

February 13, 2008

LMNARCHITECTS | CAPSTONE PARTNERS

1101 DEXTER AVENUE

DPD PROJECT NUMBER 3006945

Seattle, Washington





**PROJECT ADDRESS**

1101 Dexter Ave North, Seattle WA 98109

ZONING (23.48.002)

Sm 65 Seattle mixed
Overlay district: South Lake Union Urban Center

STRUCTURE HEIGHT (23.48.010 B)

85' height limit, maximum 6 Floors, when a minimum of 2 floors have a floor to floor height of 14' or greater and the additional height is used to accommodate mechanical equipment.

ROOFTOP FEATURES (23.48.010 E5)

The combined coverage of all rooftop features may be up to 65% of the roof area provided that all mechanical equipment is screened and that no rooftop features are closer than 10 feet from the roof edge.

FLOOR AREA RATIO (FAR)

Parcel area: 67,500 sqft
Base far: n/a (23.48.016, B)

PARKING REQUIREMENT

No parking for automobiles required in urban centers (23.54.015.B.2)
Parking, when provided, must conform with the following:
Parking mix (23.54.030, B2C)
Small stalls: min 35%, max 65%
Large stalls: min 35%

Accessible parking requirements

Where 401-500 total parking spaces provided,
9 Accessible required
9 Accessible provided

Accessible van parking requirements:

1 per every 6 required accessible parking spaces (2003 sbc 1106.5)

Bicycle parking

1 space per 2,000 sf office/lab space required (23.54.015 Chart e) after 50 spaces are provided, additional spaces need only be provided at half the ratio (1 space per 4,000 sf).

OPEN SPACE REQUIREMENT (23.48)

None

STREET CLASSIFICATION

Aurora – principal arterial
Dexter – minor arterial

Green streets

Not applicable, streets not designated (23.48)

Pedestrian streets (23.48 Map B)

Aurora: none
Dexter: class 2

View corridor requirements (smc 25.05. 675.P)
Along Dexter Ave North & Aurora Ave North

STREET LEVEL USES

Not applicable, streets not designated (23.48.019)

PROPERTY LINES FACADE

Not applicable, streets not designated (23.48)

STREET FACADE REQUIREMENTS (23.48.014)

Primary entrance required from the street can be no more than 3' above or below sidewalk level.
25' minimum façade height on class 2 pedestrian streets (Dexter Ave).

FACADE TRANSPARENCY REQUIREMENTS (23.48.018)

Dexter Avenue - Class 2 pedestrian street: between 2 feet and 8 feet above sidewalk 60% transparent area required. Except for garage doors, blank façade segments are limited to 15' widths and must be separated by 2' wide transparent segments. Total blank façade segments not to exceed 40% including garage doors. Width of garage doors limited to driveway width plus 5'.

Aurora Avenue : between 2 feet and 8 feet above sidewalk 30% transparent area required. Except for garage doors, blank façade segments are limited to 30' widths and must be separated by 2' wide transparent segments. Total blank façade segments not to exceed 70% including garage doors. Width of garage doors limited to driveway width plus 5'.

SOLID WASTE STORAGE (23.48.031)

500 sf storage space and front loading containers required for commercial uses in a structure greater than 200,000 sf. Direct access shall be provided from the street to the containers.

LOADING BERTHS (23.54.035)

Based on aggregate gsf (264,001-388,000) and low demand use, 4 loading berths are required.
Each bay to be min 10' wide, 35' long and have 14' vertical clearance.



1101 DEXTER AVENUE NORTH

PROJECT NUMBER: 3006945

ITEM	SMC SECTION NUMBER	NAME	REQUIREMENT	DEPARTURE REQUIREMENT
1	23.48.031	Solid Waste and Recyclables Storage Space	Front loading container type and its required 21 foot vertical clearance.	Proposal to use rear-loading container/compactor that does not require 21'-0" vertical clearance. The waste management provider has verified this strategy will work.
2	23.48.34.C3	Parking and Loading Requirements, Access and Location	Maximum of (1) Two Way Curb Cut.	Proposal to have on Dexter Ave: (1) two-way curb cut for loading berths, (1) two-way curb cut for garage; and on Aurora Ave: (1) two-way curb cut for garage parking. Total number of Curb cuts requested: (3). The two curb-cuts along Dexter Avenue are per SDOT requirements.
3	23.54.035.A	Loading Berth Requirements and Space Standards	Loading Berth length of 35'-0" is required in a loading berth.	Reduce one loading berth length to 25' in order to facilitate the functionality of the loading area.
4	23.54.035.C1	Loading Berth Requirements and Space Standards	Fourteen feet minimum clear height is required in a loading berth.	Reduce the clear height to thirteen feet six inches (13'-6") vertical clearance. The vehicles servicing the building will fit within the 13'-6" clearance, and therefore 14'-0" is not required.

EDG ONE

EDG 1

Dexter Ave: 26900-32800 SF
 Aurora/Dexter: 45700 SF
 Aurora: 24200-43100 SF
 Total: 348,200 SF
 Parking: 435 spaces

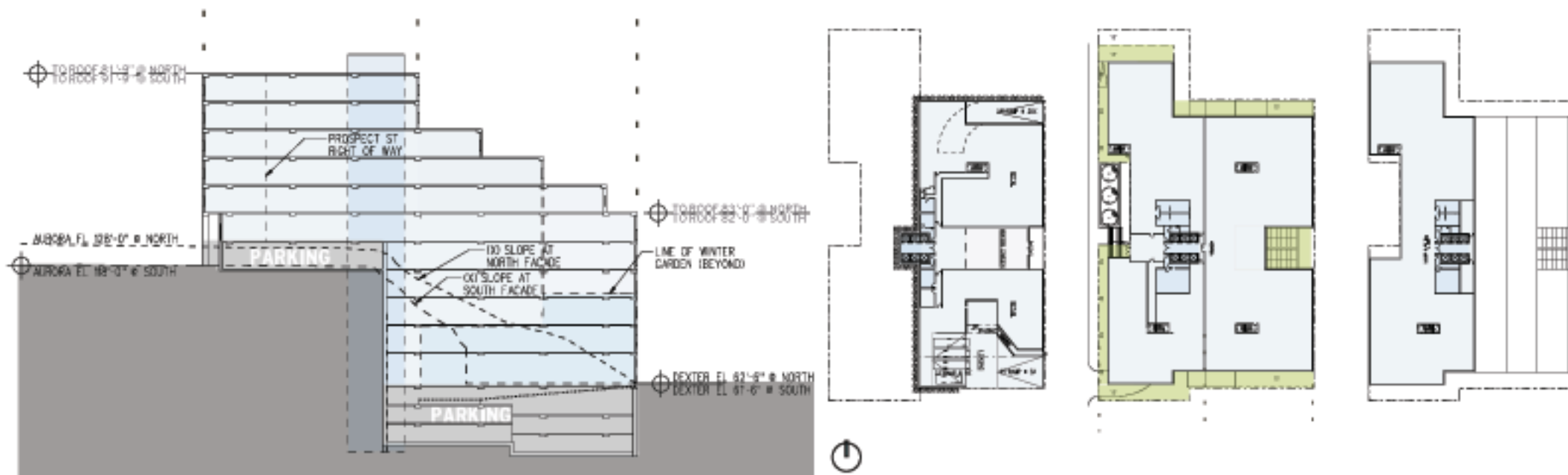
This option takes a different approach to building height. It follows the contours along the northern property line, as those are intact and closest to those as they naturally occur. The southern end has been drastically altered by development, and is not an accurate reflection of the natural topography. By taking the contours as a guide to building height, the building form steps down the site, similar to recent development in the neighborhood. Such stepping down leads to a more graceful building profile by avoiding the abrupt drop that results in options 2 and 3.

PROS:

- Establish dialogue with 1000 Dexter
- Winter Garden links inside and outside spaces
- Prospect right of way expanded and better integrated with entry

CONS:

- The only departures currently anticipated are:
- Exceeding the height limit on Aurora along the southern portion of the façade line;
 - Having three loading bays instead of four for the building



EDG TWO

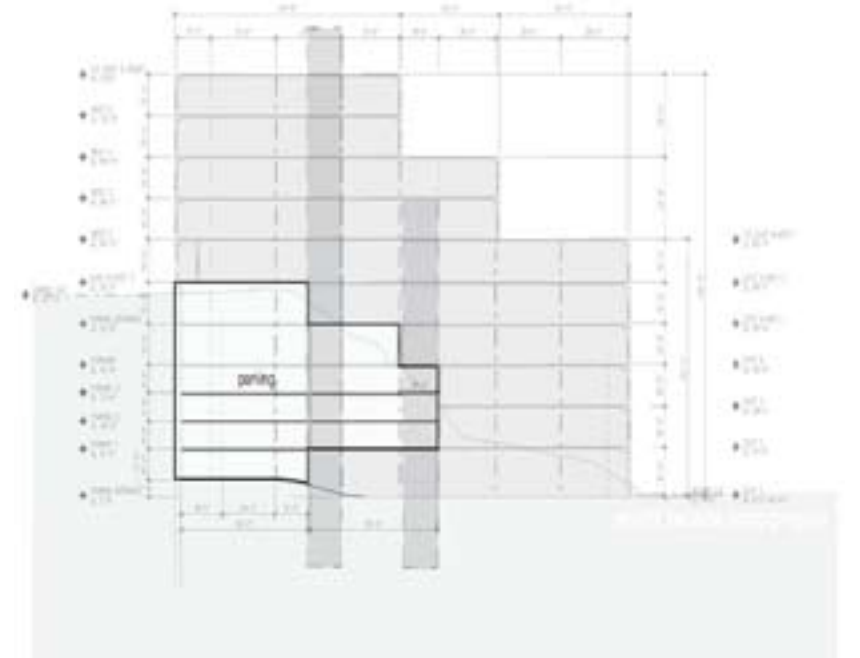
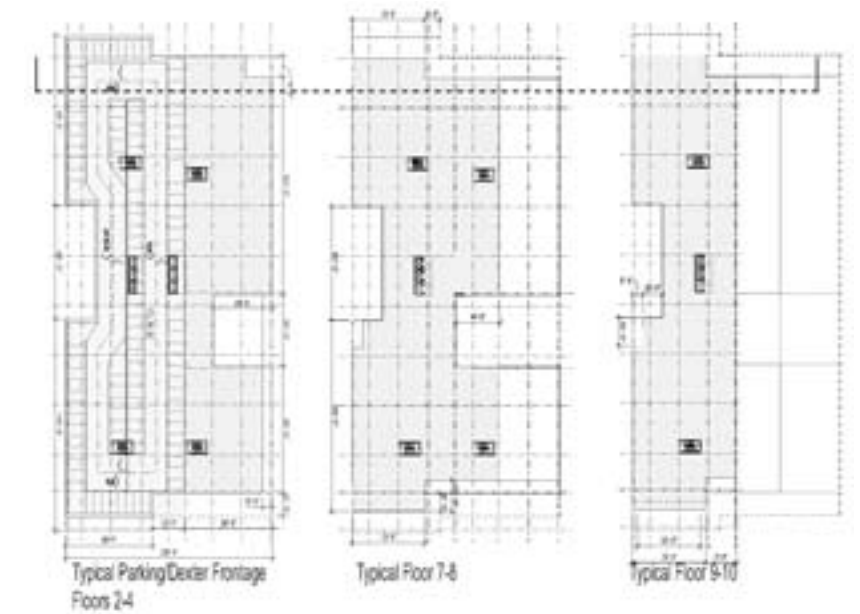
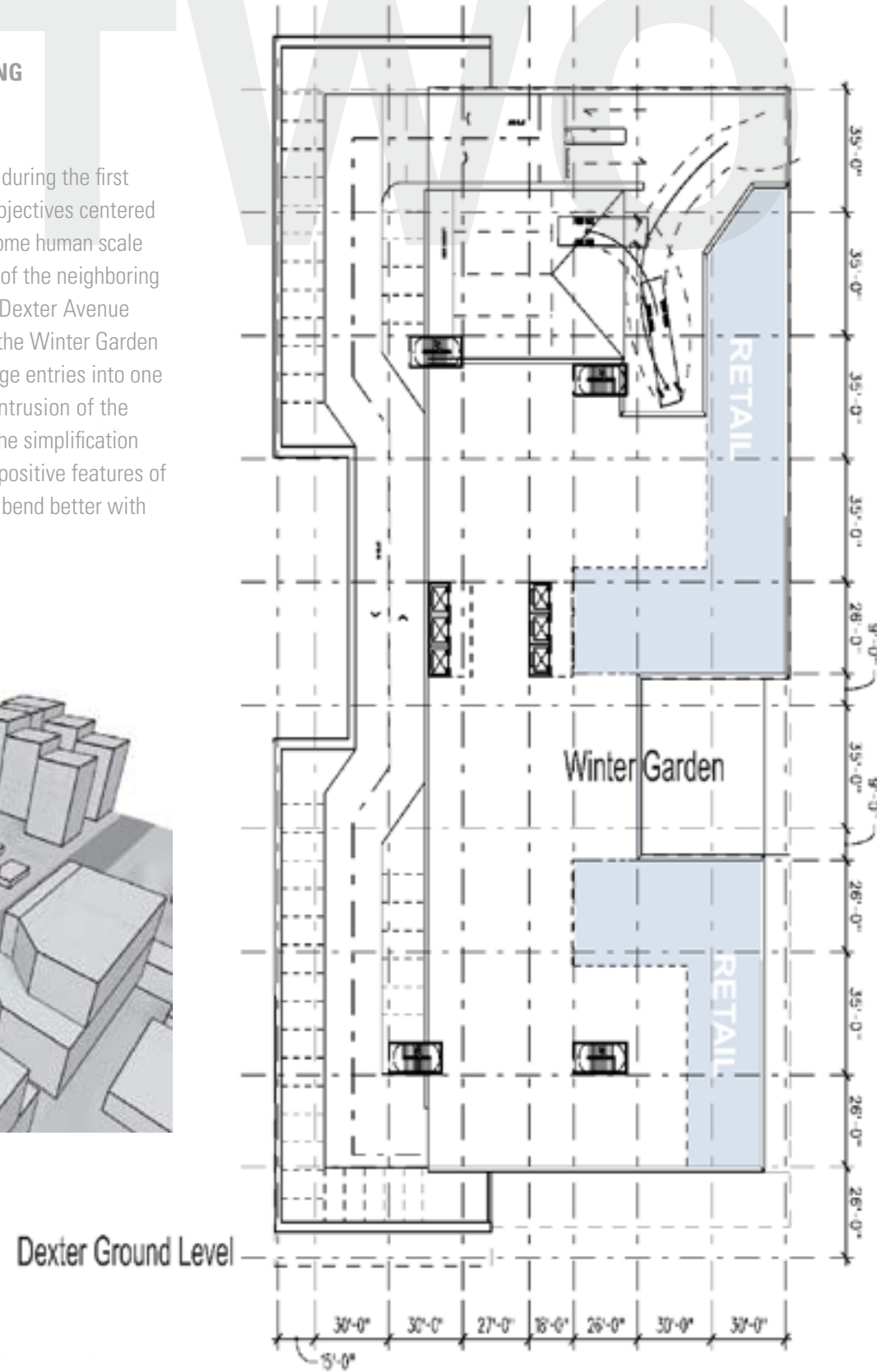
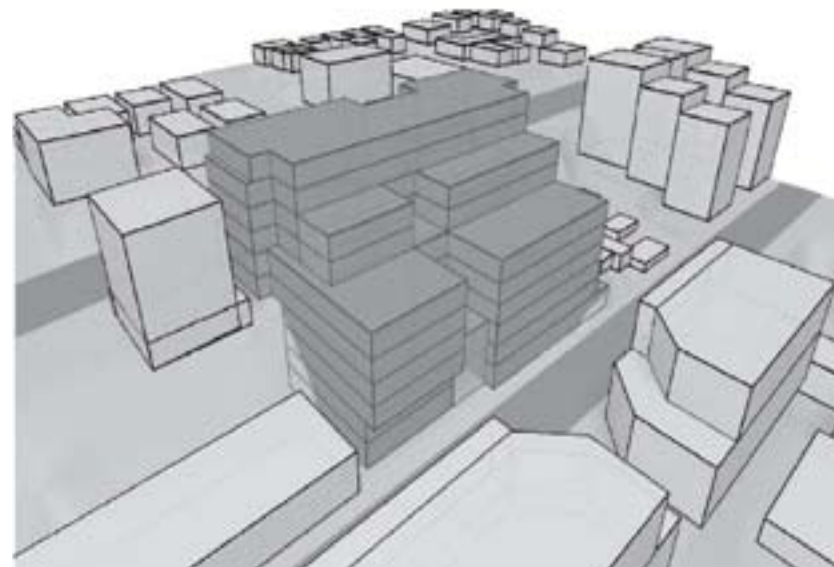
1101 DEXTER

350,000 SQFT (10 FLOORS) OF OFFICE

160,000 SQFT (4.5 LEVELS) OF BELOW-GRADE PARKING

2 CORES (1 HIGH-RISE, 1 LOW-RISE)

The new design approach, in response to comments made during the first Early Design Guidance hearing, seeks to achieve several objectives centered on the following: reducing the bulk of the building, adding some human scale elements and façade variety, and addressing the concerns of the neighboring residential building to the south. A bold cantilever along Dexter Avenue enhances the public realm by extending the expression of the Winter Garden amenity to the south. The combination of loading and garage entries into one opening makes the above more effective by limiting the intrusion of the automobile and trucks along the Dexter Avenue frontage. The simplification of the building stepping as it ascends to Aurora keeps the positive features of the stepping while reducing the number of steps, letting it bend better with the neighborhood.



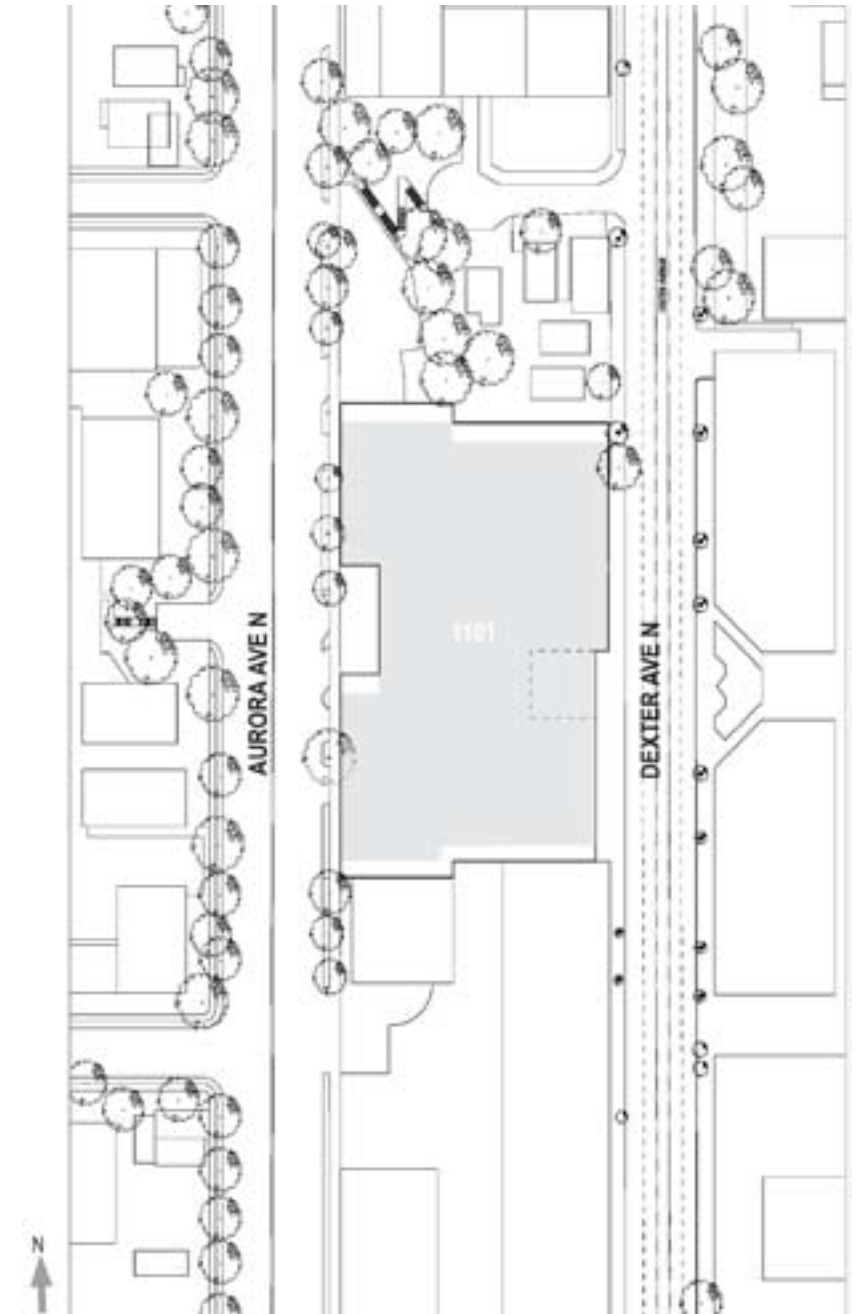
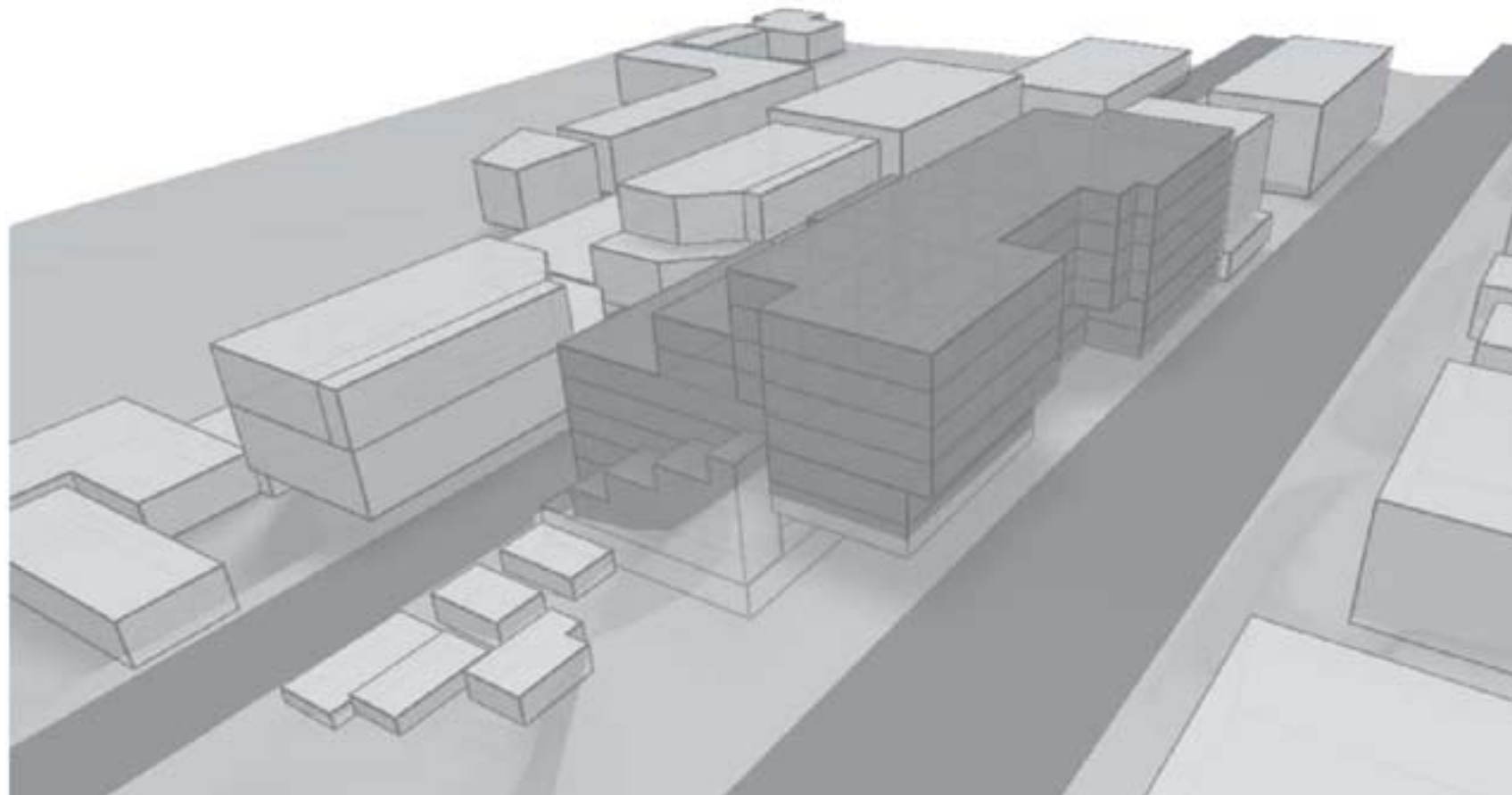
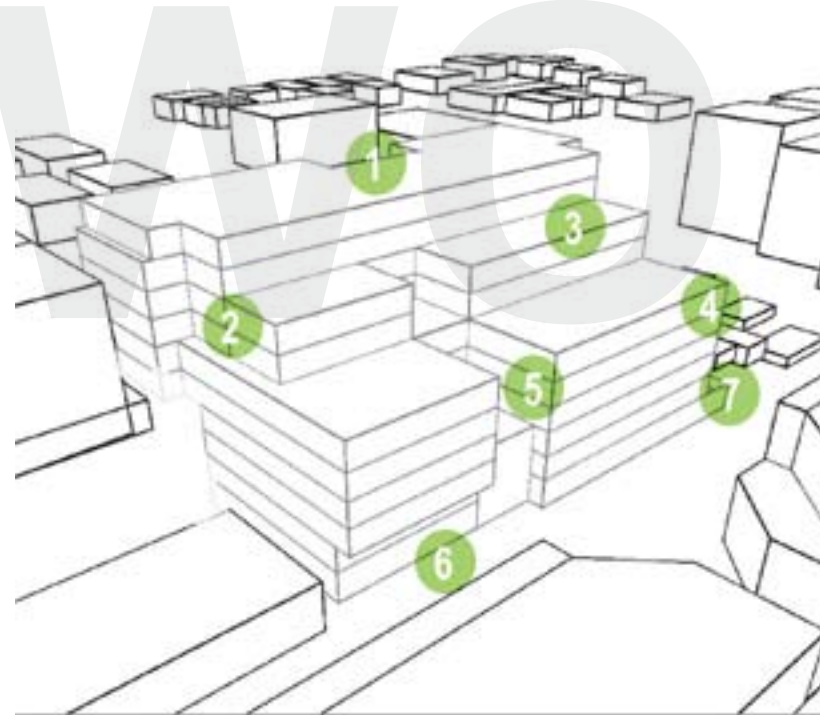
EDG TWO

ADJUSTMENTS

1. Removed the 6th Floor on Aurora
2. Pushed Dexter's Upper South Façade 10'
3. Consolidated Building Mass Steps into 2 steps
4. Additional 45' on North Dexter Façade
5. Expanded Winter Garden to 50'
6. Sidewalk Expansion on South Dexter
7. Combined Parking and Loading Drives

All below-grade parking has been moved to beneath Aurora (see section).

The eroding of the south end of the building directly addresses the concerns of the residential building, as does the elimination of the entire sixth floor along Aurora. The masking of the garage entry along Aurora similarly addresses residential concerns. A variety of building material and their rigorous yet sympathetic use on the façades will add variety and vitality to the building, furthering the goal of neighborhood integration.

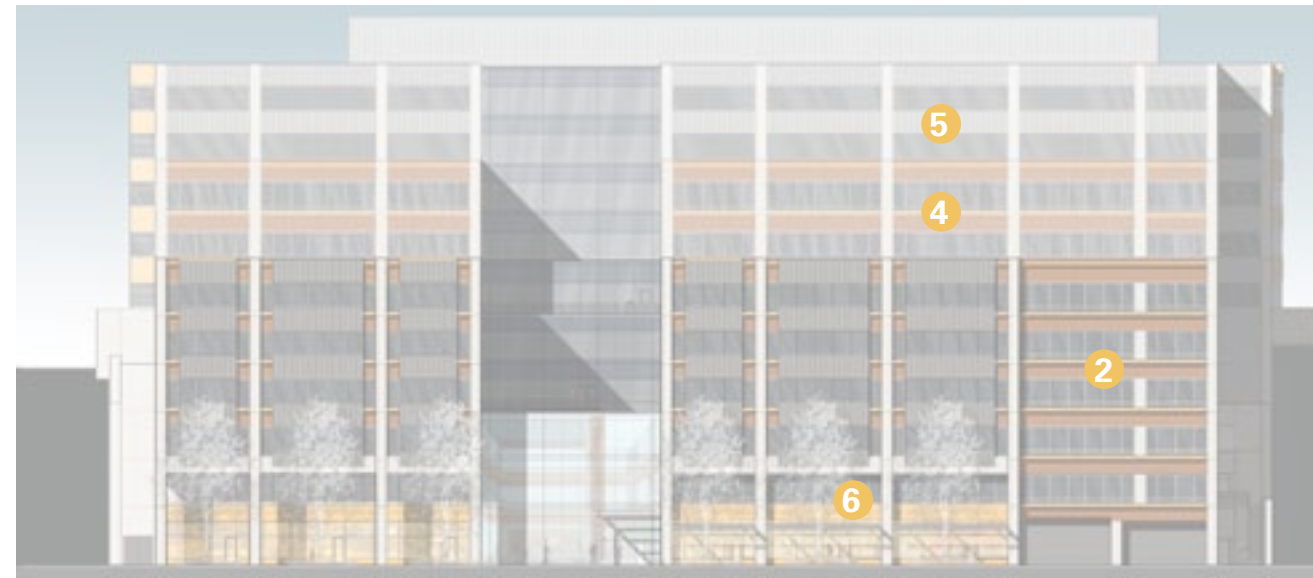


GUIDANCE - SITE PLANNING

1. The window pattern on the Alterra Condominium has been acknowledged in the placement of the translucent glass on the South elevation of the 1101 Building. The color, window, and panel modules and sizes have been regularized and simplified.
2. The northern two most bays along Dexter Avenue have been set back three feet for their entire six stories. The material palette has been changed as well, further differentiating this portion of the building from that to the south. The shift in plan and material, as well as the entry atrium, leads to the building being read as four distinct entities.

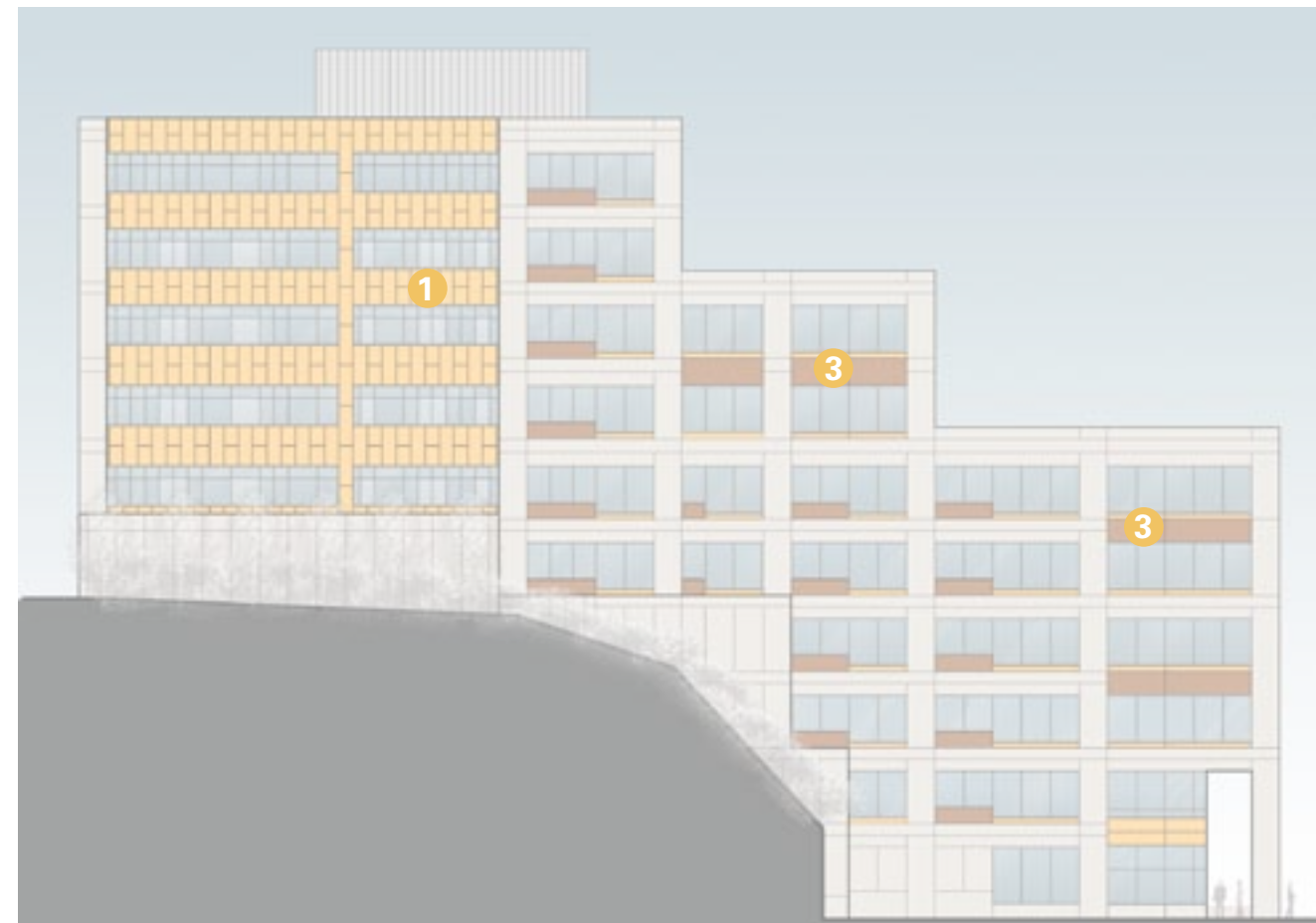
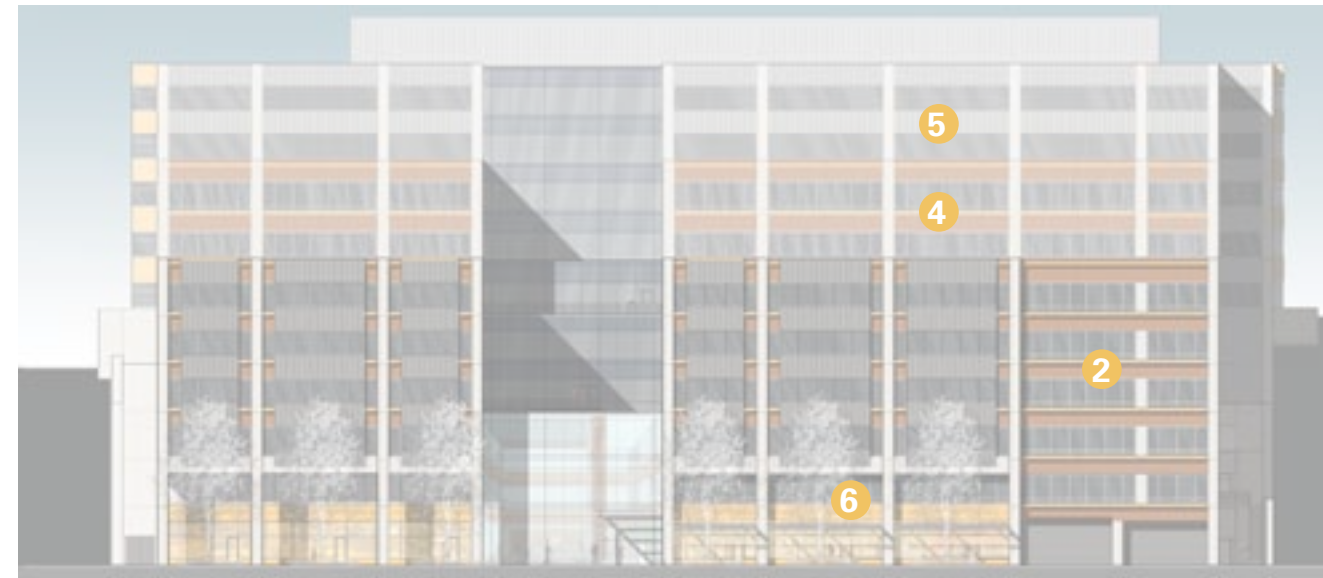
GUIDANCE - HEIGHT, BULK, AND SCALE

3. The material palette of the South and North elevations has been enriched with the introduction of the colored panels that occur on the Dexter elevation. The effect is that the Dexter elevation turns the corner to the south and north, adding material differentiation and warmth to those elevations.
4. The material palette as described in number 2 (above), has been incorporated on floors 7 and 8, breaking up the Dexter elevation into three distinct expressions.
5. The expression found on the Aurora elevation has been incorporated on levels 9 and 10. When combined with 4 (above), it gives the Dexter elevations a base, middle, and top expression.



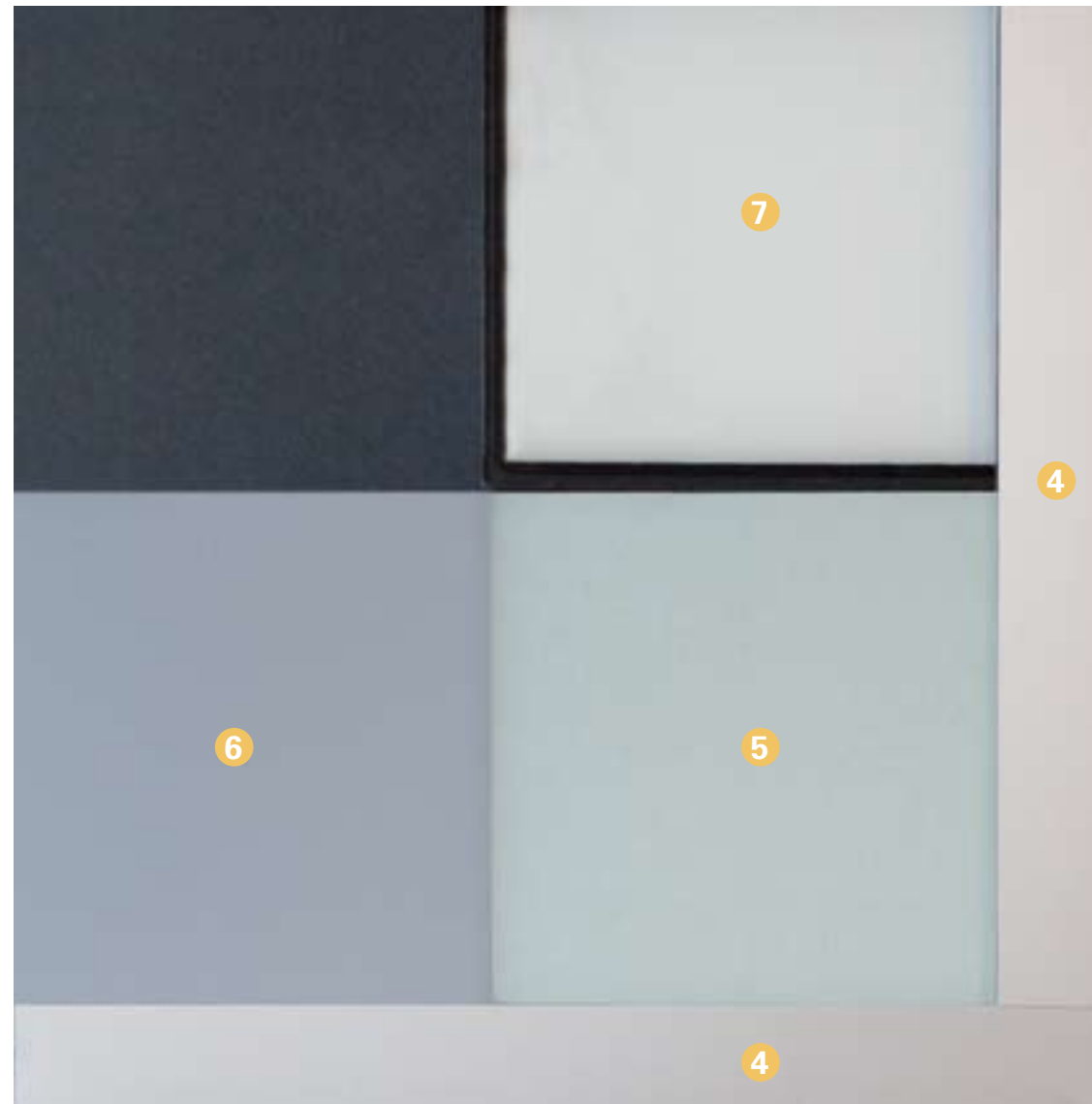
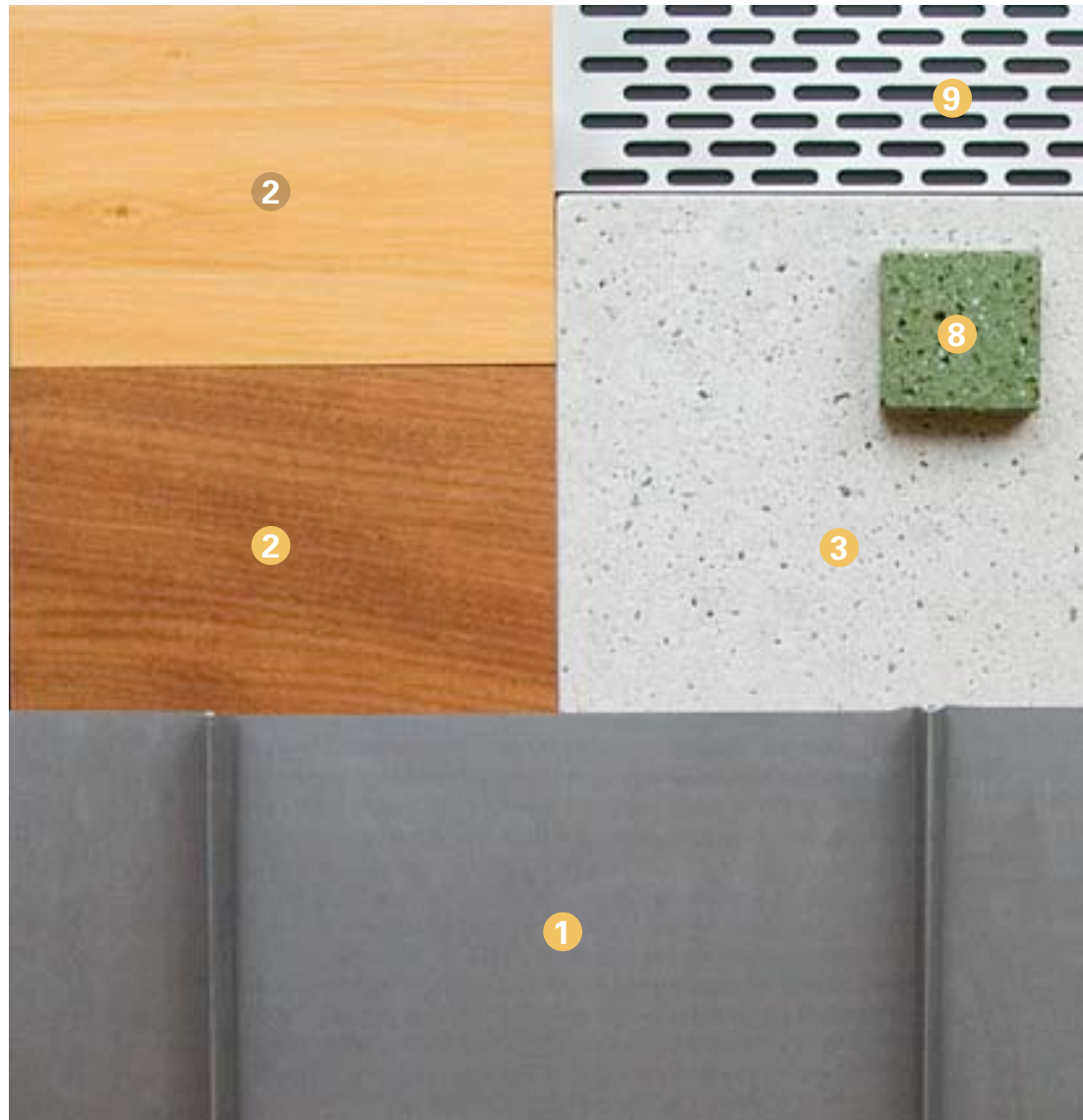
GUIDANCE - PEDESTRIAN ENVIRONMENT

- 6. The second floor on the northern middle portion of the Dexter elevation is now set back a full two stories, where previously it was set back for only one story. The set-back is three feet from the main building plane. This setback reflects the height of the colonnade on the southern portion of the elevation, creating a robust pedestrian amenity.









01. Standing Seam Zinc Panel

The zinc is 99% pure, and its color is inherent to the material. Together with its beautiful tones and luster, the material forms fluidly, achieving clean and pleasing radii when turning corners.

02. Prodema

A wood composite panel from Spain. Natural wood veneers over a phenolic resin base. Color varies by chosen wood species, as does the intensity of the wood grain, which varies from panel to panel. Installed in an open joint rain screen with expressed fasteners.

03. Pre-Cast Concrete

White Portland cement will brighten and warm the color of the concrete mix of the pre-cast panel. An acid-etch form liner will give the concrete a refined, gentle glow.

04. Aluminum Window Wall and Curtain Wall

The color of both glazing systems will be painted to match the color of the zinc. The curtain wall will receive enhanced pressure caps at select locations.

05. Insulated Glass: Vision

A warm grey has been chosen to reflect the color of the zinc, the Prodema and Pre-Cast. The clearest, least reflective glass possible will be used.

06. Insulated Glass: Spandrel

Back painted spandrel, Warm Grey.

07. Insulated Glass: Translucent

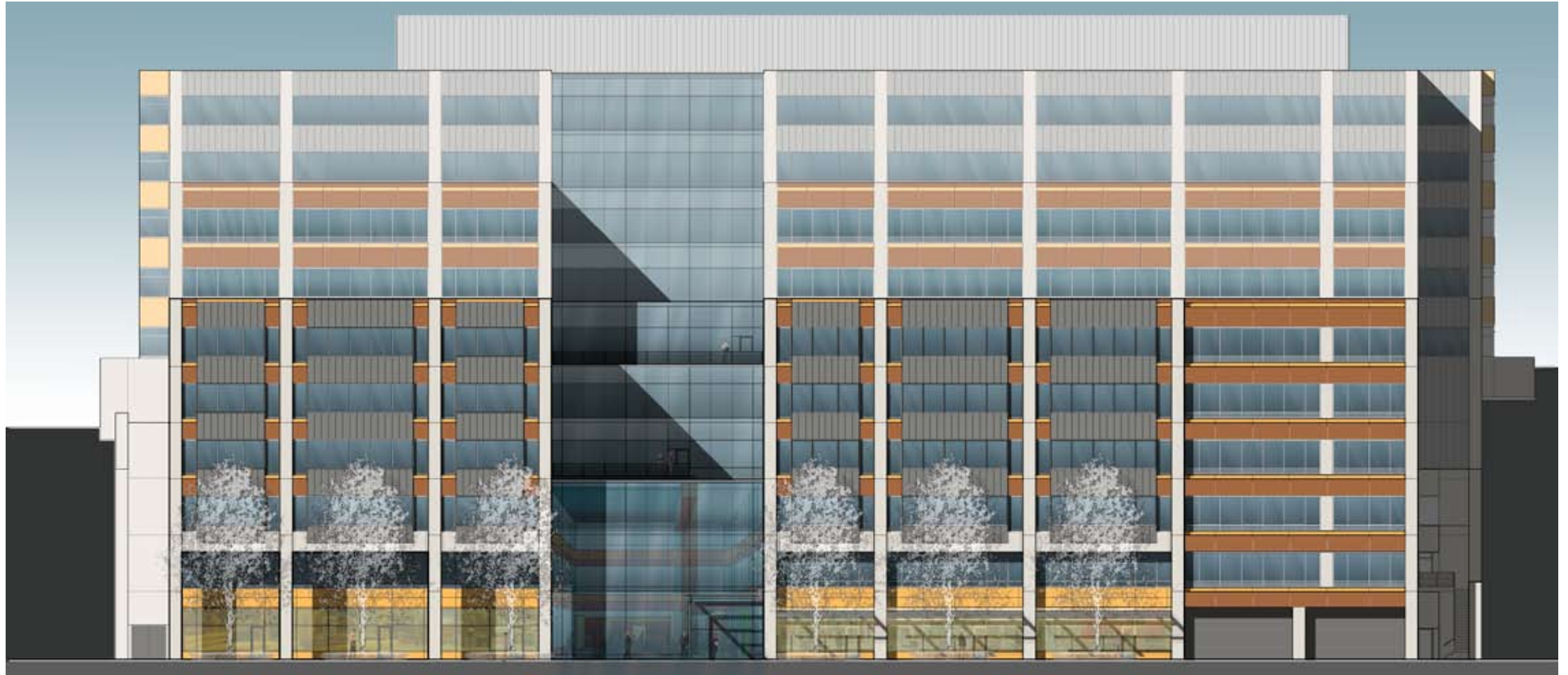
Acid etched glass that lets light through, but not views. For use on the South and North Elevations.

08. Green Terrazzo with Glass Chips

Interior floor material at the atrium. It will form the basis of design for the color and materiality of the special accent pavers at the Dexter Avenue Entry and Colonnade.

09. Grill

Painted to match the zinc, the grill occurs at the apertures along the parking garage on Aurora Avenue.



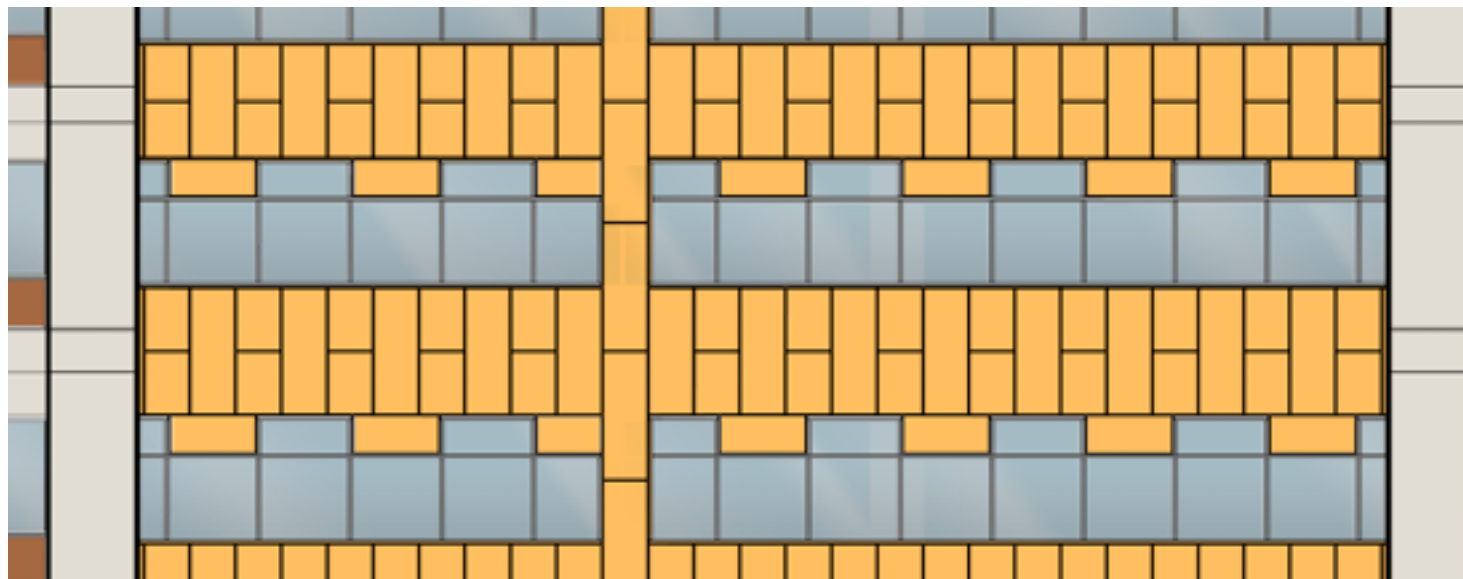




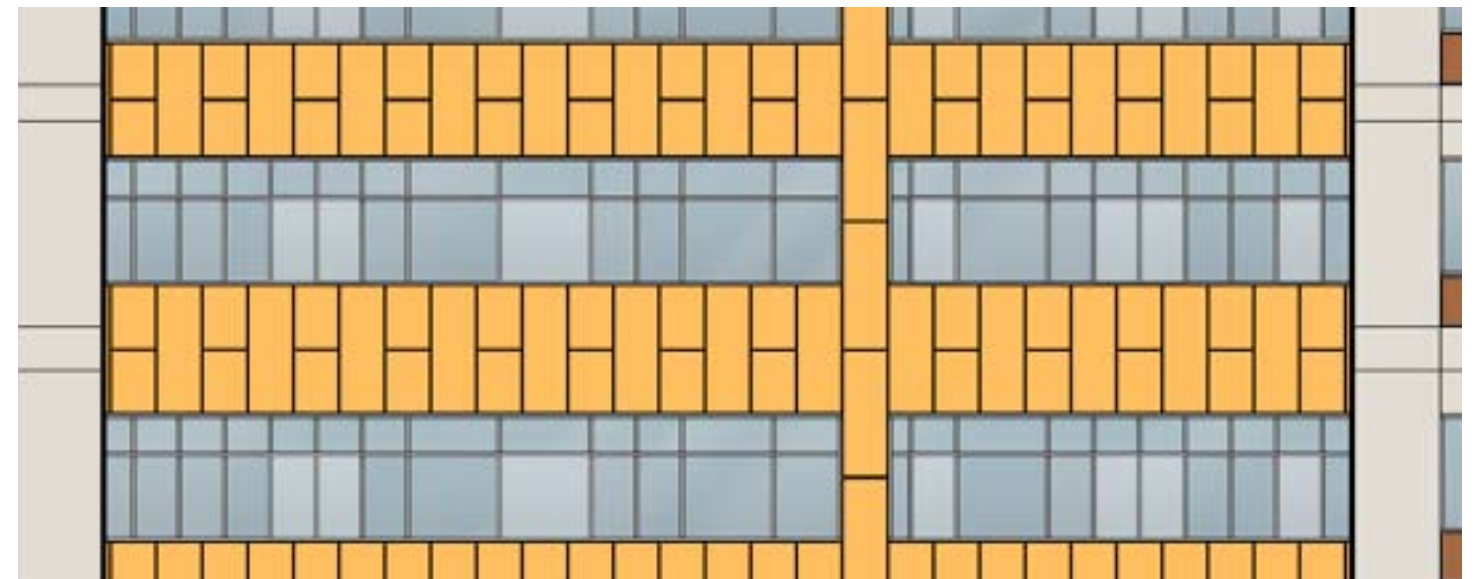
ELEVATION: NORTH



ELEVATION: SOUTH







ENLARGED ELEVATION: NORTH

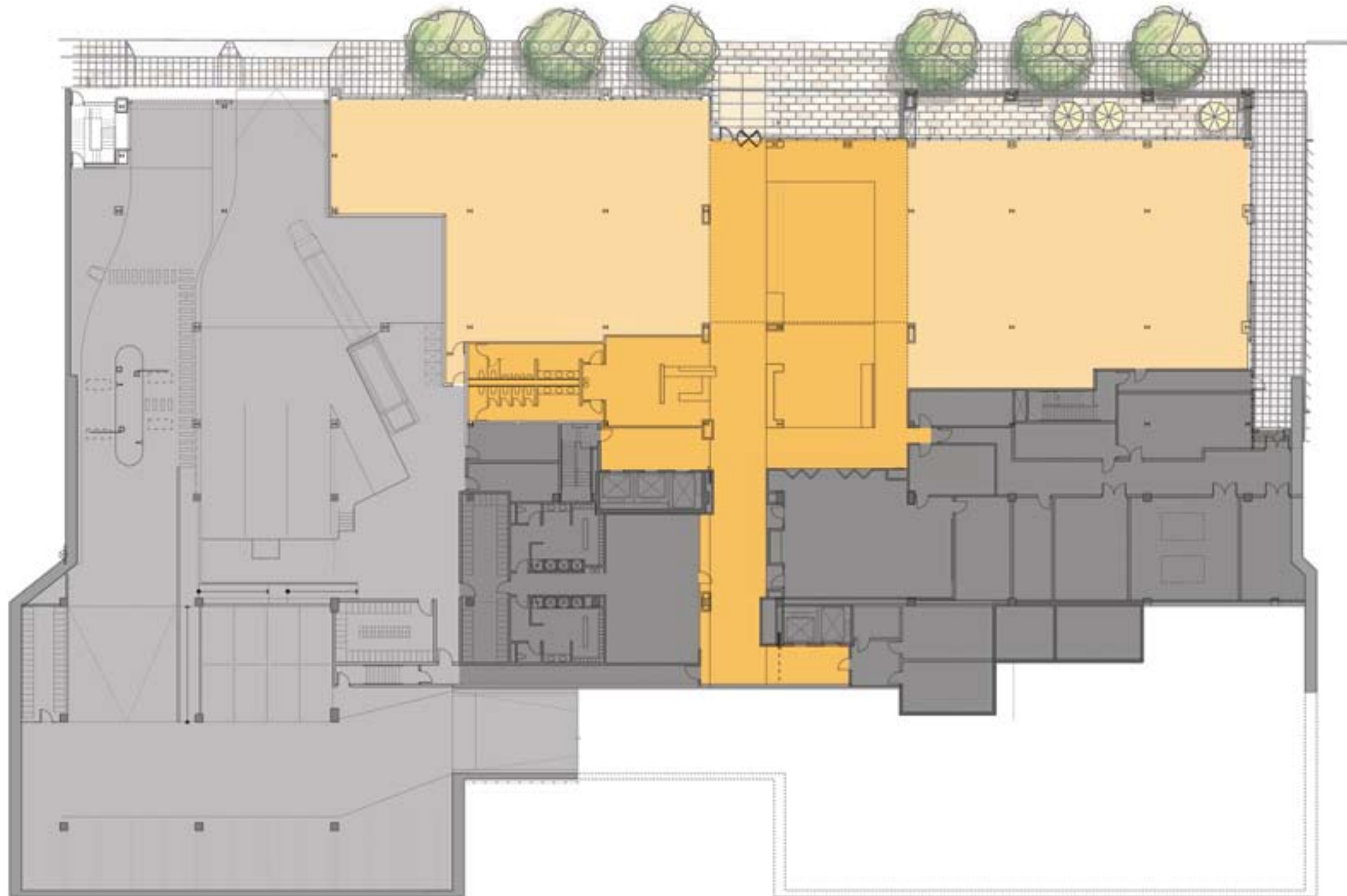


ENLARGED ELEVATION: SOUTH



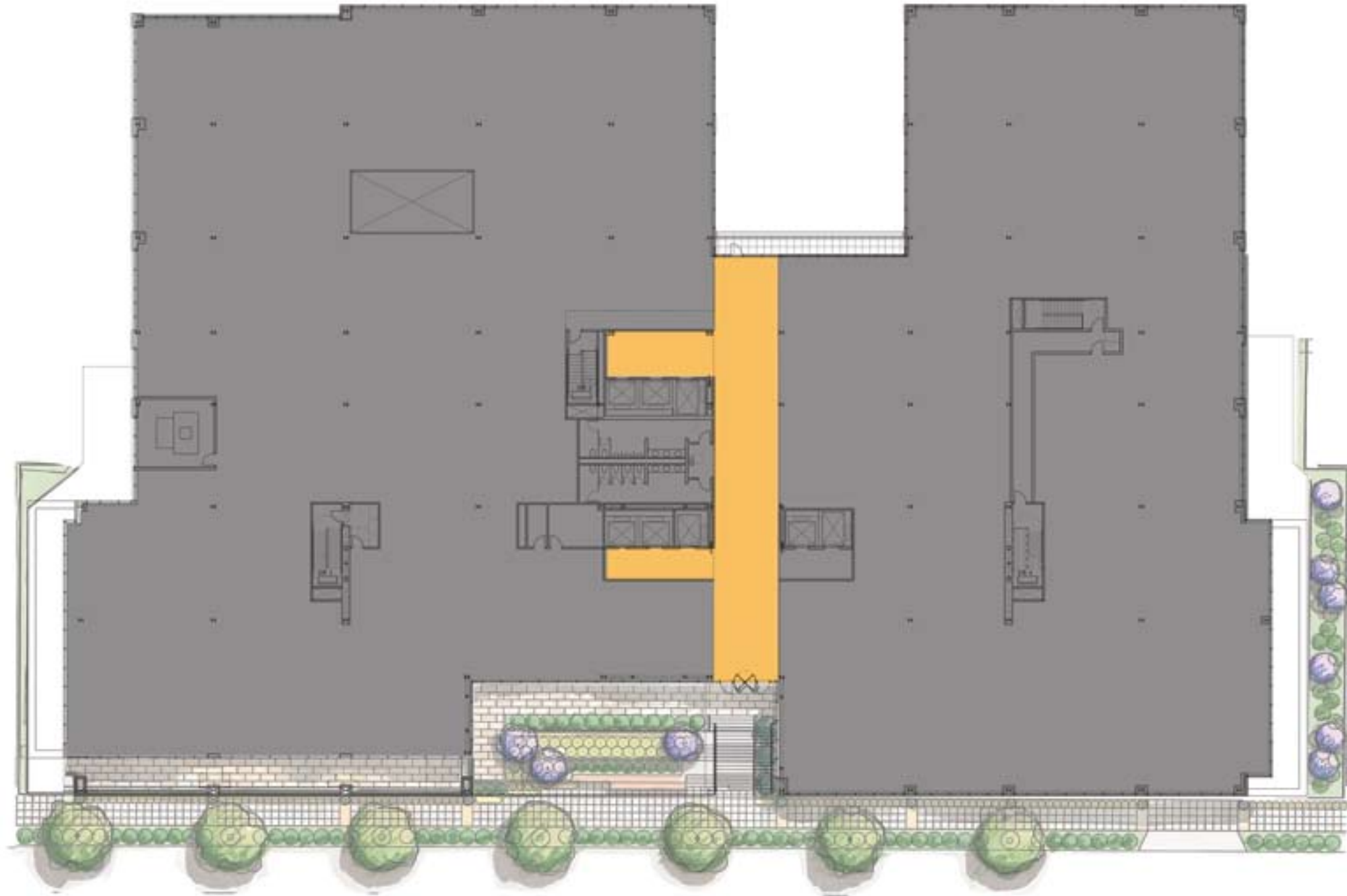
DEXTER AVENUE NORTH

-  Atrium/Lobby
-  Retail
-  Parking/Loading
-  Office

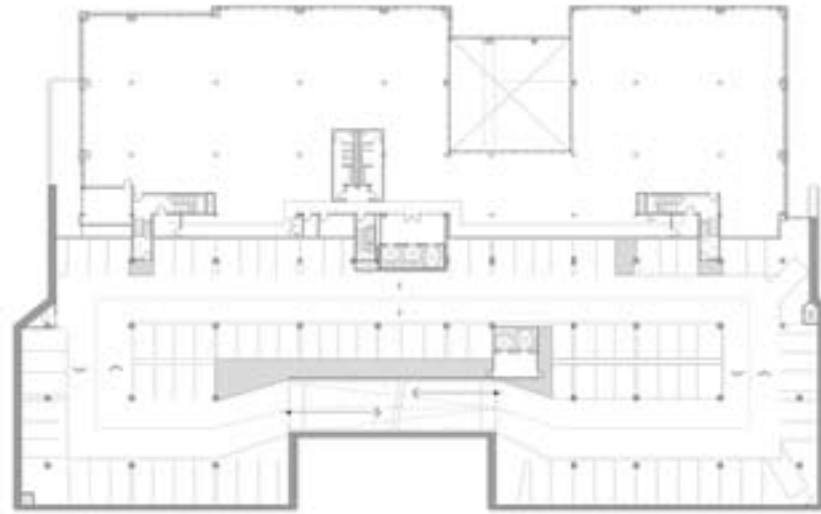




- Atrium/Lobby
- Office



AURORA AVENUE NORTH



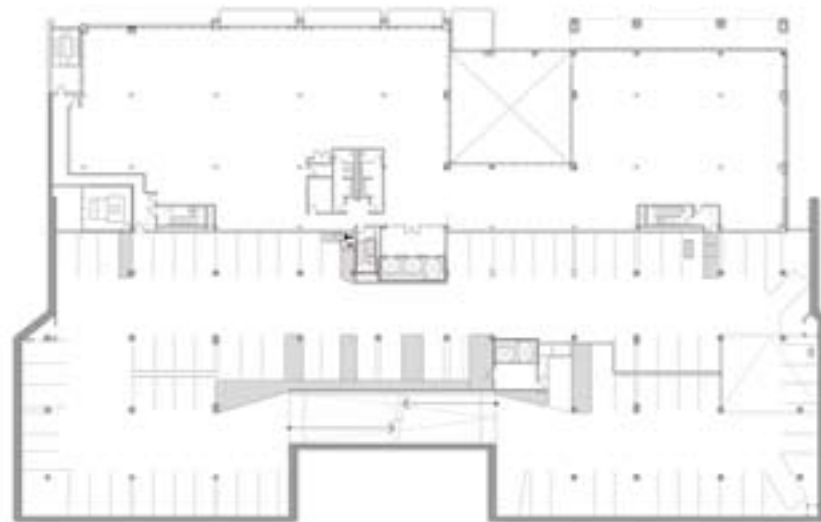
FLOOR PLAN: LEVEL 3



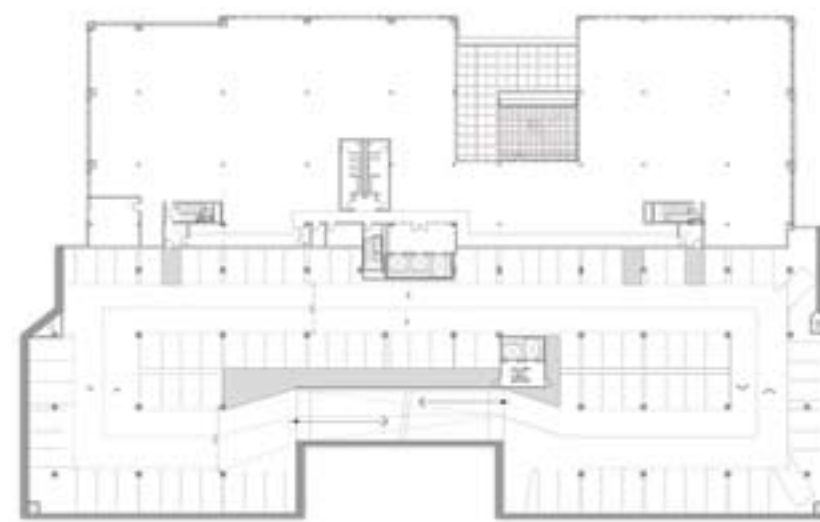
FLOOR PLAN: LEVEL 5



FLOOR PLAN: LEVELS 9-10



FLOOR PLAN: LEVEL 2



FLOOR PLAN: LEVEL 4



FLOOR PLAN: LEVELS 7-8

Brumbaugh & Associates
Landscape Architecture



Sedum Mix



Coral Bark Japanese Maple



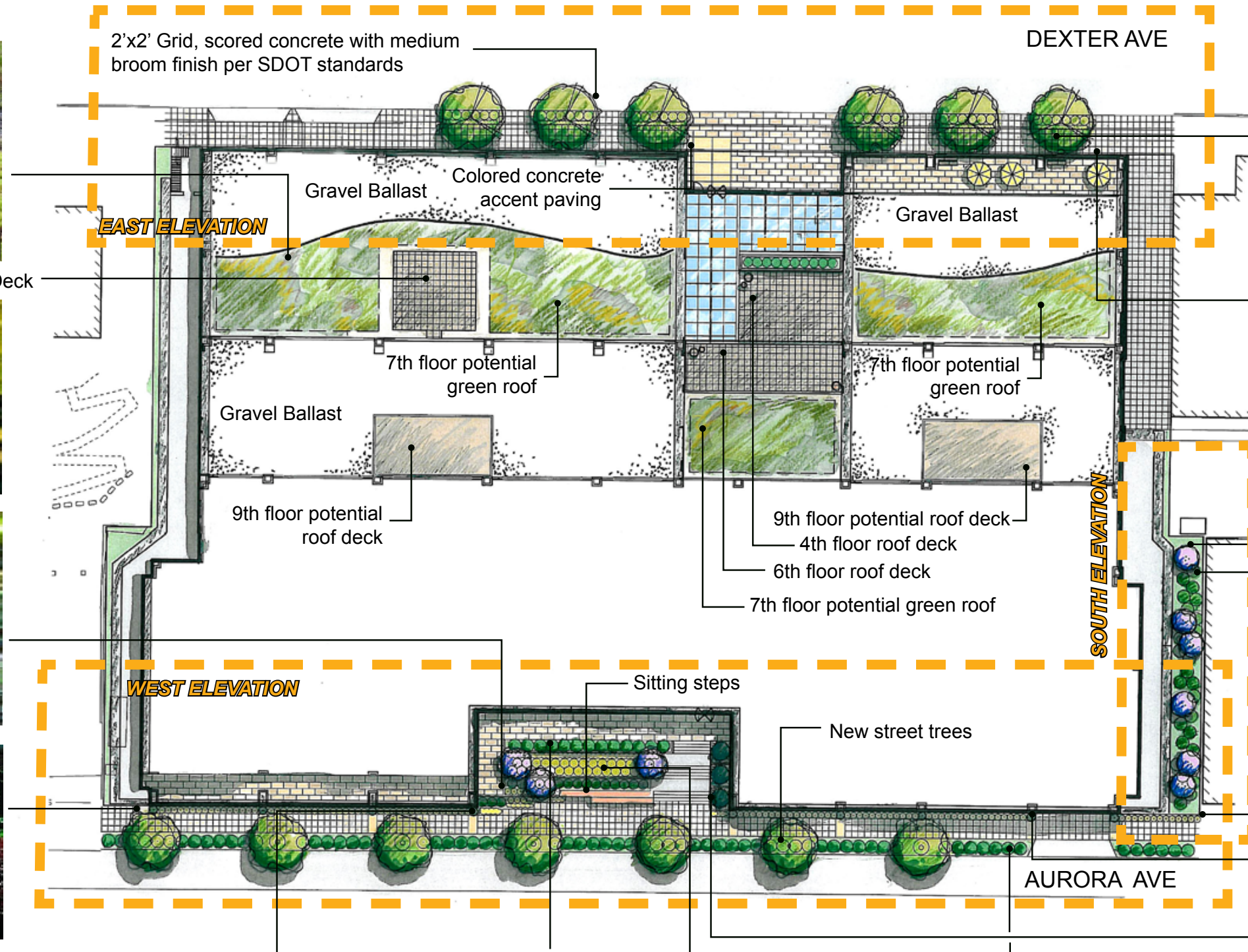
Bear's Breeches



Boxwood



Ice Dance Sedge



Bench



Table & Chairs



Vine Maple



Oregon Grape



Sky Pencil Holly



Italian Cypress



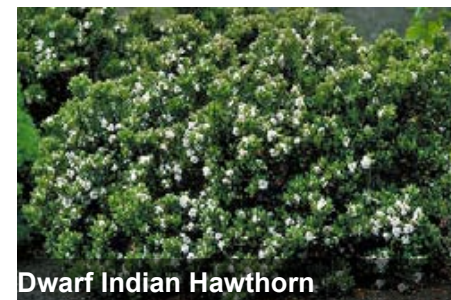
Hinoki Cypress



Dwarf Nandina



Bergenia



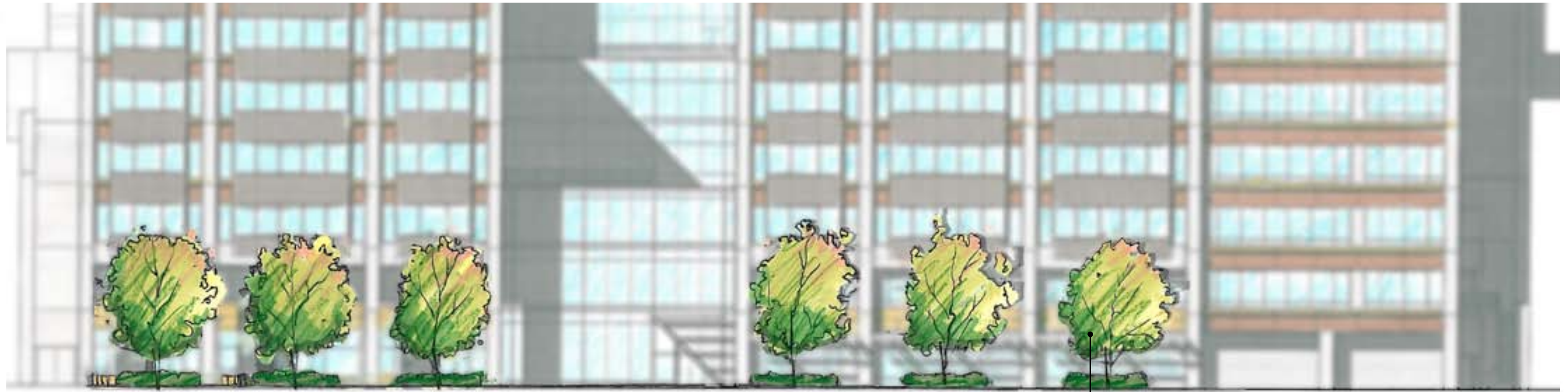
Dwarf Indian Hawthorn



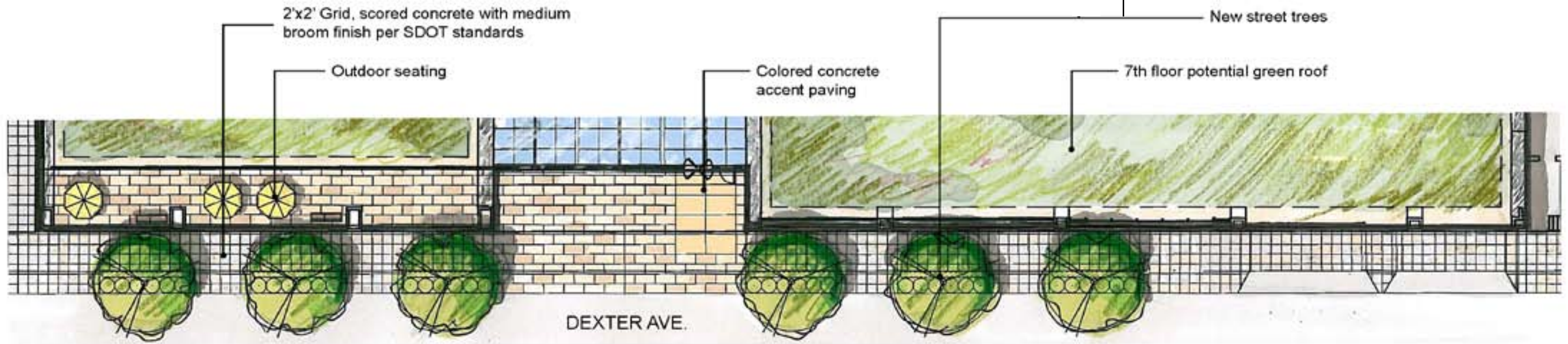
Oakleaf Hydrangea



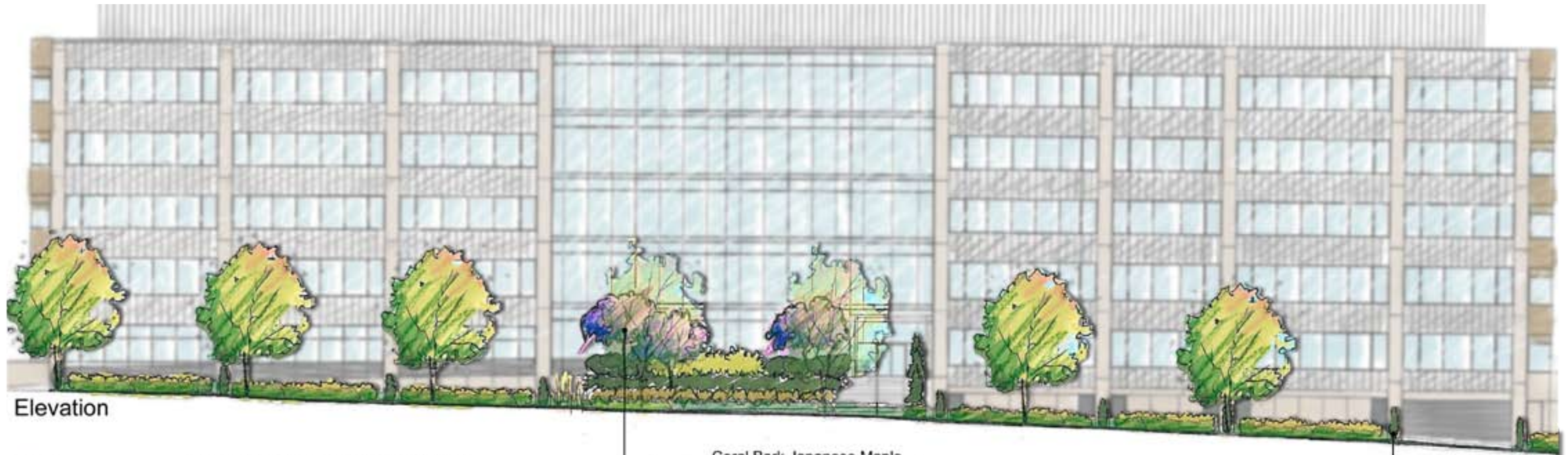
Zabel Laurel



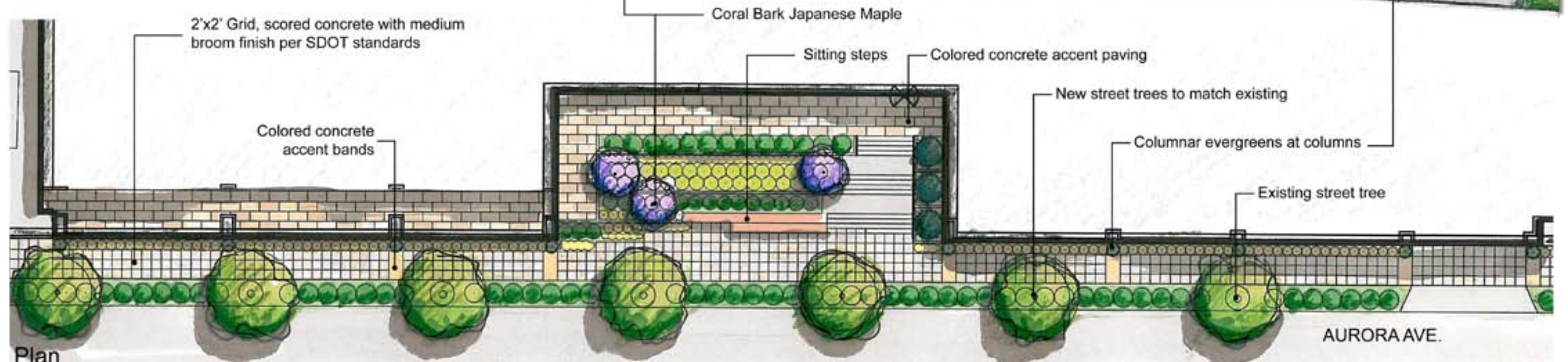
Elevation



Plan



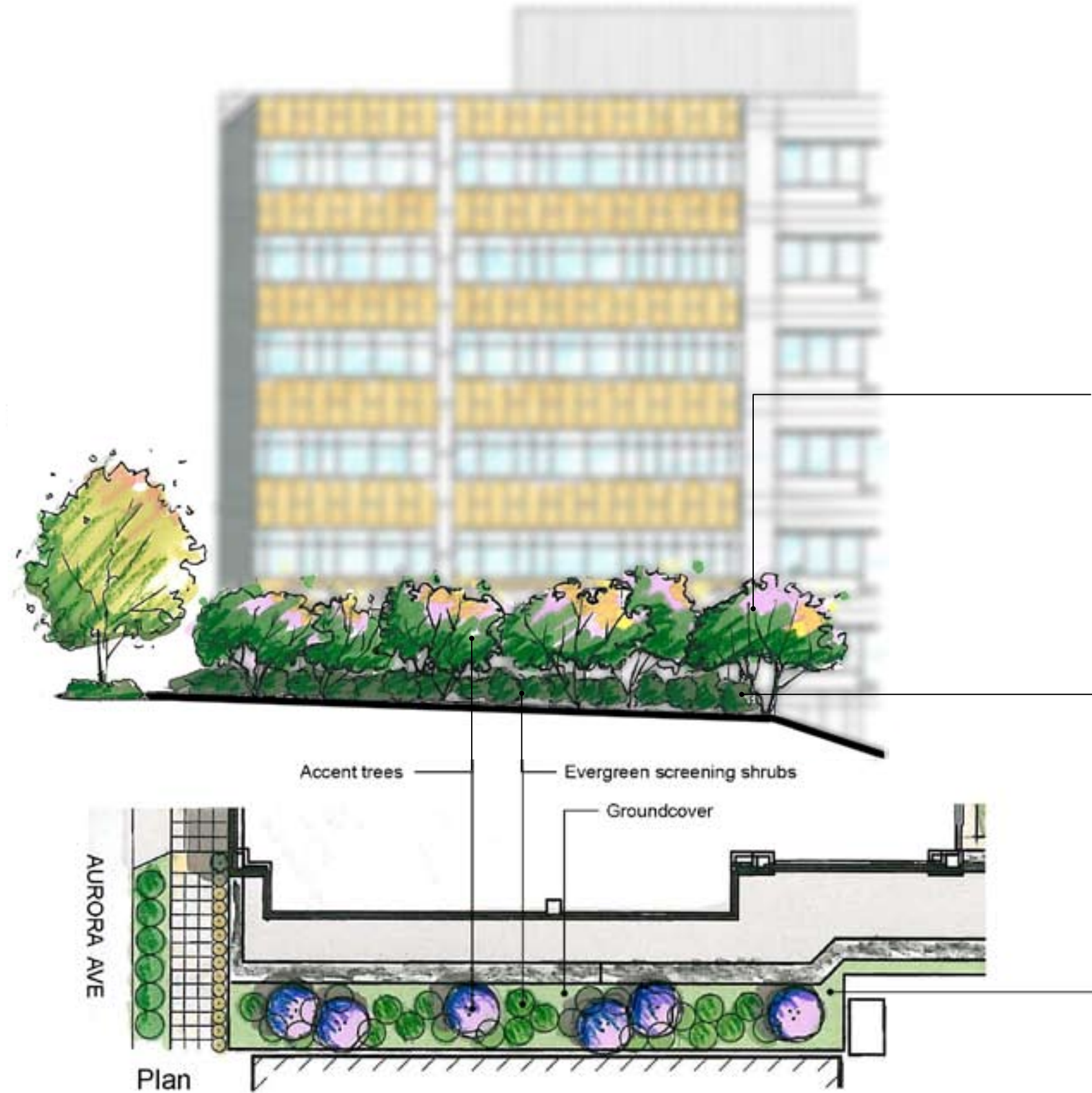
Elevation



Plan

AURORA AVE.

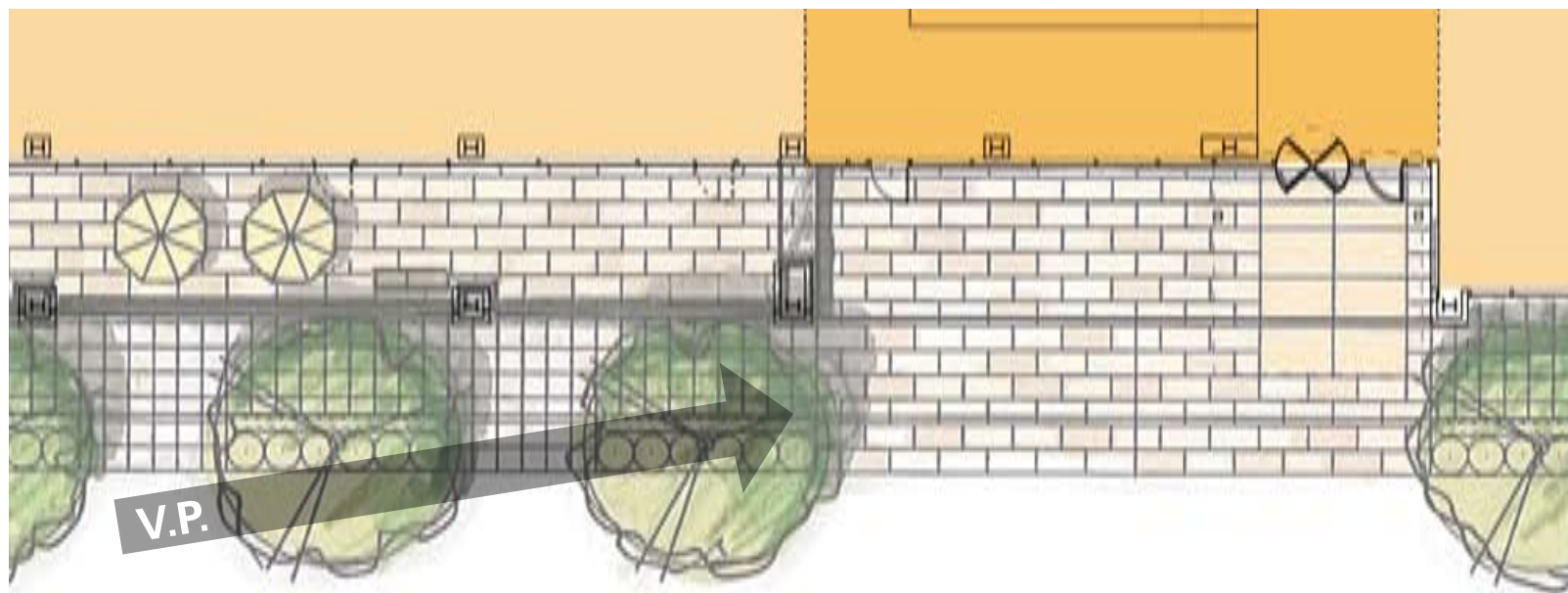
Brumbaugh & Associates
Landscape Architecture







ELEVATION: DEXTER AVENUE ENTRANCE



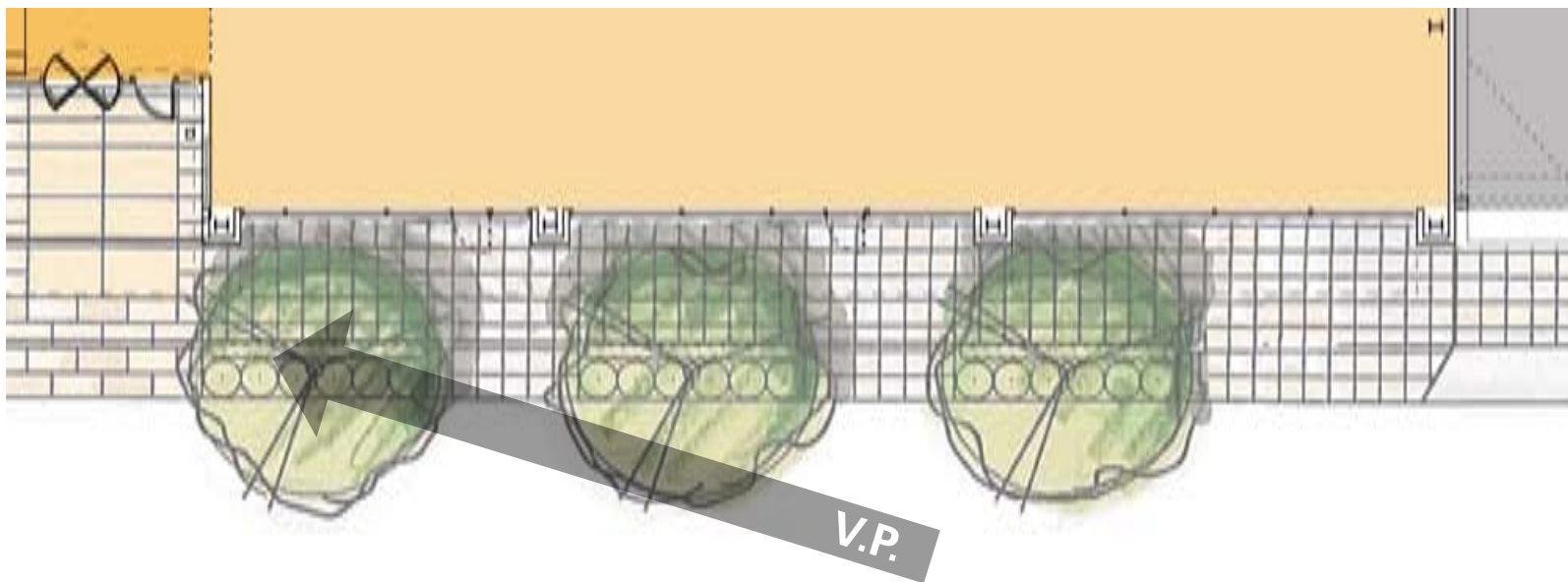
PLAN: DEXTER AVENUE ENTRANCE



PERSPECTIVE: DEXTER COLONNADE



ELEVATION: DEXTER AVENUE STORE FRONT



PLAN: DEXTER AVENUE STORE FRONT



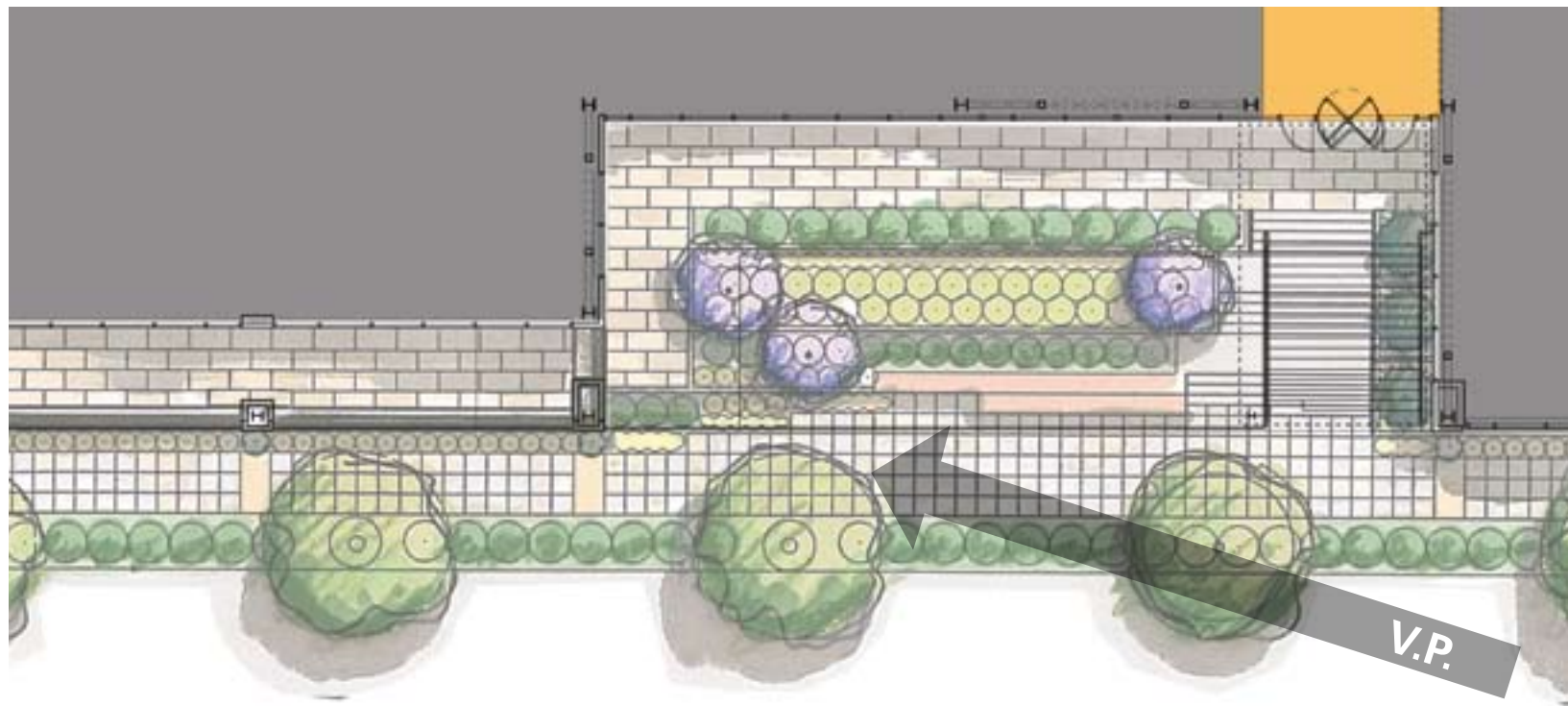
PERSPECTIVE: DEXTER AVENUE STORE FRONT



ELEVATION: AURORA AVENUE ENTRANCE



PERSPECTIVE: AURORA AVENUE

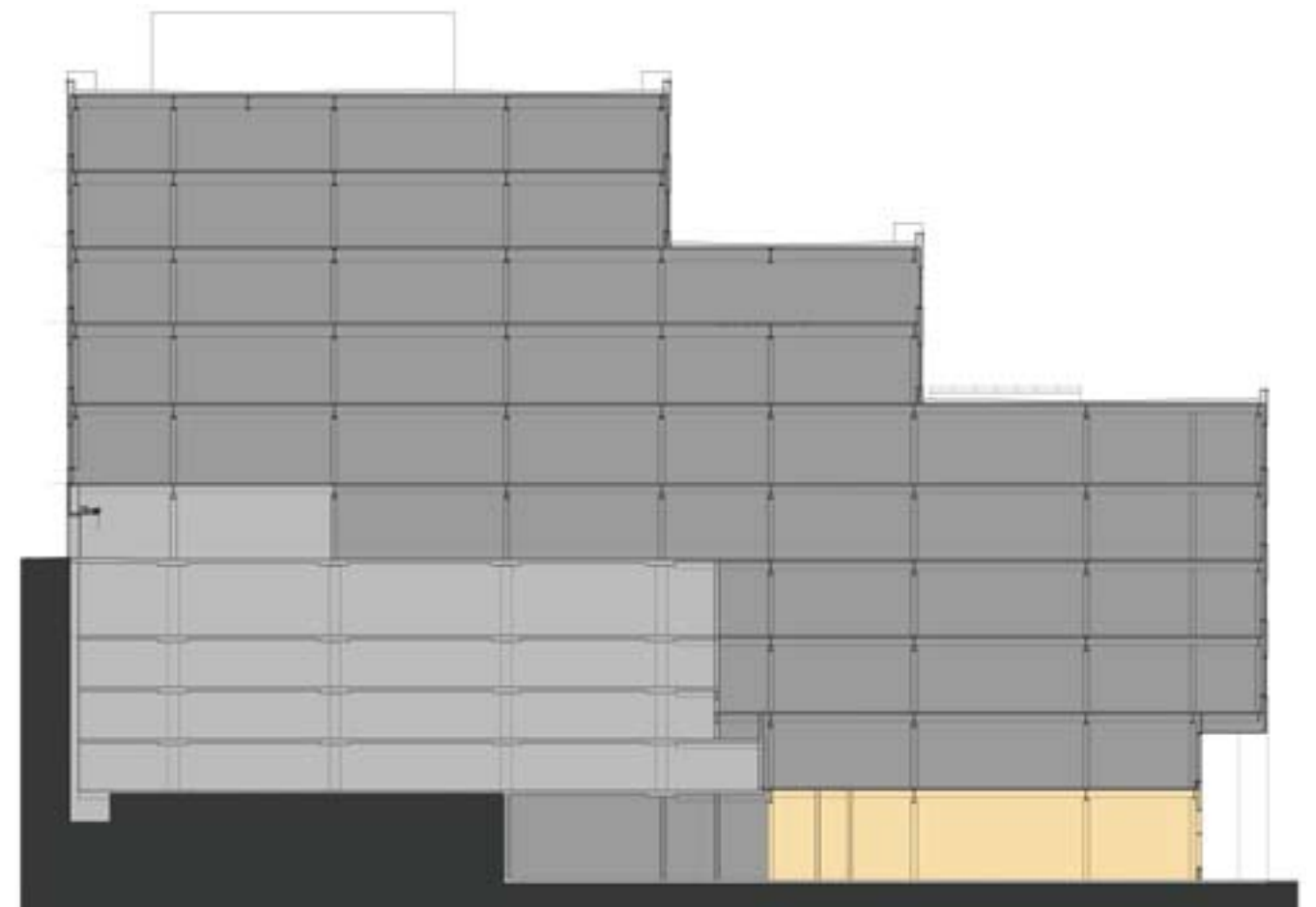


PLAN: AURORA AVENUE ENTRANCE

- Atrium/Lobby
- Retail
- Parking/Loading
- Office



BUILDING SECTION: ATRIUM



BUILDING SECTION: DEXTER AVENUE COLONNADE



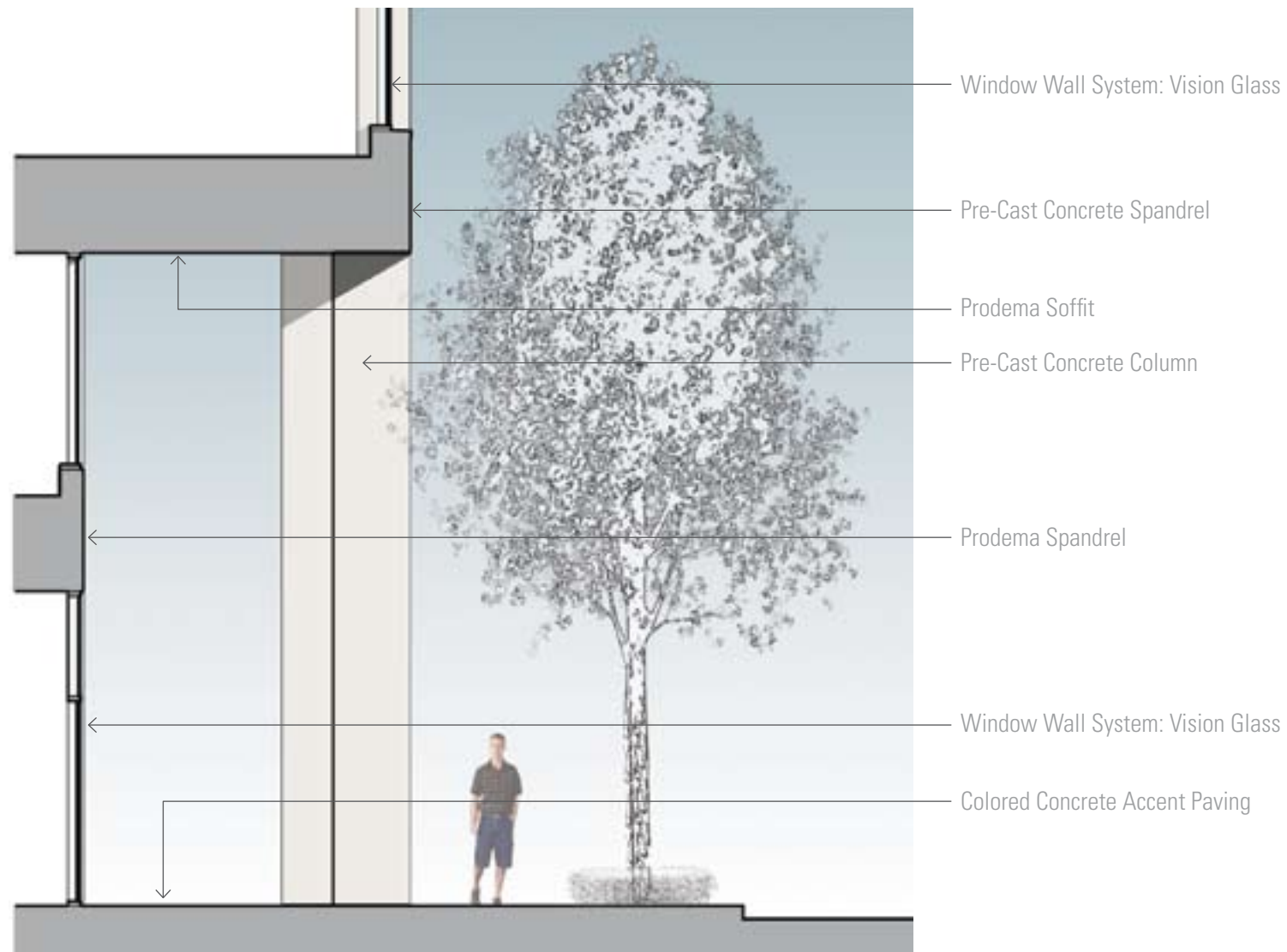
INTERIOR PERSPECTIVE: ATRIUM



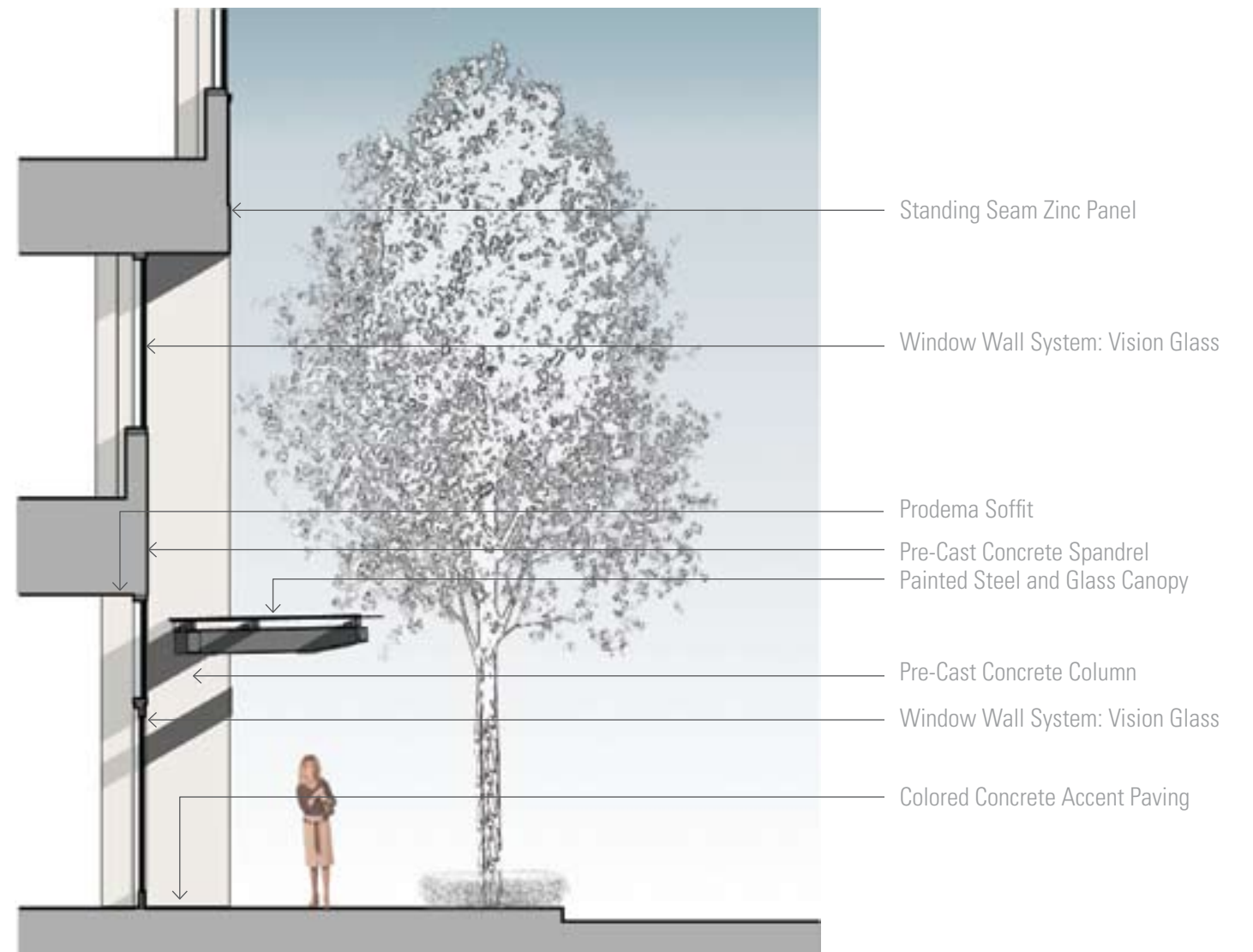
INTERIOR PERSPECTIVE: ATRIUM



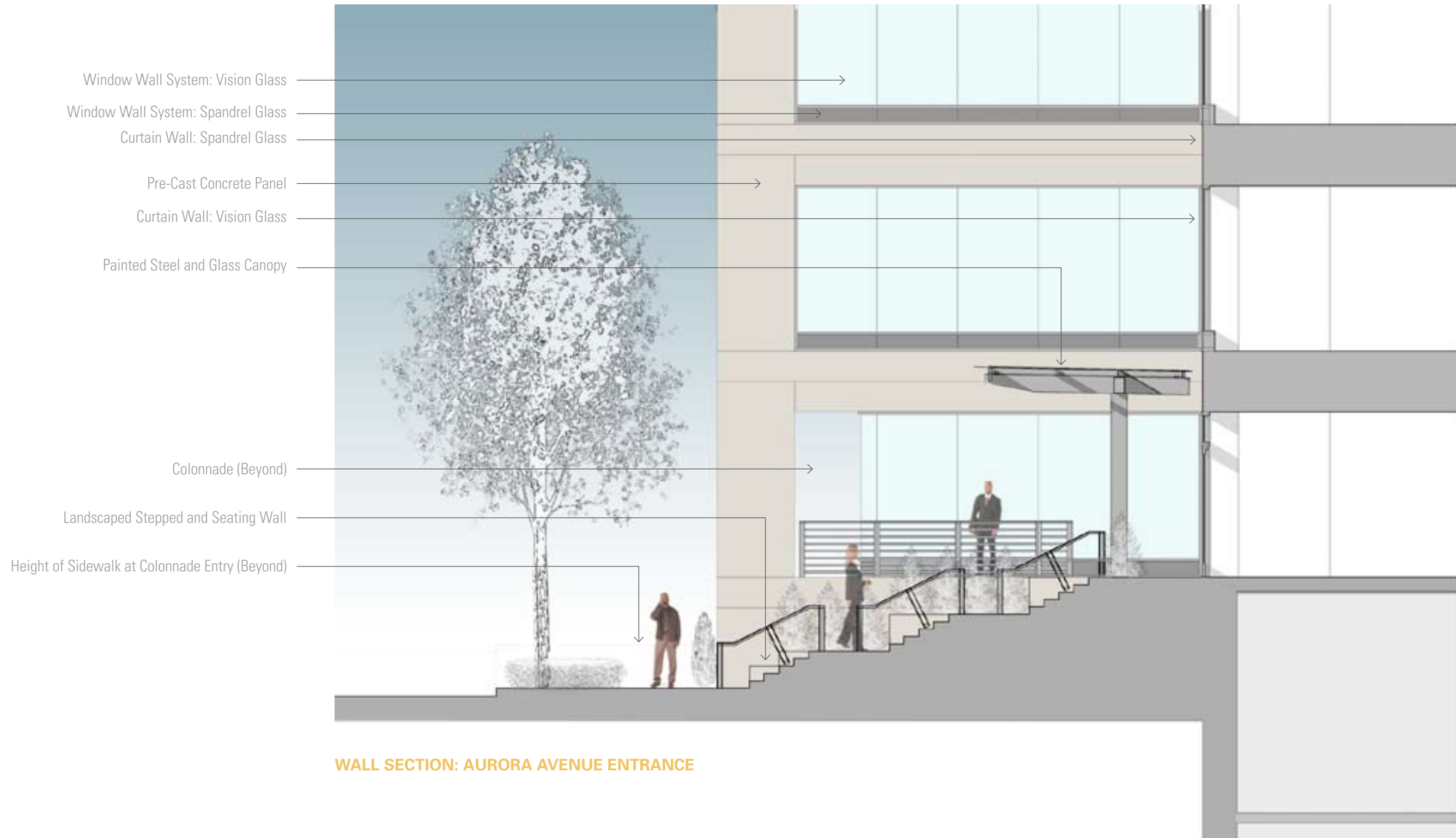
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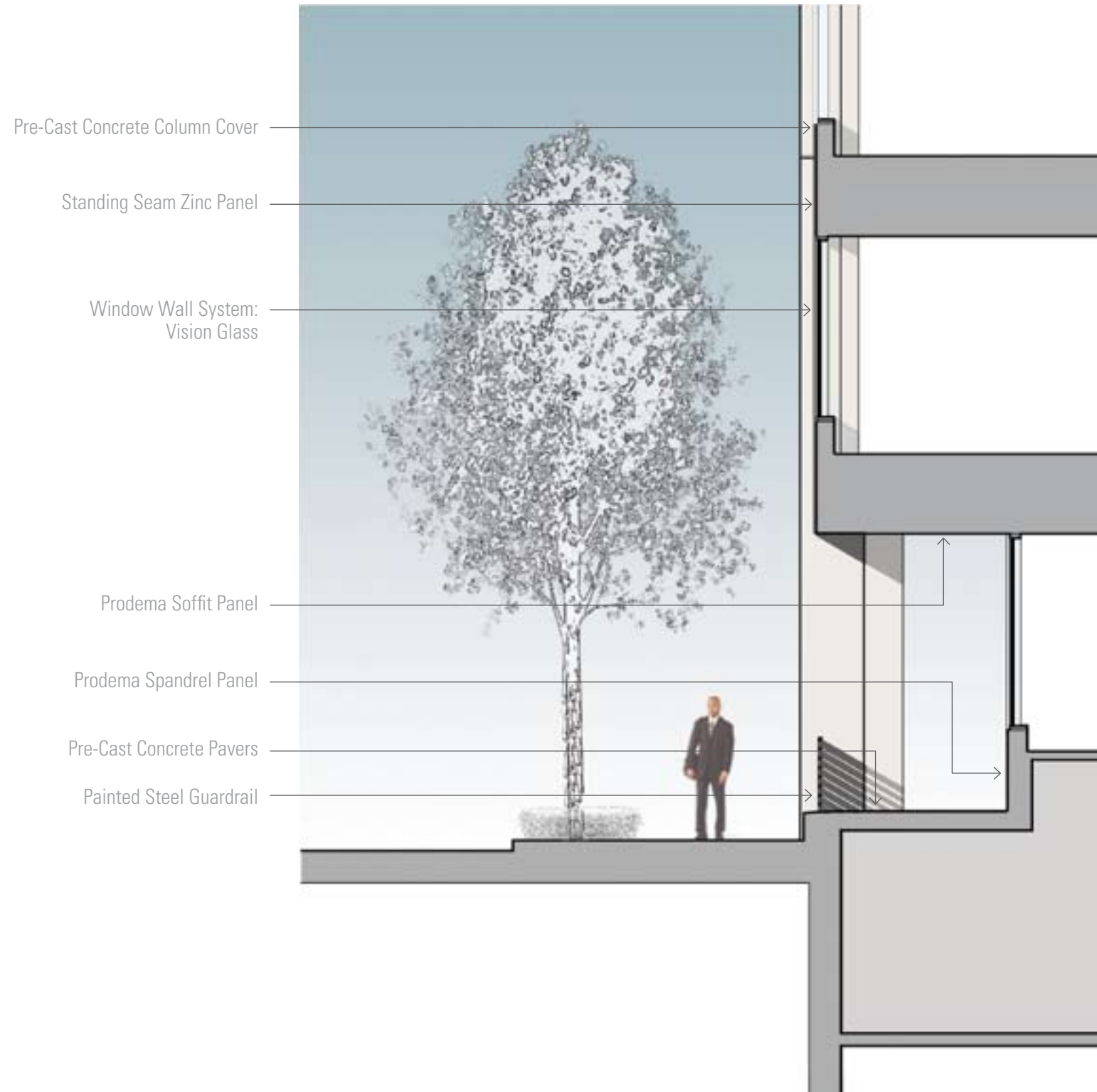


SECTION: DEXTER AVENUE COLONNADE

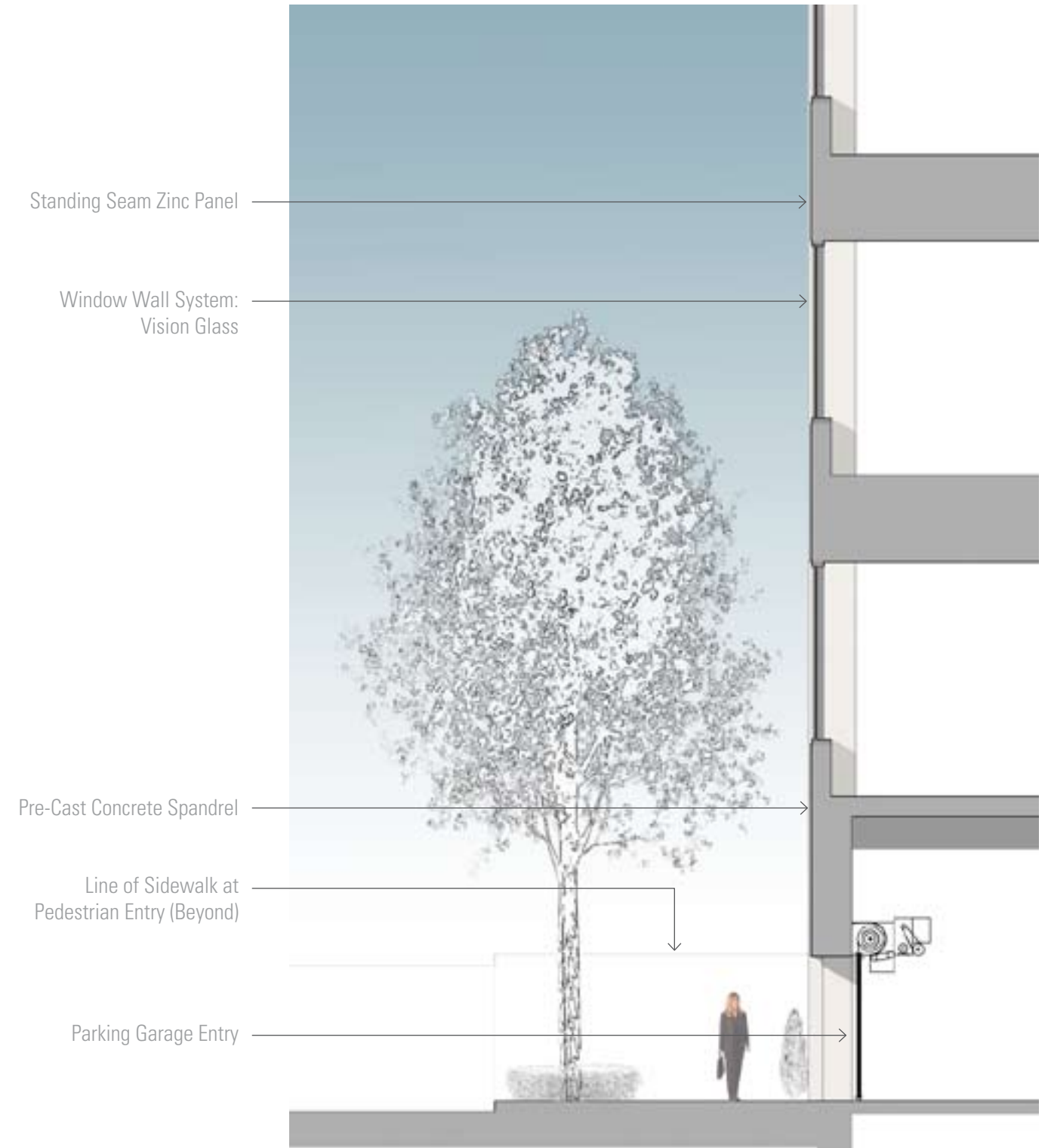


SECTION: DEXTER AVENUE STORE FRONT





WALL SECTION: AURORA AVENUE COLONNADE



WALL SECTION: AURORA AVENUE GARAGE ENTRANCE