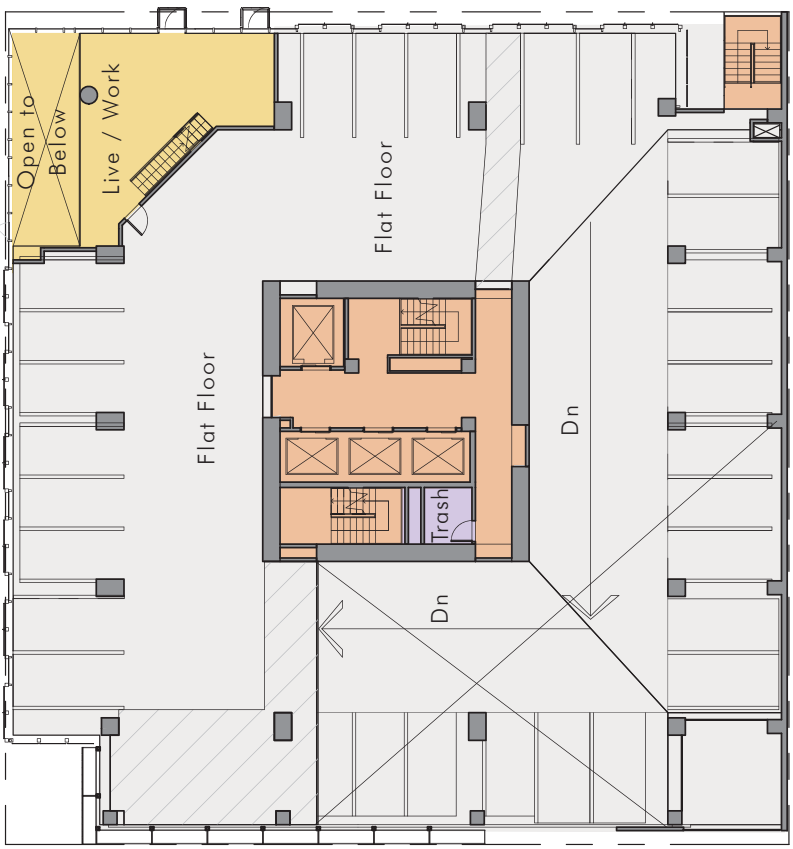
BUMGARDNER
ARCHITECTURE • INTERIORS • PLANNING



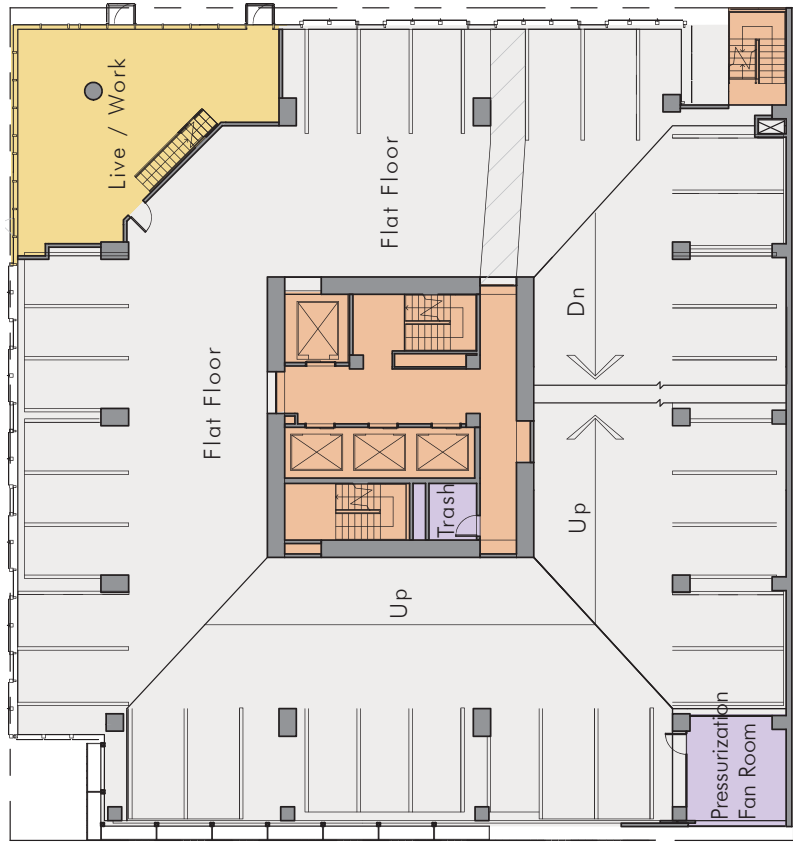


- Lobby / Circulation
- Retail Space
- Amenity Space
- Residential
- Services
- Parking / Decks

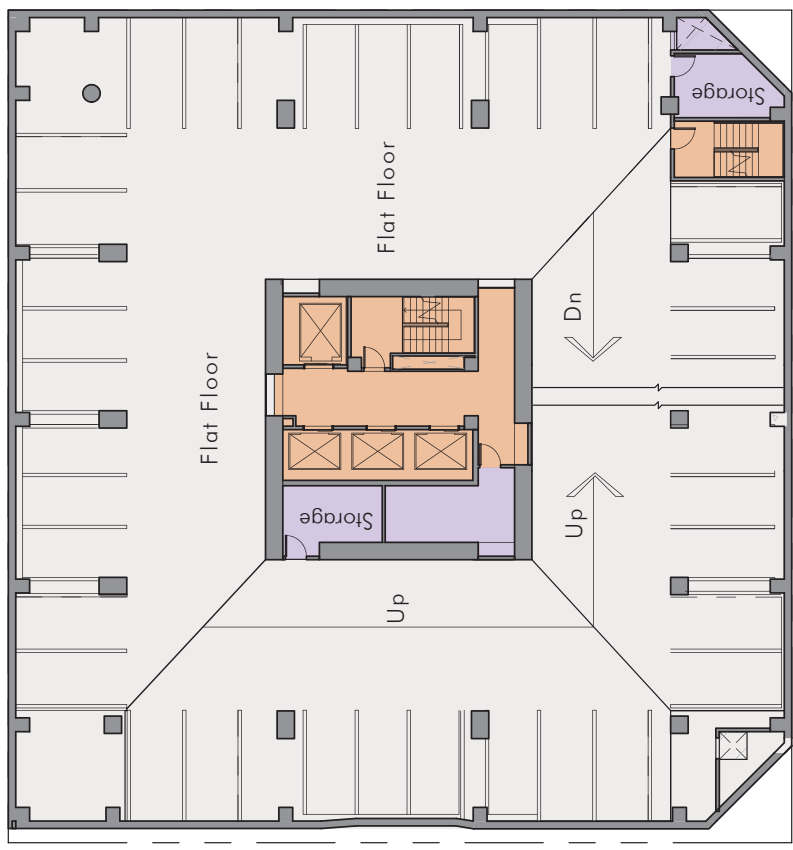




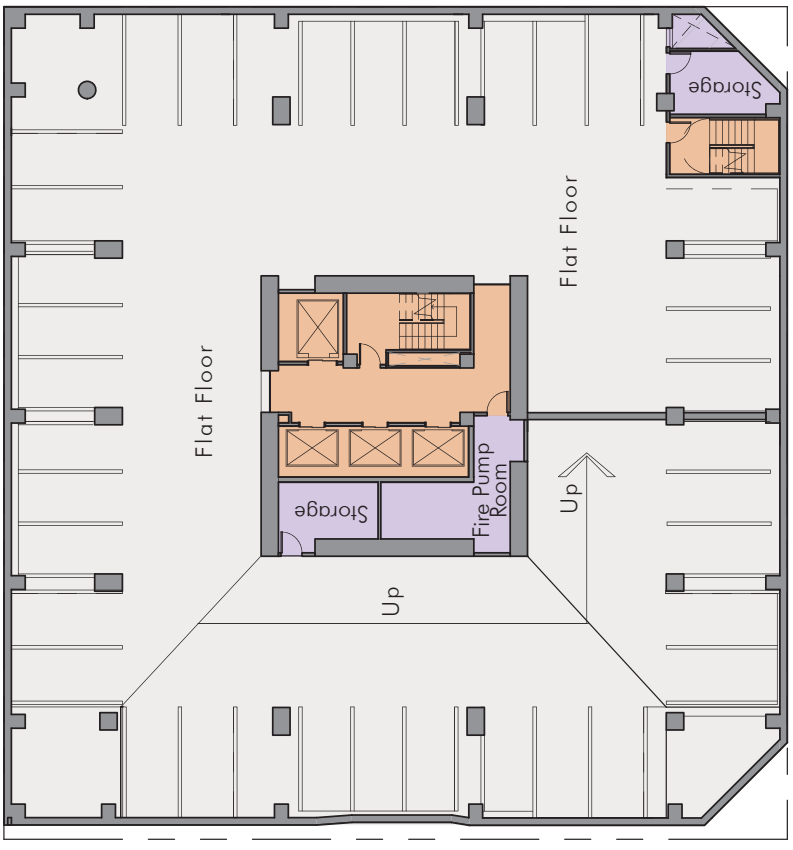
Level 5



Level 4 (Typical Above Grade Parking)



Level P4 (Typical Below Grade Parking)

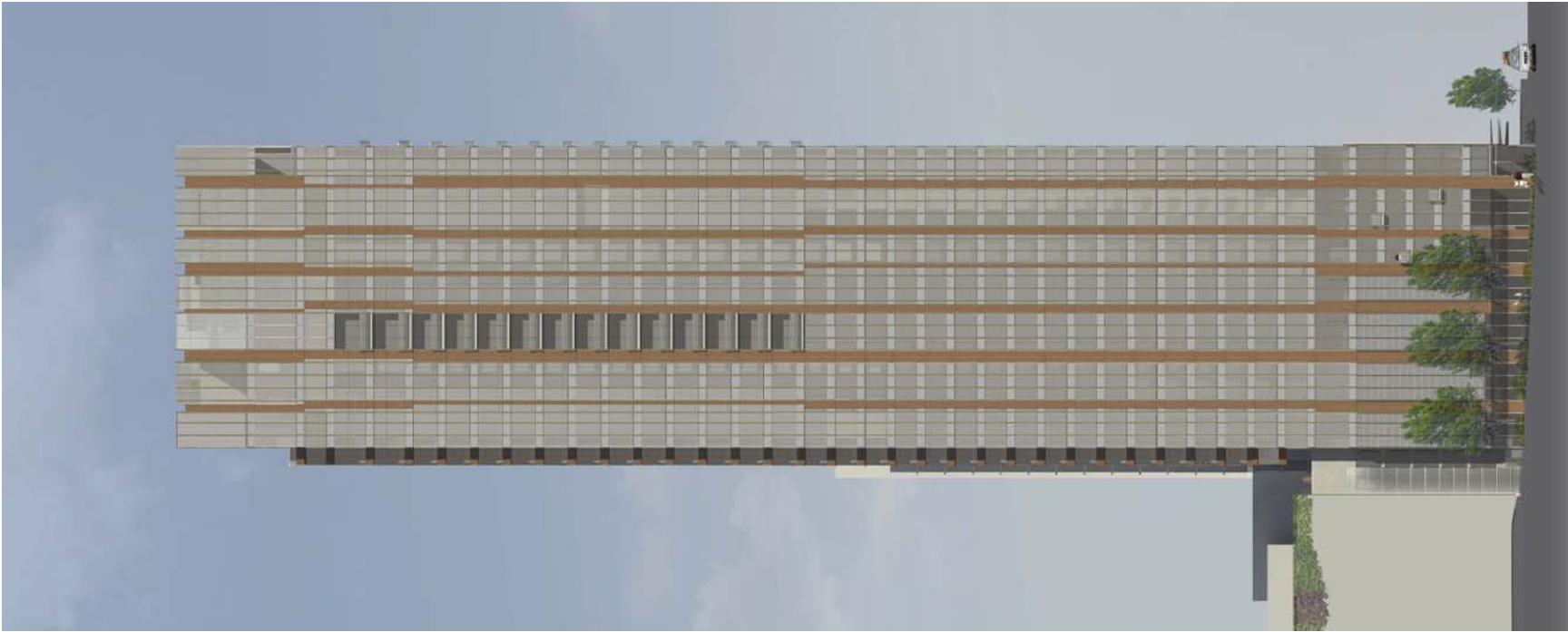


Level P5

- Lobby / Circulation
- Retail Space
- Amenity Space
- Residential
- Services
- Parking / Decks



24 Floor Plans - Parking



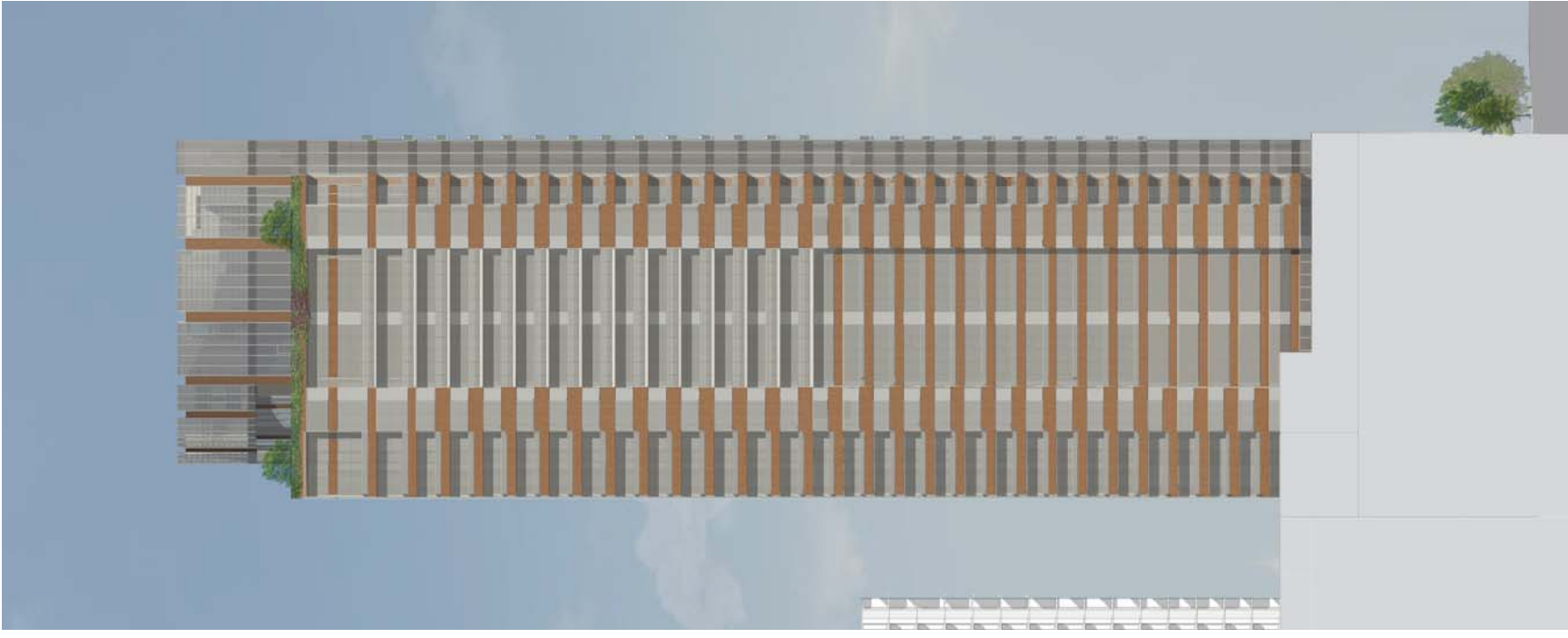
East Elevation (9th Avenue)



North Elevation (Pine Street)



West Elevation (Alley)



South Elevation (Convention Center)



M1
Clear Vision
Glass



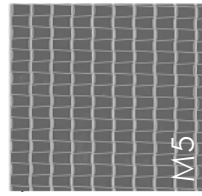
M2
"Champagne"
Aluminum Mullions



M3
"Warm Grey"
Spandrel Glass



M4
"Burnt Ochre"
Aluminum Panels



M5
Stainless Steel
Mesh Curtain



M6
"Thunder Grey"
Metal Canopy



Pine Street

26 Enlarged Elevation



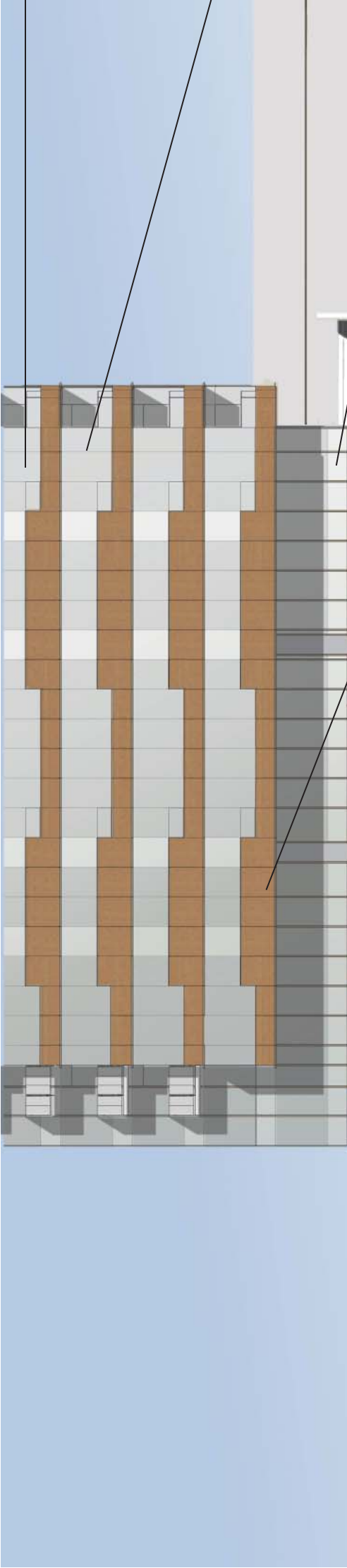
SECURITY
PROPERTIES
INC



BUMGARDNER
ARCHITECTURE • INTERIORS • PLANNING



Clear Vision Glass



"Champagne" Aluminum Mullions



"Warm Grey" Spandrel Glass



"Burnt Ochre" Aluminum Panels



Painted Aluminum Louvers



Painted Concrete

Alley





Clear Vision Glass



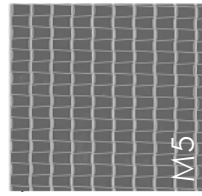
"Champagne" Aluminum Mullions



"Warm Grey" Spandrel Glass



"Burnt Ochre" Aluminum Panels



Stainless Steel Mesh Curtain



Clear Vision Storefront Glass



Ninth Avenue

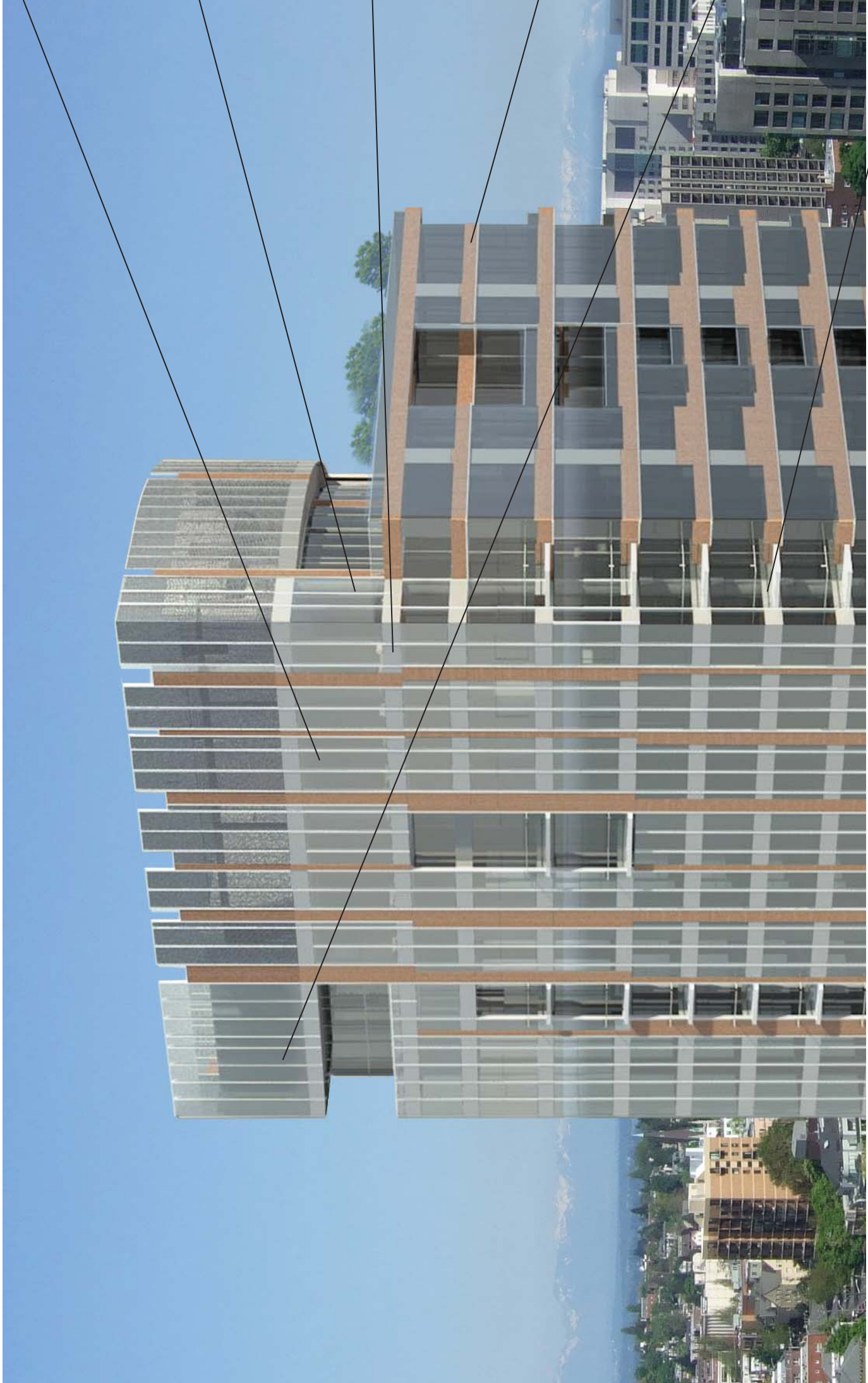
28 Enlarged Elevation



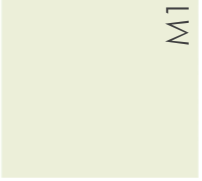
SECURITY
PROPERTIES
INC



BUMGARDNER
ARCHITECTURE • INTERIORS • PLANNING

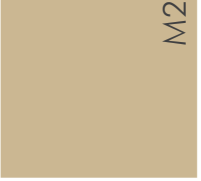


Top Northeast View



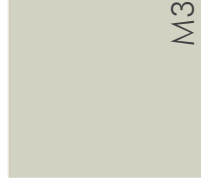
Clear Vision Glass

M1



"Champagne" Aluminum Mullions

M2



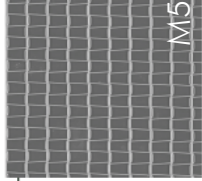
"Warm Grey" Spandrel Glass

M3



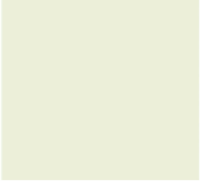
"Burnt Ochre" Aluminum Panels

M4



Stainless Steel Mesh Curtain

M5



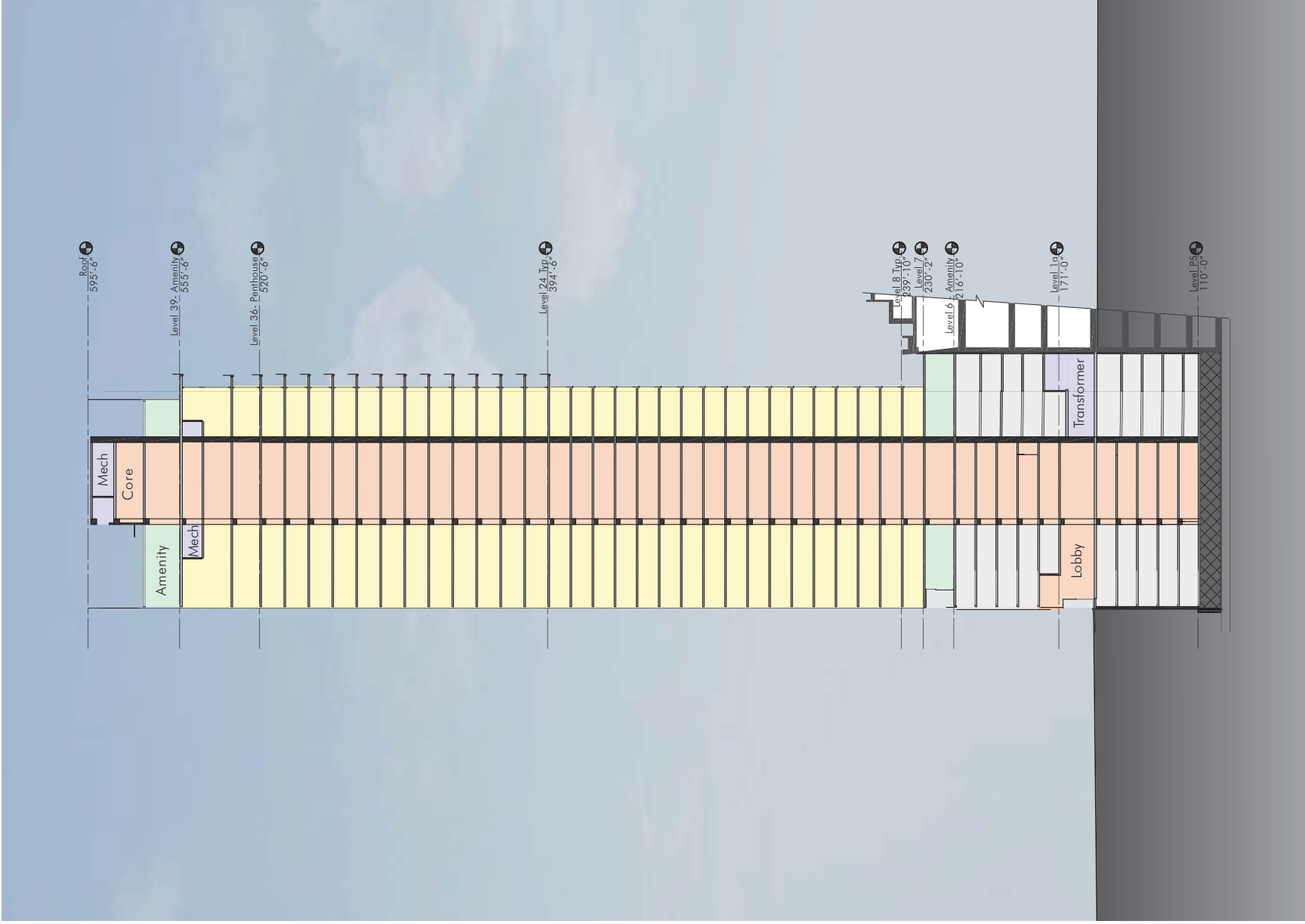
Clear Glass Railings



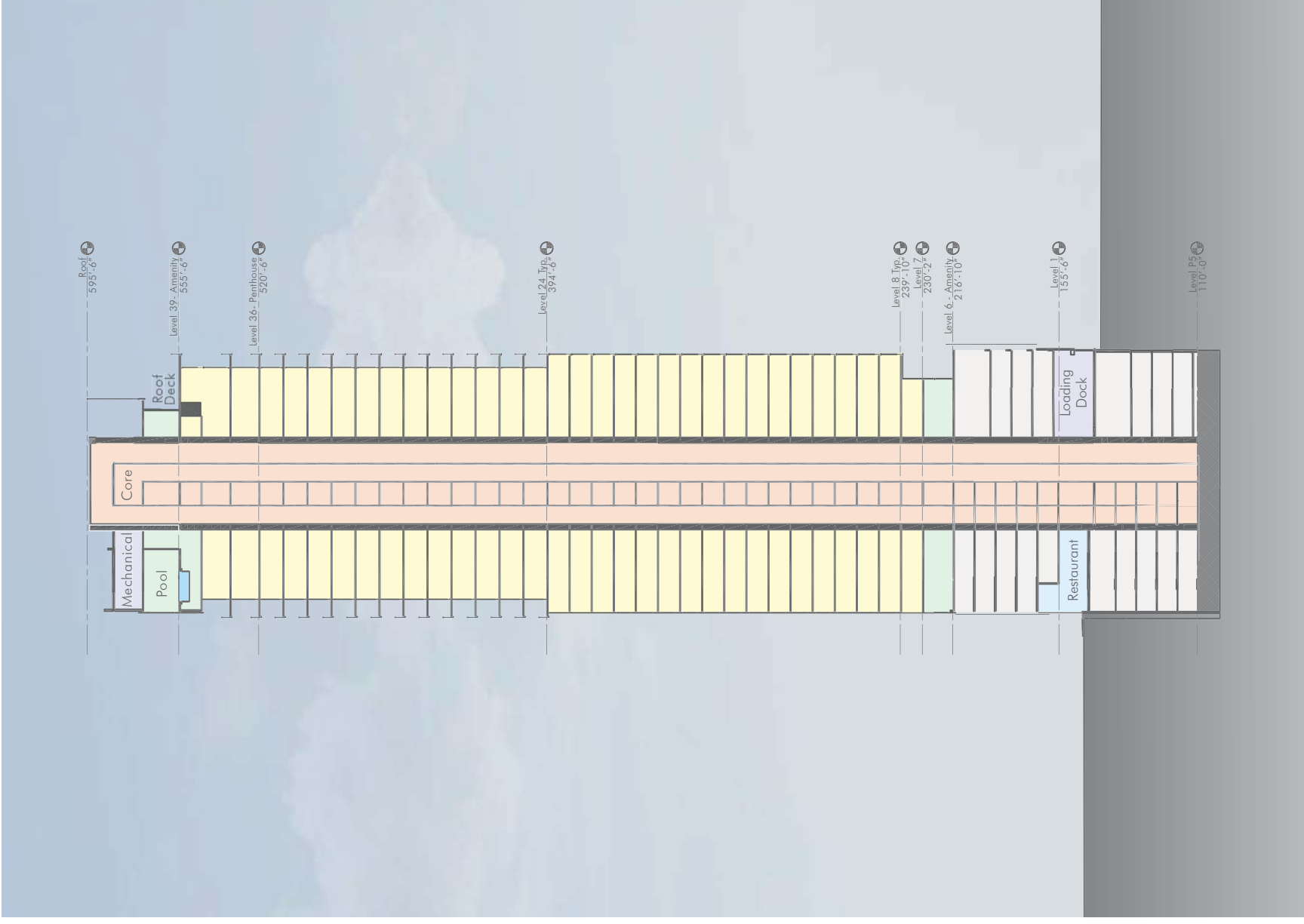
SECURITY
PROPERTIES
INC



BUMGARDNER
ARCHITECTURE • INTERIORS • PLANNING



Section E-W



Section N-S

- Lobby / Circulation
- Retail Space
- Amenity Space
- Residential
- Services
- Parking / Decks

Departure Requests

Design Departure #1: Average 18' Sidewalk Width on Pine Street

Reference Section – SMC 23.49.022

Requirement – The Pine Street Sidewalk is required to be 18 feet Per Map 1 C.

Proposed – The project proposes to maintain the existing twenty two (22) foot wide sidewalk that has an eight (8) foot wide drop off zone in front of the site. The current average width along the full Pine St. frontage is 18' – 2".

Considerations – The existing drop off space will be critically important for both the building residents and restaurant/retail spaces. Since many of the residents may not own cars, providing a convenient taxi area is vital. An adequate pedestrian walking zone is maintained in this area and extensive street landscaping is provided on each side of the drop off zone.

Design Departure #2: Increase Tower Width Along 9th Avenue

Reference Section – SMC 23.49.058.D.2

Requirement – The maximum structure width for residential uses above 85 feet shall be 120' or 80% of lot width, whichever is less. The 80% applies to this project which would limit the full tower width to 90.4'.

Proposed – The project proposes the tower width above 85 feet to be 90% (102') of the lot width (112.9'). However, it should be noted that the actual frontage proposed directly on Ninth Ave. is only 96' (85%).

Considerations – An 44' wide elevator/stair core required for a high-rise residential tower with 325 units. Restricting the structure width on this small and square site would not leave an adequate or practical dimension to provide units. The design has deliberately cut back and located balconies at the corners to increase the slenderness of the tower and minimize the impact on the street and views from adjacent properties. Further more, adjacent sites on Ninth Ave. allow structure width of 120' (for 10,700 SF sites) or 145' (for Office Use).

Design Departure #3: Upper Level Setback on 9th Avenue

Reference Section – SMC 23.49.058.F.2

Requirement – Ninth Avenue is classified as 'Green Street'. Consequently, an upper-level setback of 15 feet is required on the street frontage at a height of 45 feet.

Proposed – The project proposes a continuous two foot setback at the sidewalk along Ninth Avenue.

Considerations – The full 15' setback on east side (Ninth Ave.) would make the developable floor plan infeasible and would not allow setbacks on other sides of the project. Consequently, the project provides a balance of three different setbacks on the west, south and east sides that is specifically appropriate to this site. A 4.5' setback is provided to the west across from the existing residential tower (in addition to the alley). A 10'-15' setback is provided to the south adjacent the convention center to avoid a 440' blank wall and allow windows on this side of the building (a building code requirement). Additionally, the design has deliberately cut back and located balconies at the corners to increase the slenderness of the tower and minimize the impact on the street and views from adjacent properties. Since the only two other properties on the block, the Paramount Theater and Convention Center, are not likely to be developed above their current height, Ninth Avenue is protected from becoming a 'canyon'. Finally, there is not view corridor that needs to be protected.

Design Departure #4: Parking Size Percentage

Reference Section – SMC 23.54.030.B.1b

Requirement – Sixty percent (60%) of all parking stalls provided are required to be medium size (8' x 16' with a corresponding back up/aisle width of 22').

Proposed – Due to the small lot, the project proposes that 60% are allowed to be small and 40% medium size.

Considerations – In actuality, thirty (30%) of the 'small' stalls are just 3 inches less than a full medium size stalls, which would fully qualify with the requirement.

