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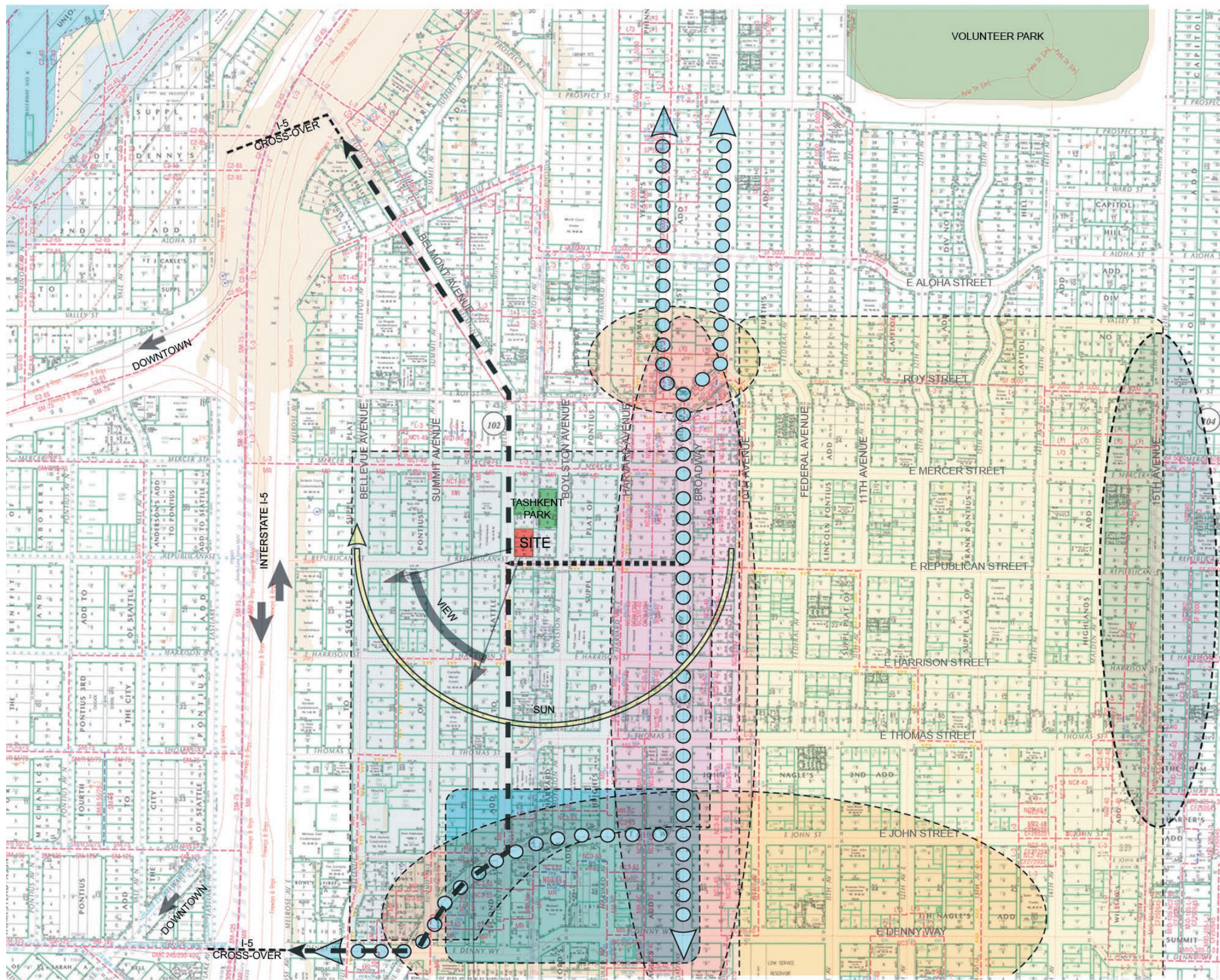
Design Review
Recommendation
Meeting
February 6, 2008

506 Belmont Avenue E
Seattle, Washington

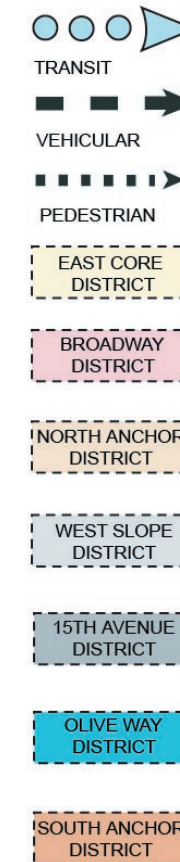
DPD Project #3006603

Arca Architecture
91 Marion Street
Seattle, WA 98104





LEGEND



Urban Context:

Capitol Hill is one of the most densely populated neighborhoods in Seattle and is home to a large cross-section of the population. It's large variety of shops, restaurants, and entertainment along Broadway make it a thriving urban center. The area is well served by car and public transportation but is predominantly pedestrian in nature due to the close proximity to academic, healthcare, and religious institutions as well as downtown Seattle.

The many Neighborhood Districts in Capitol Hill represent the varied scales, density and character that exist throughout the area. The West Slope District specifically is characterized by its dense variety of housing types and mature street trees and subsequent pedestrian experience. The proposed development at the corner of Belmont Avenue and E. Republican Street will respect the quality and character of the neighborhood through its streetscape quality, building character, and open-space design.

Site Analysis:

Belmont Avenue Traffic:

Major vehicular traffic
Better access to parking

E. Republican Street Traffic:

Major pedestrian traffic to/from Broadway

Solar Access:

Both Belmont and Republican receive solar exposure

Building Mass:

The site implies a massing along Belmont/ Republican with an emphasis on the corner setback as well as unit orientation towards Tashkent Park to the north. The mass will deal with the undesirable exposure to the lot line wall of the adjacent building to the east.

Views:

Views will be gained on the upper floor units of the building to the south west through the intersection. The units along the north and west will have views of Tashkent Park.

Natural Amenities:

Along both Belmont and Republican there are mature street trees with full canopies that provide shade. Tashkent Park is located to the north.

Garage Access:

Providing vehicle access from Belmont Avenue allows the entrance to be located centrally within the building and at an appropriate distance from the corner limiting impacts on traffic. The slope of E. Republican Street makes vehicular access difficult to provide.



URBAN DESIGN DIAGRAM

500 BELMONT
SEATTLE, WASHINGTON



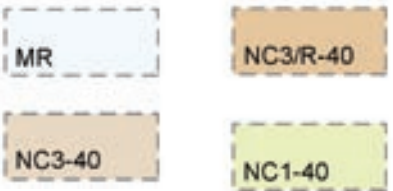
February 2008

The site is zoned MR, mid-rise (60 feet) multi-family residential. It is located in the West Slope District in the Capitol Hill Neighborhood of Seattle. There are no zoning transitions adjacent to the project site.

The neighborhood around the proposed site supports a variety of commercial and civic uses. QFC, The Harvard Exit and Espresso Vivace are among the thriving businesses that front Broadway. The new Capitol Hill Public Library is two blocks east on E. Republican and Top Pot Donuts is two blocks to the northwest on Summit Avenue. Tashkent Park, one of three parks in the West Slope District, is less adjacent to the project site.

Existing Uses			
1	QFC	38	Da-Lat Café
2	La Cucina	39	76 Gas
3	Emerald City Smoothy	40	Bella Pizza
4	Pagliacci Pizza	41	Planet Beach Tanning
5	STA-Travel	42	Kinko's
6	GRUV	43	Brix Showroom
7	Magic Dragon	44	Quest Books
8	Billettente Chocolates	45	The Adventure Travel Company
9	Bailey/Coy Bookstore	46	Presence Art of Living
10	UPS Store	47	Magnetti Antiques
11	Alibaba	48	The Massage Sanctuary
12	PHO-Cyclo Café	49	Kobo Shop & Gallery
13	Liquor & Wine	50	Harvard Exit
14	TNT Espresso	51	Joe Bar
15	Teriyaki & Wok	52	Flora & Henri
16	Broadway Grocery	53	Coco Latida
17	Crossroads Trading Co.	54	De Luxe
18	Payday Loans	55	Seattle Museum of Mysteries
19	Casa Del Ray	56	Aoki Sushi
20	The Hair Connection	57	Bliss Soaps
21	Espresso Vivace	58	Film Stop
22	Washington Mutual	59	Rom Mai Thai
23	The Broadway Grill	60	Galerias Mexican
24	She's a Unique	61	Peacock Custom Framing
25	Red Light	62	Choice Tobacco
26	Julia's	63	The Byzantion Greek
27	Starbucks	64	Taco Bell
28	India Express	65	Robson Square
29	AAA Locksmith	66	Tocana Pizzeria
30	PHO-Than Brother	67	Sun Liquor
31	The Vagra	68	Top Pot
32	Parking Lot	69	Spike Mafford Photographo
33	Jade Pagoda	70	Henry's Frozen Meats
34	Coctail Lounge	71	Capitol Hill Public Library
35	Broadway Wok & Grill		
36	Siam Thai		
37	Elite		

ZONING KEY





1 West along Republican



2 Adjacent Building with zero lot line condition



3 Belmont and Republican - Site



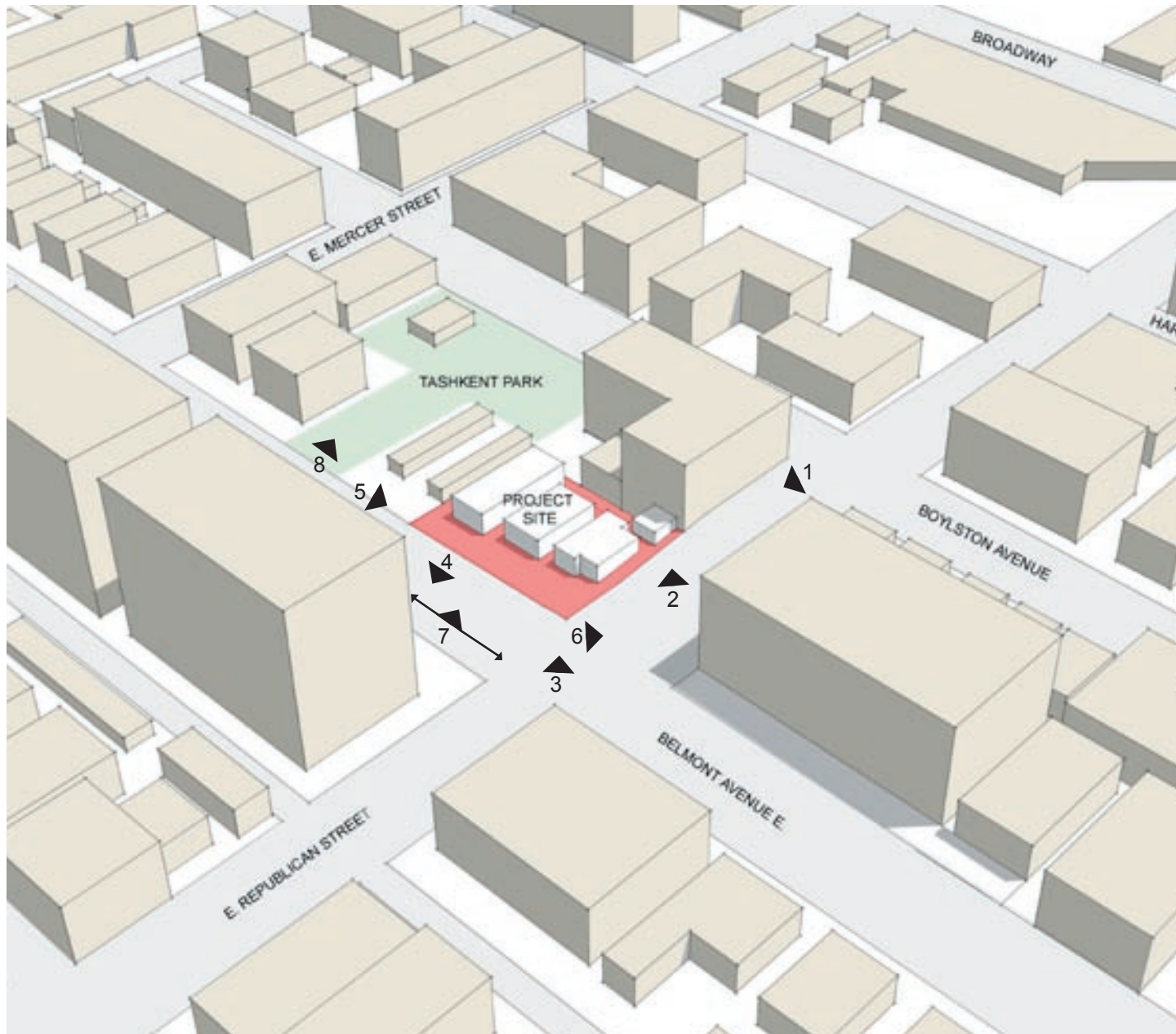
4 Building to the West



5 South along Belmont



6 Building to the South



Uses:

The site is located at the southeast corner of Belmont Avenue and E. Republican Street. It contains 3 separate freestanding structures and an on-grade parking lot. One structure is a single family wood framed home. The 2 structures to the north are wood framed brick clad duplex apartment buildings. The project site consists of parcels 502, 504 and 508 Belmont Avenue. The dimensions are approximately 82 feet by 122.3 feet.

Topography:

Street grade rises approximately 8 feet towards the East along Republican Street while sloping down approximately 4 feet towards the North along Belmont Avenue. The existing structures sit on top of a terrace supported by rockeries approximately 4 feet above grade along Belmont.

Access:

Belmont Avenue and E. Republican bound the site on the west and south. Both streets are minor arterials with no parking zones along the adjacent sidewalks. The site is mid way between the I-5 crossovers at Olive Way and Belmont Avenue and is 2 blocks from the commercial corridor along Broadway.



8 Tashkent Park



7 Site

Panoramic along Belmont - Site

Project Description:

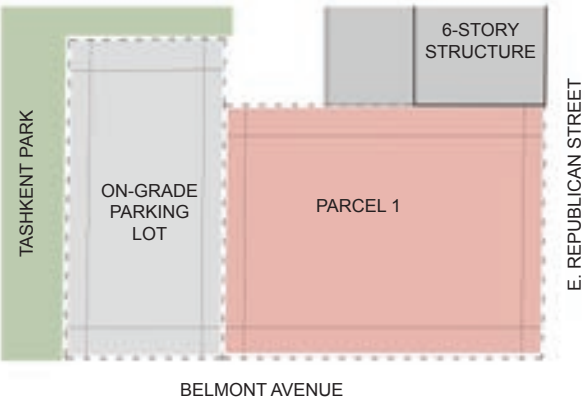
Construction of a 6-Level, 40-unit multi-family building with 56 parking stalls over 2 levels of below-grade parking. The structure will be 60’ in height and contain approximately 73,000 gross square feet.

Property Address:
506 Belmont Avenue E

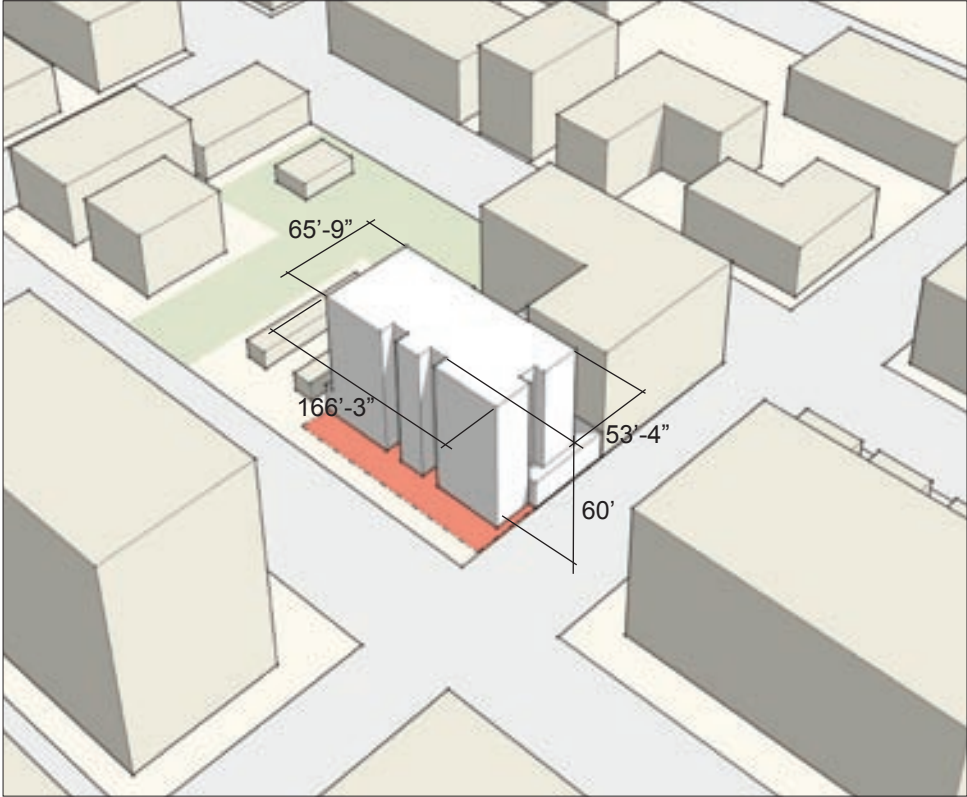
Property Identification Number:
684820-0825, -0827, -0830

Overlay:
West Slope District

Lot Area:
Parcel 1: 82’-0” x 122.3’ = 10,026 sf



Zoning Height and Bulk Diagram



Seattle Municipal Code Summary

Zoning Designation: (MR) Mid-Rise
Overlay Designation: Urban Neighborhood Village
Lot Dimensions: 82' x 122.3'
Lot Area: 10,026 SF
Lot Coverage: N/A

23.45.004 Principal Uses Permitted Outright
Principal uses permitted: Multifamily Structures

23.45.050 Midrise - Structure Height
A) 60' Maximum
60' structure height proposed
B) Sloped Lots - additional height on low side @ 1'/ 6 % of slope to a maximum of 5'

Calculated slope along E. Republican Street = 10%, 1.6' additional height permitted

Calculated slope along Belmont Avenue East = 3%, .5' additional height permitted

D) Rooftop Features
1. Rooftop railings & parapets up to 4' over height limit
Railings and parapets proposed at level 6 and roof level extend no more than 4' over height limit.
2. Stairs, mechanical equipment, elevators and penthouse pavilions for the common use of residents allowed up to 10' over height limit
a. Maximum coverage 15 % or 20% w/ screened equipment.
The stair and elevator penthouses, mechanical equipment screening and penthouse pavilions on level 6 and the roof level extend no more than 10' above the height limit.

23.45.052 Structure Width and Depth
A) Maximum width 40' or modulated up to 150'
B) Maximum depth 65% of total lot depth
◦ Exceed 65% if total lot coverage is not greater than that which would have been possible by meeting standard development requirement for maximum width, depth and setbacks.
◦ Required usable open space increase to 30 % of which 2/3 must be at grade
◦ Structures with depth greater than 65 % shall be modulated on side

Departure Request

Development Standard	Departure Request	Departure Justification
Structure Width SMC 23.45.052A: maximum width is 40' w/o modulation	Greater than allowed structure width without modulation: 100'-8 ½"	Modulation is achieved at the ground-related units between levels 1 & 2 as per 23.45.054 and decks and balconies projecting from the façade at intervals provide visual modulation through shadow relief.
Structure Depth SMC 23.45.052B: 65% of lot depth (53.3 ft)	Greater than allowed structure depth: 18.21' add'l at the south section; 8.2' add'l at the mid and north sections. Total addition of 6,150 sq ft. (1,230 sq.ft. per floor)	The proposed massing at the south is deeper in order to build up to the zero lot line, blank wall of the building to the east. Greater depth at the mid section accommodates the central elevator/stair core and double-loaded corridor. Facades have projecting decks at intervals that provide visual modulation

23.45.054 Midrise - Modulation Requirements
A) Front Facades - Modulation required over 40' in length
B) Side modulated on corner lots - Modulation required over 40' in length
Modulation Standards:
◦ Minimum depth 8' or 6' with decks (6'x10'min)
◦ Maximum width 40', maximum width increased by 2.5' with each of increase of 1' depth up to 50' max.

Departure Request

Development Standard	Departure Request	Departure Justification
SMC 23.45.054.A.1 Front Façade Modulation	Front modulation is required if the width exceeds 40 feet.	The largest length of front façade proposed is 100'-8 ½". The applicant requests a design departure for an increase of 48+' in length of wall allowed before modulation. Facades have projecting decks at intervals that provide visual modulation.
SMC 23.45.054.B.1 Side Façade Modulation	Corner lot side facades facing the street are required to be modulated if greater than 40 feet	The greatest length of façade without modulation proposed is 47'-3"on the southern facade. The applicant requests a design departure for an increase of 7'-3" in length of wall allowed before modulation. Facades have projecting decks at intervals that provide visual modulation.

23.45.056 Midrise - Setback Requirements
A) Front Setback
◦ Average of the structures on each side
◦ Can be averaged
◦ No portions of a structure between grade & 8' can be closer than 5' to the property line
B) Rear Setback
◦ 10' with modulation or an average of 15' with no portion closer than 10'
C) Side Setback
◦ Can be averaged
◦ Setback from Table 23.45.056A
◦ Structure Depth 76-85' and Height 51' or more = 10.5' average (8' min) Not less than 3' from property lines for decks
D) Structures allowed in required setbacks: ramps, fences, deck (no more than 18" above existing grade) and underground structures

Departure Requested

Development Standard	Departure Request	Departure Justification
Rear Setback SMC 23.45.056B: minimum 10' w/modulation	Request zero lot line condition for 41'-7" or 402 sq. ft intrusion into setback	Zero lot line to address blank wall condition of building to the east. This is compensated for by a large landscaped open space at the corner;
Side Setback SMC 23.45.056C average 10.5', 8' minimum.	Request setback be reduced at the north and south sides.	Setback at south property line continues zero lot line condition at rear setback to obscure most of the blank wall of building to the east. At the north, a zero-lot line condition is requested to accommodate the elevator/stair core and allow for possible future expansion to adjacent site. Adjacent site is not likely to be developed separately.

23.45.058 Midrise - Open Space Requirements:
◦ Minimum of 25% of lot area at grade
◦ 1/3 above grade in the form of decks if the total is increased to 30 %
◦ 10' minimum dimension at grade may be front, side, rear of lot

Required = 10,026 sq.ft. (Site Area) x 30 % = 3007.8 sq.ft.
Proposed = 4,915

23.54.015 Required Parking
◦ Capitol Hill 1 Stall/Unit
Required = 40 units x 1 stall/unit = 40 stalls
56 stalls provided
◦ Bicycle parking 1 space for every 10 units
Required = 40 units x 1 space/10 units = 4 spaces
6 spaces provided

23.54.030 Parking Space Standards
Parking Stalls
◦ Medium vehicle 8'x16', small vehicle 7.5x15'
◦ Accessible stall width 8'+5'(loading), 19' length
◦ Minimum of one 8' van stall
◦ 60% of spaces must be striped for medium vehicles, 40 % may be striped for any size
Driveways
◦ 10' wide 1 way traffic or 20' wide 2 way traffic
Departure Required - 18' garage entry and access drive proposed at level L1.
◦ Driveway slope 20% maximum
Site Triangle
◦ 10' width and 10' depth
◦ Required on both sides of drive lane if under 22' width, required on exit side of drive lane if over 22'

Departure Requested

Development Standard	Departure Request	Departure Justification
Driveway Width SMC 23.54.030: minimum 22'	Request reduction in width to 18'	18' width reduces the visual impact of the garage door on the façade without limiting vehicle sightlines. This departure was suggested by DRB board members during the EDG meetings.

Measurements Standards
23.86.012 Setbacks in Multifamily Zones
◦ The setbacks used for front setback averaging shall be on the same block and within 100' of the side of the subject lot. When 1st structure is more than 100' from side or if there is no structure on the side the setback depth = **10'**



ZONING CODE ANALYSIS

500 BELMONT
SEATTLE, WASHINGTON





Perspective

Design Review Board Comments - EDG #1

The Board supported the concept of ground-related units with connection to the street on Belmont Avenue East and recommended making a similar connection from any units on East Republican. The Board noted that a lower and more transparent form of privacy screen should be employed instead of fences or high concrete privacy walls.

The Board indicated that they would like to see a more open and shallow entry to the lobby and elevator area and engage the corner location. The applicant should consider providing greater visibility, height and access to light for the entry.

The Board strongly agreed that the vehicular access to the site should be visually minimized. The Board would encourage the applicant to reduce the width of vehicle entrance on Belmont Avenue East.

The Board noted that the proposed design for the south facing exterior wall of the ground-related units presented a blank wall adjacent to the entry. The Board feels that there should be visual relief for this wall and suggested introducing upper level windows into this unit which would also afford views to the southwest.

The Board also encouraged the applicant to consider an alternative design to the prominent stairwell portion on the north side of the proposed structure. As proposed it presents an uninterrupted blank wall from ground level to roof.



Belmont Elevation



Level 1 Floor Plan



EDG # 1

500 BELMONT
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February 2008



Perspective

Design Review Board Comments - EDG #2

The Board, concerned about the survivability of the existing street trees, asked to see an assessment of the health and risk from construction to the trees at the Recommendation meeting.

The Board supports the concept of ground-related units with connection to the street on Belmont Avenue East and noted that the applicant has made a similar connection from the units on East Republican recommended at the first EDG meeting. The Board also noted that there appears to be lower and more transparent privacy screening for these units than previously shown.

The Board is not wholly convinced that the side-by-side lobby and vehicle entrance is the best solution and is concerned about potential car/pedestrian conflicts.

The Board would like to see a more prominent lobby entrance. The lobby should be more fully glazed.

The Board feels the terraced open space area at the corner of Belmont E and Republican appears unusable. The applicant should provide a portion of this space as a respite for pedestrians. The balance should be for use by the adjacent ground-related units.

The Board is supportive of the building depth departure request for the south and east edge of the building as a means to ameliorate the blank wall of the existing building to the east on Republican. The Board questioned the apparent proximity of the lower level units to the carport structure which is accessory to the building located to the east on Republican.

The Board wish to see reduced impact on Tashkent Park.

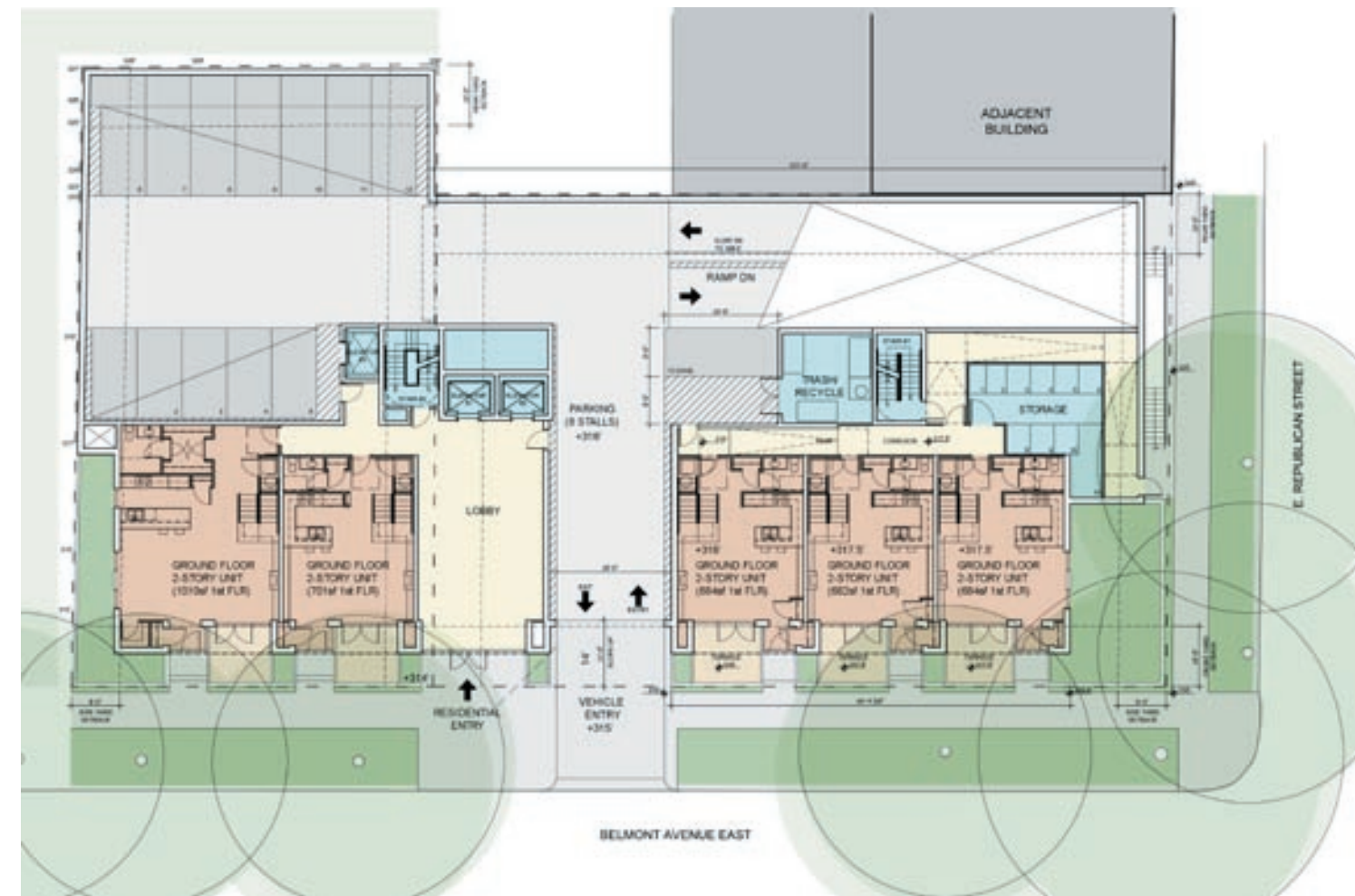
The Board agreed that the base treatment was a positive feature and requested that it extend around the south end to form a complete base.

The Board suggested that the vehicular entrance be recessed as much as possible so that it is visually minimized. The Board applauded the reduction of the width of vehicle entrance on Belmont Avenue East.

The Board was pleased to see that the applicant had introduced upper level windows into the end ground-related unit on the south which provides relief to an otherwise blank wall and also affords views to the southwest.



Belmont Elevation



Level 1 Floor Plan



EDG #2

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SEATTLE, WASHINGTON



February 2008



Perspective

Applicant's Response to Design Review Board EDG Comments

The Applicant has contacted the City of Seattle's Arborist and will preserve and protect the street trees as outlined by the arborist and SDOT Urban Forestry.

The Applicant has provided ground-related units with connection to the street on Belmont Avenue East and a similar connection from the units on East Republican recommended at the first EDG meeting. Lower and more transparent privacy screening for these units have been intergrated.

The Applicant has studied the relationship of the pedestrian and vehicle entries and concluded that visibility and safety concerns will not be reduced if the locations are switched.

The Lobby is located at the north end of the building with an expansive 2-story high storefront allowing more light and visual connection with the street. The Applicant has also removed the piers at either side of the entry allowing for a more distinctive and open approach. The large overhangs also provide protection from the elements.

The Applicant has provided a series of benches at the southwest corner for pedestrians and a private terrace for the ground-related unit at the corner. This terrace will integrate with the landscaping and will use a planted green screen for privacy.

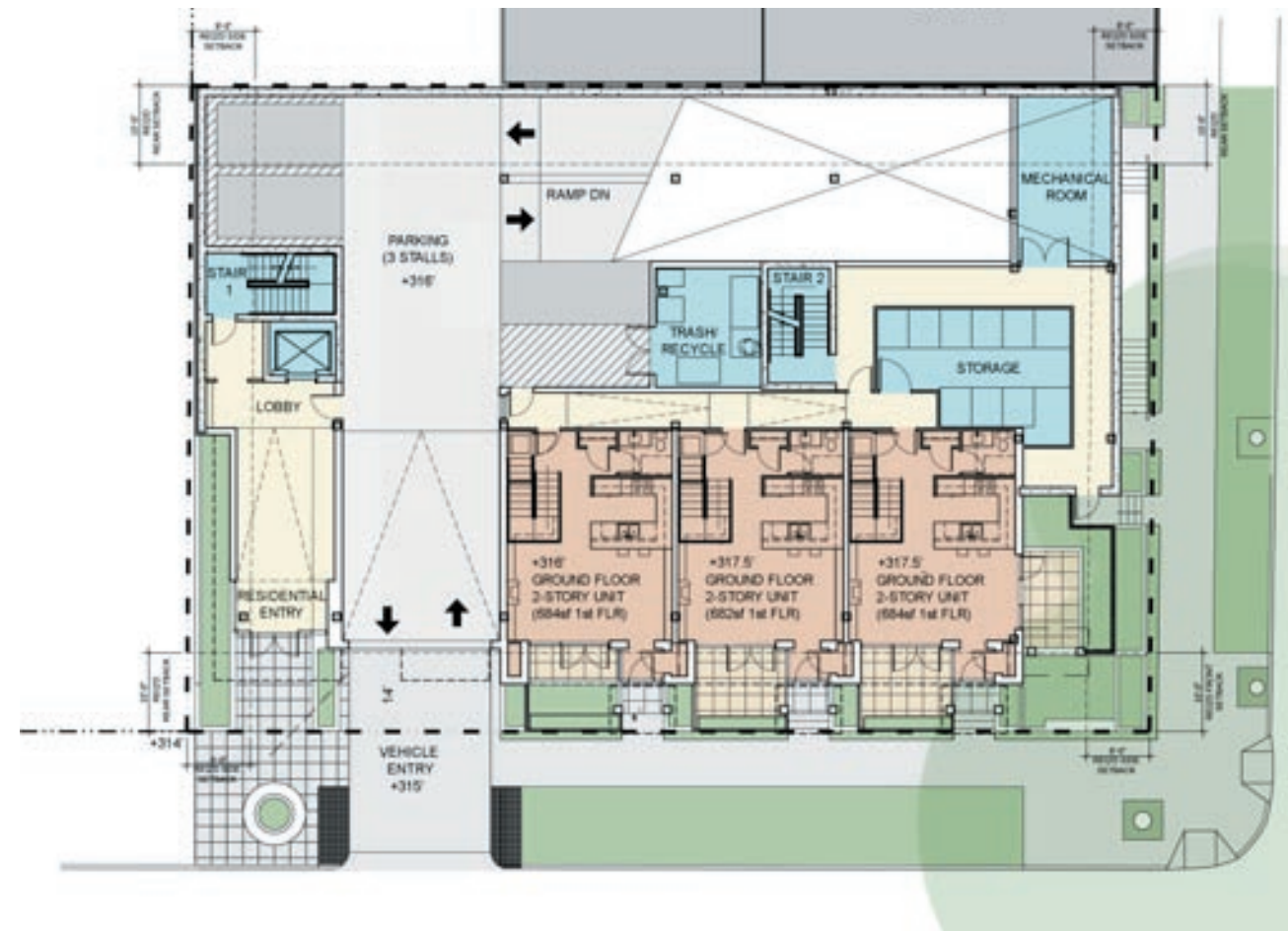
The proposed building no longer fronts onto Tashkent Park and will therefore have little shadow.

As suggested by the Board, the Applicant has requested a departure for a reduced garage door width from 22'-0" to 18'-0"

The Applicant has introduced upper and lower windows into the end ground-related unit on the south which provides relief to an otherwise blank wall and also affords views of the private terrace and to the southwest.



Belmont Elevation



Level 1 Floor Plan



PROPOSED DESIGN

500 BELMONT
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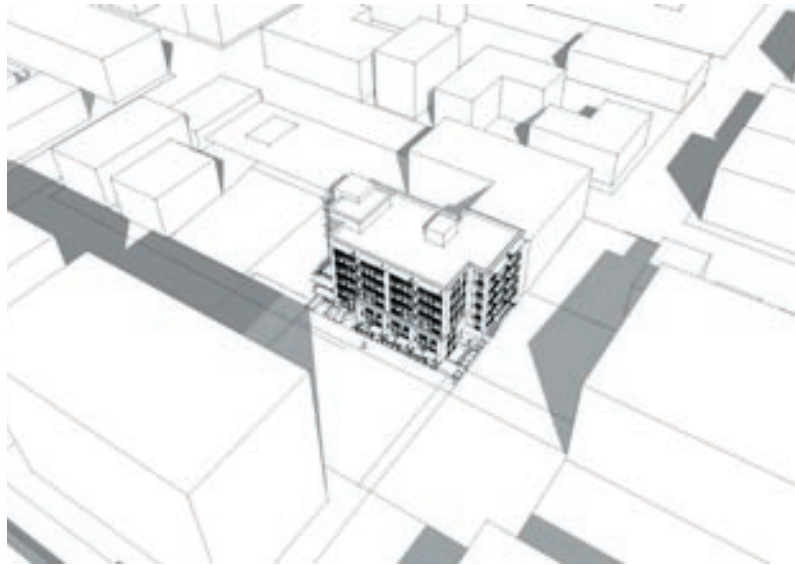
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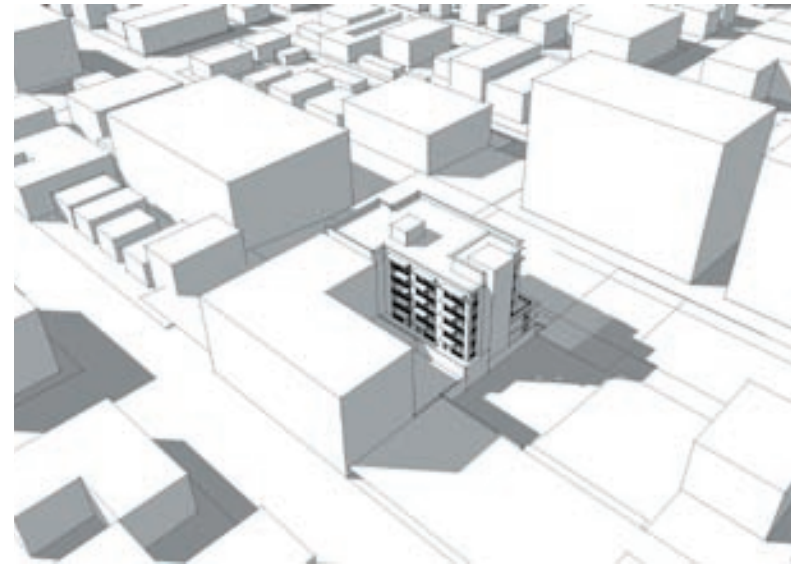
A-2, A-3



A-4, A-6, A-8



B-1



B-1



C-2



C-2

The following describes how the proposed project responds to the Capitol Hill Neighborhood Design Guidelines;

A Site Planning

A-2 Streetscape Compatibility.

The existing street trees will be preserved and protected unless directed otherwise by the City of Seattle Arborist. The vehicle entrance is set away from the corner and is set back from the property line in order to minimize impact on the street. The ground-related 2-story units are oriented to provide entry from the sidewalk and private terraces enhance the streetscape. Each building façade contains elements scaled to meet the context and street relationship; balconies, landscaped terraces and entry landscaping.

A-3 Entrances Visible from the Street.

The buildings main entry is located off the sidewalk between Tashkent Park and the corner of Belmont Avenue and E. Republican Street. The Lobby is two stories in height and is clearly articulated from the adjacent two-story ground related unit to the north and the garage entry to the south with the use of expansive glazing and a large cantilevered canopy. The lobby is also located directly across from the entrance to the condominium building on the other side of Belmont Avenue.

A-4 Human Activity.

The two-story ground related units along Belmont and Republican encourage interaction through the use of terraces and entries directly accessed from the sidewalk. These elements are set slightly higher than the sidewalk in order to provide a sense of privacy and security.

The corner setback and landscaped area allows for pedestrians to see farther around the corner enhancing visibility as well as softening the pedestrian edge. This area proposes a seat wall that is integral with the planter at the corner. At the building entry a circular planter with seating promotes public interaction.

A-6 Transition Between Residence and Street.

The space between the building and the street will contain elements such as terraces, unit entries and landscaped planters. See A-4.

A-8 Parking and Vehicle Access.

Vehicle access is located to the south of the main residential entry. This location is a result of internal planning of the building and could not be relocated to the north side of the entry. This location also puts the entry farther away from Tashkent Park increasing pedestrian safety by having vehicles closer to the corner. The vehicle entry is set back from the sidewalk by 10'-6" allowing for ample visibility and the door width has been reduced to 18 feet in order to minimize its presence on the buildings façade.

A-10 Corner Lots.

See A-4 and A-8.

B Height, Bulk and Scale.

B-1 Height, Bulk and Scale.

The height, bulk and scale of the proposed project relate to the neighborhood, block and specific site. By extending the mass on the east side to the property line the oppressiveness of the adjacent building blank brick wall will be minimized. The stepping of the mass at the north will minimize the visual impact of the zero-lot line condition created and with the use of metal siding, masonry, and board-formed concrete the blank wall will be less imposing on the adjacent on-grade parking lot. This wall is along the side property line and not along a street façade.

The proposed project will also use the brick, wood and ornamental metal railings at the ground and 2nd levels to soften the massing of the upper stories. Each residential unit and its balcony or private terrace has been designed to maximize view and sunlight of downtown Seattle and Tashkent Park while also providing visual relief along all façades.

The common roof deck and will be appropriately landscaped to provide open space for residents that will capitalize on exposure to light and view.

C Architectural Elements & Materials

C-2 Architectural Concept and Consistency.

The proposed massing uses repetitive elements that relate to the function of the residential units within. The location and size of the fenestrations directly influence the quality of space and the uniform aesthetic of the exterior as well as allowing as much sun to filter farther into each unit.

C-5 Structured Parking Entrances.

The proposed garage entrance is 18 feet in width as suggested by The Board.

D Pedestrian Environment

D-2 Blank Walls.

The adjacent 6-story building does not set back from its property line and presents a blank wall adjacent to our site. The proposed building responds to the precedent set by the adjacent building by extending to the property line to meet it. The zero-lot line condition created at the north property line will not hinder the development of the adjacent property as it can not be developed beyond its current use and the use of corrugated metal siding will provide visual interest.

D-7 Personal Safety and Security.

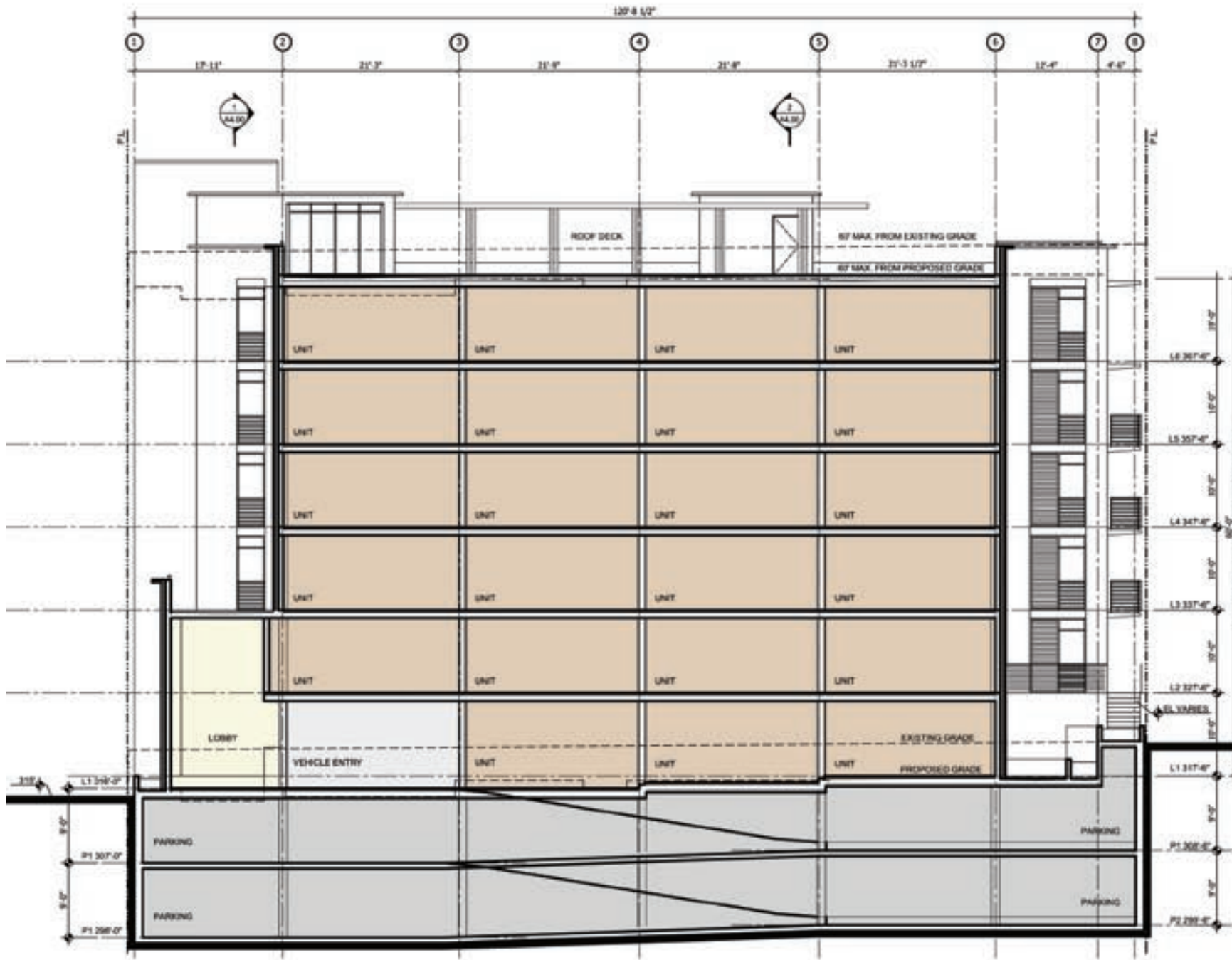
The site will be well lit at night through the use of "pedestrian scale" light fixtures along Belmont and Republican. This lighting will be integrated into the entry landscaping and continue into the covered lobby. The lobby will be well lit with the use of down lighting that will illuminate the paving below the building entry overhang. The building itself will utilize up and down lighting that will accent the brick and wood exterior while preventing spillover onto adjacent properties. Each "townhouse" and the lobby will have expanses of glass allowing for visual connection to the street as well as for viewing private gardens.



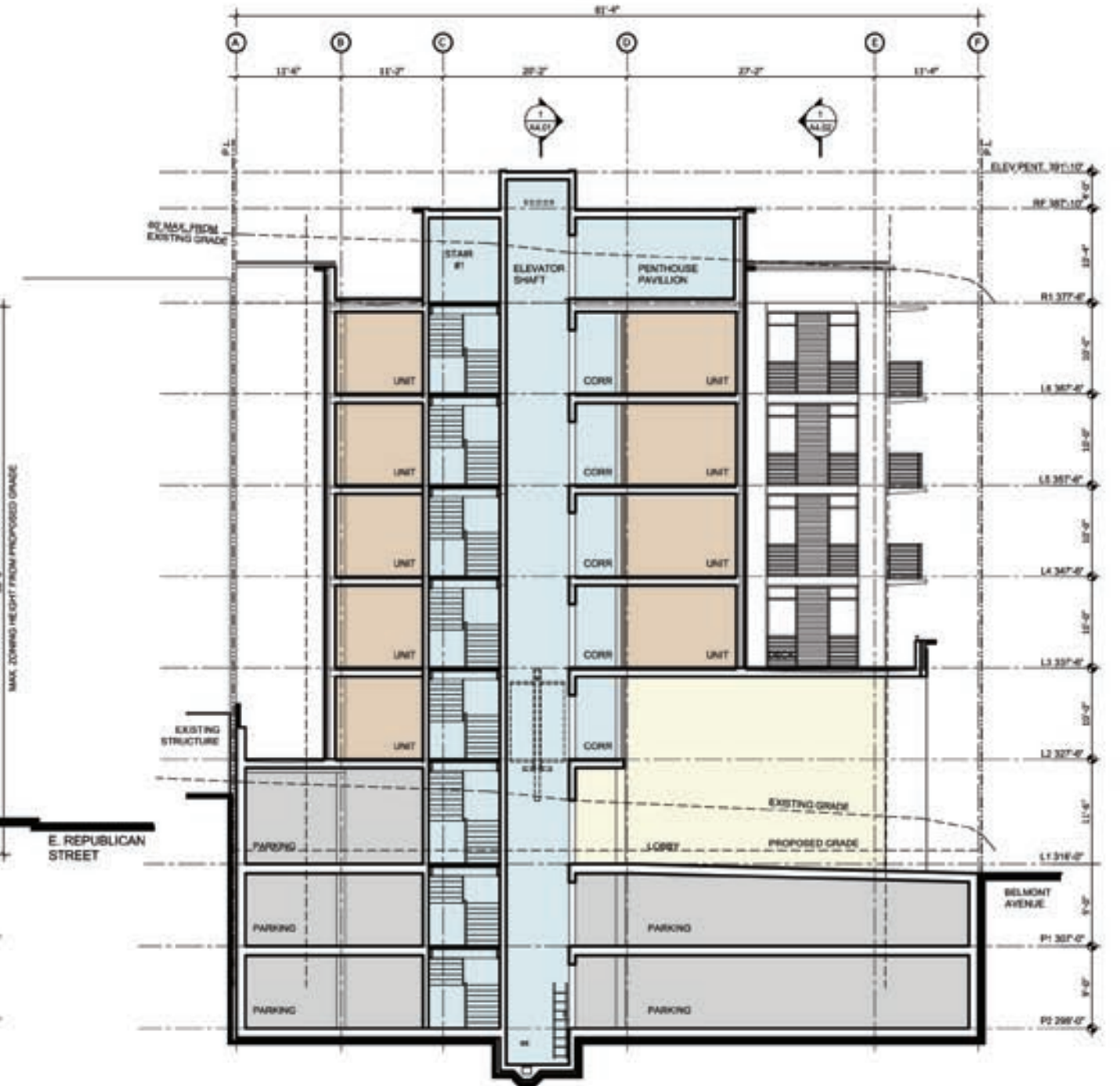
SITE DESIGN

500 BELMONT
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Building Section B



Building Section

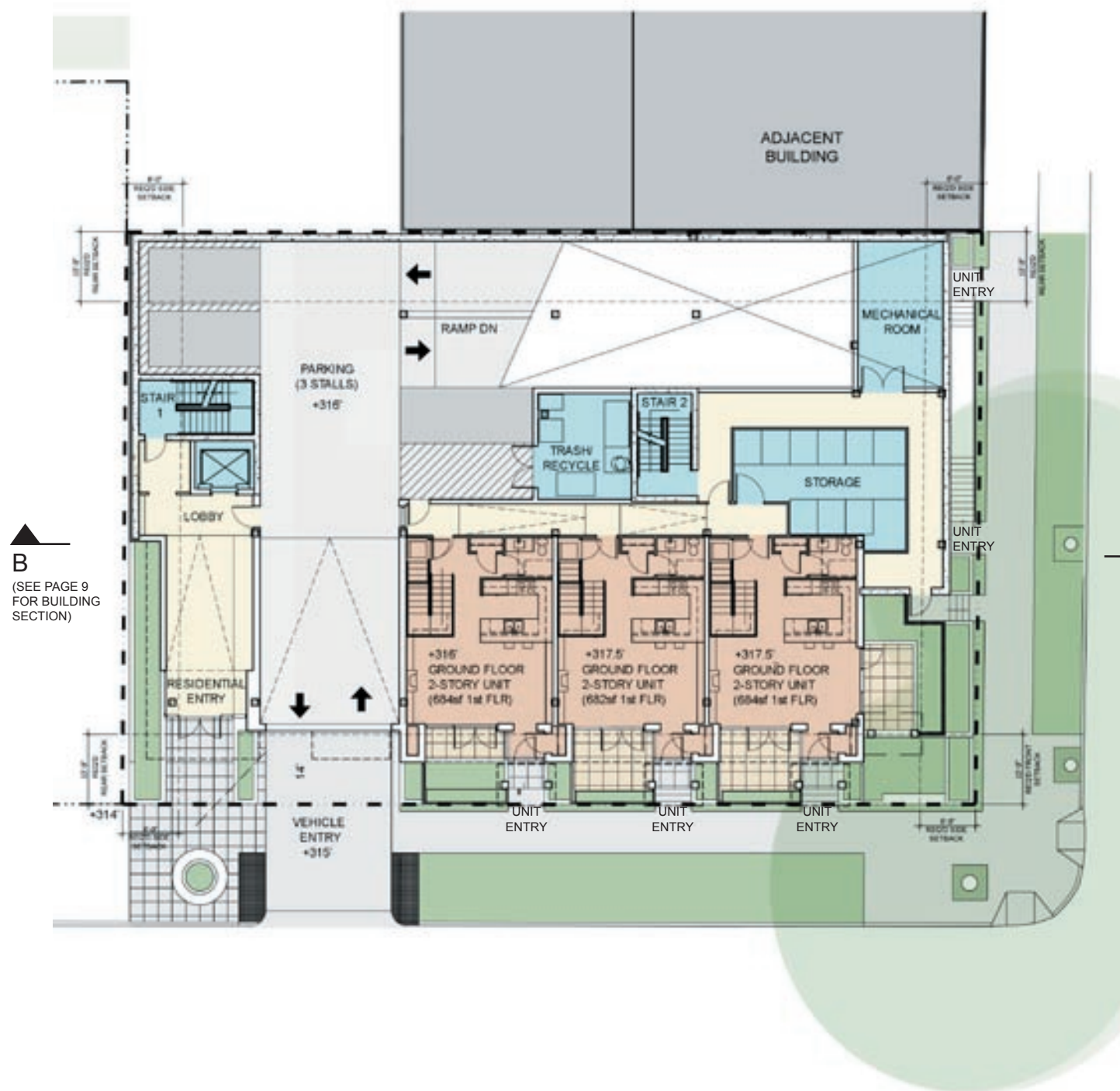


BUILDING SECTIONS A & B

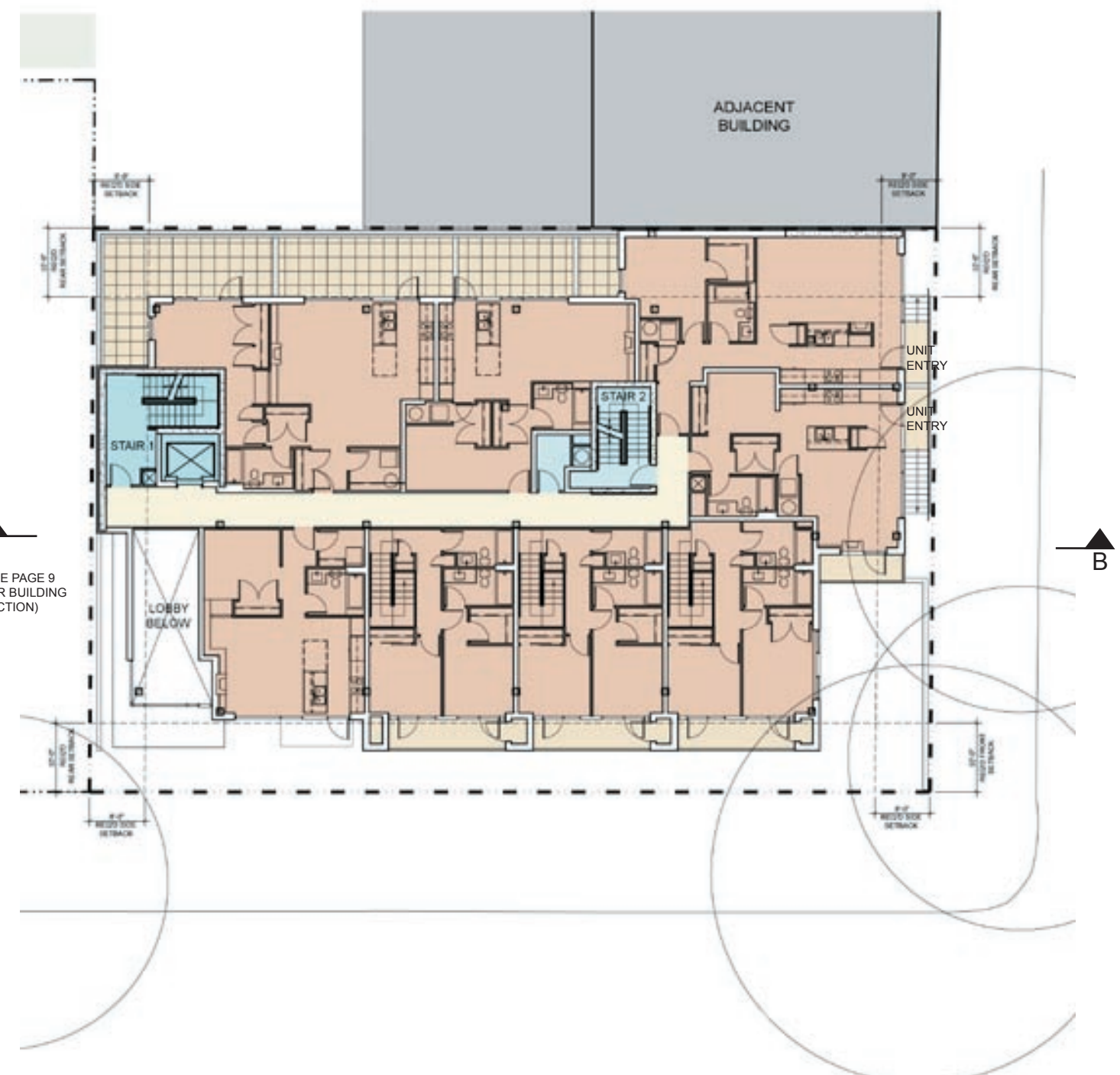
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A (SEE PAGE 9
FOR BUILDING
SECTION)

A (SEE PAGE 9
FOR BUILDING
SECTION)



Level L1 Floor Plan



Level L2 Floor Plan



LEVEL L1 & L1 FLOOR PLANS

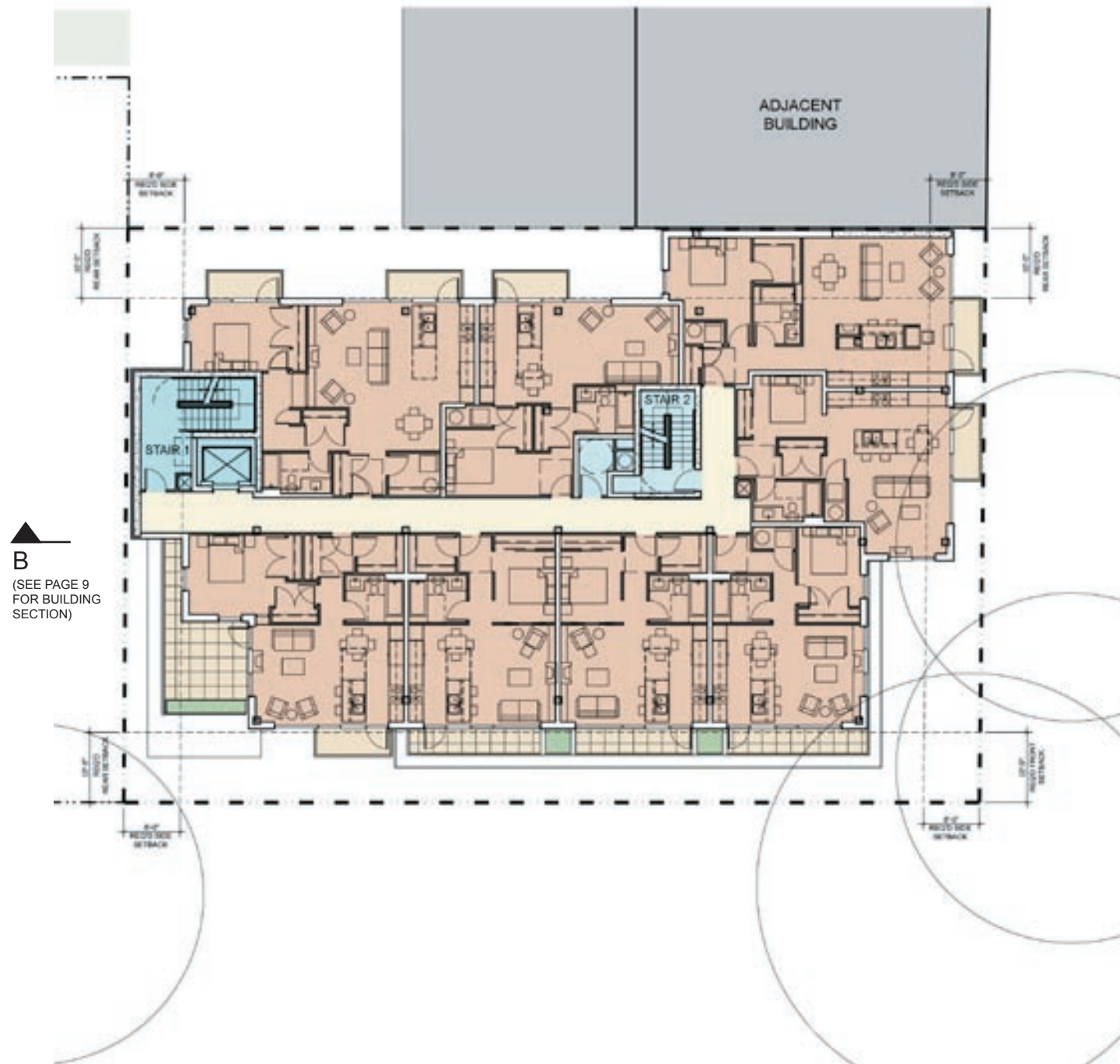
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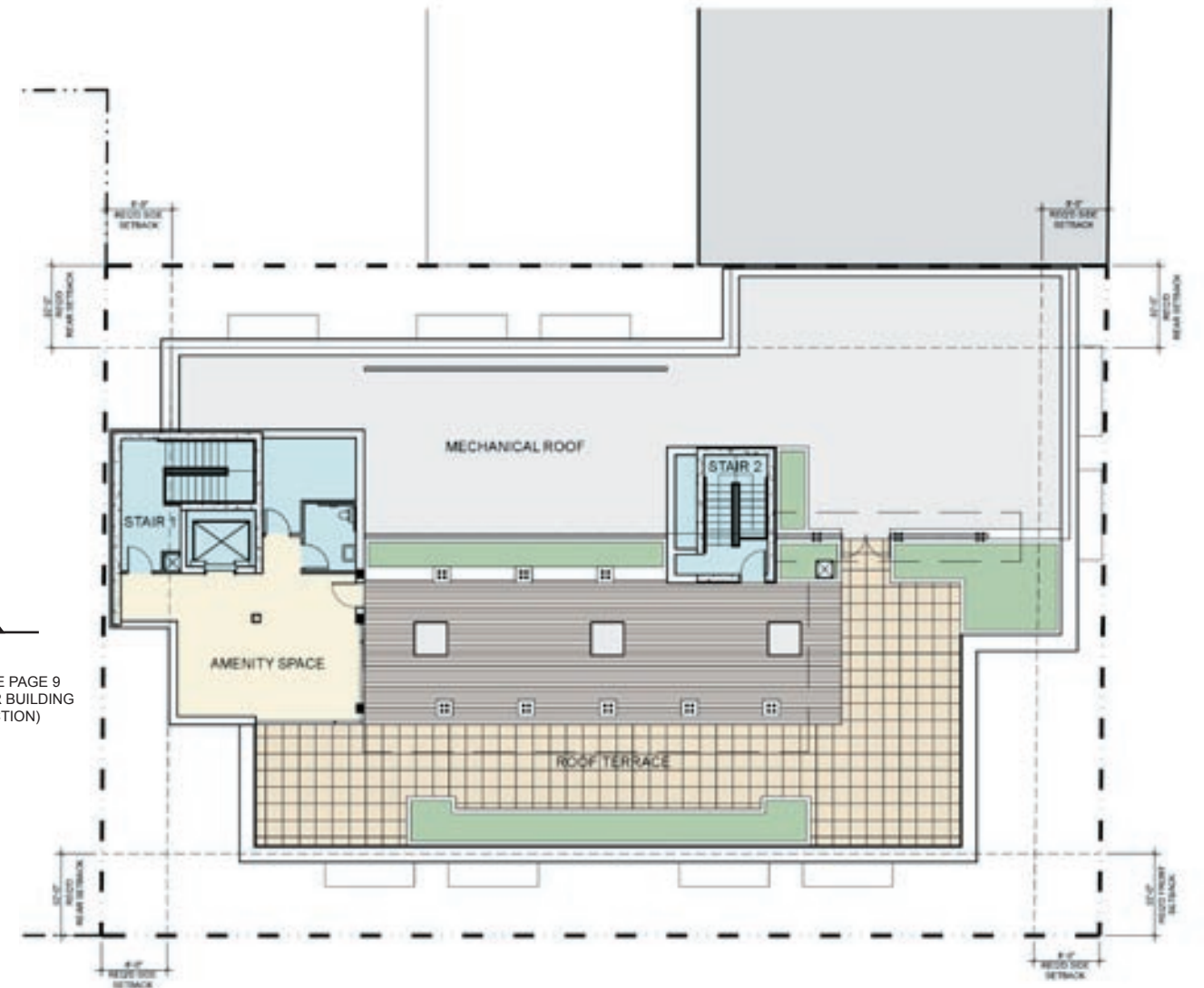
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SECTION)

A (SEE PAGE 9
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SECTION)



Level L3 & Typical Floor Plan



Roof Level Floor Plan



TYPICAL FLOOR & ROOF PLAN

500 BELMONT
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West Elevation



South Elevation





East Elevation



North Elevation



LEVELS L4-6 & ROOF FLOOR PLAN

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PERSPECTIVE FROM BELMONT & REPUBLICAN

500 BELMONT
SEATTLE, WASHINGTON





Building Facade along Belmont Avenue



Residential & Vehicular Entrances

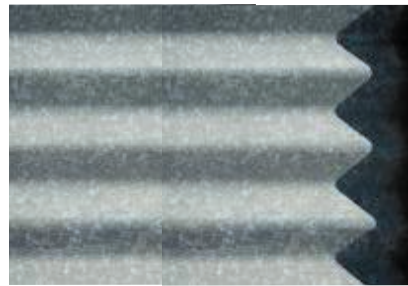


Ground-Related Unit Facade Along Belmont Avenue



Bench and Planted Area at Belmont Avenue & E. Republican Street





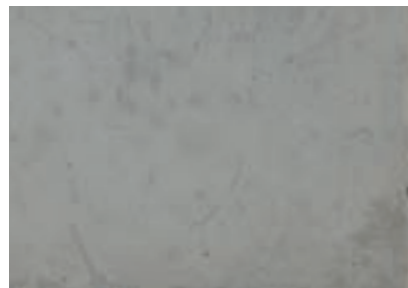
Corrugated Metal Siding
(Elevator/Stair Core)



Aluminum Storefront & Windows



Limestone
(Lobby Walls)



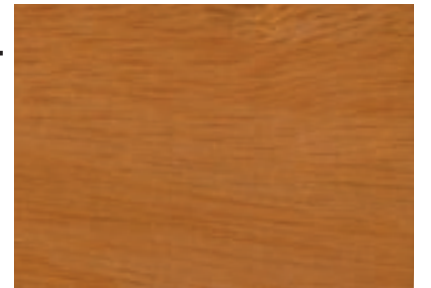
Cast-in-Place Concrete - Smooth &
Board-Formed



Partial Rendered Elevation



Masonry - 'Amber Rose'
(Main Building Mass)



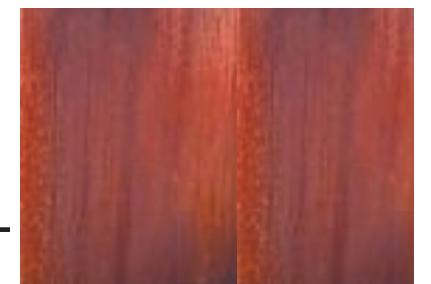
Wood Slat - Clear-Stained Cedar or
Hardwood



Masonry - 'Mauna Loa'
(Townhouses)



Masonry Accent - 'Chestnut'
(Townhouses)

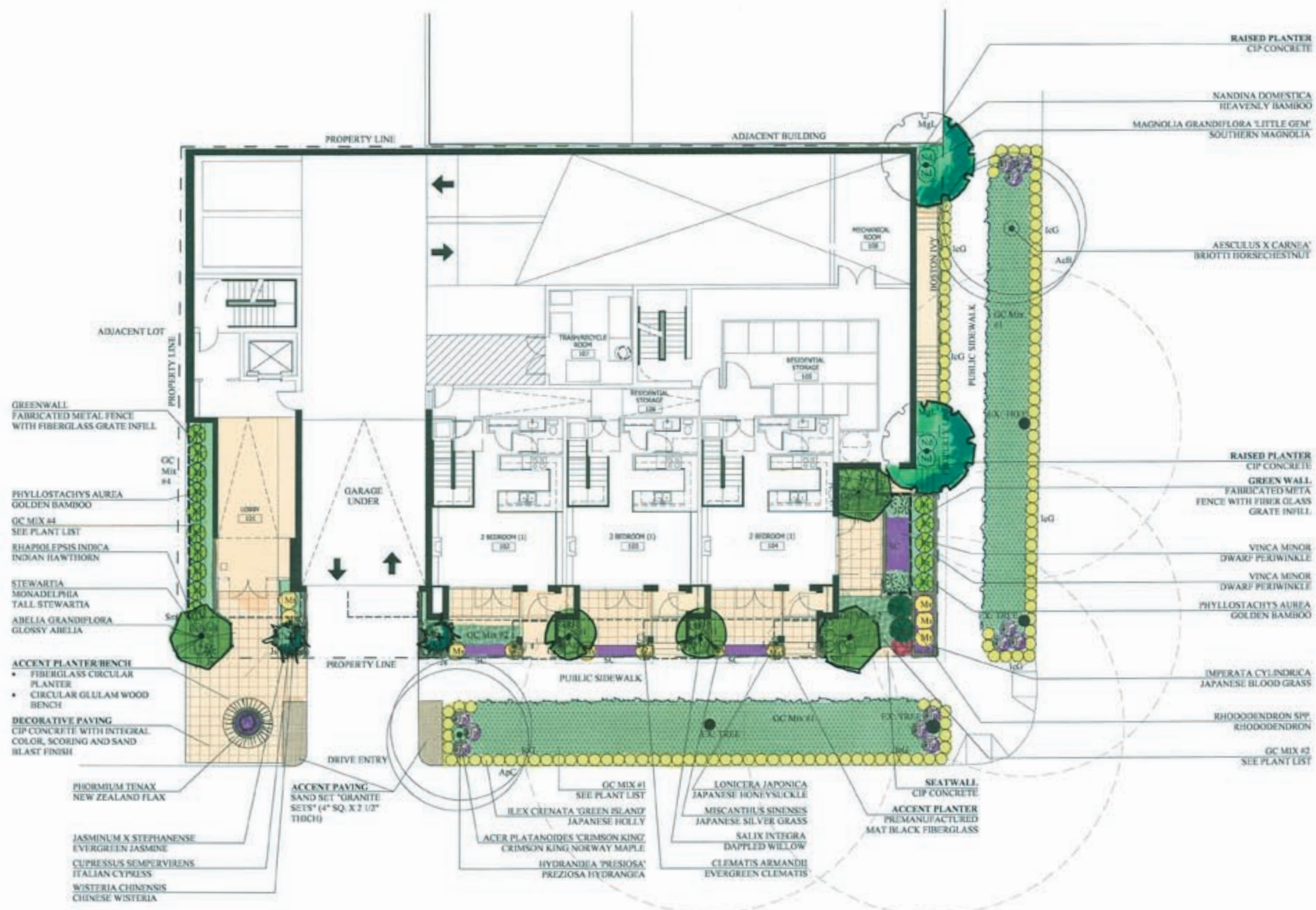


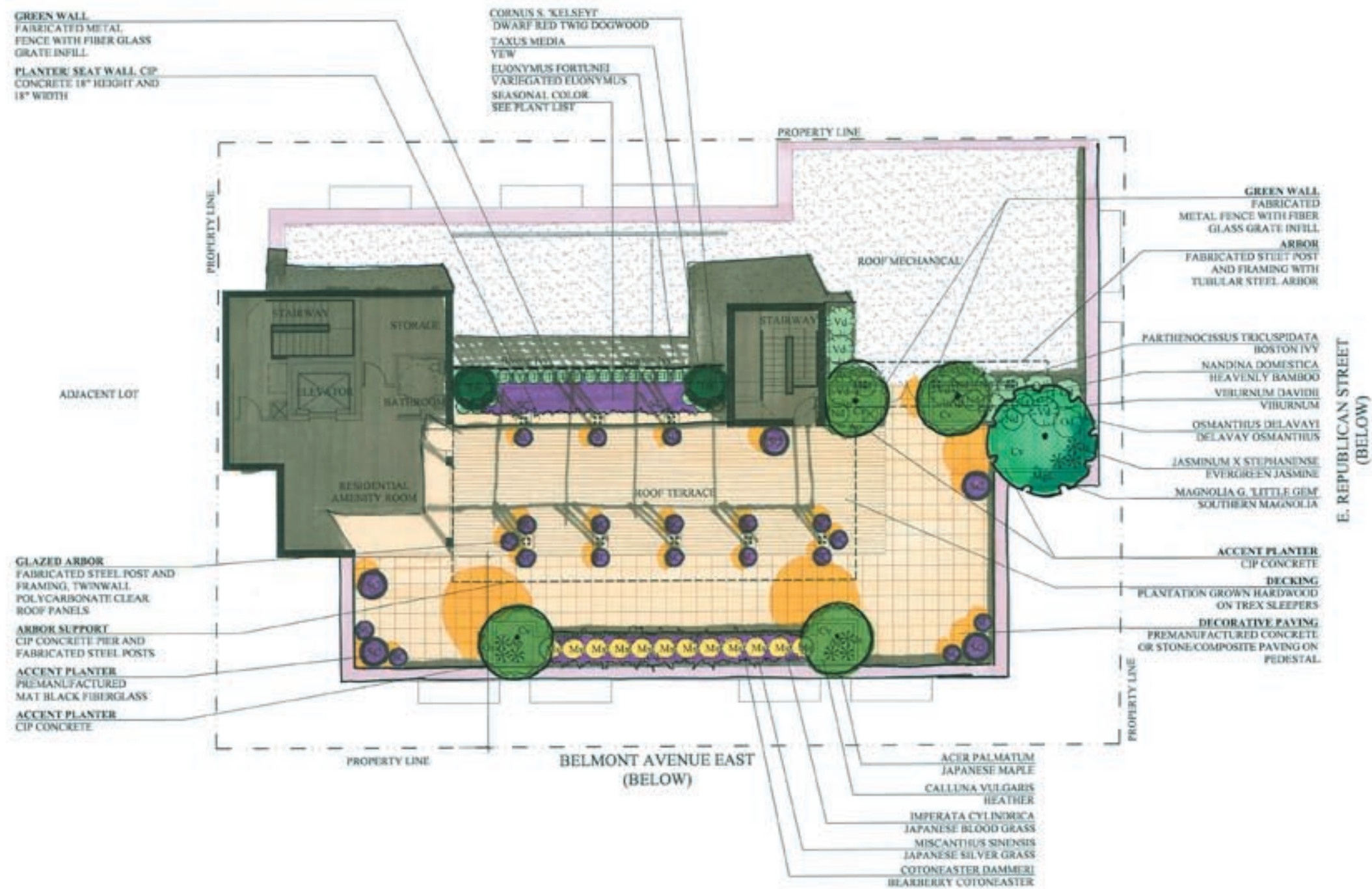
Steel
(Planters)

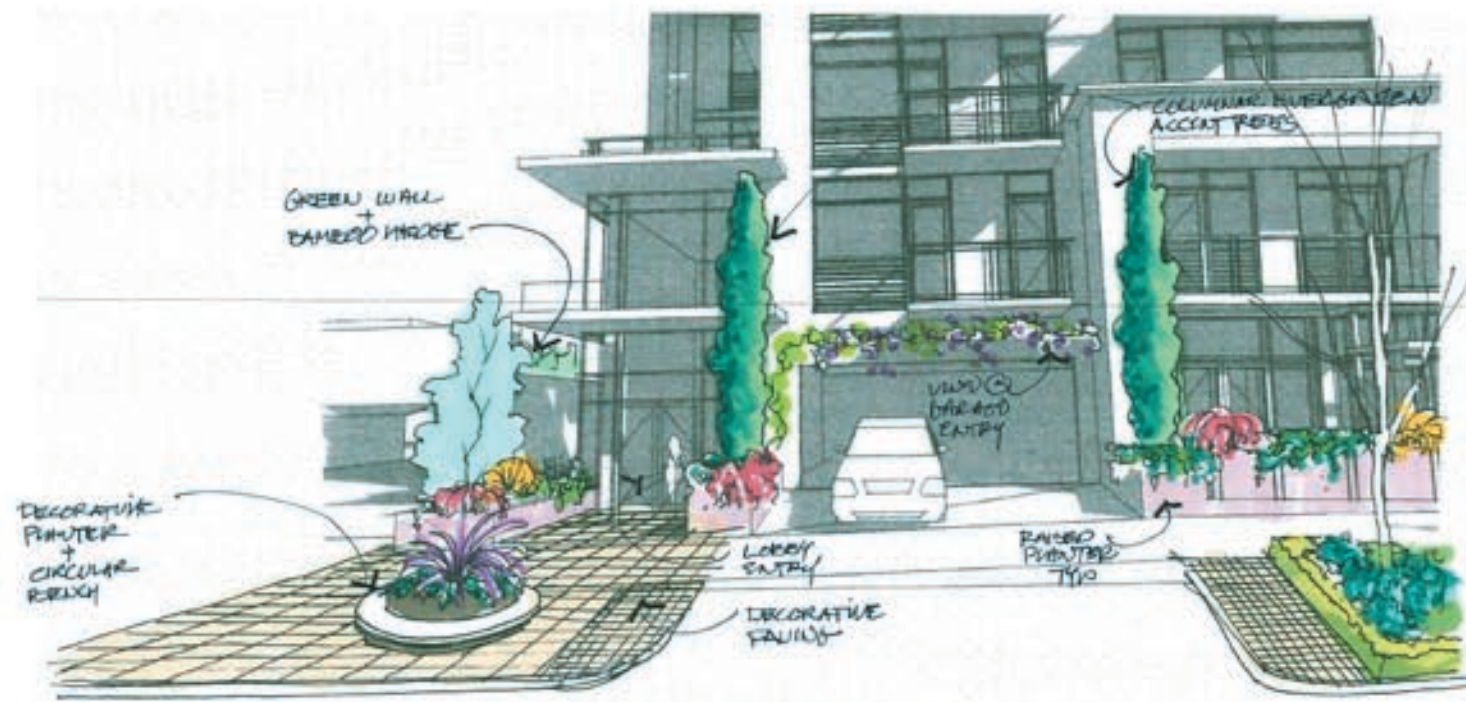


PROPOSED MATERIALS

500 BELMONT
SEATTLE, WASHINGTON







VIEW LOOKING EAST AT BELMONT AVENUE EAST - LOBBY AND GARAGE ENTRY



VIEW LOOKING EAST AT BELMONT AVENUE EAST- STREET LEVEL AT GROUND LEVEL RESIDENTIAL ENTRIES

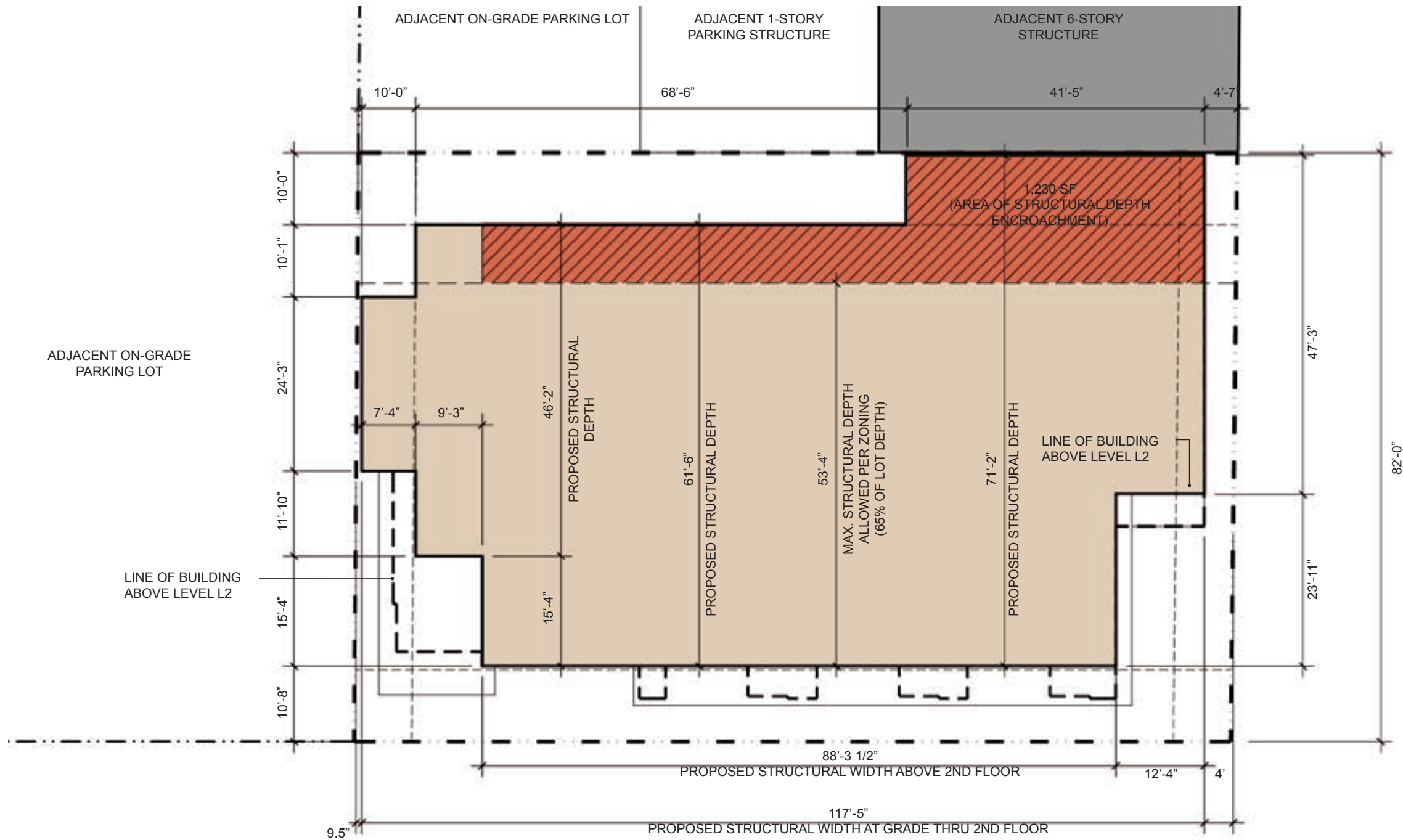


CORNER OF BELMONT AVENUE EAST AND EAST REPUBLICAN STREET



BIRD'S EYE VIEW - CORNER OF BELMONT AVENUE EAST AND EAST REPUBLICAN STREET





Requested Zoning Departures: (refer to page 4)

Departure 1: 23.45.052A Structural Width

The proposed building mass exceeds the allowed structural width.

Design departure request for an increase in allowable length before modulation along the front facade from 40'-0" to 100'-8 1/2" maximum. The proposed building mass is articulated through the change in depth at the base of the building, the 2-story, ground level accessible units (modulated with 5' deep recesses between piers) and the corner setback. The main portion of the mass will utilize balconies and large overhangs to add relief and modulation over the length of the facade. Materials with varied color and texture will add to the sense of depth and modulation.

Departure 2: 23.45.052B Structural Depth

The proposed building mass exceeds the allowed structural depth.

Design departure request for an increase in allowable structure depth from 53'-4" to 71'-2" max. on lots 5 & 6 for additional 6,750 SF of building area over 6 floors. The additional depth is proposed in response to the sites unique context having an adjacent zero-lot line condition and 2 street facing facades. The additional depth also allows for a central core and double-loaded corridor not possible with the 53'-4" depth allowed.

Departure 3: 23.45.054 Front Modulation

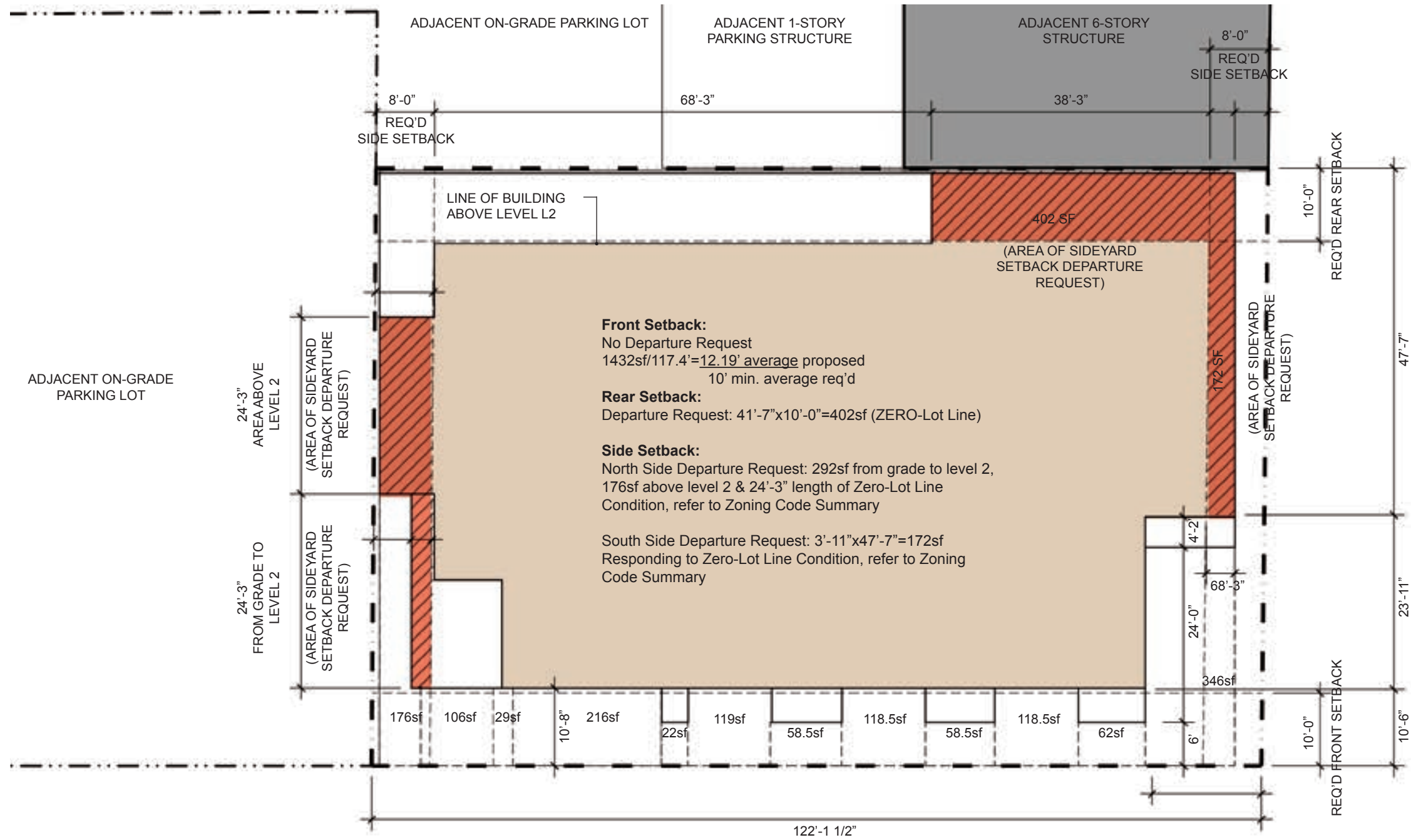
The proposed building mass exceeds the 40' maximum length allowed before modulation along the front property line (Belmont Avenue).

Refer to Departure 2 above.



STRUCTURAL WIDTH & DEPTH DEPARTURE ANALYSIS

500 BELMONT
SEATTLE, WASHINGTON



Requested Zoning Departures: (refer to page 4)

Departure 4: 23.45.056B Rear Setback Requirements

The proposed building mass exceeds the setback requirements outlined for the rear setbacks.

Design departure request for a decrease in the rear setback requirement from 10'-0" to 0'-0" for a length of 41'-7".
 The adjacent 6-story building does not set back from its property line and presents a blank wall adjacent to our site.
 The proposed building responds to the precedent set by the adjacent building by extending to the property line to meet it.

Departure 5: 23.45.056C Side Setback Requirements

The proposed building mass exceeds the setback requirements outlined for the side setbacks.

Design departure request for a decrease in the average side setback requirement at the north from 10.5' to 8.64' and a zero-lot line condition for 24'-3" and at the south side a decrease to 4'-7" for a length of 47'-3". The reduction in the side setback average allows for the building core to be located in a position that allows for the potential future incorporation of the adjacent property into this development. The zero-lot line condition created will not hinder the development of the adjacent property as it can not be developed beyond its current use. The request at the south responds to the blank wall of the adjacent property and is in addition to the rear setback departure referenced above.

Note: Square footages shown in front yard setback indicate areas used in calculating front setback.



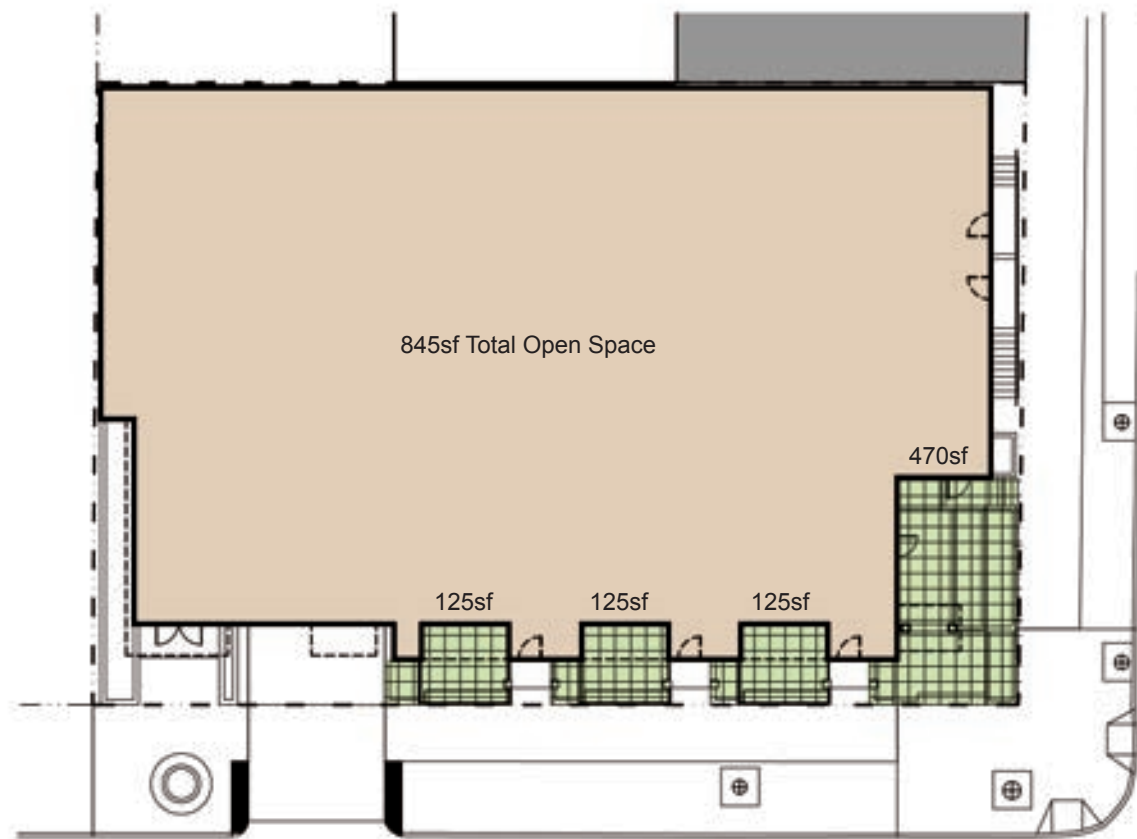
SETBACK DEPARTURE ANALYSIS

500 BELMONT
 SEATTLE, WASHINGTON

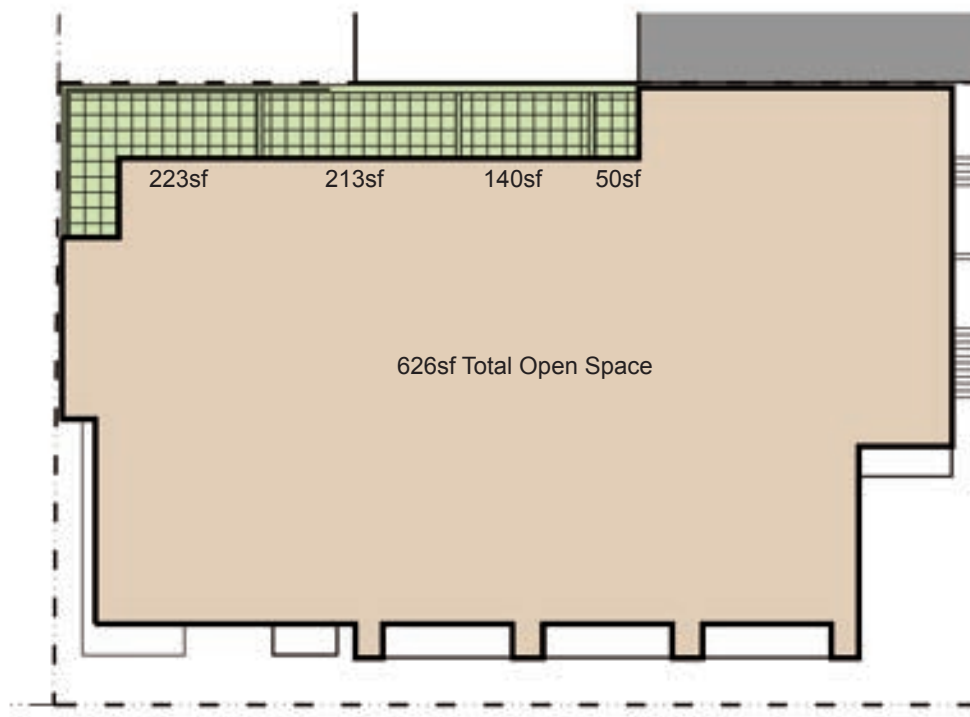


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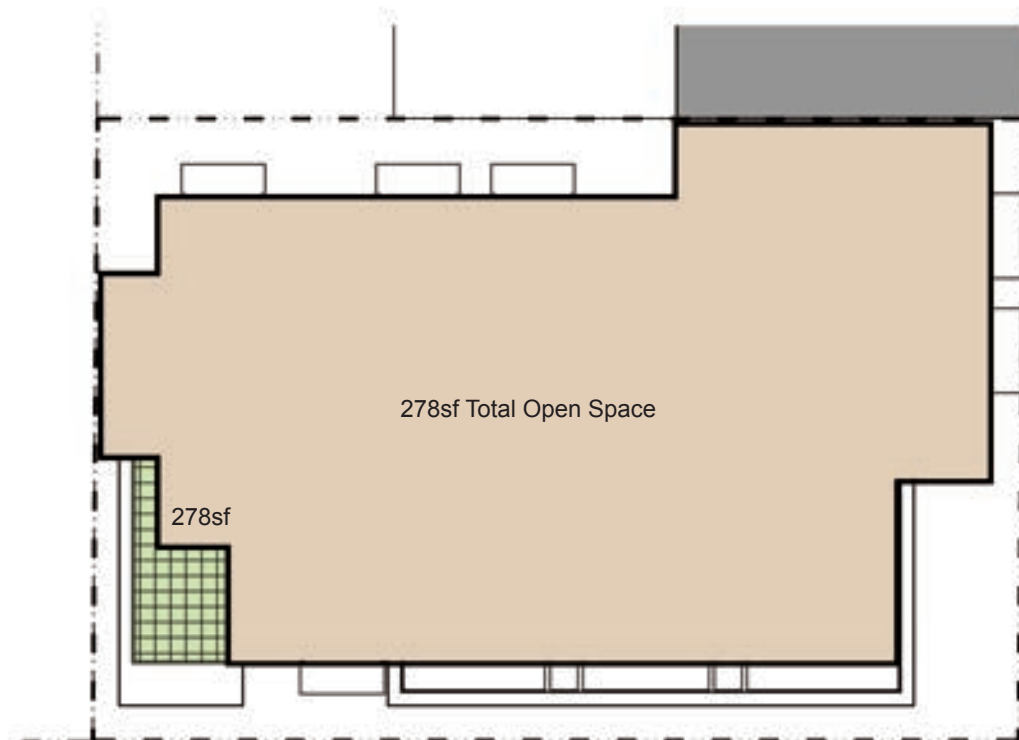
February 2008



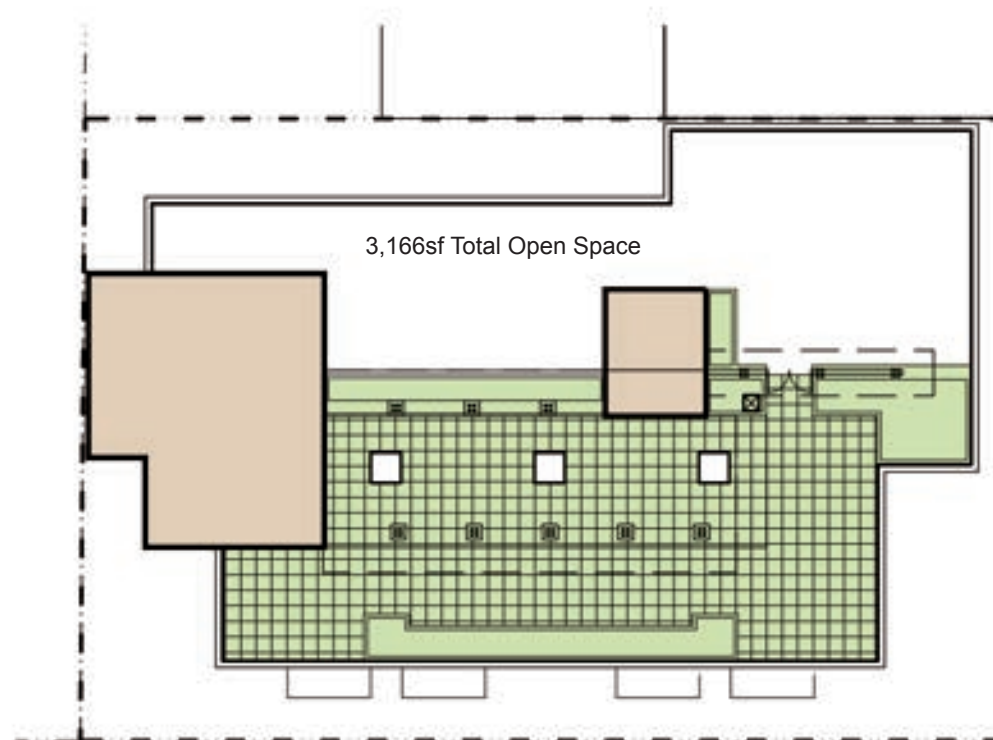
GROUND LEVEL



LEVEL 2 (AT GRADE)



LEVEL 3



ROOF LEVEL

Requested Zoning Departures: (refer to page 4)

Departure 6: 23.45.058 Open Space Requirements

The proposed project does not provide the minimum open space required at grade.

Design Departure request for a decrease in the required 2/3 of open space to be at grade (2005.2sf) to 1/2 of open space required (1471sf). The open space at grade is made up of areas that are visually accessible to the public as well as in the case of the corner planted area, become a public amenity. The square footage not provided at grade (536.2sf) will be provided on the roof level of the building. This roof level terrace (3166sf), in itself larger than the total required open space, will utilize a combination of built-in planters with seat walls, large potted plants and trees, and trellis' to form space.

Open Space:

Required Open Space:
 Site Area x 30% = 10,026sf x 30% = **3007.8sf**

Required Open Space at grade:
 2/3 of required open space = **2005.2sf**

Proposed Open Space:
 Ground Level = **845sf**
 Level 2 = **626sf**
 Level 3 = **278sf**
 Roof Level = **3,166sf**
 Total = **4915sf**

Proposed Open Space at Grade = **1471sf**

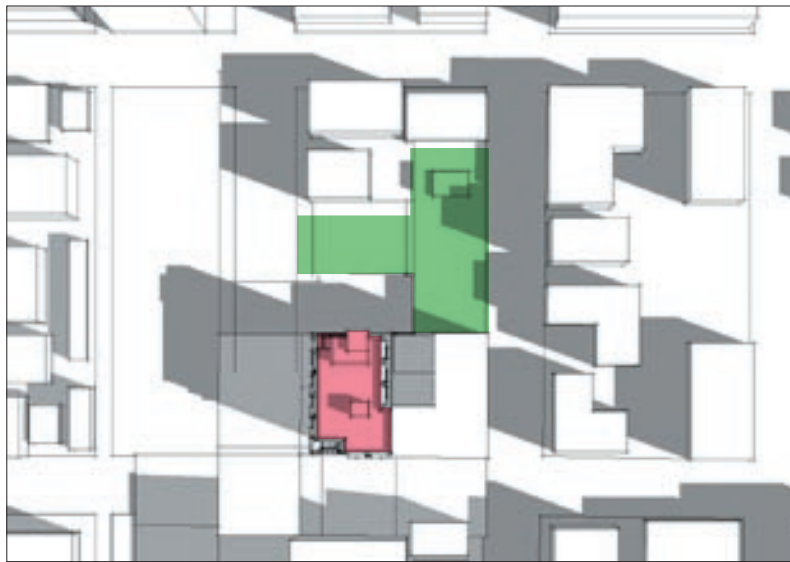
Departure Request:

Design Departure request for a decrease in the required 2/3 of open space to be at grade (2005.2sf) to 1/2 of open space required (1471sf).



OPEN SPACE

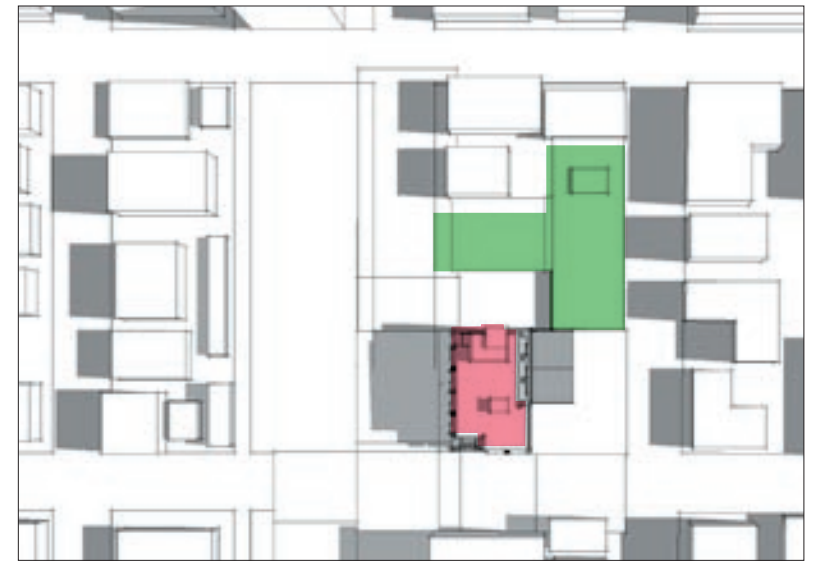
500 BELMONT
 SEATTLE, WASHINGTON



SEPT 8AM



DEC 8AM



JUNE 8AM



SEPT 12PM



DEC 12PM



JUNE 12PM



SEPT 4PM



DEC 4PM



JUNE 4PM



SHADOW ANALYSIS (ON TASHKENT PARK)

500 BELMONT
SEATTLE, WASHINGTON



February 2008