



Design Review Board Recommendation Meeting - November 7, 2007

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PROJECT DATA

1.0 PROJECT DATA

1.1 Location: NE corner 14th Ave & E Union St, Seattle, WA 98122

1.2 Site Area: 29,104 approx.

1.3 Zone: NC3-65' / Central RUV
abuts rear lot line of L3 zone to the east
12th Avenue Urban Village

1.4 Building Code: Seattle Amendments to the 2006 International Bldg. Code (IBC)

1.5 Proposed Use: Residential Mixed Use

1.7 Occupancy Classification / Separations

| | | | |
|-------------|-----|-----|-----|
| | M | R-2 | S-2 |
| Commercial | M | 1 | 1 |
| Residential | R-2 | 1 | 2 |
| Parking | S-2 | 1 | 2 |

1.8 Gross Floor Area:

| Fir. Lev. | PKG (gsf) | VERT CIRC | LOBBY/ CORR | COMM. (gsf)* | exterior balcon. | common space | RESID. (gsf) | TOTAL (gsf) | open space |
|-----------|-----------|-----------|-------------|--------------|------------------|--------------|--------------|-------------|------------|
| Level P2 | 20,372 | 512 | | | | | | 20,884 | |
| Level P1 | 12,039 | 223 | | | | | | 12,262 | |
| Level 1 | | 927 | 2526 | 8375 | | 1280 | 6,028 | 19,136 | 8262 |
| Level 2 | | 600 | 1325 | | | 883 | 15,106 | 17,914 | |
| Level 3 | | 600 | 1325 | | | 326 | 15,722 | 17,973 | |
| Level 4 | | 600 | 1325 | | | 326 | 15,722 | 17,973 | |
| Level 5 | | 600 | 1325 | | | 326 | 15,722 | 17,973 | |
| Level 6 | | 600 | 1325 | | | | 15,816 | 17,741 | |
| Level 7 | | 446 | 143 | | | 1,510 | | 2,099 | 2,887 |
| Subtotal | 32,411 | 5,108 | 9,294 | 8,375 | 0 | 4,651 | 84,116 | 143,955 | 11,149 |

average 84,116 / 117 = 719 gsf per unit average

*NOTE: COMMERCIAL GSF INCLUDES (7) RETAIL UNITS (6441 SF total)

2.0 ZONING DATA

2.1 Height:

Max. Allowed: SLUC 23.47.008 (C) 65' height of underlying zone

Slope Bonus: SLUC 23.86.006 (D) 1.1'

66.6'

Projections above height limit: clerestories, guardrails, elevator/stairs overruns

2.2 Max. Density: SLUC 23.47.008 (D) no density limit for mixed-use per 23.47.009.A

64% of lot area above 13'

Lot Area: 29,104 SF

Shown [excl. 4' of ext. balcony per 23.47.008(D) and 23.86.014(C)] 17,914 SF

Lot Coverage percentage: 61.6%

2.3 Setbacks SLUC 23.47.014

Below 13 feet: none

North property line: none

East property line: 15 feet (from 13' to 40') plus 2 feet for every 10 additional feet of height

no site triangle, abuts rear lot line of residential zones (exhibit 23.47.014A)

Projections into setback: exterior balconies, decks

DEPARTURE REQUESTED

Encroaching on Setback at level 6 only by 3'-6" max for 30% of the depth of the site.

Previous scheme was flush to the setback for 100% of the site.

2.4 FAR Requirements SLUC 23.47.013

Total Building limit to FAR of 4.75

Lot Area = 29,104 4.75 138244 gsf limit for 110,809 gsf proposed(excludes below-grade parking)

2.5 Required Commercial Space: SLUC 23.47.008.B.3

| | | |
|----------------------------------|----------|----------|
| | required | provided |
| 14th Ave (excl 22' for driveway) | 123.2' | 125' |
| Union | 123.9' | 138.6' |

average depth = 30 ft min.

Floor to Floor Minimum Height = 13'-0"

note: per 23.47A.005E.1.n open space is an approved street-level use

2.6 Required Open Space: SLUC 23.47.024 (A)

Required: 5% gross resid. space = 5,540 SF

Provided: 11,149 SF

2.7 Required Landscaping: SLUC 23.47.016

Required Green Factor = .30

2.8 Required Parking: SLUC 23.54.015B No Parking Required for uses in Commercial Zone in Urban Centers

Proposed Parking Ratio

| | | | | |
|-------------|-----------|------|----|------------------|
| Residential | 117 units | 0.75 | 88 | (60% M required) |
|-------------|-----------|------|----|------------------|

| | | | | | | | | |
|------------------|----|----|----------|-----------|-----|-----------|-----|--------|
| Provided Parking | | | | | | | | |
| | S | M | S(tand.) | M (tand.) | L | L (tand.) | ADA | totals |
| P2 | 20 | 36 | | | | | 2 | 58 |
| P1 | 16 | 19 | | | | | | 35 |
| subtotal | 36 | 55 | 0 | 0 | 0 | 0 | 2 | 93 |
| total small | | 36 | | | 39% | | | |
| total medium | | 57 | | | 61% | | | |

| | | | | |
|----------------------------------------|-----------------------|-----------|-----------|--|
| Bicycle Parking SLUC 23.54.015 Chart E | | | | |
| Multi-Family | 1 per every 4 units | 117 units | 30 stalls | |
| Sales and Services | 1 per every 12,000 SF | 8,375 sf | 1 stall | |
| | | total | 31 stalls | |

Driveway sight triangle: 10' triangle required

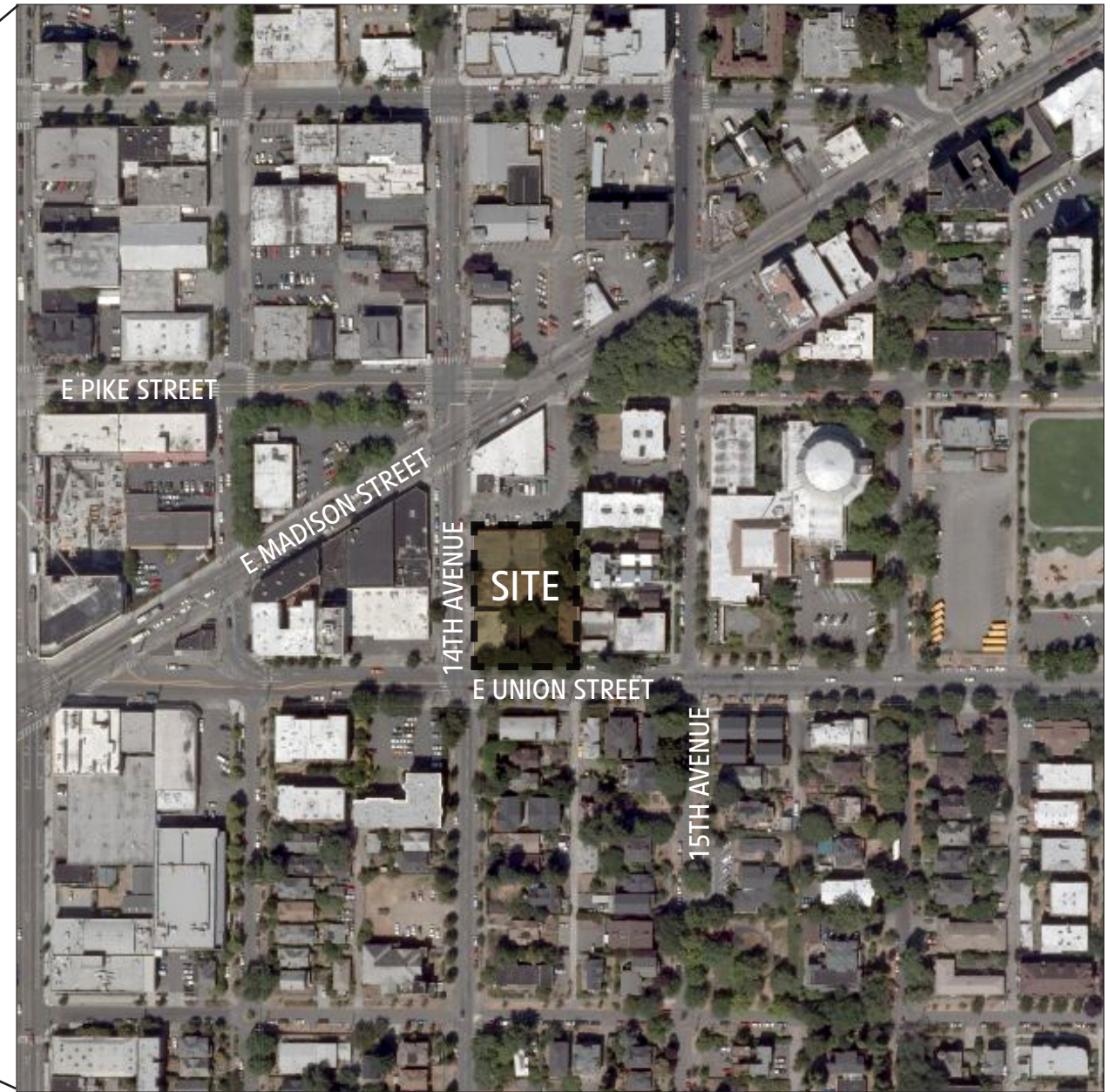
DEPARTURE REQUESTED

mirror and warning light to be provided



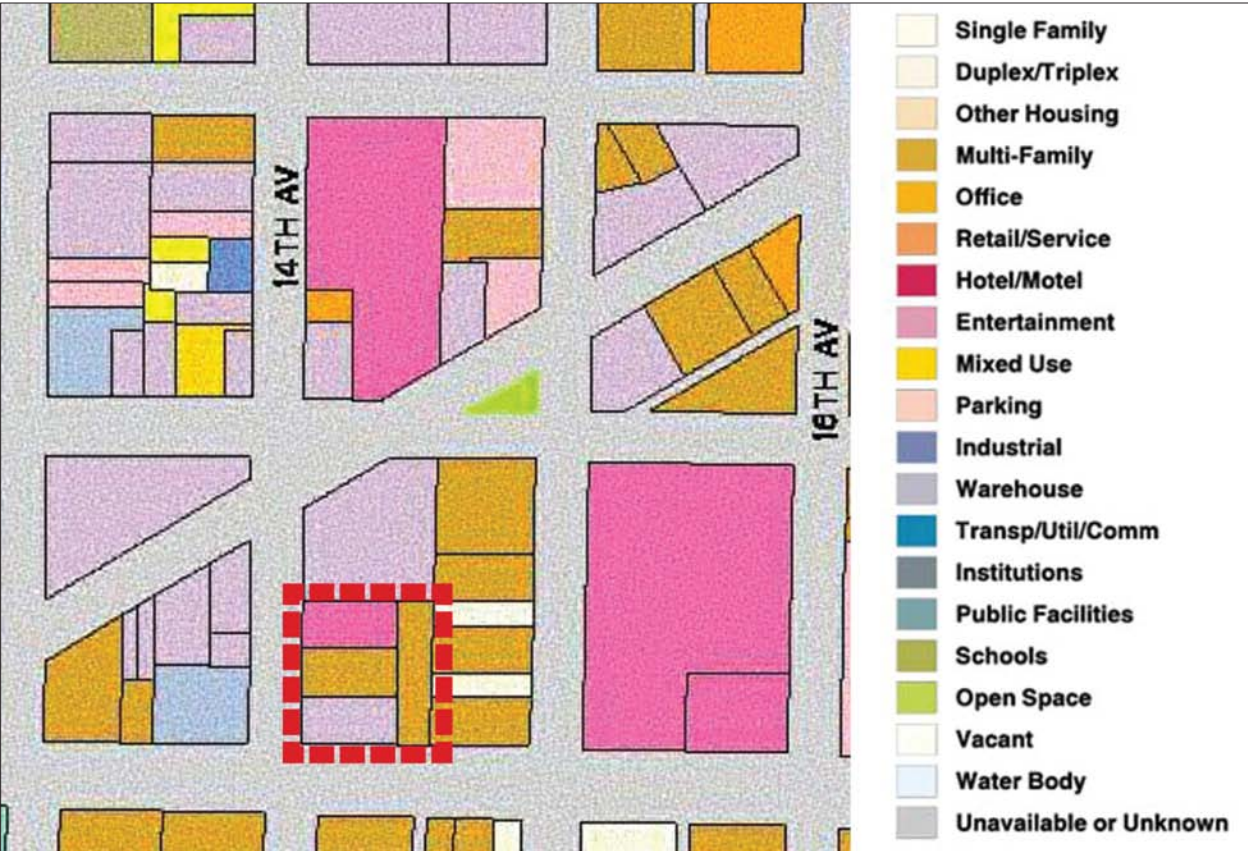


Vicinity Map

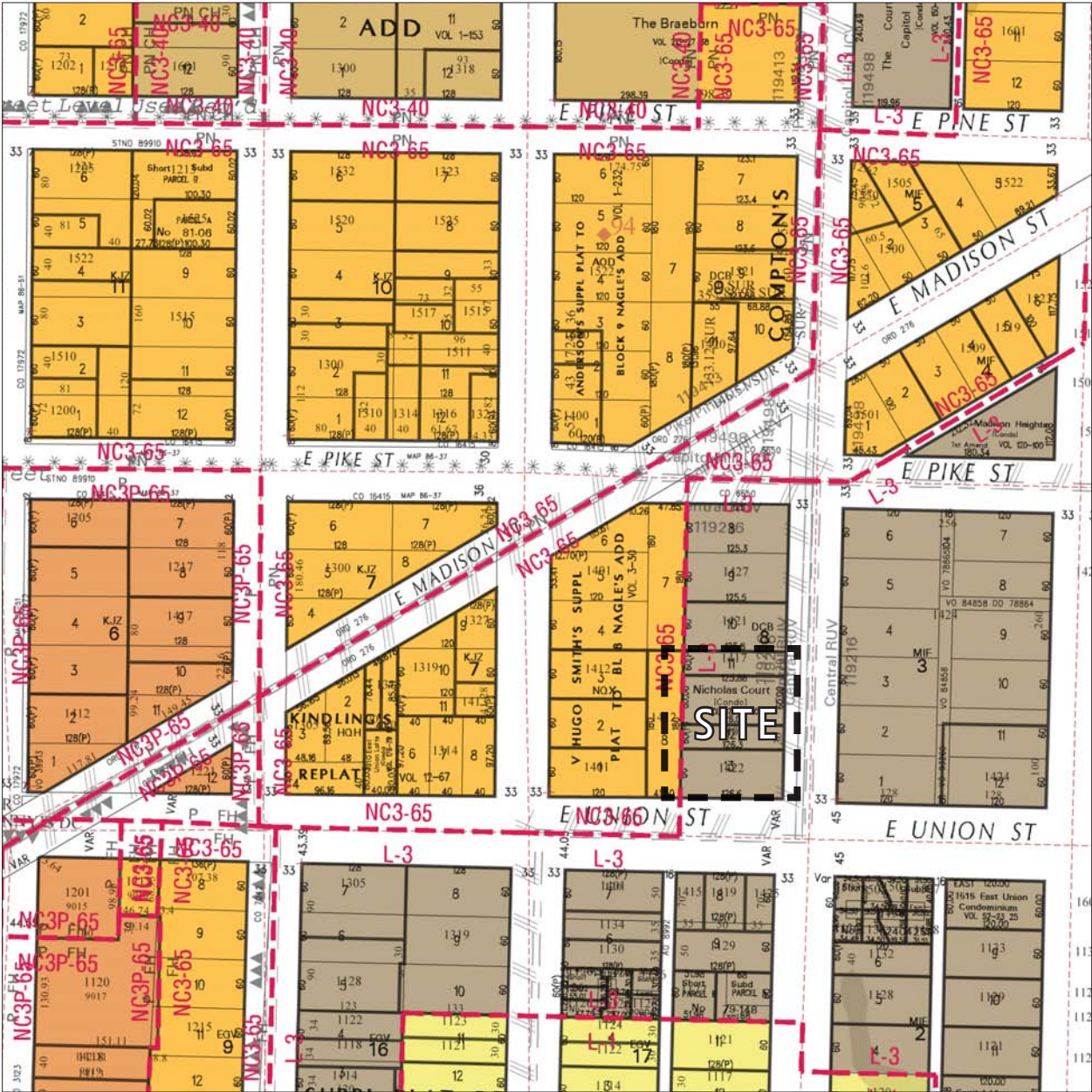


Aerial Photo

SITE ANALYSIS B.1



Existing Land Use



Zoning Map



Sidewalk Condition on E Union Street



SITE AND CONTEXT C.1



STREETSCAPE: 14th Avenue looking West

PROJECT SITE



STREETSCAPE: 14th Avenue looking East

PROJECT SITE



STREETSCAPE: E. Union looking North



STREETSCAPE: E. Union looking South

SUMMARY OF EARLY DESIGN GUIDANCE D.0

| DEVELOPMENT STANDARD REQUIREMENT | REQUEST/ PROPOSAL | JUSTIFICATION |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| SMC 23.47.014.B.4 Rear Yard Setback For mixed-use developments, a setback shall be required along any rear yard lot line which abuts a lot line of a residentially zoned lot...(B) 15 feet for portions of structures above 13' in height to a maximum of 40 feet. | To permit a +/- 3'-6" intrusion of the easternmost stair tower beyond the allowable building envelope. | The previous MUP approval #2408554 permitted rear-yard setback encroachment for the entire length of the property line. The request at the time of the EDG review (for this design) was more extensive, requesting a 5'-0" (min.) – 10'-0" (max.) intrusion into the setback for levels 2-7 and the roof. Therefore, the extent of the encroachment has been greatly reduced from both the previous MUP approved scheme and the current design at the time of EDG review. |
| SMC 23.54.030D Driveway Site Triangle For two-way driveways or easements at least twenty-two feet wide, a sight triangle on the side of the driveway used as an exit shall be provided, and shall be kept clear of any obstruction for a distance of ten feet from the intersection of the driveway or easement with a driveway, easement, sidewalk or curb intersection if there is no sidewalk. | Allow the use of mirrors and automatic doors to mitigate the absence of the site triangle. | Given the proximity of the driveway entrance to the property line it is not possible to provide the site triangle as it would fall on the neighboring property. This Departure was approved in the previous MUP approved scheme. Per the DRB's request, a traffic study is being submitted along with this application to support the departure. |

- A-2 Streetscape Compatibility

The siting of buildings should acknowledge and reinforce the existing desirable spatial characteristics of the right-of-way.
- A-3 Entrances Visible from the Street

Entries should be clearly identifiable and visible from the street.
- A-4 Human Activity

New development should be sited and designed to encourage human activity on the street.

DRB: The design and building program should encourage pedestrian activity. The commercial spaces should utilize transparent windows and overhead weather protection and other details that encourage pedestrian traffic to, from and around the site. The Board was curious about the detached commercial structure shown at the southeast corner of the site. The Board stressed that this commercial area must be designed to accommodate a functional, viable commercial use.

A-5 Respect for Adjacent Sites

Buildings should respect adjacent properties by being located on their sites to minimize disruption of the privacy and outdoor activities of residents in adjacent buildings.

DRB: The Board supports the density and diversity captured within the proposed development. The Board also agreed that the east side of the building should endeavor to be quiet, while the west side should attract more activity. However, the Board wants the design of the east elevation to be extremely sensitive to the abutting Lowrise zone. A landscaping plan and fenestration pattern should be developed that protects the privacy of the existing neighbors.

A-7 Residential Open Space

Residential projects should be sited to maximize opportunities for creating usable, attractive, well-integrated open space.

DRB: The Board looks forward to reviewing a high-quality, well programmed and well landscaped courtyard level open space design. The Board noted that the requested open space departure is considerable and the design must include elements that emphasize the quality and experience of the open spaces. For example, operable windows and a well programmed, well-landscaped courtyard along with a well-designed hardscape along the right-of-way. The Board stressed that western and southern solar exposure should be maximized for the open space on the site.*

*Please note: No open space departure is required for this project; it is believed that comment was erroneously included as a remnant from the previous MUP approval for this site.

A-8 Parking and Vehicle Access

Siting should minimize the impact of automobile parking and driveways on the pedestrian environment, adjacent properties, and pedestrian safety.

DRB: The Board was concerned with the proposed sole vehicle access along 14th Avenue due to the existing traffic congestion that occurs due to backups at the intersection with Madison. The Board noted that traffic study recommendation would better help inform their position on the location of access. The Board did acknowledge that the proposed project includes far less parking than did the previous project, so the circulation congestion issue may be reduced to such a level that having two driveways is not necessary.

A-10 Corner Lots

Buildings on corner lots should be oriented to the corner and public street fronts. Parking and automobile access should be located away from corners.

DRB: The Board noted the high visibility of the southwest corner of the site given the shift in the street grid. The jog in the 14th Avenue alignment creates numerous views of this site from several vantage points. Therefore, the Board would like the design to ground this corner of the intersection. The Board also noted that the design should wrap the commercial use around the corner east along East Union Street.

B-1 Height, Bulk, and Scale Compatibility.

Projects should be compatible with the scale of development anticipated by the applicable Land Use Policies for the surrounding area and should be sited and designed to provide a sensitive transition to nearby, less intensive zones. Projects on zone edges should be developed in a manner that creates a step in perceived height, bulk, and scale between the anticipated development potential on the adjacent zones.

DRB: The Board supported a design that maximizes the potential development allowed by the underlying zone. However, the Board stated that the design and massing of the east portions of the structure should be sensitive to the lower scale (both existing and future) of the abutting Lowrise zone. The Board agreed that the preferred scheme divides the building mass into a configuration that is most sensitive to the abutting zone; however the L-shaped configuration is a more urban form, defining the street edges. Setting back from the eastern property line should be a priority in the configuration of the building masses. The Board felt that the proposed massing is really improved over the previous scheme, but that the architecture needs to really be elevated to meet the improved massing configuration.

C-2 Architectural Concept and Consistency.

- Building design elements, details and massing should create a well-proportioned and unified building form and exhibit an overall architectural concept.
- Buildings should exhibit form and features identifying the functions within the building.

DRB: The Board agreed that the elevation designs were somewhat repetitive and should strive to further differentiate between the three building masses by emphasizing the areas of separation between them. The three volumes should read as three distinct pieces that are tied together by high quality materials and details. The proposed notched area between the masses along 14th Avenue suggests an entrance at the base; this is misleading and the architecture should provide and reinforce visual cues as to how the building functions.

C-3 Human Scale.

The design of new buildings should incorporate architectural features, elements and details to achieve a good human scale.

C-4 Exterior Finish Materials

Building exteriors should be constructed of durable and maintainable materials that are attractive even when viewed up close. Materials that have texture, pattern, or lend themselves to a high quality of detailing are encouraged.

DRB: The Board looks forward to reviewing a more details material and color palette that is reflective of and responsive to the surrounding architectural aesthetic. The Board specified that the windows should be punched openings to create greater texture and shadows along the façade. The proposed materials included ‘richlite’ composite, metal, lap siding, and vinyl windows.

C-5 Structured Parking Entrances.

The presence and appearance of garage entrances should be minimized so that they do not dominate the street frontage of a building.

DRB: The Board strongly agreed that the vehicular access to the site should be visually minimized and cause as little disruption to pedestrian circulation around the site as possible.

D-1 Pedestrian Open Spaces and Entrances.

Convenient and attractive access to the building’s entry should be provided. To ensure comfort and security, paths and entry areas should be sufficiently lighted and entry areas should be protected from the weather. Opportunities for creating lively, pedestrian-oriented open space should be considered

D-2 Blank Walls

Buildings should avoid large blank walls facing the street, especially near sidewalks. Where blank walls are unavoidable, they should receive design treatment to increase pedestrian comfort and interest.

DRB: The Board agreed that any blank portions of the facades facing to the north and east should be treated to provide substantial visual interest.

D-6 Screening of Dumpsters, Utilities, and Service Areas.

Building sites should locate service elements like trash dumpsters, loading docks, and mechanical equipment away from the street where possible. When elements such as dumpsters, utility meters, mechanical units, and service areas cannot be located away from the street front, they should be situated and screened from view and should not be located in the pedestrian right-of-way.

D-7 Personal Safety and Security.

Project design should consider opportunities for enhancing personal safety and security in the environment under review.

E-2 Landscaping to Enhance the Building and/or Site.

Landscaping, including living plant material, special pavements, trellises, screen walls, planters, site furniture, and similar features should be appropriately incorporated into the design to enhance the project.

DRB: The Board encouraged the design to shift the building mass further north to allow the proposed southeast facing courtyard to have great solar exposure and visibility. All of the open space areas should be designed to include details and landscaping providing visual interest and supportive of a functional program. The Board is pleased that larger tree specimens can be accommodated at grade and encouraged the landscape design to integrate such planting. The Board also expects that the landscape plan for the north-facing open spaces is responsive to the shadier condition. This space must be designed to be highly usable either for the ground level units or as a dog-run area as proposed. The Board also looks forward to a well-designed roof top open space.

Design
Guideline

DESCRIPTION

- A-8 Parking + Vehicle Access
- A-10 Corner Lots
- C-5 Structured Parking Entrances

Vehicle access to the site has been restricted to one garage entry located as far as possible from the prominent building corner at 14th Avenue and Union Street.

- A-2 Streetscape Compatibility
- A-3 Entrances Visible from the Street
- A-4 Human Activity

Transparent windows, overhead protection and entrances directly related to the street contribute to converting the previously narrow sidewalk along 14th Avenue into a rich, pedestrian friendly zone. A new planting strip and street trees soften the pedestrian zone while a voluntary 5'-0" setback from the property line provides space for businesses to extend activity into the public way, making this space a comfortable place for human interaction.

- A-10 Corner Lots

Commercial use wraps the corner with transparent storefront windows and overhead protection. Vehicle access to the site has been located as far from this corner as possible. An angled bay on levels 2 - 6 reflects 14th Avenue's shift to the west as it crosses Union Street. The form of the bay is echoed in the corner canopy to enhance the angular expression and provide shade to the glassy commercial unit at the southwest corner of the building.

Design
Guideline

DESCRIPTION

- A-5 Respect for Adjacent Sites
- A-7 Residential Open Space
- B-1 Height, Bulk and Scale

Massing along the east elevation has been scaled back and open space has been aligned with the east property line to lighten the massing adjacent to the neighboring L-3 zone.

- C-3 Human Scale

The single story independent commercial unit brings the scale of the building down to make the courtyard more related to the human scale. Composite decking offers a warm, intimate feel to the entry patio of the commercial unit.

- D-6 Screening of Dumpsters, Utilities and Service Areas

The commercial trash has been located at the back of the independent commercial unit and will be screened from pedestrian view with an opaque gate at the SE corner of the property.



Main Residential
Entry



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WEST ELEVATION F.0

Design
Guideline

DESCRIPTION

A-8 C-5 All **Parking and Vehicle Access** has been limited to the northwest corner of the site, as far from the prominent building corner at the intersection of 14th and Union as possible. The **structured parking entrance** is visually minimized by the canopy overhead, referencing the language of the storefront entries further south along the 14th Avenue facade.

A-3 A-4 C-3 E-2 All commercial units along 14th Avenue have **entrances visible from the street** to encourage **human activity**. Canopies, transparent windows and voluntary **landscaping** enhance the **human scale** of this new pedestrian zone.

C-2 C-4 **Architectural concept and consistency** has been achieved via the use of durable **exterior finish materials** applied to accentuate the primary masses of the building parti. Texture and pattern has been utilized in the material application to enhance the design and differentiate the building elements from one another.

A-10 This building sits on a **corner lot** at the intersection of 14th Avenue and Union Street. The jog in 14th Avenue creates a highly visible corner condition from points south and west of the site. This condition has been embraced with the creation of an angled bay and canopy which create a 'face' to the building at this corner. The bay is clad in a rich, eye-catching material and features extensive glazing to create a lantern-like effect at night.

Colored panels with small material joints define the body of the northernmost building volume.

A large, landscaped roofdeck provides additional open space and views of downtown to residents and guests.

Large aluminum windows differentiate the gap between the two primary volumes along the west elevation.

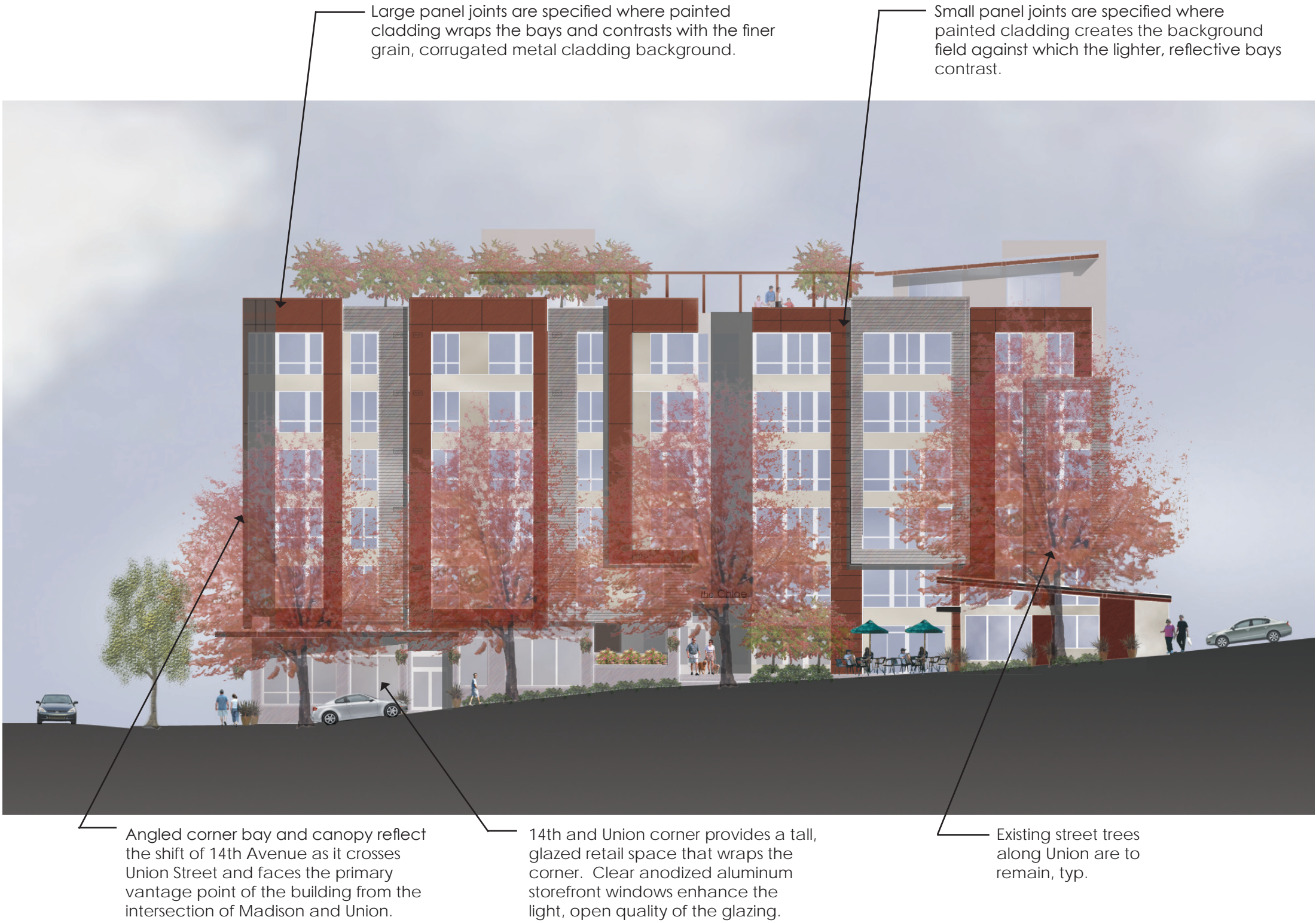
Rich color enhances bay projections on the corner volume

Separate storefront canopies provide individual character for each commercial space while also providing overhead protection for pedestrians. Given the small scale of other shops in the neighborhood, individual expression is key in making these commercial units work within the neighborhood context.

New street trees and planting strip contribute to creating a comfortable pedestrian environment.

The face of the corner bay at the intersection of 14th and Union is heavily glazed to create a lantern-like effect that will be visible from several primary vantage points, including the intersection of Union and Madison.

SOUTH ELEVATION F.1



| Design Guideline | DESCRIPTION |
|-----------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| A-3 A-4 A-7 C-3 D-1 D-7 E-2 | A large entry courtyard located directly adjacent to Union Street announces the entry to the residential portion of the building and provides open space ; surrounding offices and food-service commercial encourages human activity ; lush landscaping , overhead protection and gathering space connects the building to the pedestrian at a human scale ; and extensive upper-story fenestration provides eyes on the street to enhance the safety and security of the site. |
| A-5 B-1 | The height, bulk and scale of the building has been concentrated to the the west side of the site to orient open space to the east, therefore respecting the adjacent sites by allowing better access to light and air to the Lowrise zone to the east. |
| C-2 C-4 | Architectural concept and consistency has been achieved via the use of durable exterior finish materials applied to accentuate the primary masses of the building parti. Texture and pattern has been utilized in the material application to enhance the design and differentiate the building elements from one another. |

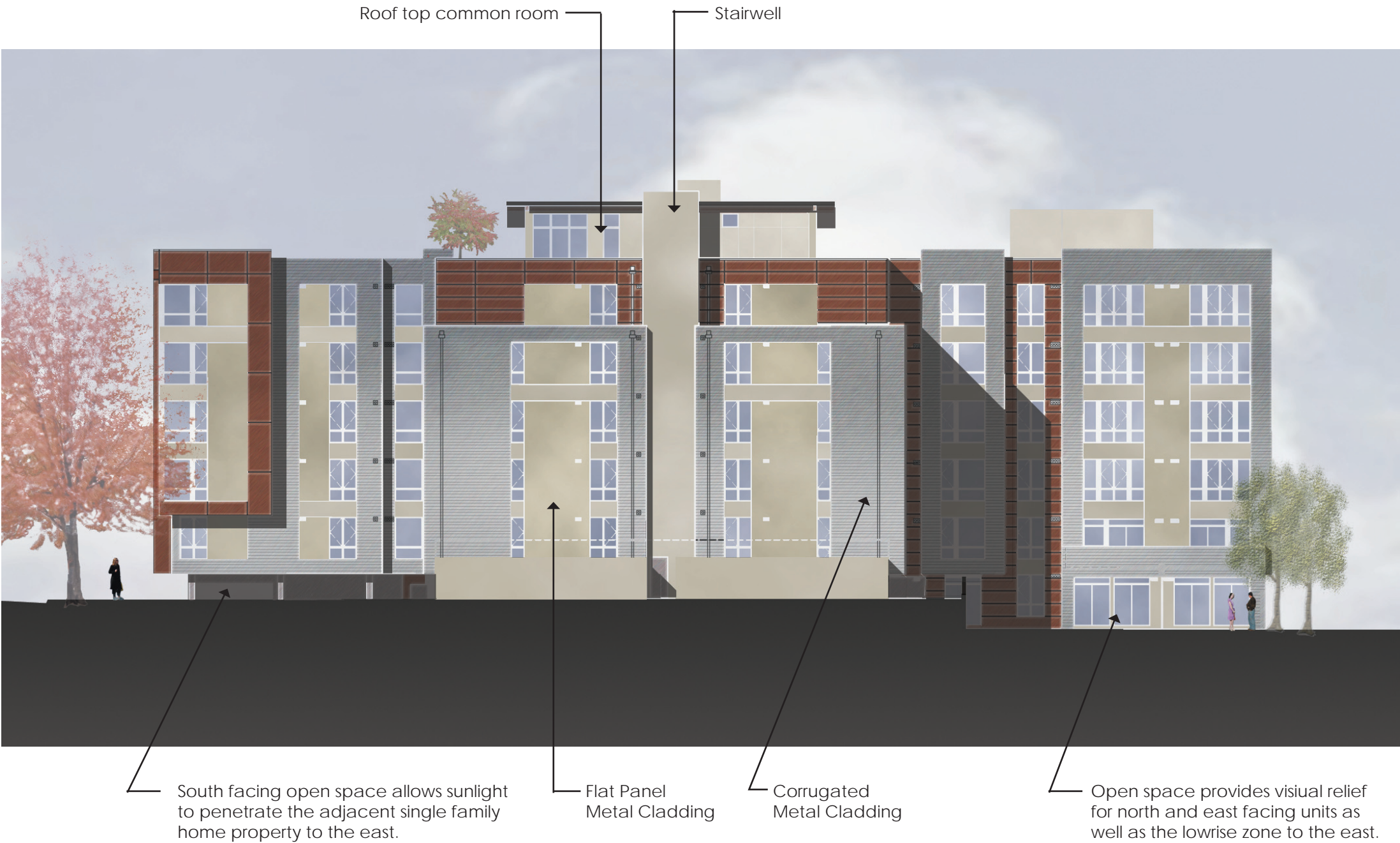
EAST ELEVATION F.2

Design
Guideline

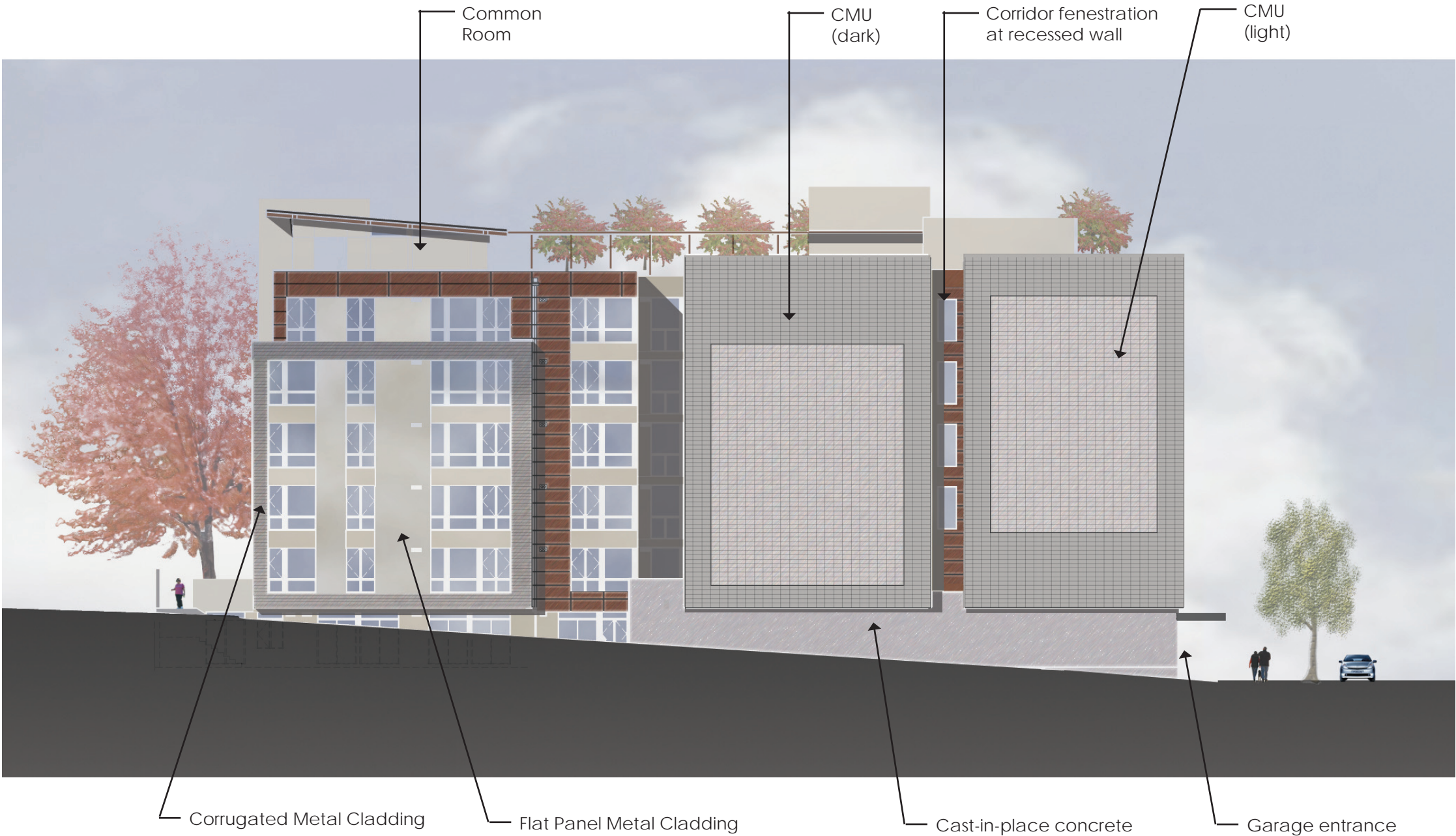
DESCRIPTION

A-5 The **height, bulk and scale** of the building has been concentrated to the the west side of the site to orient open space to the east, therefore **respecting the adjacent sites** by allowing better access to light and air to the adjacent Lowrise zone. Fenestration along the easternmost perimeter of the building has been restricted to increase privacy for the adjacent lowrise buildings. The building also steps back as it increases in height and accentuates this step with a material change to help break down the massing along the L-3 zone. A stairwell bisects the easternmost mass to further break down the scale of the building along the east perimeter.

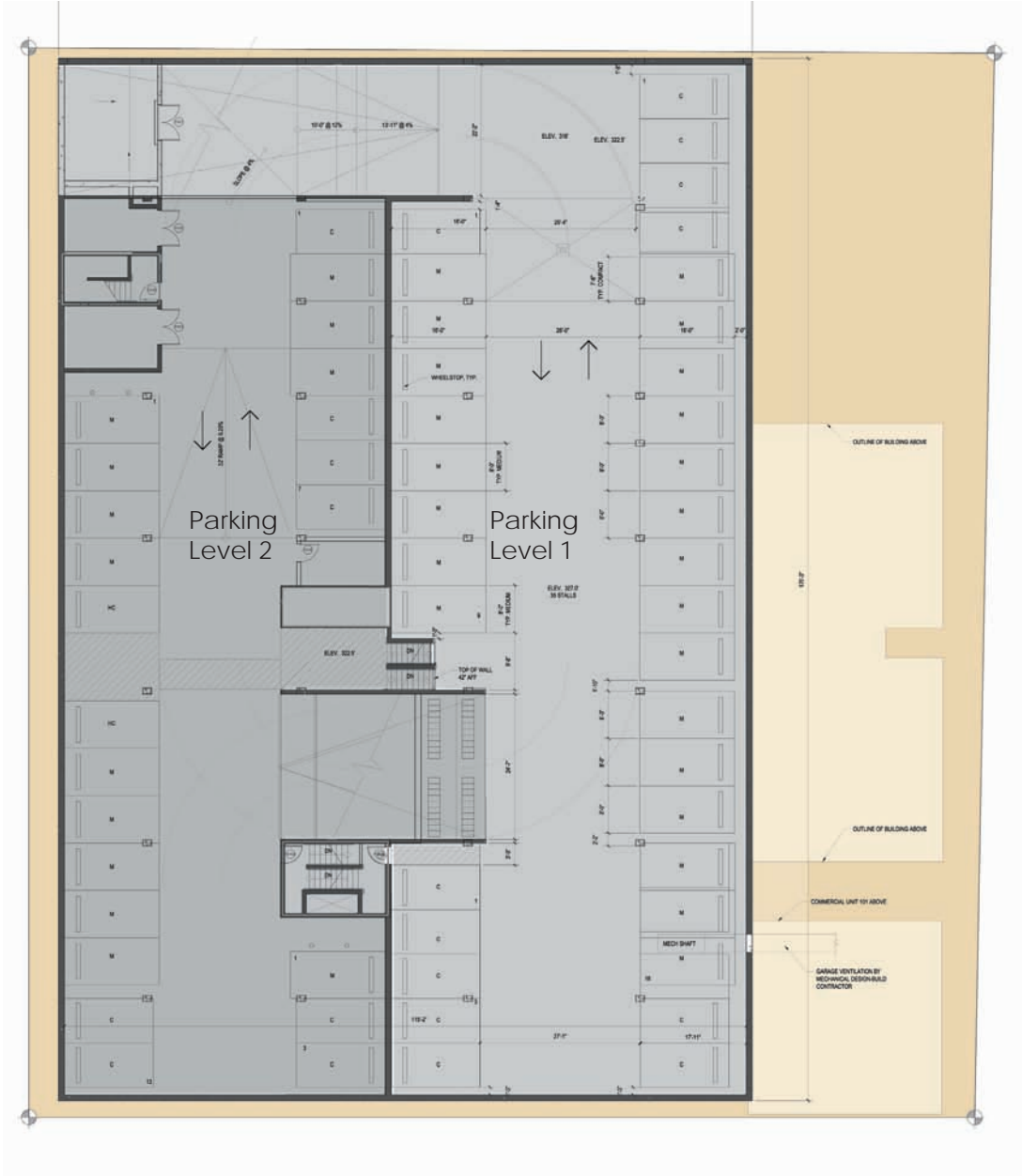
C-2 **Architectural concept and consistency**
C-4 has been achieved via the use of durable **exterior finish materials** applied to accentuate the primary masses of the building parti. Texture and pattern has been utilized in the material application to enhance the design and differentiate the building elements from one another. Multiple profiles of metal cladding are utilized to differentiate and enhance the building forms.



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| Design Guideline | DESCRIPTION |
|------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| A-5 B-1 | The height, bulk and scale of the building has been concentrated to the the west side of the site to orient open space to the east, therefore respecting the adjacent sites by allowing better access to light and air to the Lowrise zone to the east. |
| A-7 | Residential open space is concentrated in the NE corner courtyard, featuring green space, dense planting and a dog run area for residents' pets. |
| D-2 | Fenestration is not permitted at the north-ernmost wall due to its proximity to the property line. In addition, construction ac-cess is limited so the means of construction must be one sided, reducing the options to masonry unit construction. The blank wall has been broken into two masses, reflect-ing the scale of the bays at the street-fac-ing elevations. Stacked bond CMU veneer creates a pattern similar to the grid estab-lished by the panel joints and entry court-yard paving pattern. A shadowbox effect is achieved via the use of two contrasting concrete block colors to mimic the scale and movement of the bays along the other elevations of the building. |



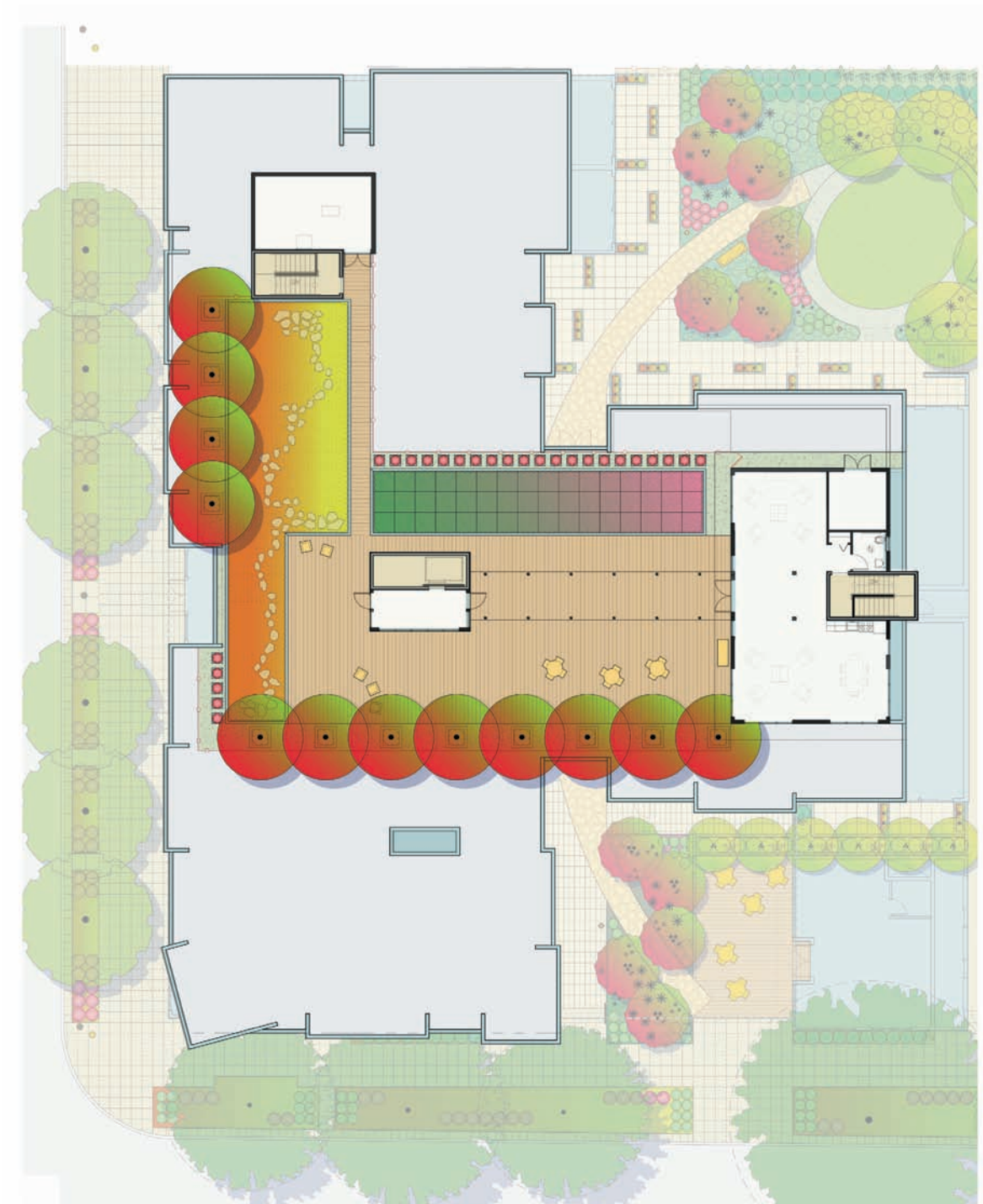
Composite Parking Plan



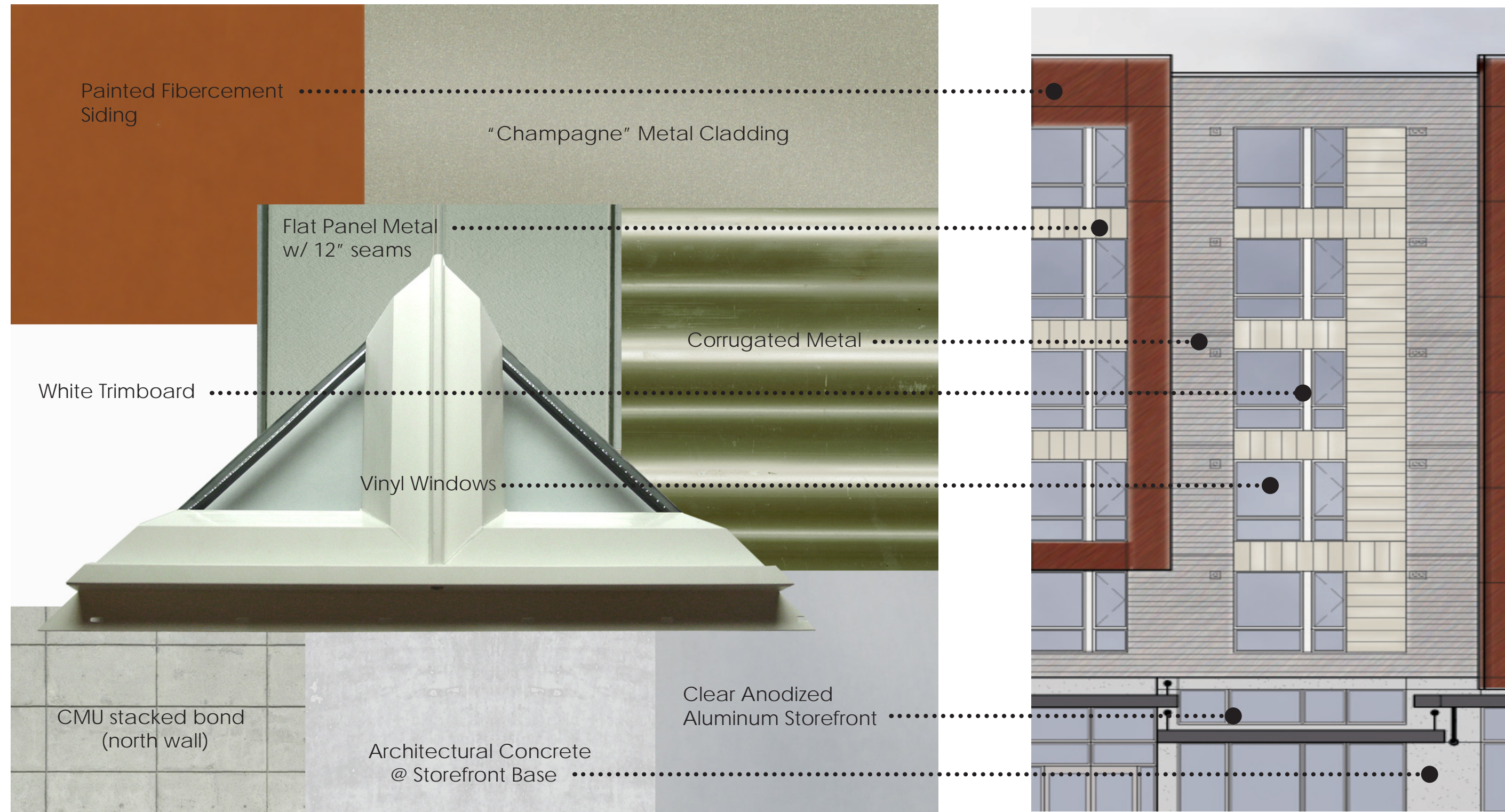
Level 1 Plan



Typical Upper Floor Plan



Roof Level Plan



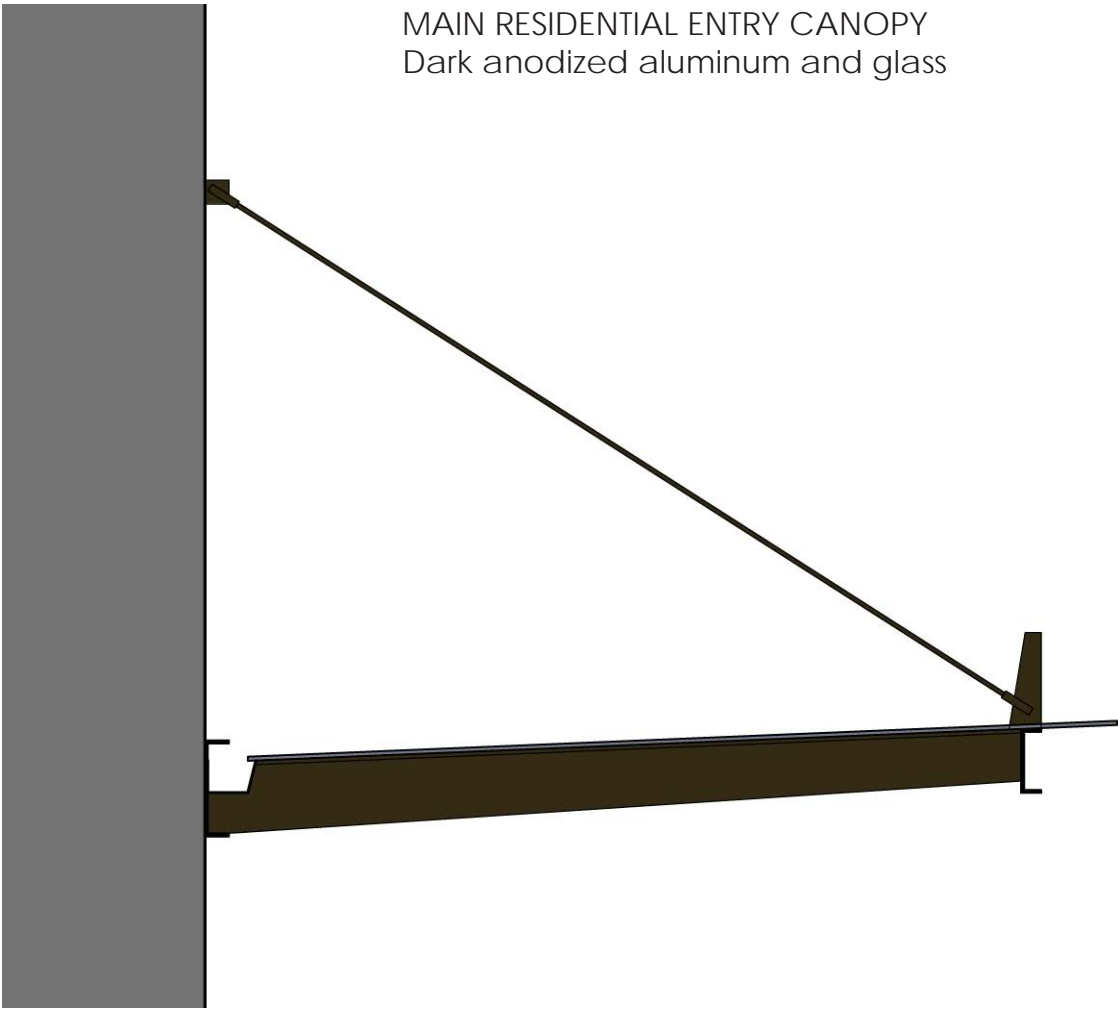
Examples of solid clad, discrete volumes to define building masses



Examples of the application of multiple profiles of Metal Cladding used to distinguish an elevation. Despite being the same color, the different shadow patterns create texture and interest and help to define the various components of the elevation while still maintaining a cohesive design.

CANOPIES and SIGNAGE I.0

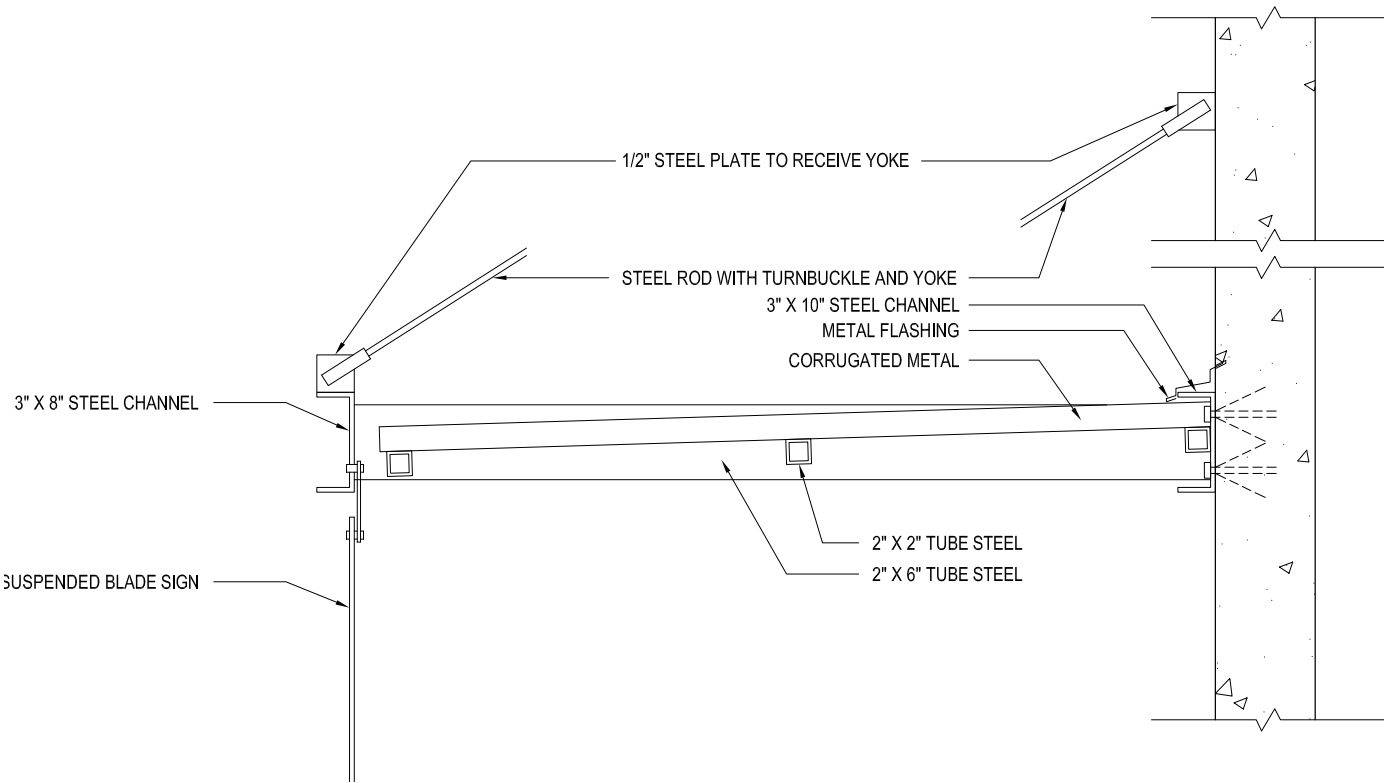




MAIN RESIDENTIAL ENTRY CANOPY
Dark anodized aluminum and glass



CANOPIES and SIGNAGE I.2

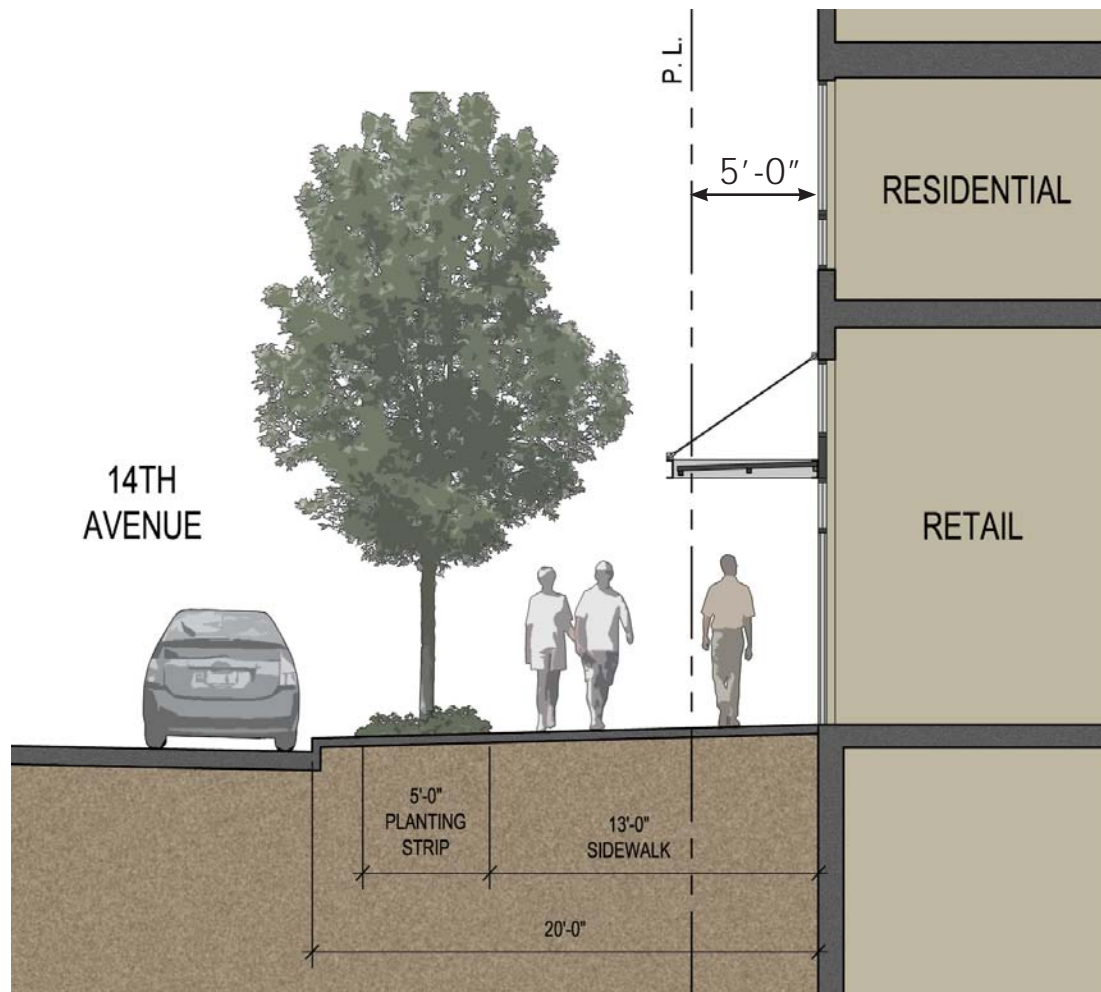


The 14th Avenue pedestrian right of way will be improved by providing:

- 1) A new sidewalk and curb;
- 2) A voluntary 5'-0" building setback from the west property line, allowing more potential for indoor/outdoor, public/private spillover space;
- 3) A new planting strip complete with street trees [note: no landscaping or street trees are required for this right-of-way per DPD or SDOT standards].

The entry courtyard along Union Street provides:

- 1) Both open air and covered gathering space;
- 2) Smaller scaled building elements to relate to the human scale;
- 3) Lush plantings for visual relief at grade and from the units above;
- 4) A commercial patio oriented to the southwest to encourage customer use of the space on pleasant days;
- 5) Office space located at the backside of the courtyard to encourage transparency at the ground floor and activate this public space.



Typical section through the improved 14th Avenue pedestrian right-of-way



View of the entry courtyard along Union Street.

DEPARTURE REQUEST A - REAR YARD SETBACK

Setbacks 23.47.014.B.4

A departure is requested to permit a +/- 3'-6" (max) intrusion at the roof level for the stair enclosure and common room roof overhang. The previous MUP approved design for this site obtained approval for rear-yard setback encroachment across the entire length of the site, and the EDG proposal for this scheme requested a much deeper encroachment. This request has been significantly reduced since each of the previous proposals and restricts the encroachment to the volume of the stairtower and common room roof overhang. No regularly occupied space encroaches on the rearyard setback.

Previous MUP Approved Scheme
setback approved for the entire length of the site



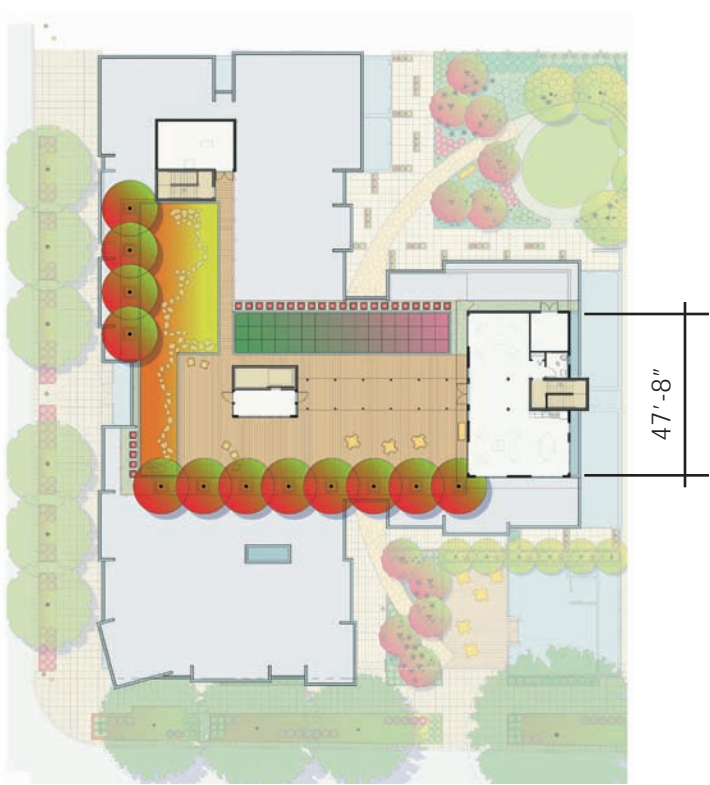
Length of encroachment = Full site, 179'-10"

Request at EDG meeting
The length of the setback was significantly reduced



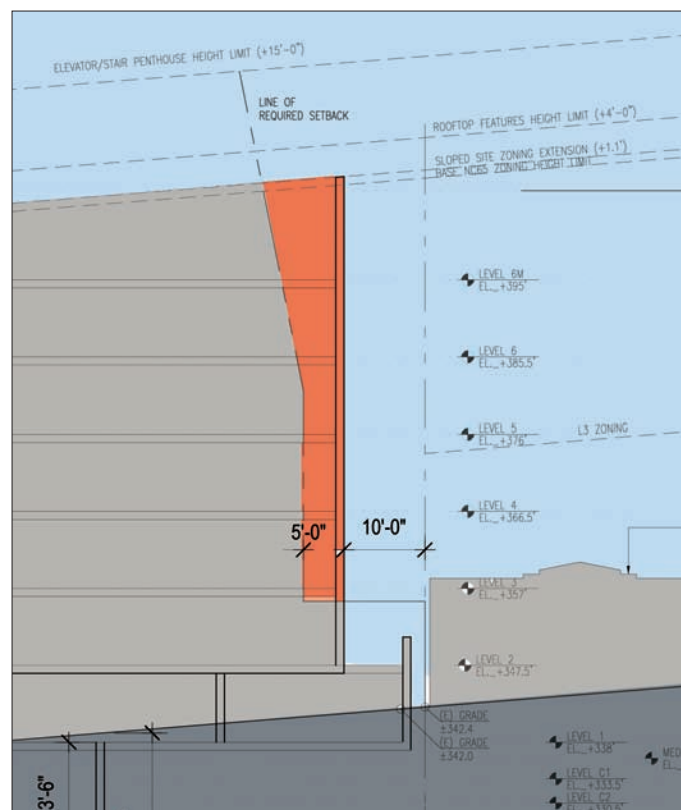
Length of encroachment = 70'-0"

Proposed Scheme
Depth of setback encroachment has been reduced to include a small portion of the eastern stair tower and common room roof overhang only; no fenestration or regularly occupied space encroaches on the setback.

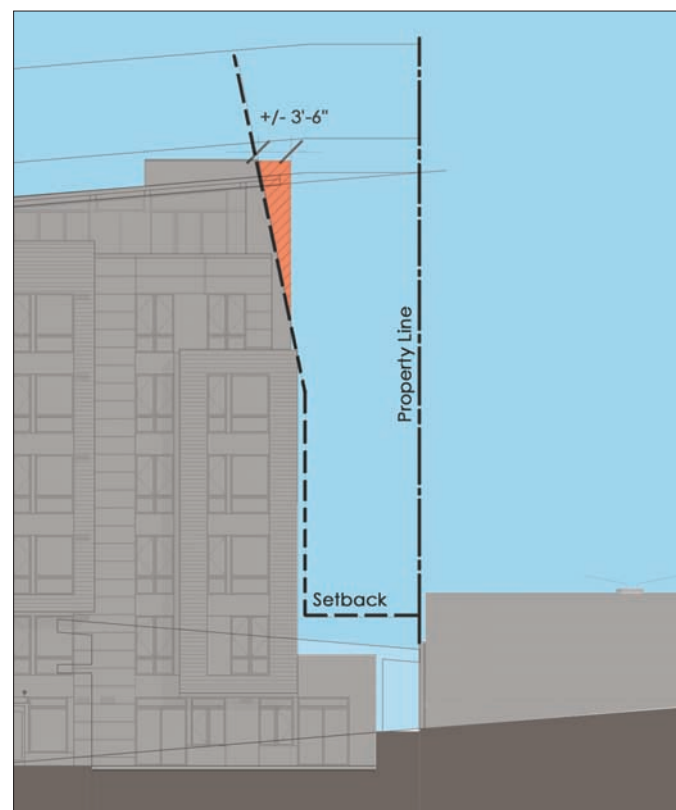


Length of encroachment = 47'-8"

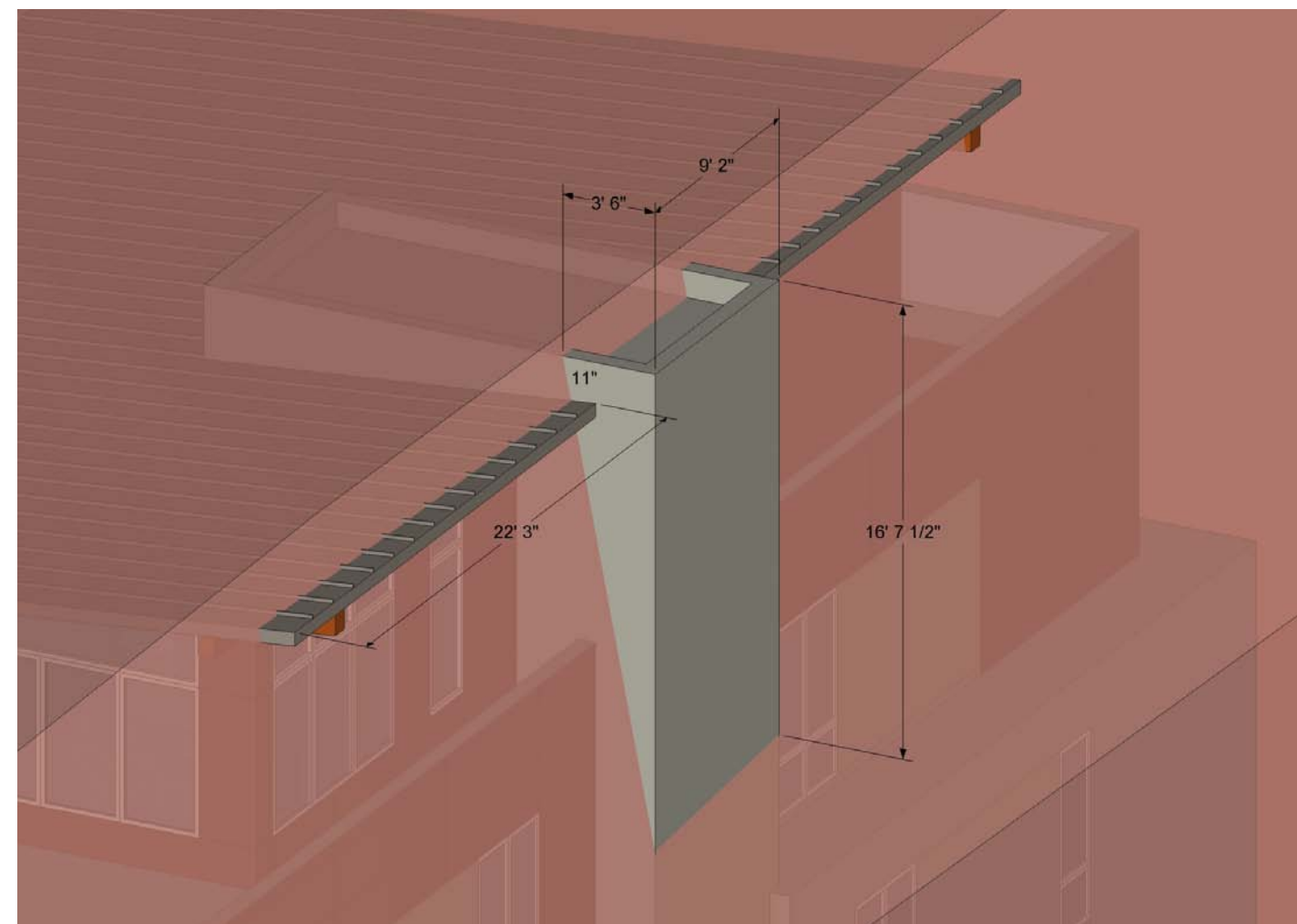
DEPARTURE REQUEST A - REAR YARD SETBACK



EDG Proposed Setback Encroachment

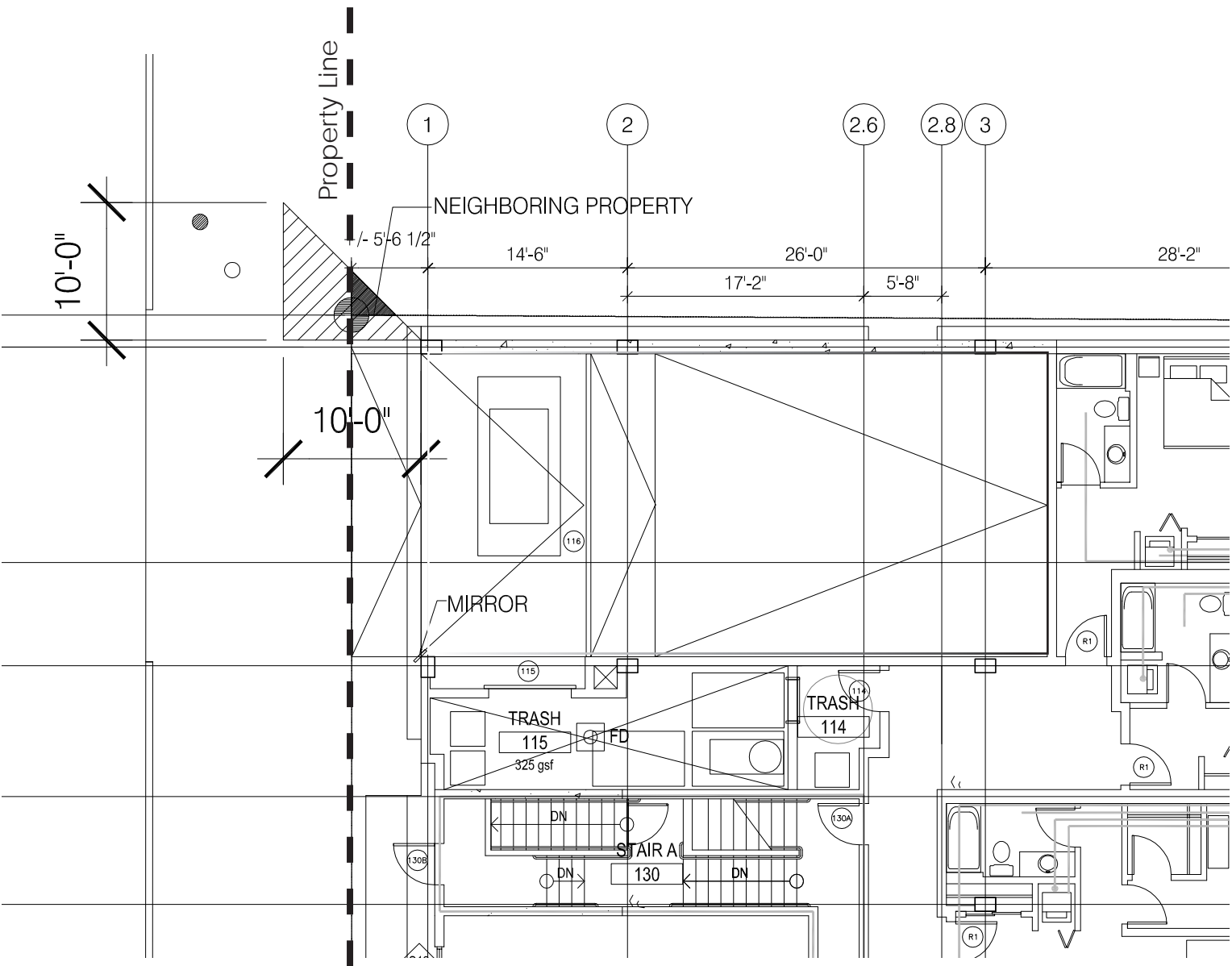


CURRENT Proposed Setback Encroachment



Extent of building projecting beyond the allowable building envelope.

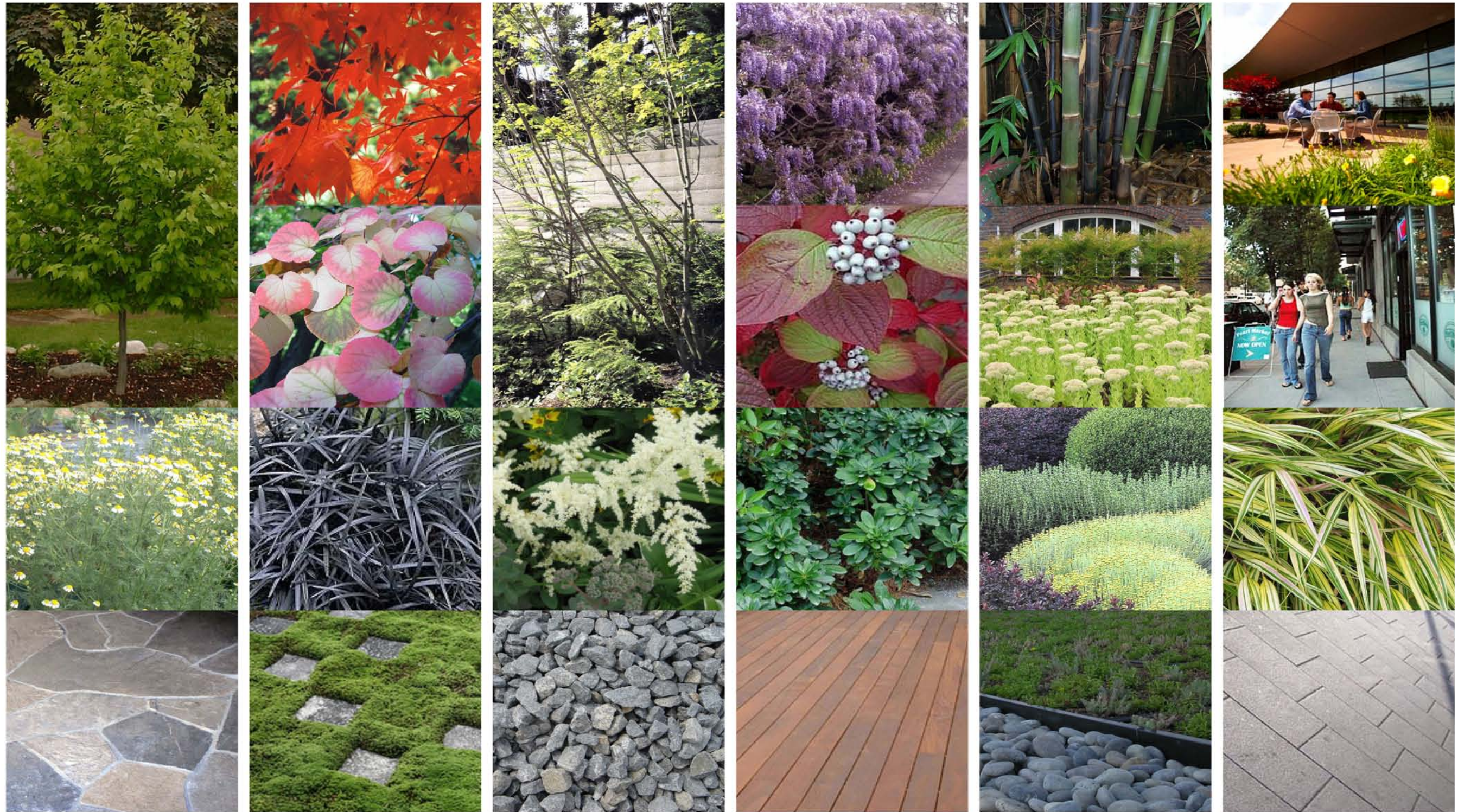
DEPARTURE DIAGRAMS K.2




DEPARTURE REQUEST B

Driveway Site Triangle SMC 23.54.030D

A departure is requested to allow the use of mirrors and automatic doors to mitigate the absence of the site triangle. Given the proximity of the driveway entrance to the property line it is not possible to provide the site triangle as it would fall on the neighboring property. This departure was approved in the previous MUP approved scheme for this site. Per the DRB’s request, a traffic analysis has been submitted to support this departure.



LANDSCAPE L.1



 SEATTLE *green factor*

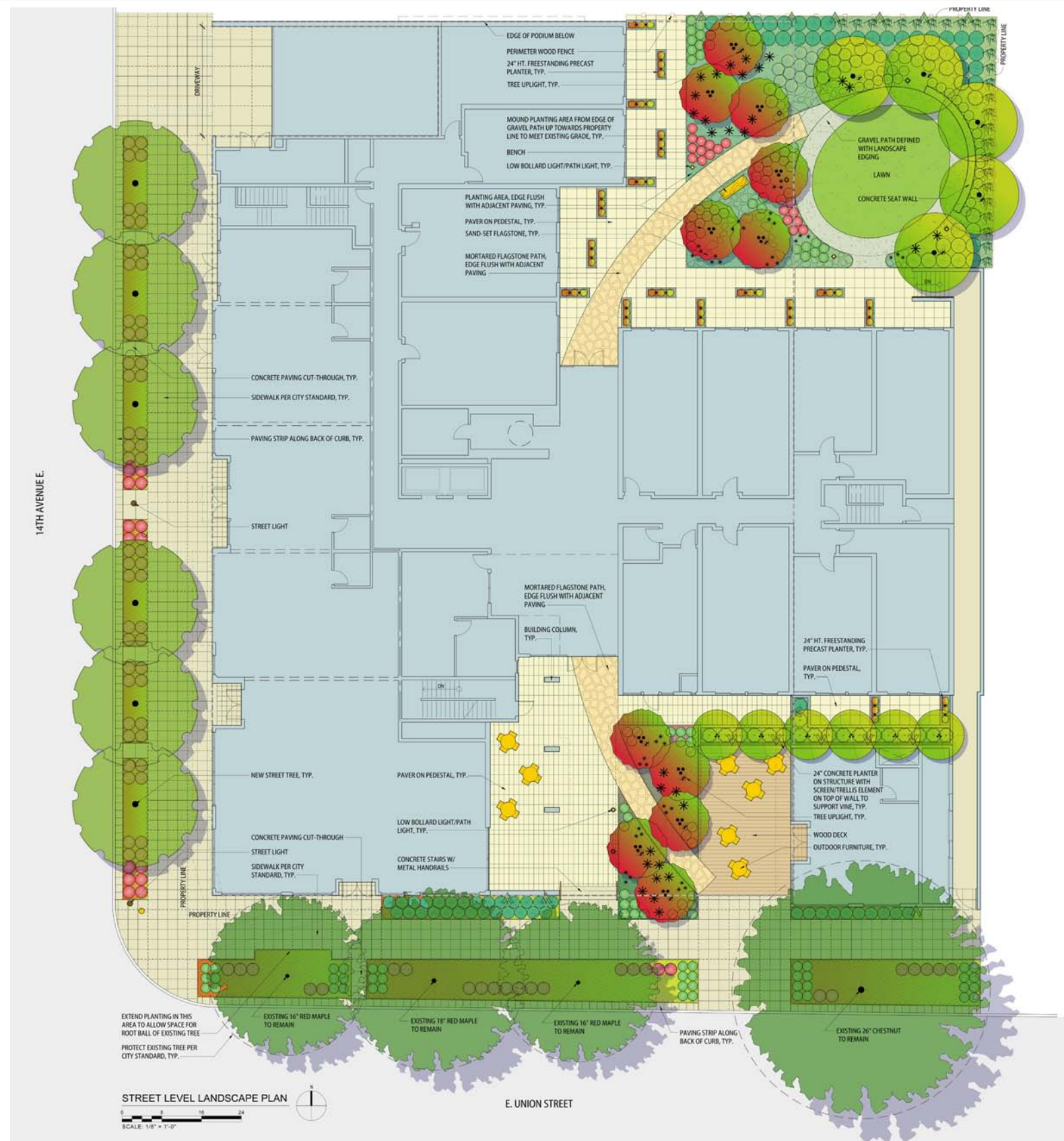
FINAL VERSION 3-9-07

You need at least **0.300**

| | enter sq ft of parcel | | SCORE | 0.301 |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------|--------------|-------|
| <div style="display: flex; justify-content: space-between;"> Parcel size (ENTER THIS VALUE FIRST)* 29,095 </div> | | | | |
| Types of Area** | Square Feet | Factor | Total | |
| A Vegetation planted with a soil depth of less than 24" | | | | |
| 1 Lawn or grass pavers or ground covers | <div style="display: flex; justify-content: space-between;"> enter sq ft 1424 </div> | 0.2 | 285 | |
| 2 Plants and shrubs 3' and higher at maturity | <div style="display: flex; justify-content: space-between;"> enter number of plants </div> | 0 | 0.3 | - |
| B Vegetation planted with a soil depth of more than 24" | | | | |
| 1 Lawn, grass pavers or other plants less than 3' tall at maturity | <div style="display: flex; justify-content: space-between;"> enter sq ft 4179 </div> | 0.7 | 2,925 | |
| 2 Shrubs taller than 3' at maturity - calculated at 16 sq ft per plant (typically planted no closer than 18" on center) | <div style="display: flex; justify-content: space-between;"> enter number of plants 227 </div> | 3632 | 0.3 | 1,090 |
| 3 Tree canopy for "small trees" in SDOT's Street Tree Planting Schedule or equivalent canopy spread of 15' - calculated at 50 sq ft per tree | <div style="display: flex; justify-content: space-between;"> enter number of plants 35 </div> | 1750 | 0.3 | 525 |
| 4 Tree canopy for "small/medium trees" in Street Tree Planting Schedule or equivalent canopy spread of 20' - calculated at 100 sq ft per tree | <div style="display: flex; justify-content: space-between;"> enter number of plants </div> | 0 | 0.3 | - |
| 5 Tree canopy for "medium/large trees" in Street Tree Planting Schedule or equivalent canopy spread of 25' - calculated at 150 sq ft per tree | <div style="display: flex; justify-content: space-between;"> enter number of plants 8 </div> | 1200 | 0.4 | 480.0 |
| 6 Tree canopy for "large trees" in Street Tree Planting Schedule or equivalent canopy spread of 30' - calculated at 200 sq ft per tree | <div style="display: flex; justify-content: space-between;"> enter number of plants </div> | 0 | 0.4 | - |
| 7 Tree canopy for preservation of "exceptional trees" or trees with trunk diameter exceeding 24" at four and one half feet above the ground, calculated at 250 sq ft per tree | <div style="display: flex; justify-content: space-between;"> enter number of plants 1 </div> | 250 | 0.5 | 125.0 |
| 8 Permeable paving that drains only itself. It must be at grade. - calculated per square foot | <div style="display: flex; justify-content: space-between;"> enter sq ft 381 </div> | 0.6 | 228.6 | |
| C Green roofs - 4" minimum soil depth at time of planting | <div style="display: flex; justify-content: space-between;"> enter sq ft 2047 </div> | 0.7 | 1,432.9 | |
| D Vegetated walls | <div style="display: flex; justify-content: space-between;"> enter sq ft 732 </div> | 0.7 | 512.4 | |
| E Water features (fountains) or rain gardens (where allowed by SPU) | <div style="display: flex; justify-content: space-between;"> enter sq ft </div> | 0.7 | - | |
| sub-total of sq ft = 15,595 | | | | |
| Bonuses | | | | |
| F Landscaping using drought tolerant plants or where at least 50% of annual irrigation needs are met from non-potable sources | <div style="display: flex; justify-content: space-between;"> enter sq ft 7,071 </div> | 0.1 | 707 | |
| G Landscaping visible to passers-by from adjacent public right of way or public open spaces | <div style="display: flex; justify-content: space-between;"> enter sq ft 4,400 </div> | 0.1 | 440 | |
| green factor numerator = 8.751 | | | | |

* Do not count public rights of way in parcel size calculation.

** To calculate your green factor score, you may count the landscape elements that are in public rights of way if they are contiguous with the parcel.



| PLANT LIST (*INDICATES DROUGHT TOLERANT SPECIES) | | | | | |
|------------------------------------------------------------------------------------------------------|-----------------------------------------|---------------------------------------|-------------|-----------------------|----------|
| SYMBOL | BOTANICAL NAME | COMMON NAME | SIZE | CONDITION | SPACING |
| STREET TREE (TREE SELECTION HAS BEEN REVIEWED AND APPROVED BY SDOT ARBORIST, BILL AMES ON 07/10/07.) | | | | | |
| | CARPINUS CAROLINIANA | AMERICAN HORNBEAM | 2 1/2" CAL. | B&B | PER PLAN |
| TREES | | | | | |
| | ACER CIRCINATUM* | VINE MAPLE | 6'-8" HT. | MULTI FIELD COLLECTED | PER PLAN |
| | MAGNOLIA STELLATA | STAR MAGNOLIA | 6'-8" HT. | B&B | PER PLAN |
| | ACER PALMATUM (GREEN) | JAPANESE MAPLE (GREEN) | 8'-10" HT. | B&B | PER PLAN |
| | STEWARTIA PSEUDOCAMELLIA | JAPANESE STEWARTIA | 8'-10" HT. | B&B | PER PLAN |
| | CERCIDIPHYLLUM JAPONICUM | KATSURA | 2 1/2" CAL. | B&B | PER PLAN |
| | BETULA JACQUEMONTII | JACQUEMONTII BIRCH | 2 1/2" CAL. | B&B | PER PLAN |
| | RHUS TYPHINA* | STAGHORN SUMAC | 1 1/2" CAL. | B&B | PER PLAN |
| GREATER THAN 3' HIGH SHRUBS & VINES | | | | | |
| | ABELIA X GRANDIFLORA 'EDWARD GOUCHER' | 'EDWARD GOUCHER' GLOSSY ABELIA | 5 GAL. | CONT. | 30" O.C. |
| | CAMELLIA SASANQUA 'YULETIDE' | 'YULETIDE' CAMELLIA | 5 GAL. | CONT. | 30" O.C. |
| | CISTUS X HYBRIDUS* | WHITE ROCKROSE | 5 GAL. | CONT. | 30" O.C. |
| | CHOISYA TERNATA* | MEXICAN MOCK ORANGE | 5 GAL. | CONT. | 36" O.C. |
| | ESCALLONIA X FRADESII* | FRADES ESCALLONIA | 5 GAL. | CONT. | 30" O.C. |
| | HYDRANGEA SERRATA 'LANARTH WHITE' | 'LANARTH WHITE' LACECAP HYDRANGEA | 5 GAL. | CONT. | 36" O.C. |
| | ILEX CRENATA 'CONVEXA' | 'CONVEXA' JAPANESE HOLLY | 2 GAL. | CONT. | 30" O.C. |
| | LONGICERA SEMPERVIRENS* | TRUMPET HONEYSUCKLE | 2 GAL. | CONT. | PER PLAN |
| | MYRICA CALIFORNICA* | PACIFIC WAX MYRTLE | 5 GAL. | CONT. | 36" O.C. |
| | NANDINA DOMESTICA 'PLUM PASSION' | 'PLUM PASSION' HEAVENLY-BAMBOO | 2 GAL. | CONT. | 30" O.C. |
| | PARTHENOCISSUS QUINQUEFOLIA* | VIRGINIA CREEPER | 2 GAL. | CONT. | PER PLAN |
| | PHYLLASTACHYS NIGRA* | BLACK BAMBOO | 5 GAL. | CONT. | 36" O.C. |
| | RHAPHIOLEPIS UMBELLATA 'MINOR' | 'MINOR' RHAPHIOLEPIS | 5 GAL. | CONT. | 30" O.C. |
| | VIBURNUM X BODNANTENSE 'DAWN' | 'DAWN' VIBURNUM | 5 GAL. | CONT. | 36" O.C. |
| | WISTERIA SINENSIS* | CHINESE WISTERIA | 2 GAL. | CONT. | PER PLAN |
| 3' HIGH OR LOWER SHRUBS | | | | | |
| | BUXUS MICROPHYLLA J. 'GREEN BEAUTY' | 'GREEN BEAUTY' JAPANESE BOXWOOD | 1 GAL. | CONT. | 24" O.C. |
| | CAMELLIA SASANQUA 'TANYA' | 'TANYA' CAMELLIA | 2 GAL. | CONT. | 30" O.C. |
| | CORNUS SERICEA 'KELSEY' | 'KELSEY' REDTWIG DOGWOOD | 1 GAL. | CONT. | 24" O.C. |
| | LAVANDULA ANGUSTIFOLIA 'HIDCOTE' | 'HIDCOTE' ENGLISH LAVENDER | 1 GAL. | CONT. | 24" O.C. |
| | MAHONIA NERVOZA* | DULL OREGON GRAPE | 2 GAL. | CONT. | 30" O.C. |
| | NANDINA DOMESTICA 'MOON BAY' | 'MOON BAY' HEAVENLY-BAMBOO | 2 GAL. | CONT. | 24" O.C. |
| | PITTOSPORUM TOBIRA 'WHEELER'S DWARF' | 'WHEELER'S DWARF' TOBIRA | 5 GAL. | CONT. | 36" O.C. |
| | SALIX PURPUREA 'NANA' | DWARF PURPLE OSIER WILLOW | 2 GAL. | CONT. | 30" O.C. |
| | SARCOCOLLEA HOOKERIANA HUMILIS* | SWEET BOX | 2 GAL. | CONT. | 30" O.C. |
| | SENECIO GREYI* | SENECIO | 1 GAL. | CONT. | 30" O.C. |
| | TAXUS CUSPIDATA 'NANA' | 'NANA' JAPANESE YEW | 2 GAL. | CONT. | 30" O.C. |
| | VIBURNUM DAVIDII* | | 5 GAL. | CONT. | |
| ACCENT PERENNIALS & GRASSES | | | | | |
| | ASTILBE X ARENDsii 'DEUTSCHLAND' | 'DEUTSCHLAND' ASTILBE (WHITE) | 1 GAL. | CONT. | 24" O.C. |
| | CROCOSMIA X 'LUCIFER' | 'LUCIFER' CROCOSMIA | 1 GAL. | CONT. | 24" O.C. |
| | HAKONECHLOA MACRA 'AUREOLA' | 'AUREOLA' JAPANESE FOREST GRASS | 1 GAL. | CONT. | 24" O.C. |
| | HEMEROCALLIS X HYBRIDS 'STELLA D'ORO' | 'STELLA D'ORO' DAYLILY | 1 GAL. | CONT. | 24" O.C. |
| | PENICUM VIRGATUM 'HAENSE HERMS' | 'HAENSE HERMS' SWITCH GRASS | 1 GAL. | CONT. | 24" O.C. |
| GROUND COVERS | | | | | |
| | 75% ARCTOSTAPHYLOS UVA-URSI* | 75% KINKINNICK | 1 GAL. | CONT. | 18" O.C. |
| | 25% POLYSTICHUM MUNITUM* | 25% SWORD FERN | 1 GAL. | CONT. | 18" O.C. |
| | EUPHORBIA AMYGDALOIDES ROBBIAE* | EUPHORBIA | 1 GAL. | CONT. | 18" O.C. |
| | 50% CHAMAEMELUM NOBILE* | 50% CHAMOMILE | 4" POT | CONT. | 12" O.C. |
| | 50% THYMUS SERPYLLUM* | 50% CREEPING THYME | 4" POT | CONT. | 12" O.C. |
| | 25% SPIRAEA JAPONICA 'SHIROBANA' | 25% 'SHIROBANA' SPIRAEA | 1 GAL. | CONT. | 24" O.C. |
| | 75% COTONEASTER DAMMERI* | 75% BEARBERRY COTONEASTER | 1 GAL. | CONT. | 24" O.C. |
| | 50% LIRIOPE SPICATA 'SILVER DRAGON' | 50% 'SILVER DRAGON' CREEPING LILYTURF | 1 GAL. | CONT. | 24" O.C. |
| | 50% OPHIOPOGON PLANISCAPUS 'NIGRESCENS' | 50% BLACK MONDO GRASS | 1 GAL. | CONT. | 24" O.C. |



ROOF LEVEL LANDSCAPE PLAN













