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Archdiocesan
Housing Authority



BEACON
DEVELOPMENT
GROUP

Partners in Hope
2301 Second Avenue
Seattle, Washington

Early Design Guidance
October 2007



Partners In Hope

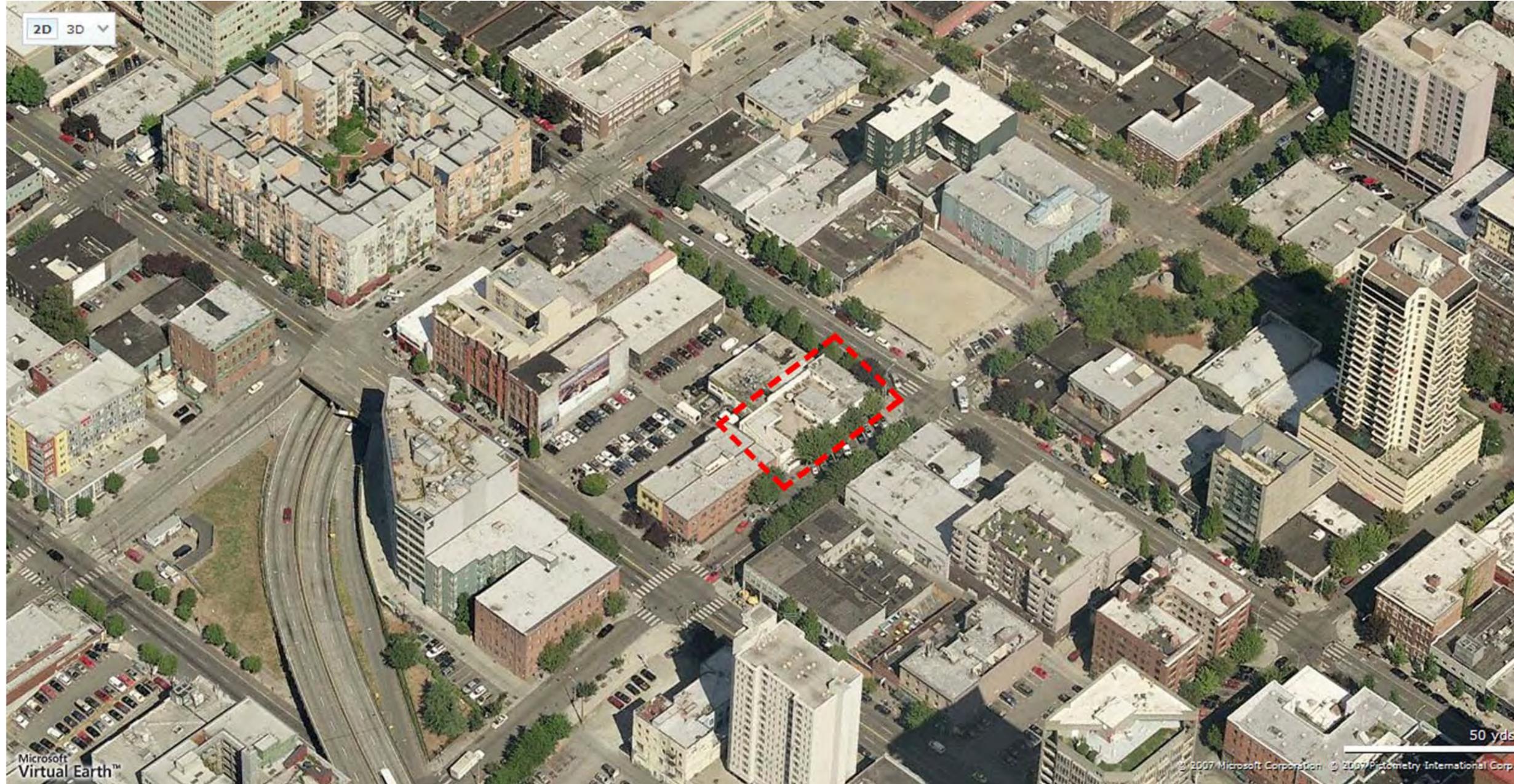
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Aerial Photo
from South

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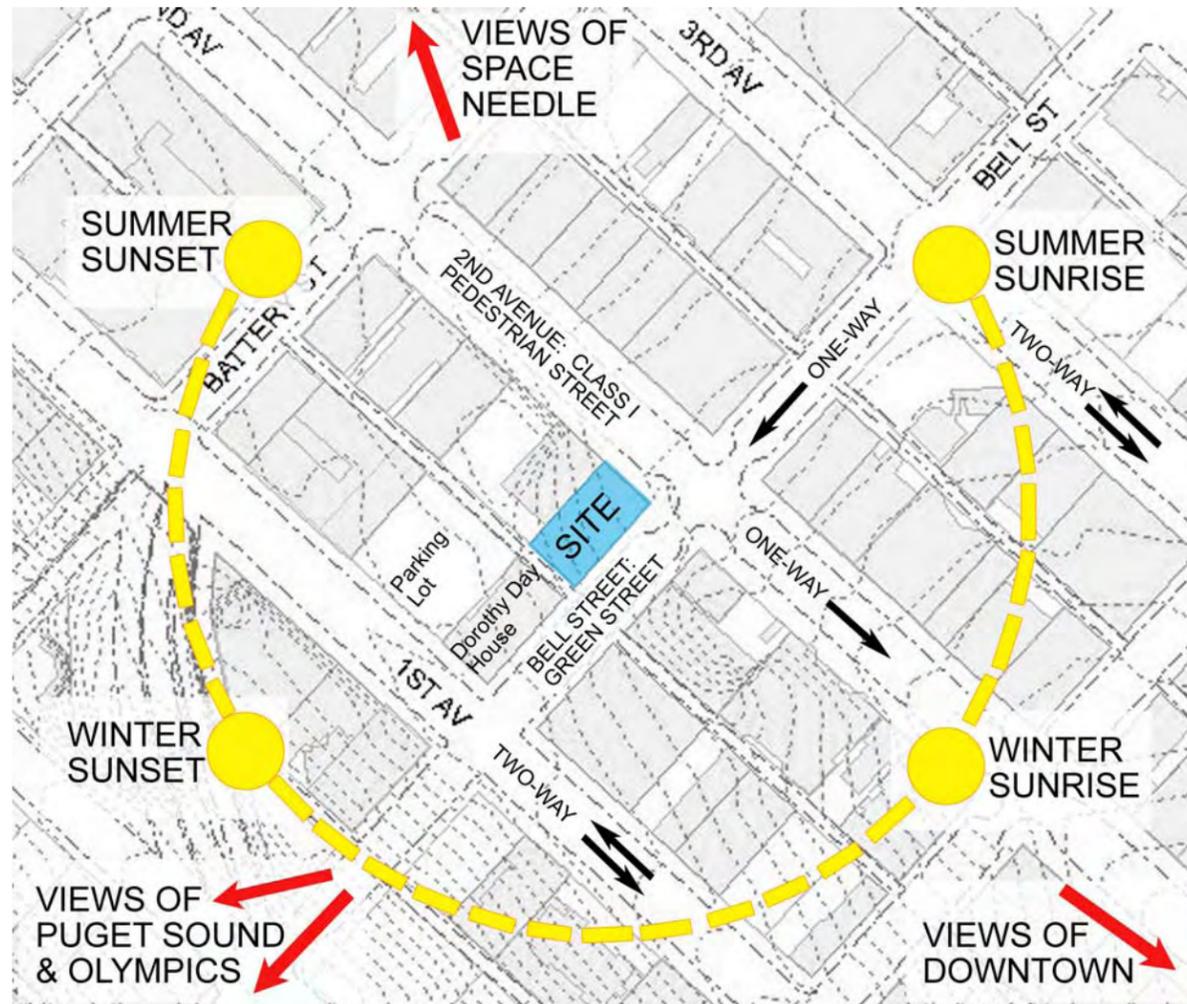




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Site Analysis Diagram



Zoning Map

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Zoning Map
& Site Analysis
Diagram

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Zoning Analysis

Zone:	DMR/R 85/65
Urban Village:	Belltown
Street Designation:	2nd Avenue - Class 1 Pedestrian Street Bell Street - Green Street, View Corridor
Lot Area:	6,480 SF - 60' X 108' (2' alley dedication reduces lot depth to 106')
Lot Coverage:	per 23.49.158.A.1 - 100% coverage allowed for full height of structure in DMR/R 85 district
Height Requirements:	85 foot limit - The following rooftop features may exceed the limit by 15 feet per 23.49.008.D.2 - Stair Penthouses, Covered or Enclosed common recreation area, mechanical equipment, elevator penthouse.
Minimum Facade Height: (Section 23.49.162 A.)	2nd Avenue - 25 feet Bell Street - 25 feet
Facade Setback Limits:	2nd Avenue - Class 1 Pedestrian Street - Max area: 60' street length x 5 = 300 SF Bell Street - Green Street - Max area - 108' x 30 = 3240 SF Max Width - more than 15' deep: 80' long or 30% of lot frontage, whichever is less. Any outdoor common recreation area required for residential uses shall not be considered part of a setback.
Maximum Wall Length:	Not applicable in DMR/R 85/65 zones.
Street-level use:	Section 23.49.009.A - Retail sales and services, human service uses, customer service offices, entertainment uses - minimum of 75% of the street frontage shall have uses listed above = 124.5 lineal feet of street frontage.
Setback Requirements:	None applicable.
Common Recreation Area:	Section 23.49.010 - Minimum of 5% of gross floor area in residential use, maximum of 50% of common recreation area may be enclosed space.
Floor Area Ratios:	Not applicable.
Landscaping Requirements:	Street trees required on 2nd Avenue & Bell Street. Landscaping in the sidewalk of the street right-of-way shall be provided with 1 SF of landscape area x 1.5 lineal feet of street frontage = (60'+106') x 1.5 = 249 SF of landscape area, 18" minimum width of landscape area along at least 50% of the street property line.
Blank Facades:	Blank facades shall be limited to 15' in length (between 2' and 8' above sidewalk).

Parking Requirements:	Per LUC 23.49.019.A - No parking is required for uses in lots in downtown zones.
Parking Access:	Per 23.49.019.H.1.a - When lots abut alley, alley access shall be required.
Bicycle Parking:	Section 23.49.019E (Table 23.49.010A) Residential - 1 space for every two dwelling units Office & Retail - 1 space per 5000 SF of gross floor area.
Overhead Weather Protection:	Per 23.49.018.A - Overhead weather protection shall be required for new development along the entire street frontage, minimum depth of 8' from building wall, or must extend to within 2' of curblin (whichever is less). Lower edge of overhead weather protection between 10' - 15' above sidewalk.

Existing Site

Subject Property

The existing 60'x108' lot at the corner of 2nd Avenue and Bell Street contains a 1-1/2 story concrete structure housing an overnight shelter for homeless women in the basement, a retail space at the first floor facing 2nd Avenue, and congregate residence for 13 women on the back half of the first floor and the partial second floor. The building was originally constructed as a print shop and parking garage in the 1950's and was converted to its current use, as housing for homeless women, in the early 1990's.

Second Avenue

Second Avenue between Bell St. and Battery St. is lively pedestrian block with restaurants, nightclubs, galleries, retail spaces, apartment buildings and a couple of open lots on the block. The buildings offer an eclectic mixture of architectural styles of various qualities, most of which are 1 to 2 stories in height. Every lot on the block is significantly undersized for its allowable development. The sidewalks are wide and include tall, mature street trees and artfully designed street furnishings. The street grade is relatively flat. The adjacent structure to the north houses a popular restaurant with sidewalk dining and a commercial bakery in the basement level accessed from the alley. There are two interesting period buildings at the north end of the block: The William Tell - a 3-story Spanish Colonial apartment building, and a 1-story Art Deco commercial building at the corner which includes a landscape outdoor dining patio visible from the sidewalk.

Bell Street

Bell St. is a more passive street, as the corner buildings orient their use to the Avenue side. There are a few minor storefront openings on Bell St. with walk-up entries to the 2nd floor spaces of the buildings. The most architecturally significant structure near the site is the Dorothy Day House directly to the west of the property across the alley. It is a vintage turn-of-the-century brick 3-story building with a tall, glazed storefront on the west side facing 1st Avenue. The upper two floors of the building house a congregate residence for low-income women, owned and managed by the Archdiocesan Housing Authority. Bell St. has relatively narrow sidewalks with mature street trees and is a designated "Green Street" with an ambitious plan for added right-of-way planting and sidewalk improvements. The street slopes down about 5-feet from the SE corner of the property to the alley at the SW corner. There are magnificent views to the west facing Elliott Bay and the Olympic Mountains.

Alley

The existing 16' wide alley to the west provides parking access to all the buildings facing 2nd Avenue on the block. Two feet of the existing property will need to be dedicated to the City to provide the 20' wide alley required for all new development. The current alley environment is not very pleasant as it is filled with trash dumpsters and parking, and none of the current buildings on the block use it for any sort of public access to their facilities.



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Zoning &
Existing Site
Analysis

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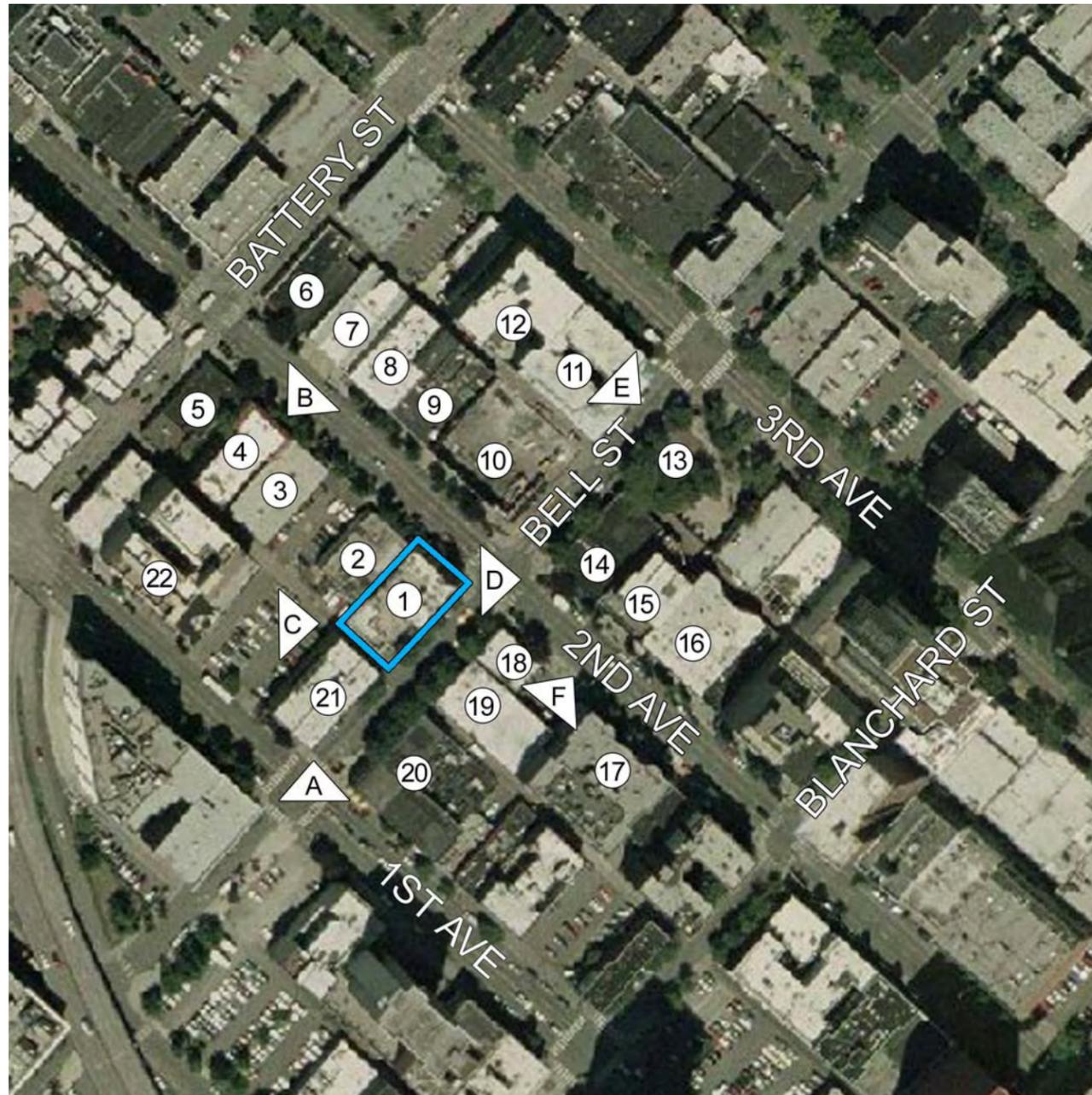
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Neighboring Properties

1. SITE
2. Restaurant & Bakery
3. Retail & Restaurants
4. The William Tell
5. Retail & Restaurant
6. Retail & Restaurant
7. Retail & Offices
8. Lounge & Offices
9. Galleries
10. Vacant Lot
11. Apartments
12. Apartments
13. Dog Park
14. Restaurant
15. Restaurants, Lounges, Apartments
16. Mixed Retail & Apartments
17. Mixed Retail & Apartments
18. Retail
19. Offices
20. Restaurant & Offices
21. Dorothy Day House
22. Austin Bell Building

A-F: See the images of neighboring properties on page 7

Design Cues

Neighborhood Context:

The Belltown neighborhood surrounding the property offers an assortment of building types but can be roughly categorized into the following four types: Apartment Buildings, Commercial/Retail Structures, Mixed-Use Commercial/Residential Structures and open parking lots. The development on our block of 2nd Avenue is significantly below the allowable height of 85', as no structure on either side of 2nd Avenue is currently more than 3-stories, and most are 1 – 2 stories in height.

The original Belltown neighborhood was platted into 60' wide parcels, and most of the buildings constructed prior to 1940 were built on single or double lots. We surveyed a number of corner lot, single parcel apartment buildings in the Belltown neighborhood, paying particular attention to how the buildings wrap the corner and address building entry and open space. A survey provides a number of guidelines for the development of our property:

- Patterns of window openings and fenestration
- Material palate and building detailing
- Entry Lobby and relationship to the street
- Overhead weather protection and entry canopies
- Building form and the shaping of open space
- Corner building entries tend to occur on the side streets, not the avenues
- Corner buildings tend to orient building form and open space to the side street

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Neighborhood
Context Aerial

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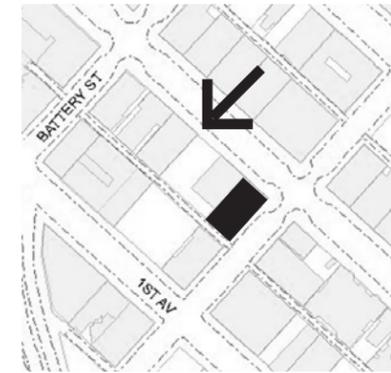
Neighborhood Context and Use



SITE



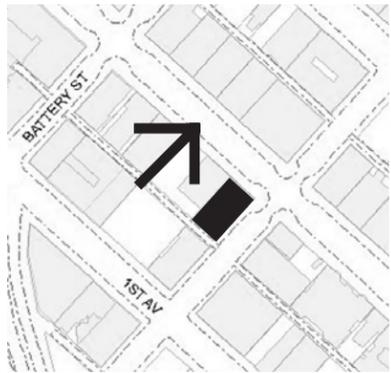
Second Avenue looking west




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Second Avenue looking east



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Existing
Streetscape
2nd Avenue
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SITE



Bell Street looking north



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Bell Street looking south

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Existing
Streetscape
Bell Street

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A Dorothy Day House



B The William Tell



C View of site from alley looking east

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D Mama's Mexican Kitchen



E Dogpark



F Mixed-Use Building

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Neighboring
Properties

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Belltown
Inspirational
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Relevant Guidelines for Downtown Development & Belltown Urban Center Village

A-1: Respond to the Physical Environment –

Develop an architectural concept and compose the building's massing in response to geographic conditions and patterns of urban form found nearby or beyond the immediate context of the building site

Belltown –specific supplemental guidance

- Develop the architectural concept and arrange the building mass to enhance views – water, mountains and noteworthy structures
- Consider providing multiple entries and windows at street level on sloping streets

B-1: Respond to the Neighborhood Context –

Develop an architectural concept and compose the major building elements to reinforce desirable urban features existing in the surrounding neighborhood.

Belltown specific supplemental guidance

- Establish a harmonious transition between newer and older buildings. Compatible design should respect the scale, massing and materials of adjacent buildings and landscape.

B-2: Create a Transition in Bulk and Scale –

Compose the massing of the building to create a transition to the height, bulk and scale of development in nearby less-intensive zones.

Belltown specific supplemental guidance

- New buildings should be compatible with the scale of development surrounding the project site.

B-3: Reinforce the positive urban form & architectural attributes of the immediate area –

Consider the predominant attributes of the immediate neighborhood and reinforce desirable siting patterns, massing arrangements, and streetscape characteristics of nearby development.

Belltown specific supplemental guidance

- Respond to regulating lines and rhythms of adjacent buildings that also supports a street-level environment

B-4: Design a Well-Proportioned & Unified Building –

Compose the massing and organize the publicly accessible interior and exterior spaces to create a well-proportioned building that exhibits a coherent architectural concept.

C-1: Promote Pedestrian Interaction – *Spaces for street level uses should be designed to engage pedestrians with the activities occurring within them. Sidewalk related spaces should appear safe, welcoming, and open to the general public.*

Belltown specific supplemental guidance

- Reinforce existing retail concentrations
- Vary in size, width, and depth of commercial spaces, accommodating for smaller business, where feasible
- Incorporate the following elements in the adjacent public realm and in open spaces around the building: unique hardscape elements, pedestrian-scale sidewalk lighting, accent paving (especially at corners, entries and passageways)
- Building/Site Corners – provide meaningful setbacks/open space (if feasible), provide seating as gathering spaces, incorporate street/pedestrian amenities in these spaces, make these spaces safe (good visibility), iconic corner identifiers to create wayfinders that draw people to the site

C-2: Design Facades of Many Scales – *Design architectural features, fenestration patterns, materials compositions that refer to the scale of human activities contained within. Building facades should be composed of elements scaled to promote pedestrian comfort, safety, and orientation.*

C-4: Reinforce Building Entries – *To promote pedestrian comfort, safety, and orientation, reinforce the building's entry.*

C-5: Encourage Overhead Weather Protection – *Encourage project applicants to provide continuous, well-lit, overhead weather protection to improve pedestrian comfort and safety along major pedestrian routes.*

C-6: Develop the Alley Façade – *To increase pedestrian safety, comfort, and interest, develop portions of the alley façade in response to the unique conditions of the site or project.*

D-1: Provide Inviting and Usable Open Space – *Design public open spaces to promote a visually pleasing, safe, and active environment for workers, residents, and visitors. Views and solar access from the principal area of the open space should be especially emphasized.*

Belltown specific supplemental guidance

- Mixed-use developments are encouraged to provide useable open space adjacent to retail space, such as an outdoor café or restaurant seating, or a plaza with seating

- Locate plazas intended for public use at/or near street grade to promote physical and visual connection to the street
- Define and contain outdoor spaces through a combination of building and landscape, and discourage oversized spaces that lack containment

D-2: Enhance the Building with Landscaping –

Enhance the building and site with generous landscaping – which includes special pavements, trellises, screen walls, planters, and site furniture, as well as living plant material.

Belltown specific supplemental guidance

- Emphasize entries with special planting in conjunction with decorative paving and/or lighting
- Use landscaping to make plazas and courtyards comfortable for human activity and social interaction
- Distinctively landscape open areas created by building modulation, such as courtyards
- Provide year-round greenery – drought tolerant species are encouraged
- Provide opportunities for installation of civic art in the landscape

D-3: Provide Elements that Define the Place –

Provide special elements on the facades, within public open spaces, or on the sidewalk to create a distinct, attractive, and memorable 'sense of place' associated with the building

Belltown specific supplemental guidance

- Green streets (Bell Street) – streets that are enhanced for pedestrian circulation and activity with a variety of pedestrian-oriented features, such as sidewalk widening, landscaping, artwork, and traffic calming
- 2nd Avenue – street furniture/furnishings: New installations on 2nd Avenue should continue the style of "limited edition" street art that currently exists between Cedar and Virginia St.

D-5: Provide Adequate Lighting – *To promote a sense of security for people downtown during nighttime hours, provide appropriate levels of lighting on the building façade, on the underside of overhead weather protection, on and around street furniture, in merchandising display windows, in landscaped areas, and on signage.*

D-6: Design for Personal Safety and Security –

Design the building and site to enhance the real and perceived feeling of personal safety and security in the immediate area.



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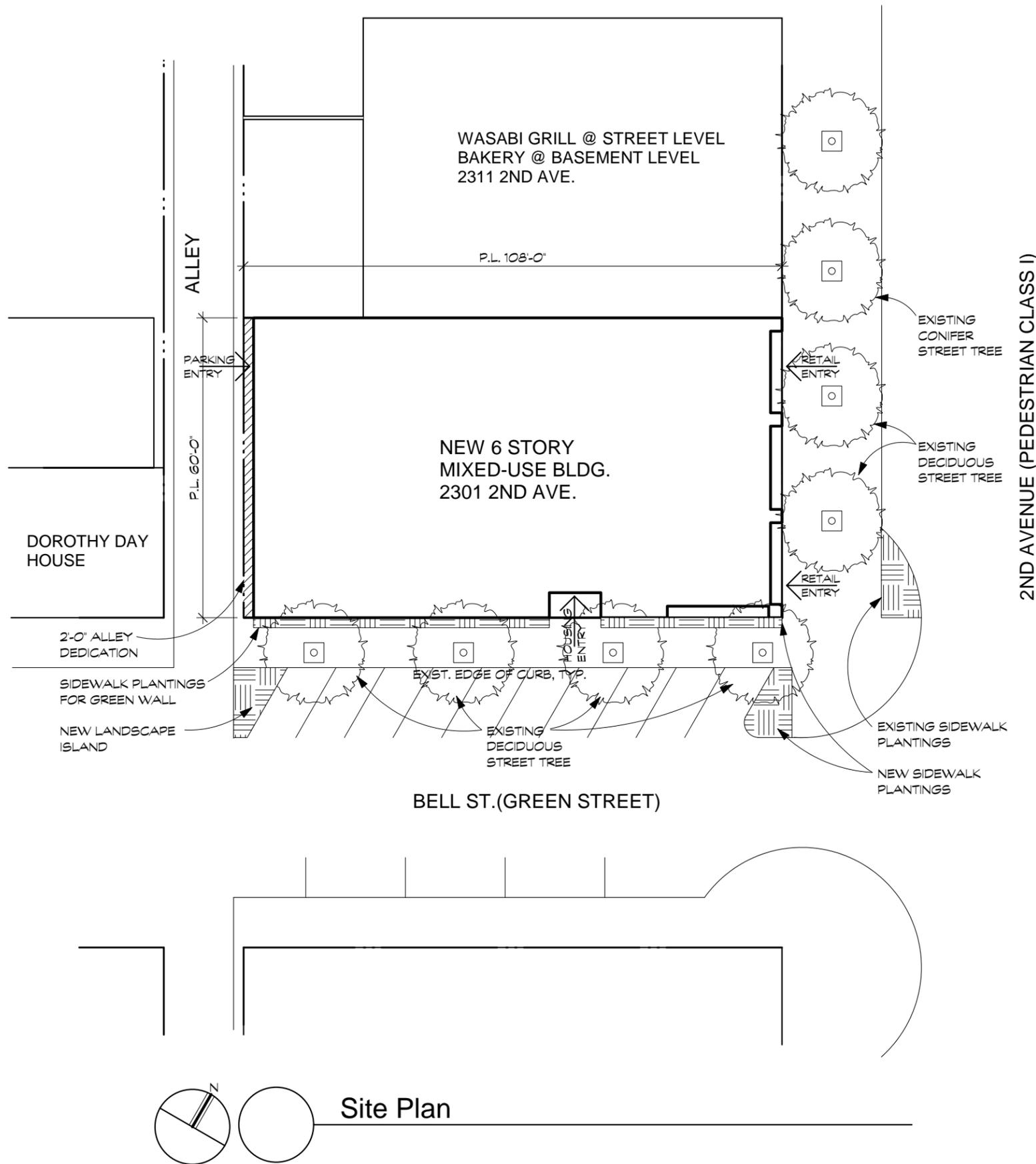
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Relevant Design
Guidelines

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October 2007



Site Plan

Design Objectives

Program Objectives:

The Partners In Hope project is a collaboration of two existing programs of the Archdiocesan Housing Authority serving homeless women. It will expand and replace the existing services provided on the site to include interim housing for 40 women (Noel House), a congregate residence of Single-Room-Occupancy dwelling units for 50 women (Rose of Lima), administrative office space for the housing programs, and ground floor retail space. The new project is receiving significant funding from the Seattle Office of Housing and is a vital link in the City's 10-year plan to end homelessness.

Site & Building Objectives:

Create excellent urban housing and contribute to the neighborhood by:

- Add to the retail activity and character of 2nd Avenue
- Strengthen corner of 2nd Avenue and Bell Street
- Contribute to the vision of the Bell Street – Green Street initiative
- Create a dialogue between the new building and the vintage Dorothy Day House across the alley to the west
- Provide a safe and nurturing community for the residents of the building
- Relate to the established typology of the single-lot Belltown Apartment Building
- Create attractive exterior common spaces for the residents oriented toward sunlight and the magnificent views to the west
- Create a sustainable, energy efficient structure that provides a healthy environment for all its residents and occupants

Approximate Structure Size:

The zoning allows an 85-foot height and 100% lot coverage for all floors, and the design intent is to build a 6-story structure plus basement which will be approximately 75' high.

Program Requirements for Each Floor:

- Basement (6360 S.F.) – parking for 6 spaces accessed off the alley, trash and recycling, mechanical and electrical rooms, and storage
- 1st Floor (6360 S.F.) – 2500 S.F. of Retail space fronting 2nd Avenue and wrapping around to face Bell Street, Shared Entry Lobby for both housing programs facing Bell Street, Administrative offices in the back half of the floor facing Bell Street and the alley
- 2nd floor (Noel House) 6360 S.F. – Interim housing for 40 homeless women with associated support space including staff offices, shared kitchen/dining/TV room, shower room, laundry facilities and outdoor common space
- 3rd thru 6th Floors – 5000 S.F./floor (Rose of Lima) – 50 Single Room Occupancy apartments with associated support spaces including staff offices, shared kitchen/dining/TV room, shower rooms, laundry facilities and outdoor common space

Potential Design Departures:

- Blank Walls shall be limited to 15' length (between 2' and 8' above sidewalk) - slope of Bell St. may create a blank wall condition at the SW corner - propose to mitigate condition with green wall.



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Design Objectives
& Site Plan

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October 2007

10

Alternative 1

All three alternatives address the street level with the same strategy. The retail space runs the full length of 2nd Avenue and wraps the corner facing Bell Street. The housing entry lobby is located about 1/2 down Bell Street from the corner. Parking is accessed off the alley at the NW corner of the property. The three alternatives vary in their treatment of the 2nd – 6th floors.

Building Massing:

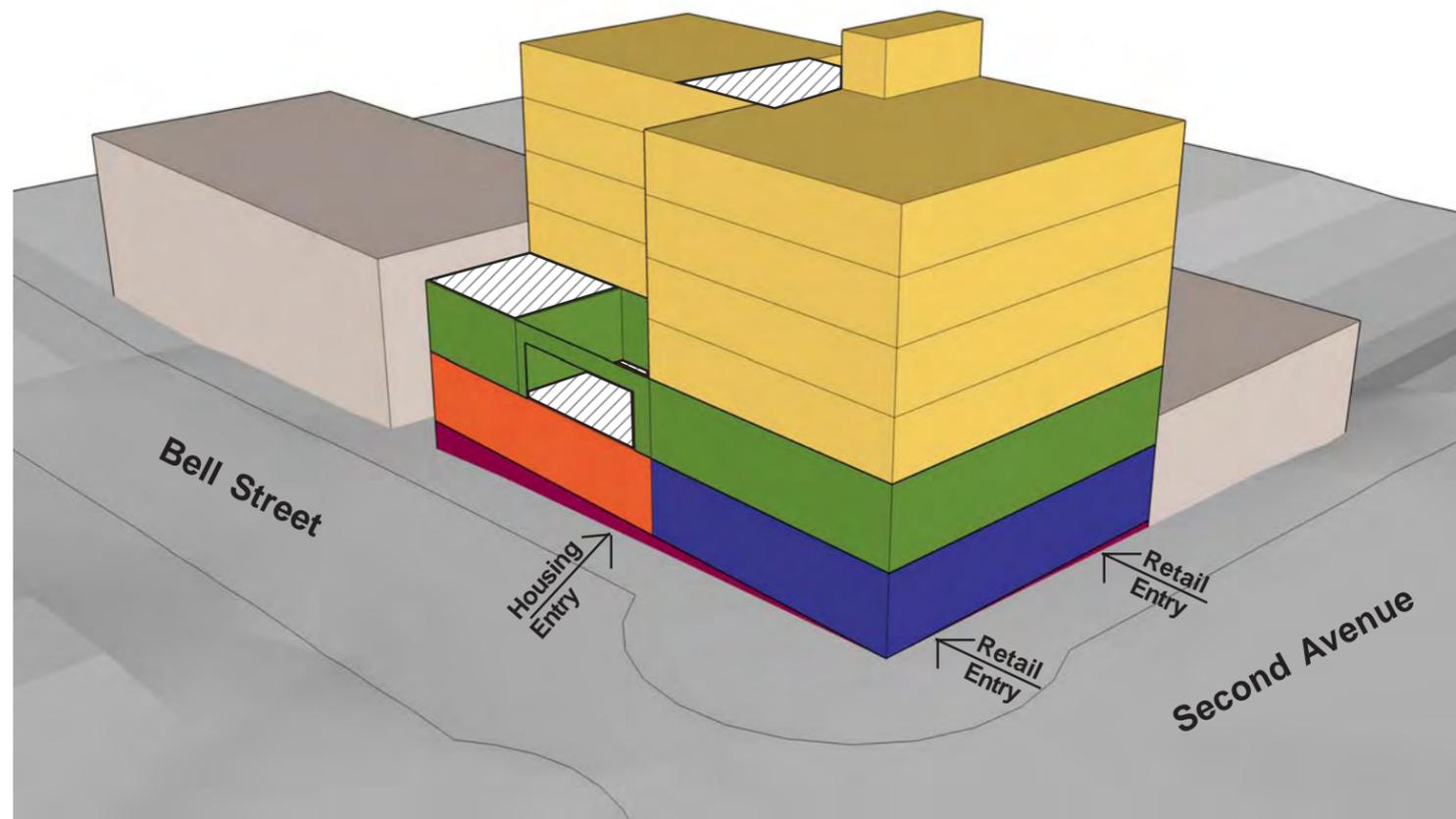
The common outdoor space for both Noel House, at the 2nd floor, and Rose of Lima, on the 3rd floor, are located on the south side of the building facing Bell Street. This orientation provides the outdoor space abundant access to sunlight and views to the west down Bell Street to Elliott Bay. The 3rd thru 6th floors are stacked in a modified T-shape with full street frontage facing 2nd Avenue and a 20'x50' cutout from the southwest corner facing Bell Street. This orientation provides the most number of units with the prime south and west orientation, along with the southern orientation for the common outdoor space. The two-story massing at the southwest corner complements the adjacent height of the Dorothy Day Apartments to the west.

Advantages:

- Complimentary massing to Dorothy Day House
- Best solar access for common outdoor space
- Outdoor space helps activate Bell Street and compliments the development of the Green Street

Disadvantages:

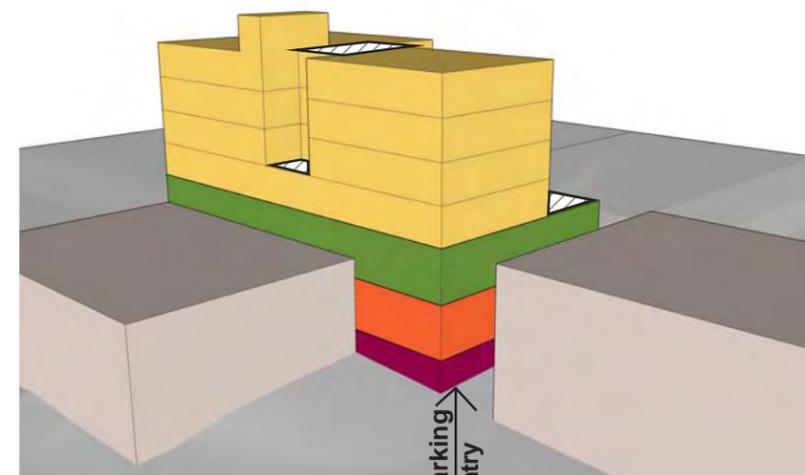
- Breaks continuous street wall along Bell Street



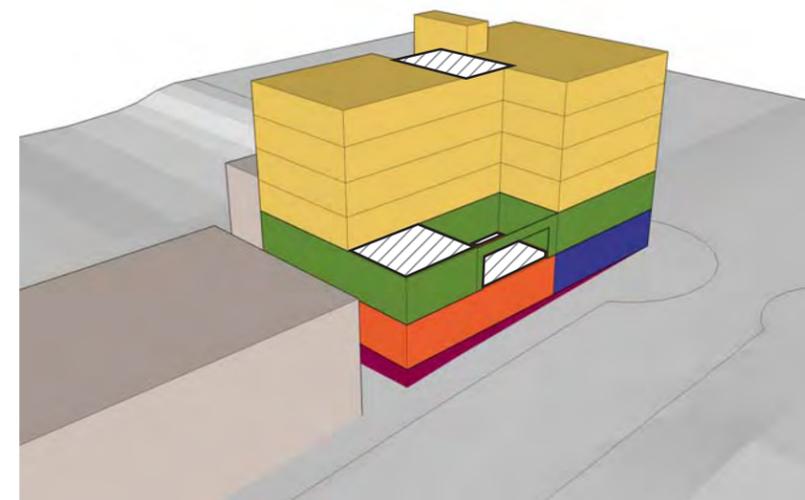
View from Southeast

Legend

	Rose of Lima - 50 SRO Housing Units
	Noel House - Interim Housing for 40 Women
	Retail Space
	Administrative Offices
	Parking
	Residential Open Space



View from Northwest



View from Southwest



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Massing
Alternate #1

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Alternative 2

All three alternatives address the street level with the same strategy. The retail space runs the full length of 2nd Avenue and wraps the corner facing Bell Street. The housing entry lobby is located about ½ down Bell Street from the corner. Parking is accessed off the alley and the NW corner of the property.

Building Massing:

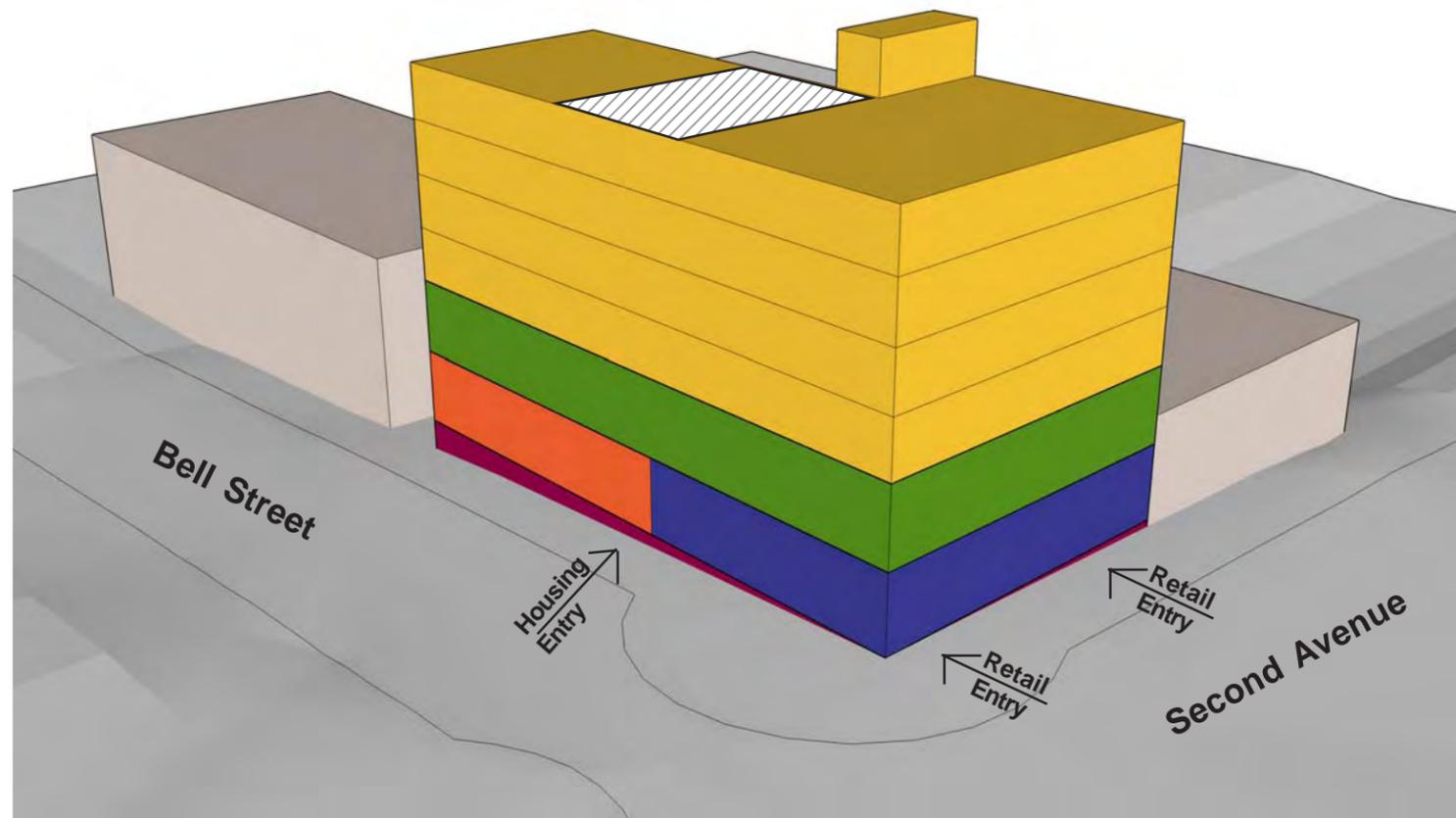
The common outdoor space for both Noel House, at the 2nd floor, and Rose of Lima, on the 3rd floor, are located on the west side of the building which provides views to the west over the Dorothy Day House at the 3rd floor level. The 3rd thru 6th floors are stacked in an L-shape with full street frontage facing 2nd Avenue and Bell Street with a 20'x50' cutout from the northwest corner facing the alley.

Advantages:

- Maximizes number of units with southern orientation
- Provides continuous street wall along Bell Street

Disadvantages:

- Common outdoor space in northwest corner of building sacrifices solar access and views
- 6-story mass at southwest corner overpowers the adjacent Dorothy Day House

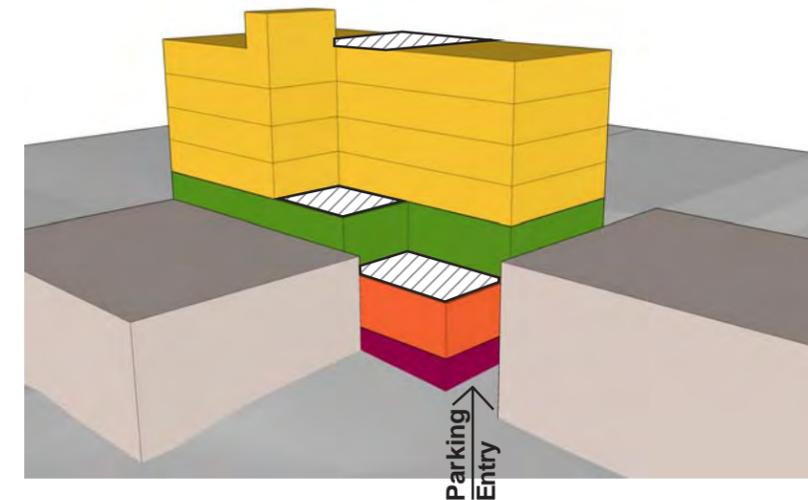


View from Southeast

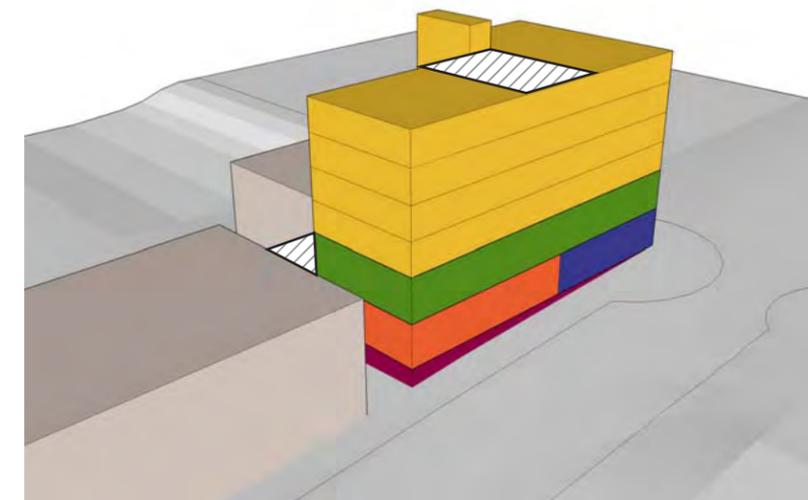
Alternative 2

Legend

	Rose of Lima - 50 SRO Housing Units
	Noel House - Interim Housing for 40 Women
	Retail Space
	Administrative Offices
	Parking
	Residential Open Space



View from Northwest



View from Southwest

Alternative 3

All three alternatives address the street level with the same strategy. The retail space runs the full length of 2nd Avenue and wraps the corner facing Bell Street. The housing entry lobby is located about ½ down Bell Street from the corner. Parking is accessed off the alley and the NW corner of the property.

Building Massing:

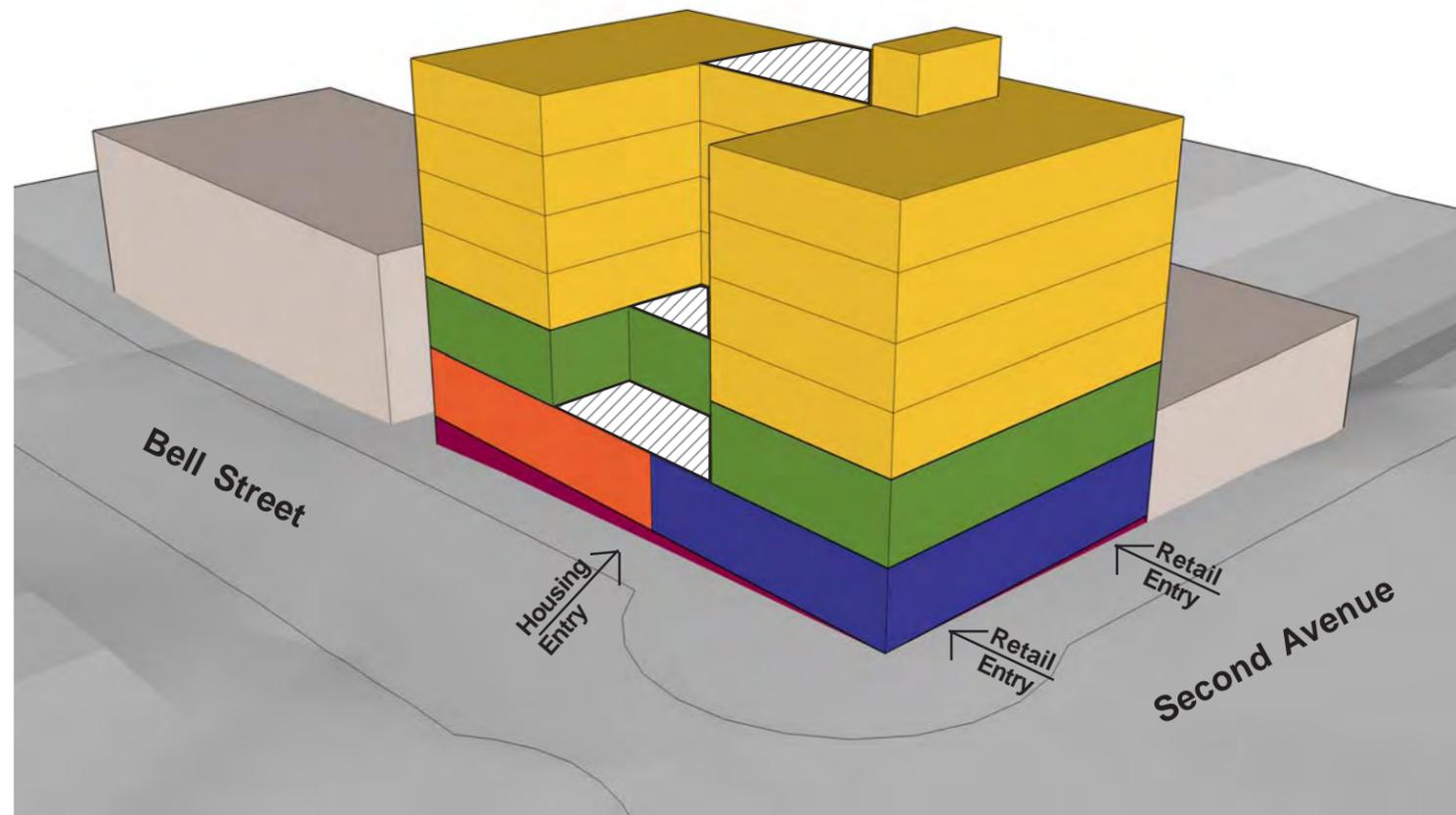
The common outdoor space for both Noel House, at the 2nd floor, and Rose of Lima, on the 3rd floor, are located on the south side of the building facing Bell Street. The 3rd thru 6th floors are stacked in an C-shape with full right-of-way frontage facing 2nd Avenue and the alley with a 32'x30' cutout from the center of the side facing Bell Street.

Advantages:

- Southern orientation for common outdoor spaces
- Outdoor space helps activate Bell Street and compliments the development of the Green Street

Disadvantages:

- 6-story mass at southwest corner blocks view from common outdoor space to the west
- 6-story mass at southwest corner overpowers the adjacent Dorothy Day House
- Minimizes the number of units with southern orientation

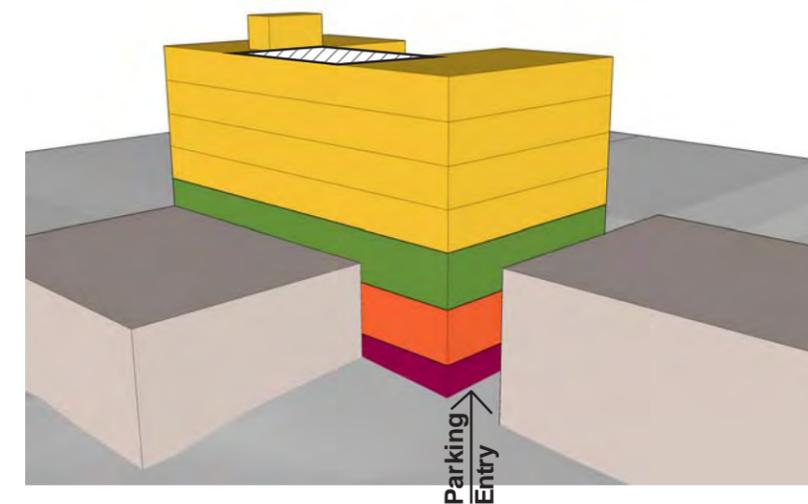


View from Southeast

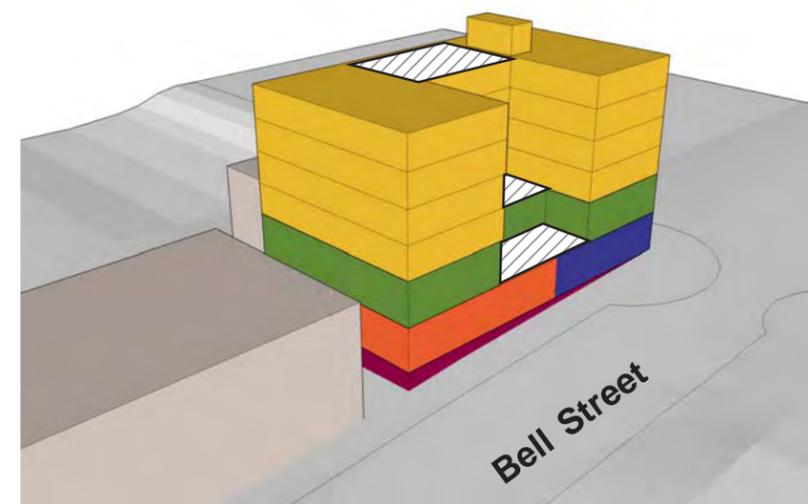
Alternative 3

Legend

- Rose of Lima - 50 SRO Housing Units
- Noel House - Interim Housing for 40 Women
- Retail Space
- Administrative Offices
- Parking
- Residential Open Space



View from Northwest



View from Southwest



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Massing
Alternate #3

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Sustainable Strategies



Rainwater Harvesting for Irrigation



Solar Shading



Living Wall



Panelized Rainscreen Cladding

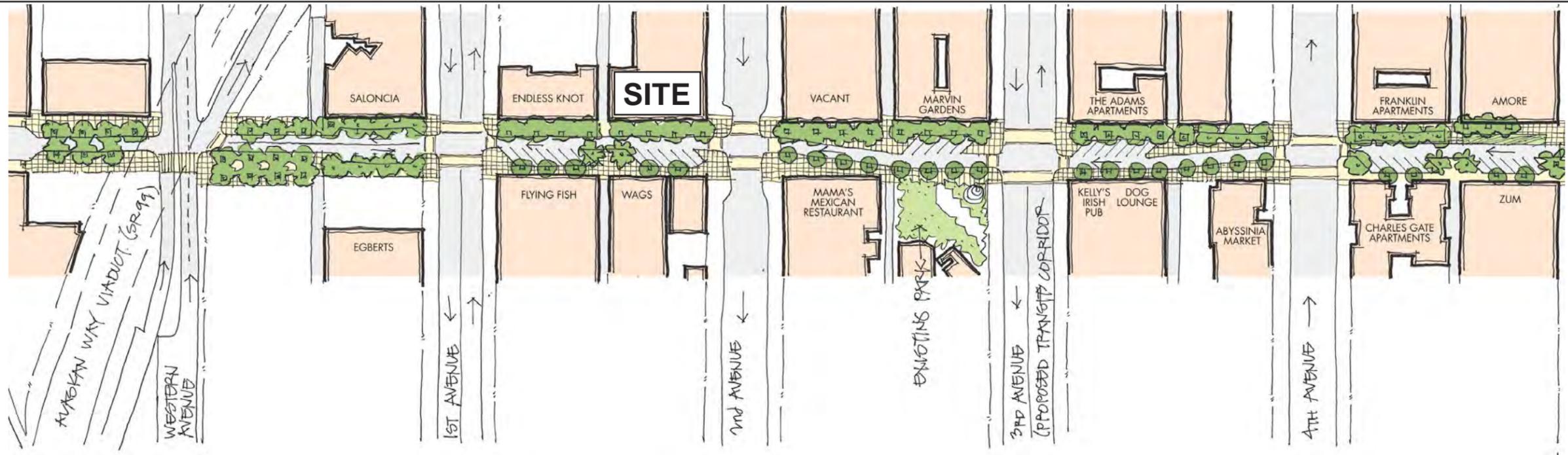


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Bell Street Design Guidelines



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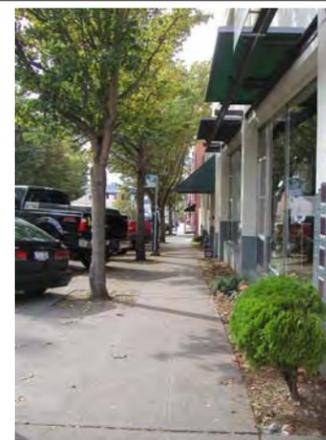
Green Street Strategies



Green Wall



Plantings at Sidewalk Edge



Existing Sidewalk at Bell St.



Existing Sidewalk at 2nd Ave.

Green Street
& Sustainable Building
Strategies

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Examples of Work

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Environmental Works - Examples of Work