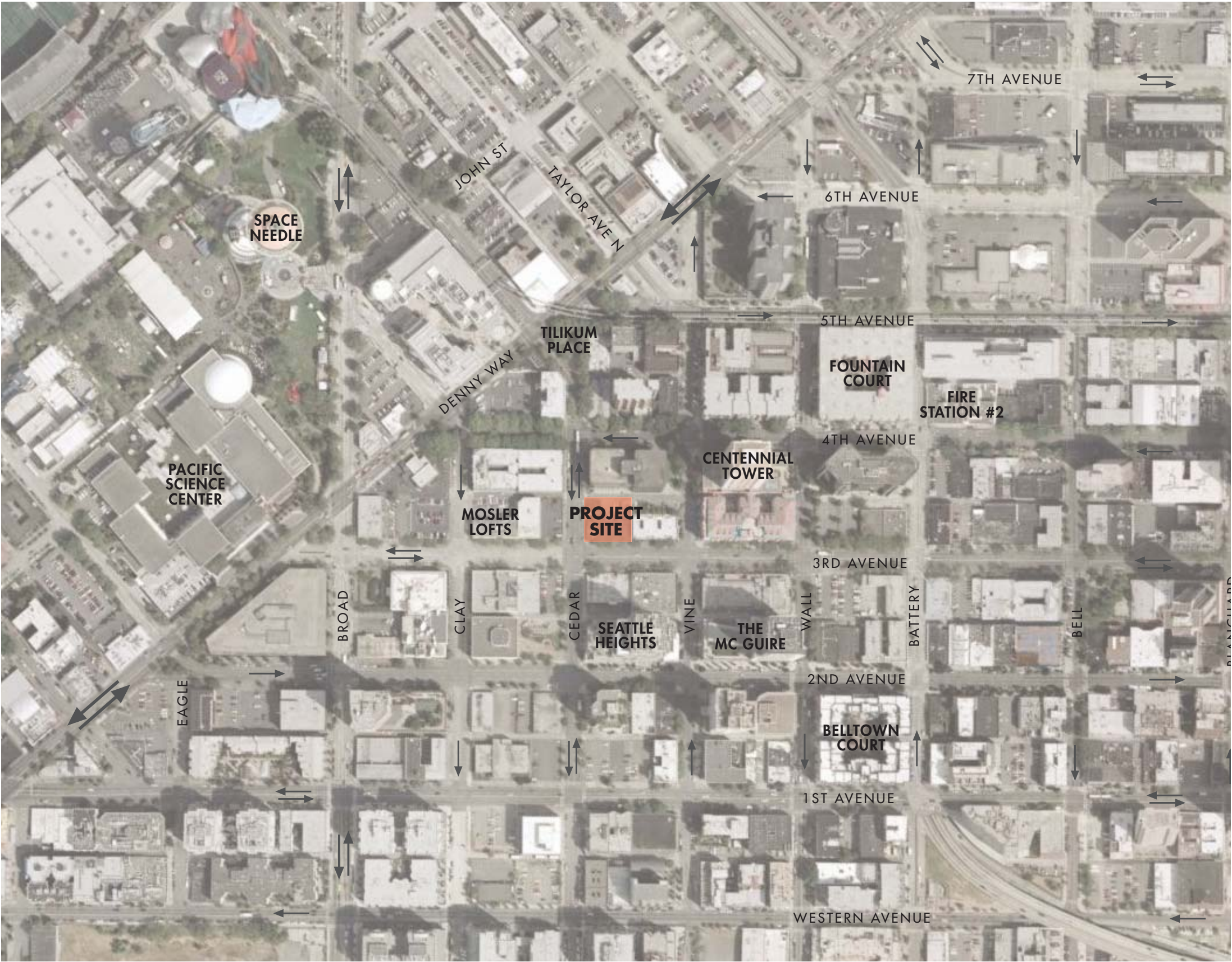


2612 3rd Avenue – Design Review Board Meeting
May 6, 2008
DPD #3006557

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View from project site looking northeast along Cedar Street.

The proposed building at 2612 3rd Avenue would be mixed use residential with one level of retail at street level, apartments above and three levels of parking below grade. Overall design objectives for the project are to respond to the massing of the icon buildings to the northeast and south, and complement the setback of the adjacent building on Cedar Street. A major goal of the project is to enhance the green street by providing more pedestrian activity and an improved connection to Tilikum Place with the statue of Chief Seattle, which is on the National Historic Register.

APPROXIMATE DEVELOPMENT GOALS	
<i>number of residential units</i>	185
<i>amount of commercial square footage</i>	3,000
<i>number of parking stalls</i>	82

↔ TRAFFIC FLOWS



Seattle, Chief of the Suquamish statue

As illustrated in this diagram, the project site is a short walk from the Seattle Center and Olympic Sculpture Park. It is at the intersection of two transit streets that serve six METRO bus routes and is in close proximity to bus stops that serve other routes. Many residential units at the proposed building will have views of the Space Needle, Elliott Bay and the Olympic Mountains.

The project site offers a great opportunity to enhance the pedestrian environment and activate the Cedar Street as a Green Street, while improving the connection to Tilikum Place.

LEGEND

PROJECT SITE

PUBLIC PARKS

3RD AVE BUS ROUTES

BUS STOPS

MONORAIL

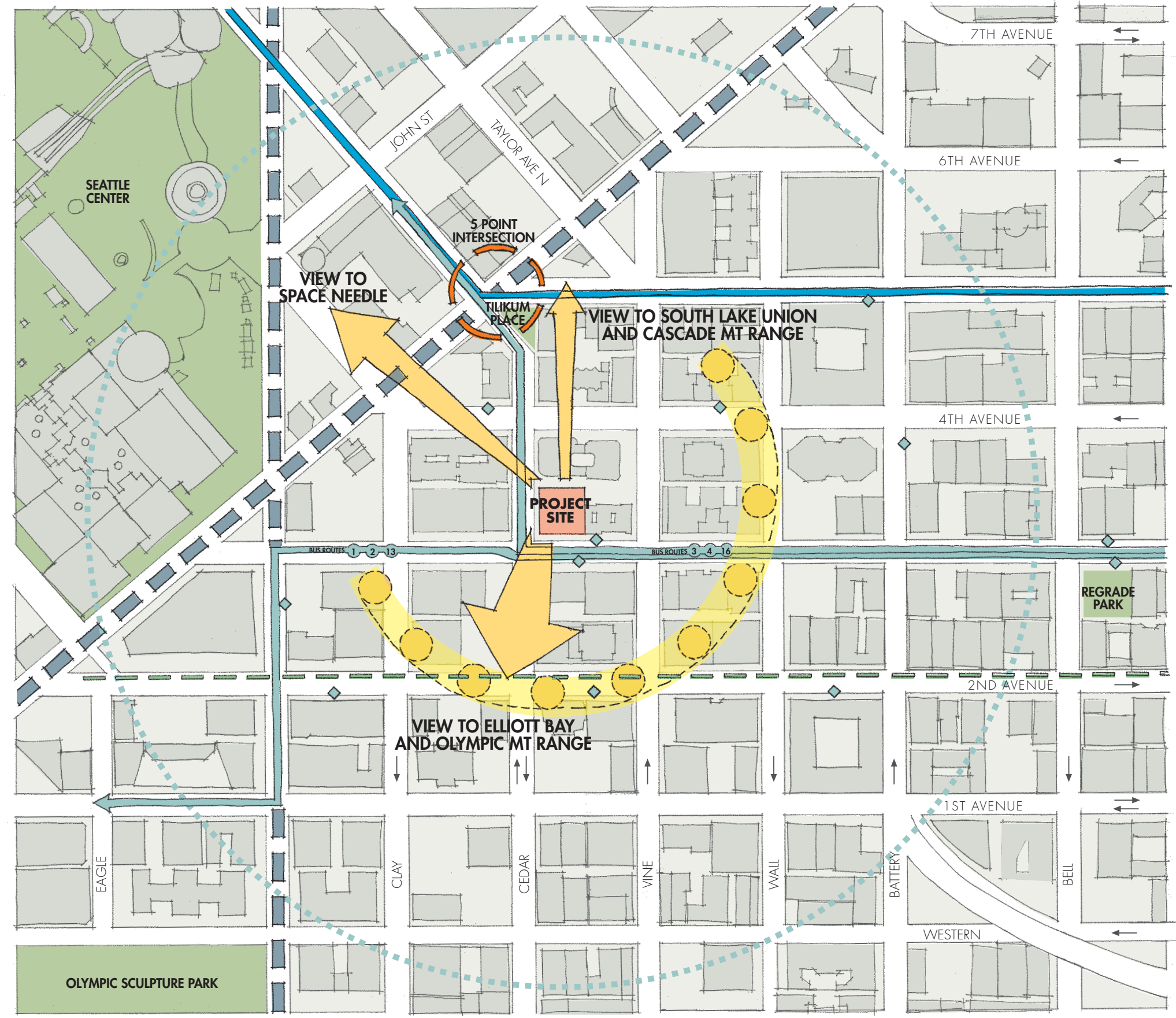
MAJOR THOROUGHFARES

BIKE LANE

SUN

POTENTIAL VIEWS

APPROXIMATE 5 MIN WALK

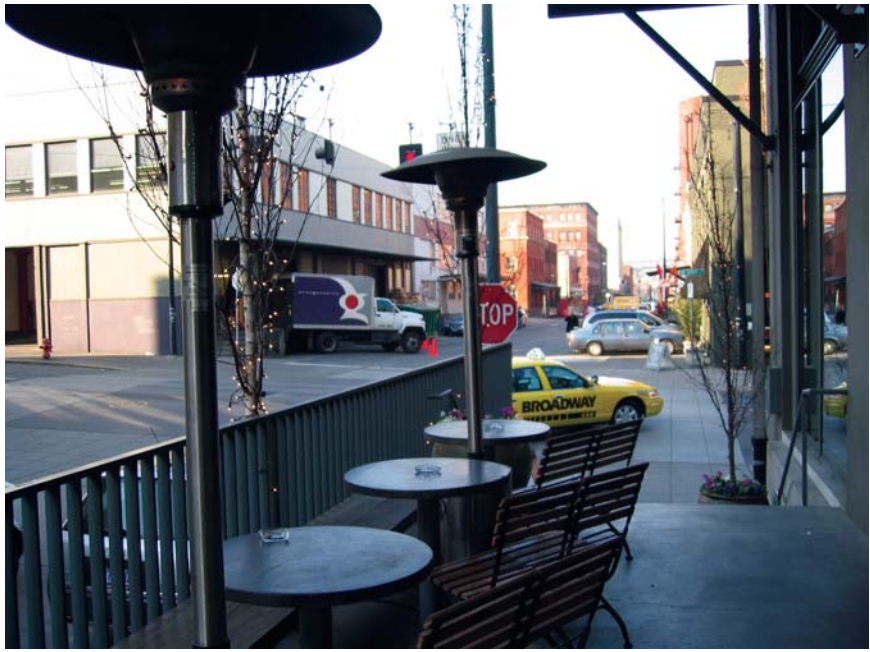




Tilikum Place



Building setback just north of project site.



Example of outdoor seating at the sidewalk.



Sycamore trees on Cedar Street east of the project site.



Bus stop at 3rd Avenue and Vine Street.

Belltown has an eclectic design character--the diverse mix of old and new buildings with a variety of architectural styles provides a great context for this site. While we strive to respond to many, if not all, of the applicable design guidelines for this project, those listed below have the most relevance for our proposed project. The following page includes a brief description of how this project responds to each Belltown Design Guideline.

HOT BUTTON ITEMS (from EDG #2)

Hot Button #1 - Departure from 23.49.153 - minimum lot size - site is zoned for 240' but minimum lot size restricts height to 125'

The departure results in a more slender tower; a setback at south façade resulting in glazing on that elevation; a lowered street wall (the code allowed base height is 65', our proposal has a base height of approx. 35'); additional non-built space at street level (8' setback at Cedar Street); and it provides a better transition between the 125' and 240' zones. While the proposal utilizes 35' above the 125' restriction due to lot size, the zoned potential of the site is 80' higher than what we propose. The proposal gives up building area at the lower levels to enhance the Green Street.

Hot Button #2 - Above-Grade Parking

Above grade parking has been eliminated from the project

PROPOSED DEPARTURES (current design)

Departure from 23.49.153 - Minimum lot size

See response to Hot Button #1

Departure from 23.49.162 - Street facade requirements - facade setback limits - no setback deeper than 2' shall be wider than 20'

This departure request is for a small portion of setback on Third Avenue (see page 24) that is 66" deep. The setback is interrupted by an angled projecting bay and the setback is landscaped at grade. The purpose of the setback is to create a change in plane that modulates the facade. The modulation allows the central two bays to be distinct vertically, from grade to the roof, contributing to a slender appearance of the tower.

Departure from 23.54.030 - Parking space standards - a min. of 60% of the parking spaces shall be striped for medium vehicles

The ratio of parking stalls to apartments is 0.44 stalls/apartment. This low ratio acknowledges the urban context of the project. Additionally, the project is encouraging car sharing by providing Zip Car stalls off the alley. Due to the medium stall width and aisle requirements, increasing the number of medium stalls would result in a decrease to the total number of parking stalls by approximately 15 stalls resulting in a parking ratio of 0.36 stalls/apartments.

A-1 Respond to the physical environment. Develop an architectural concept and compose the building’s massing in response to geographic conditions and patterns of urban form found beyond the immediate context of the building site.

The proposal acknowledges the contrast of the quiet, pedestrian scale of Cedar to the more bustling thoroughfare of 3rd Avenue. The widened sidewalk and Green Street enhancements along Cedar St. will provide a more park-like setting appropriate for the apartment entry and lobby, while allowing some spill-out retail or café to take advantage of the corner’s afternoon sun. Placing the majority of retail along Third Avenue will activate the street and provide retail opportunities for users of the multiple bus lines at the adjacent bus stop. To respect east/west views, the proposal has a setback along Cedar St.; a lowered building base height than allowed by code; and a tower that is narrower in the north/south direction. The proposal is configured to give residents views of the Space Needle, Elliot Bay, Lake Union (floors 8 and above), and the urban skyline of the Central Business District. The 3rd Avenue elevation has been developed to enhance the slender tower appearance by emphasizing the central portion of the tower and allowing it to rise uninterrupted from grade to roof line.

A-2 Enhance the skyline. Design the upper portion of the building to promote visual interest and variety in the downtown skyline.

The proposal includes a setback along Cedar St. that acknowledges the 125’ building height of Mosler Lofts and potential future 125’ tall buildings. Along 3rd Avenue the tower massing has been configured to enhance the slender appearance of the tower and potential future taller buildings. Currently, the dominant structures surrounding the project are the 90’ tall 4th & Vine office building, the 125’ Mosler Lofts, the 240’ Seattle Heights, the 240’ Sunset House, the 240’ McGuire, and the 240’ Centennial Tower. The 160’ height proposal allows for a better transition between the adjacent 125’ and 240’ zones while participating in the vibrant mix of styles and sizes characteristic of Belltown.

B-1 Respond to the neighborhood context. Develop an architectural concept and compose the major building elements to reinforce desirable urban features existing in the surrounding neighborhood.

A goal of the proposal is to provide amenities which enhance Belltown’s active pedestrian environment while establishing a compatible relationship with the nearby buildings. The proposals’ massing and street edges respond to Tilikum Place, Cedar Street Green Street and the 3rd Avenue bus stop. The proposed building massing has a setback from the adjacent Old Vine Court to create a more harmonious transition between the two buildings than the massing allowed by code. The setbacks along Cedar St. establish a stronger connection between the site and Tilikum Place park. The proposed setback at street level along Cedar enhances the pedestrian environment by providing added planting, site furniture, and connections to the retail/ café space. The size and location of retail spaces allows for a variety of tenants. The building base has a lower height than allowed by code making it more compatible in scale to the Old Vine Court and Watermarke buildings.

B-2 Create a transition in bulk & scale. Compose the massing of the building to create a transition to the height, bulk, and scale of development in neighboring or nearby less intensive zones.

Response: Vertically, the two proposed setbacks at Cedar St. create a base, middle tower, and upper tower with distinct features that combine to form a cohesive mass. The proposed massing of the base creates a transition between the adjacent Old Vine Court and the proposed tower. Along Cedar St., the scale of the base responds to the Watermarke Apartment building and the 2770 4th Avenue Apartments. The upper setback which forms the middle tower relates to the adjacent Mosler Lofts. The upper tower provides a transition to the prominent 240’ towers on adjacent blocks. At the street level, the proposed setback allows for an expanded green street, common recreation area transition for the residential entry.

B-3 Reinforce the positive urban form & architectural attributes of the immediate area. Consider the predominant attributes of the immediate neighborhood and reinforce desirable siting patterns, massing arrangements, and streetscape characteristics of nearby development.

The scale, texture, and setback of the base relate to the adjacent Old Vine Court, the Watermarke, the 2770 4th Ave. Apartments, and Mosler Lofts. The elimination of the above grade parking (Hot Button #2) aids the base’s relationship to the precedent setting, aforementioned buildings by allowing fenestration to create a residential character to the façade.

B-4 Design a well-proportioned & unified building. Compose the massing and organize the publicly accessible interior and exterior spaces to create a well-proportioned building that exhibits a coherent architectural concept. Design the architectural elements and finish details to create a unified building, so that all components appear integral to the whole.

The elimination of above grade parking limits the proposed building’s visible uses to retail and apartments. The building is setback at Cedar Street to expand the Green Street, providing room for added planting, site furniture and residential common recreation area.

C-1 Promote pedestrian interaction. Spaces for street level uses should be designed to engage pedestrians with the activities occurring within them. Sidewalk-related spaces should be open to the general public and appear safe and welcoming.

The building setback and curb bulb at the corner provide an expanded Green Street at Cedar St. that allows for spill-out retail that can take advantage of afternoon sun. A change in paving occurs at the building setbacks to accentuate entries. The retail spaces vary in size and width and depth. The landscaping includes a variety of planting types and incorporates seating for small gatherings. Elements of the Green Street continue along 3rd Avenue to create a unified landscape for both of the projects’ street edges. The 3rd Ave. landscape and hardscape treatment contains elements similar to Mosler Lofts, thus helping unify adjacent blocks of 3rd Avenue.

C-2 Design facades of many scales. Design architectural features, fenestration patterns, and materials compositions that refer to the scale of human activities contained within. Building facades should be composed of elements scaled to promote pedestrian comfort, safety, and orientation.

In comparison to the existing condition or the site’s allowable massing, the setback at the building base provides a more comfortable Green Street and a wider corner to aid pedestrians. The concentration of landscaping and seating creates a unique pedestrian orienting corner.

C-3 Provide active—not blank— facades. Buildings should not have large blank walls facing the street, especially near sidewalks.

The proposed south setback of the tower and the elimination of above grade parking results in active, not blank facades.

C-5 Encourage overhead weather protection. Encourage project applicants to provide continuous, well-lit, overhead weather protection to improve pedestrian comfort and safety along major pedestrian routes.

Overhead protection is provided by a canopy for the portion of 3rd Avenue that is not setback beyond five feet. Additionally, the residential overhangs provide overhead protection at the corner. The setback at Cedar Street is beyond five feet, thus not requiring continuous overhead protection, however we provide a canopy above the retail, breaking the canopy between the retail and residential entries to insert landscaping that enhances the Green Street and provide a demarcation for residential entry.

C-6 Develop the alley facade. To increase pedestrian safety, comfort, and interest, develop portions of the alley façade in response to the unique conditions of the site or project.

The landscaping and masonry wrap the corner and continues along a portion of the alley. This corner also provides screening for Zip Car parking – providing easy access to the project’s residents and the rest of the community. The entrance to below grade parking is at the Southeast corner of the site to minimize vehicle/ pedestrian interaction. Trash receptacles are located inside the building. The alley façade employs forms, materials, and massing that are consistent with the other facades.

D-1 Provide inviting & usable open space. Design public open spaces to promote a visually pleasing, safe, and active environment for workers, residents, and visitors. Views and solar access from the principal area of the open space should be especially emphasized.

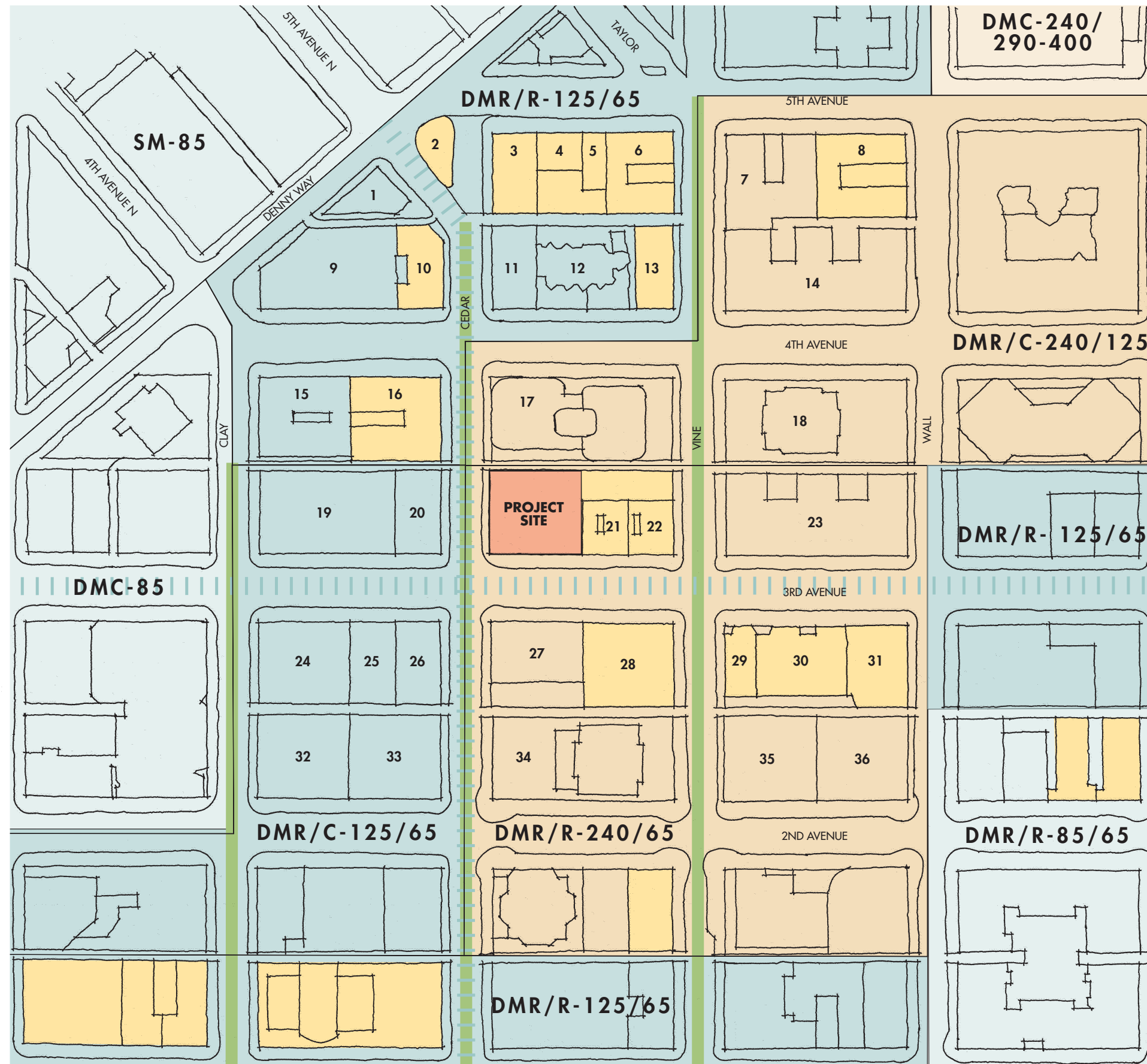
The proposed setback at Cedar Street allows for a retail tenant to provide outdoor seating that will receive afternoon sun. The Green Street enhancements include special paving, multiple and various landscaping beds and pots, seating/gathering spaces, and landscaped entry with seating. The setback at the Northwest corner of Level 2 and the Cedar St. setbacks at Level 4 create private terraces for the adjacent units. The Level 4 setback at the south creates common recreation patios associated with the proposed fitness center and two private unit patios. The upper level setback along Cedar St. creates three private terraces. The roof is being used as landscaped, common recreation area with unobstructed views of the Space Needle, views of Elliot Bay, Lake Union, and downtown urban skyline views to the south.

D-2 Enhance the building with landscaping. Enhance the building and site with substantial landscaping—which includes special pavements, trellises, screen walls, planters, and site furniture, as well as living plant material.

The proposal includes extensive Cedar St. Green Street enhancements (special paving, planting beds, planting pots, integrated seating), planting between private terraces and the Fitness Center terraces (see response to D-1), a roof deck with landscaping to help define seating areas, and 3rd Avenue landscape and hardscape treatments that respect both the Green Street and the sidewalk in front of Mosler Lofts.

D-3 Provide elements that define the place. Provide special elements on the facades, within public open spaces, or on the sidewalk to create a distinct, attractive, and memorable “sense of place” associated with the building.

The proposal includes a setback along Cedar St. and a corner curb bulb to extend the Cedar St. The Green Street enhancements include integrated seating near the corner to create a unique and orienting space. 3rd Avenue landscape and hardscape treatments continue the ideas of the Green Street.



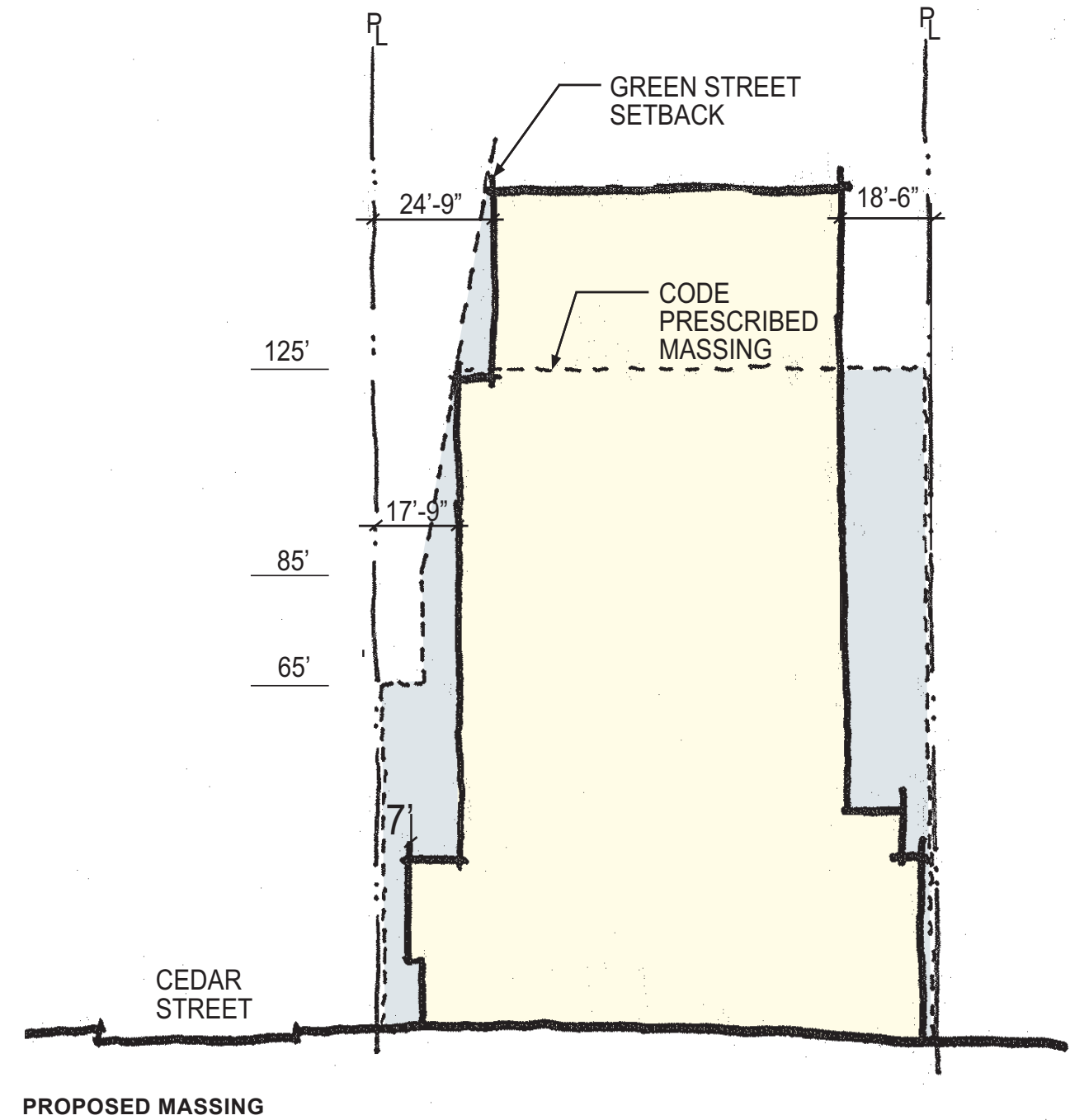
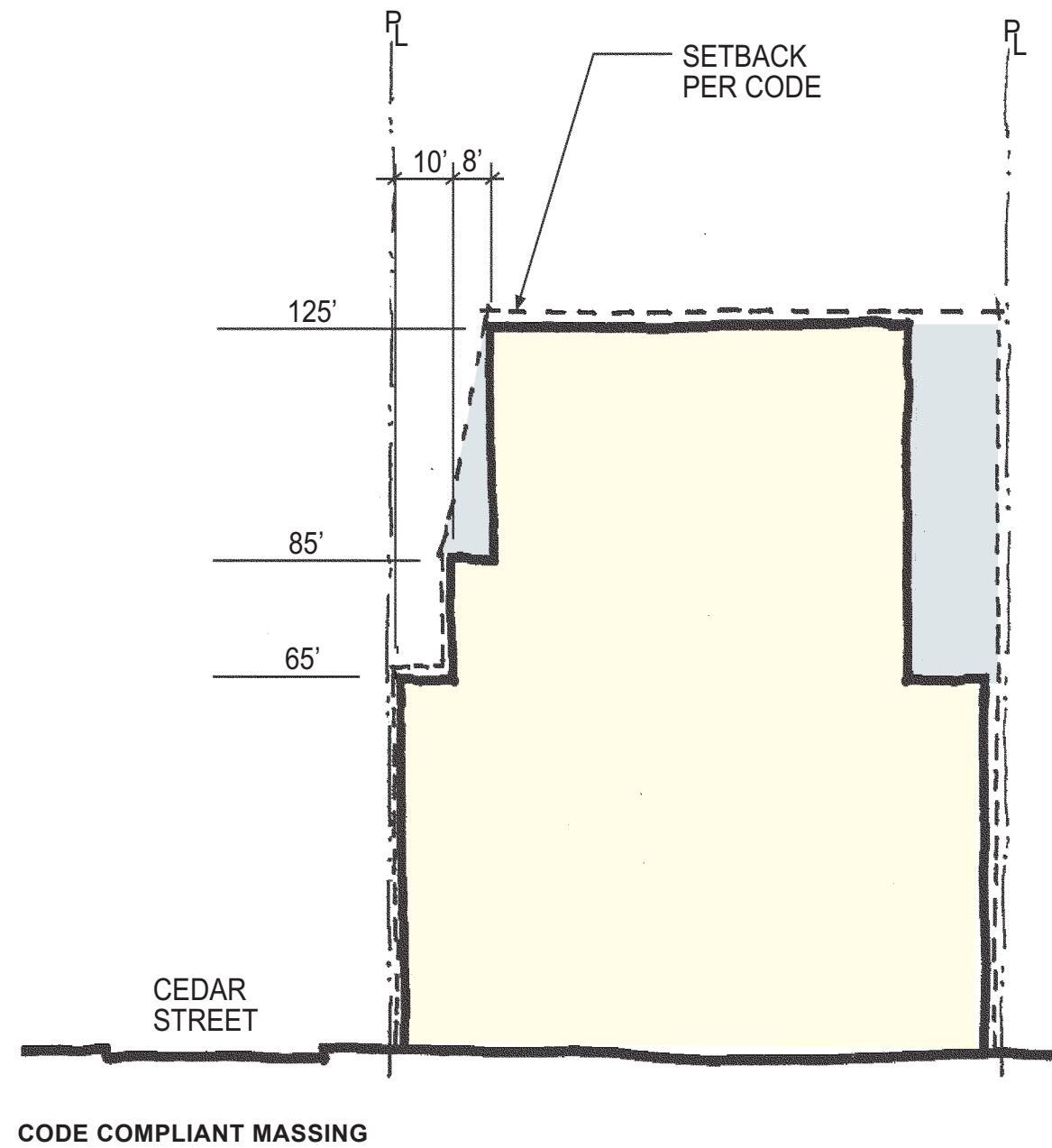
LEGEND

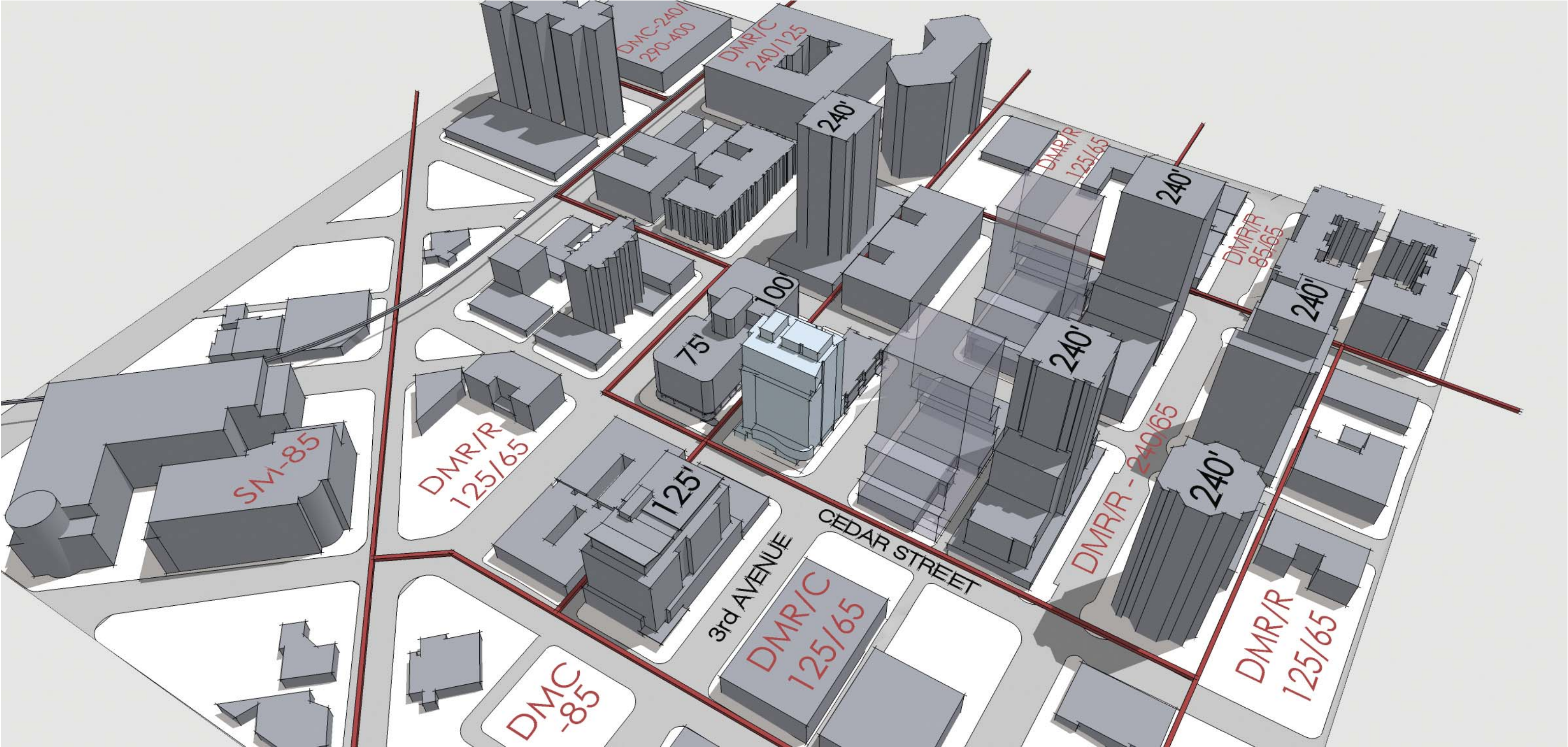
- PROJECT SITE**
- GREEN STREETS**
- TRANSIT STREETS**
- ICON/HISTORIC BUILDINGS***
- 400' MAX HEIGHT**
- 240' MAX HEIGHT**
- 125' MAX HEIGHT**
- 85' MAX HEIGHT**

* as identified in Belltown Design Guidelines

EXISTING NEARBY USES

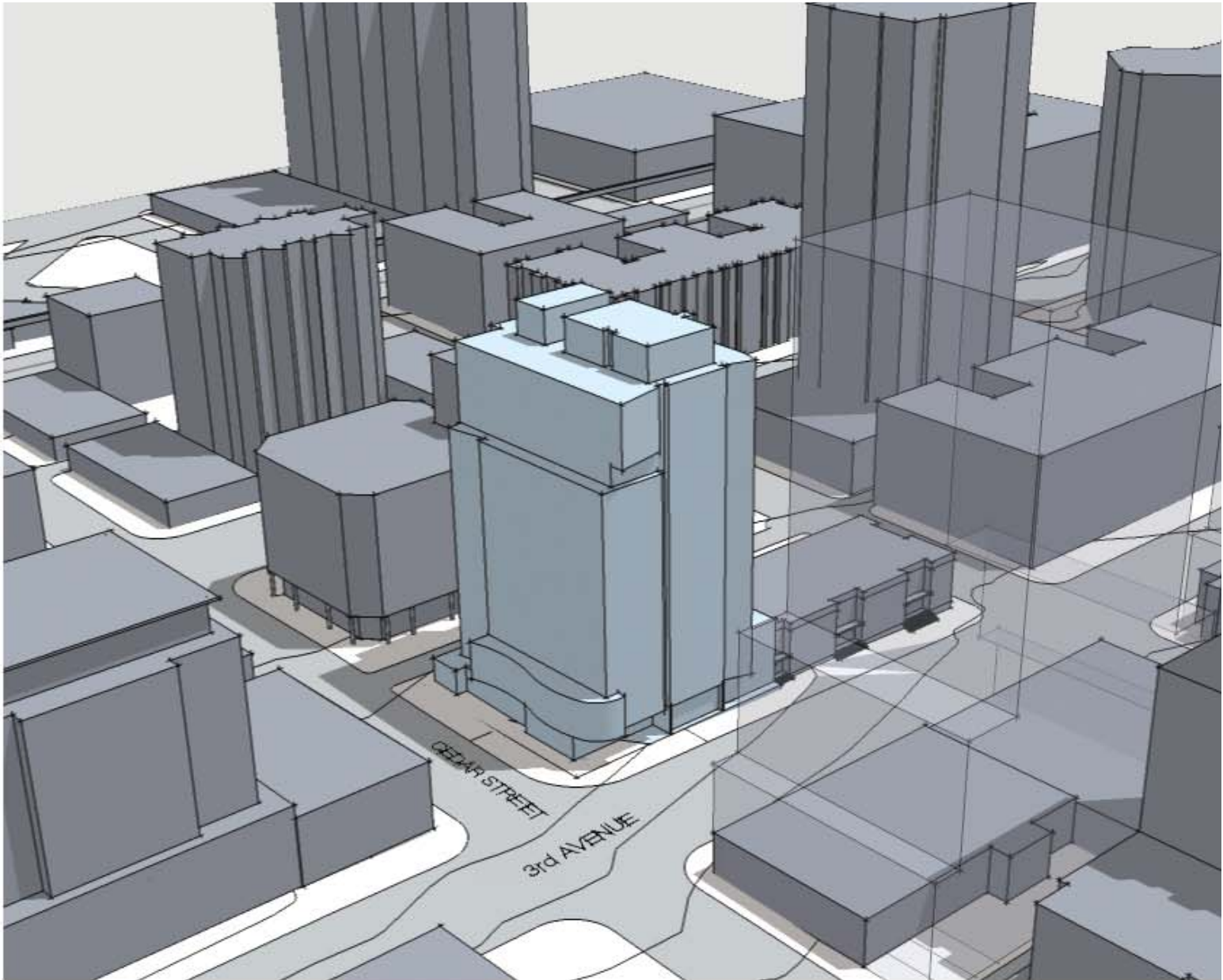
- | | |
|--|--|
| <p>1 Zeeks Pizza</p> <p>2 Tilikum Place
Chief Seattle Statue</p> <p>3 5 Point Café & Bar
5 Point Laundromat
Golden Singha (Restaurant)
Café Bella</p> <p>4 Edwards House (Residence)
Musa Design
Steve Fey Fine Arts Photography
G Force</p> <p>5 Northwest Business Telecommunications</p> <p>6 The Davenport (Apartments)</p> <p>7 Artisan Café
Rejuvenate
Montreux</p> <p>8 The Devonshire (Apartments)</p> <p>9 Parking</p> <p>10 2770 4th Ave. (Apartments)
Katie's Formal Wear</p> <p>11 Taco Delmar
Sublime Hair Salon
Bambino's East Coast Pizzeria</p> <p>12 Bayview Tower Apartments</p> <p>13 Stonecliff Apartments</p> <p>14 Medallion Imports Corp (Carpet)
Zeitoon (Cafe)
Fonte Micro Coffee Roaster
Sidney (Apartments)</p> <p>15 The Vermont Inn</p> <p>16 Watermarke at the Regrade</p> <p>17 John L. Scott Real Estate
Commercial Office Interiors
Thompson Team Real Estate</p> <p>18 Shallots Asian Bistro
The Framery (Framing)
Centennial (Apartments)
Boulangerie Nantaise (Bakery)
Rockin' (Restaurant)</p> | <p>19 Mosler Lofts</p> <p>20 Je Dunn Construction Company
Kroll Map Company, Inc</p> <p>21 Belltown Healing Arts
Belltown Chiropractic
Doria Reagan Ph. D
CP Uniforms</p> <p>22 Studio 2602 (Hair Salon)
William Collier Design
Rick Gustafson Design</p> <p>23 Emerald City Design (Interior Design)
Centennial Court
Belltown Video</p> <p>24 Grange Insurance Group</p> <p>25 New Horizons Ministries</p> <p>26 Diamond Parking</p> <p>27 American Lung Association</p> <p>28 Rite Aid</p> <p>29 Mosler Lofts Sales Center
Computer Resource Corporation</p> <p>30 West Air Communications/Nextel.</p> <p>31 Shoplite (Grocery)
Ltd Real Estate</p> <p>32 Grange Insurance Group</p> <p>33 Private Courtyard</p> <p>34 TRF Pacific, LLC
Real Property Investors, LLC
Le P'tit Bistro
Seattle Heights (Apartment)
The Home Office
International Kitchens</p> <p>35 Carpenters Local 131
Quint EBY Salon</p> <p>36 Urban Ease
Kinko's</p> |
|--|--|





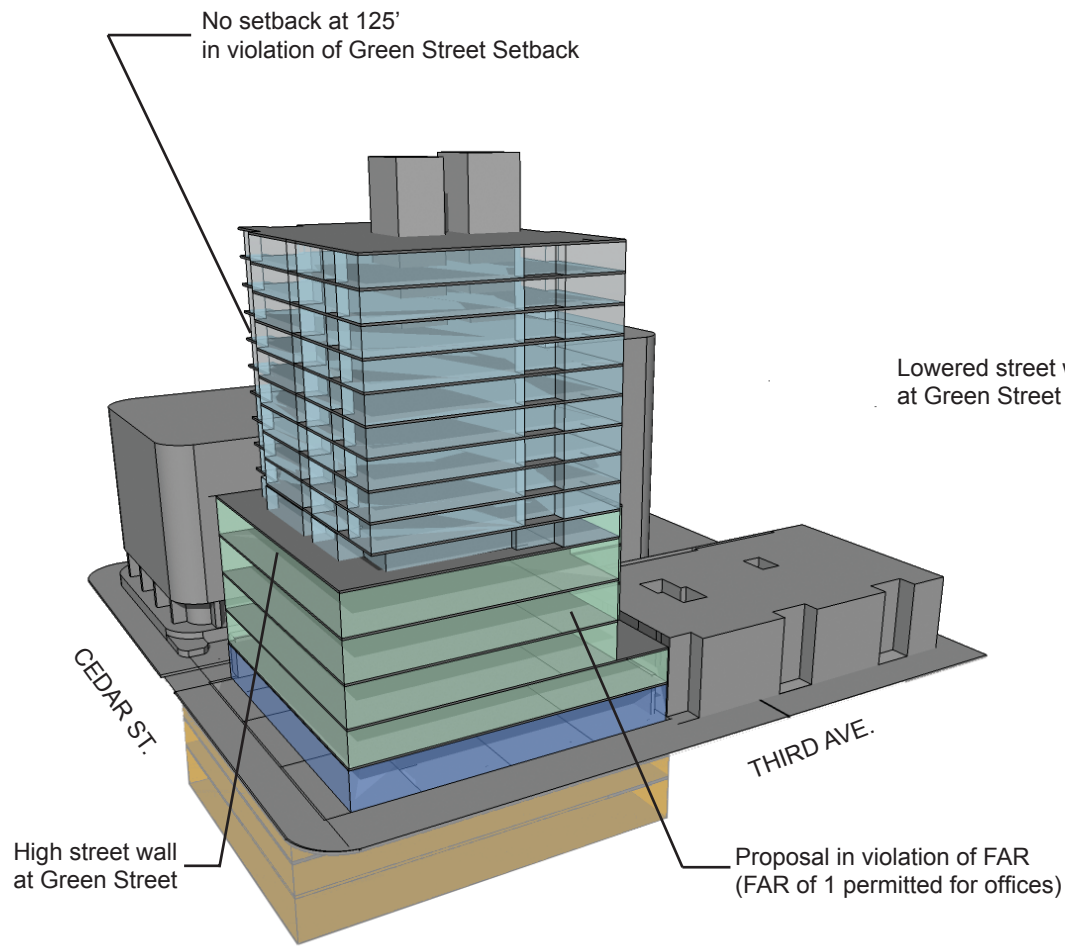


Code Prescribed Building Massing (shadows shown at 12:00pm June 22nd)

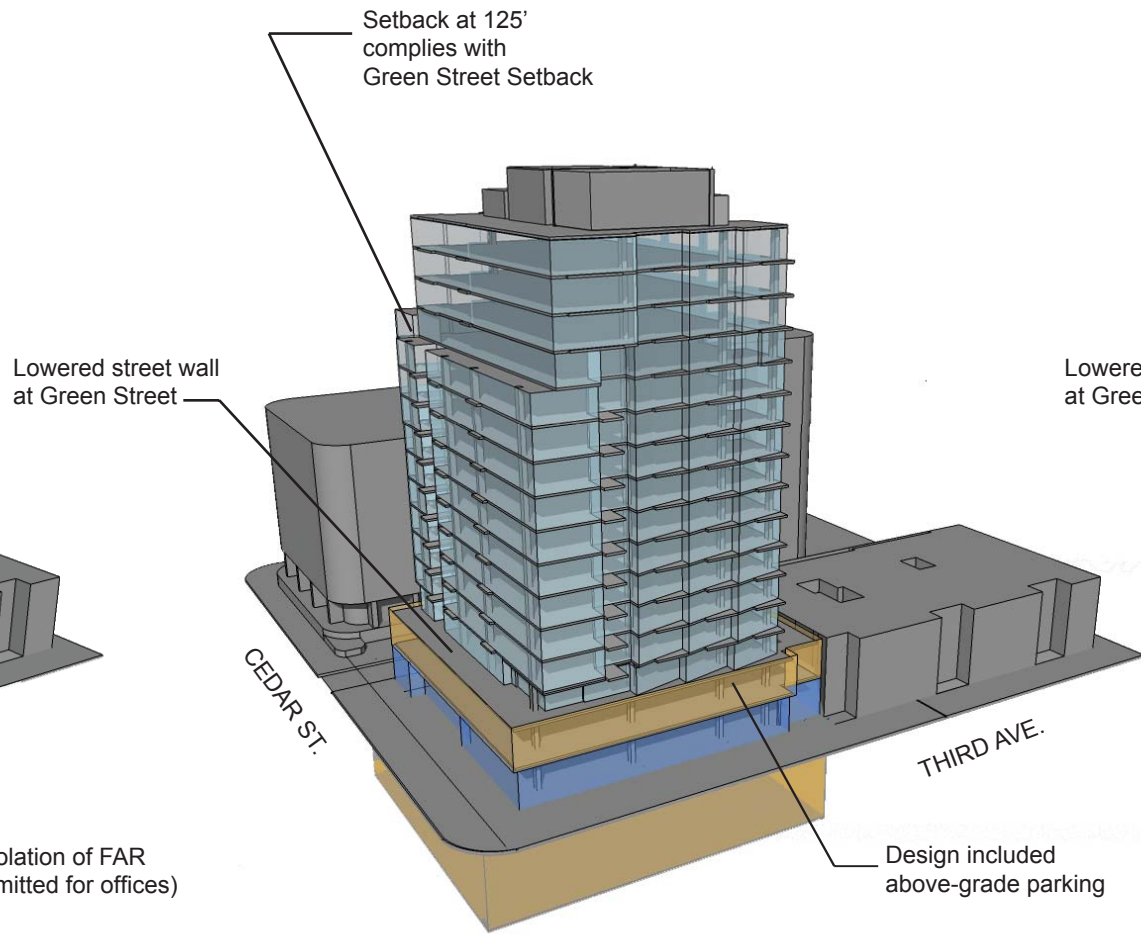


Proposed Building Massing (shadows shown at 12:00pm June 22nd)

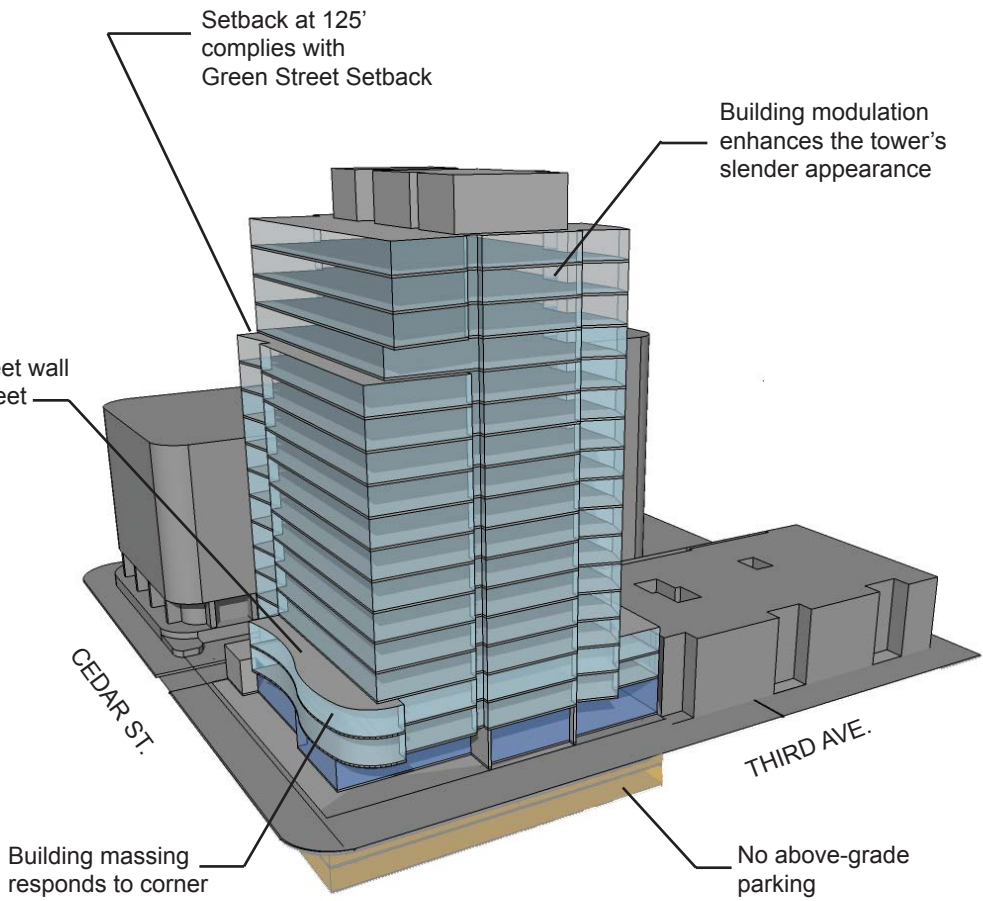
- = RESIDENTIAL
- = OFFICE SPACE
- = RETAIL SPACE
- = PARKING



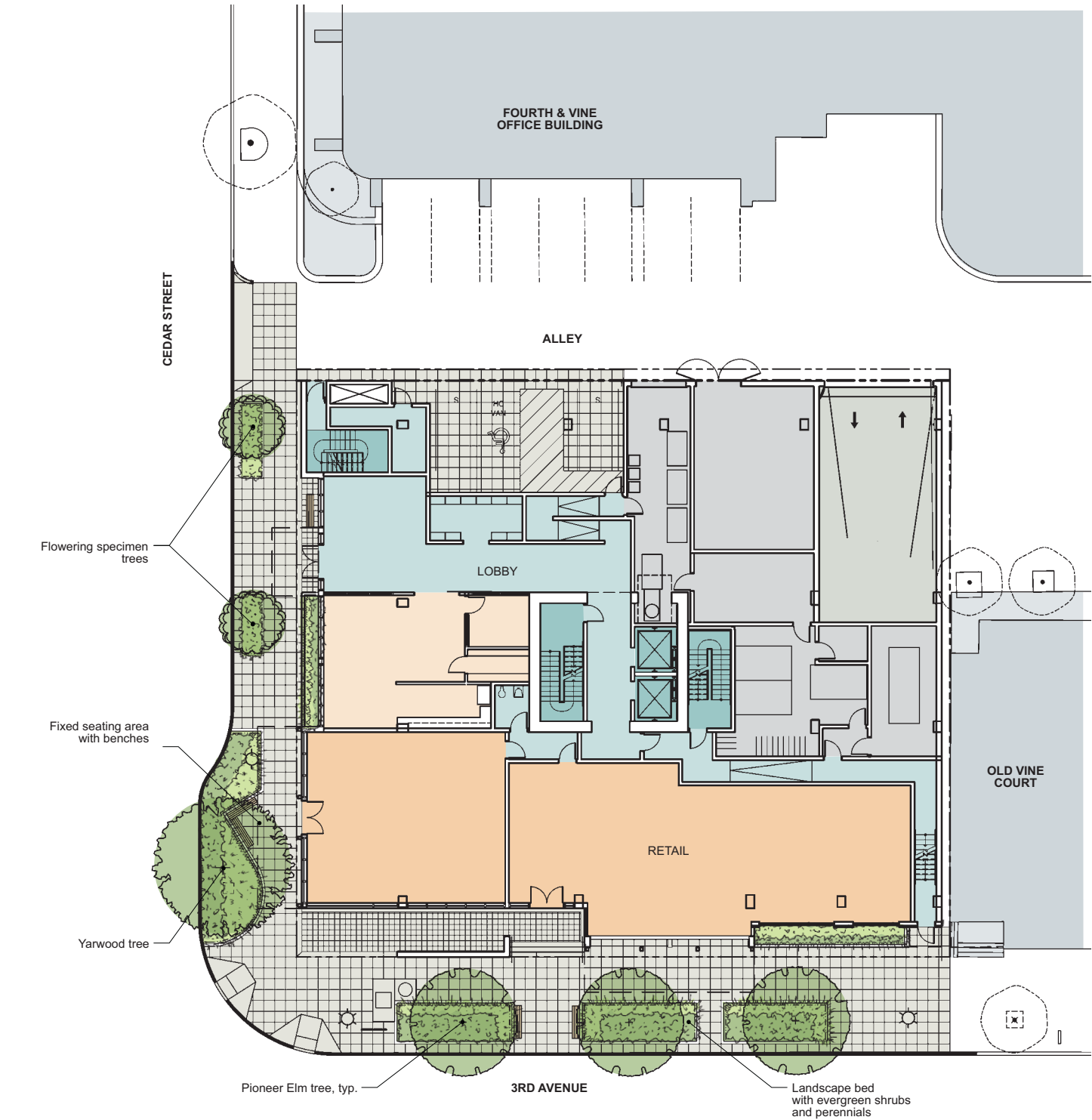
DESIGN AT EDG #1



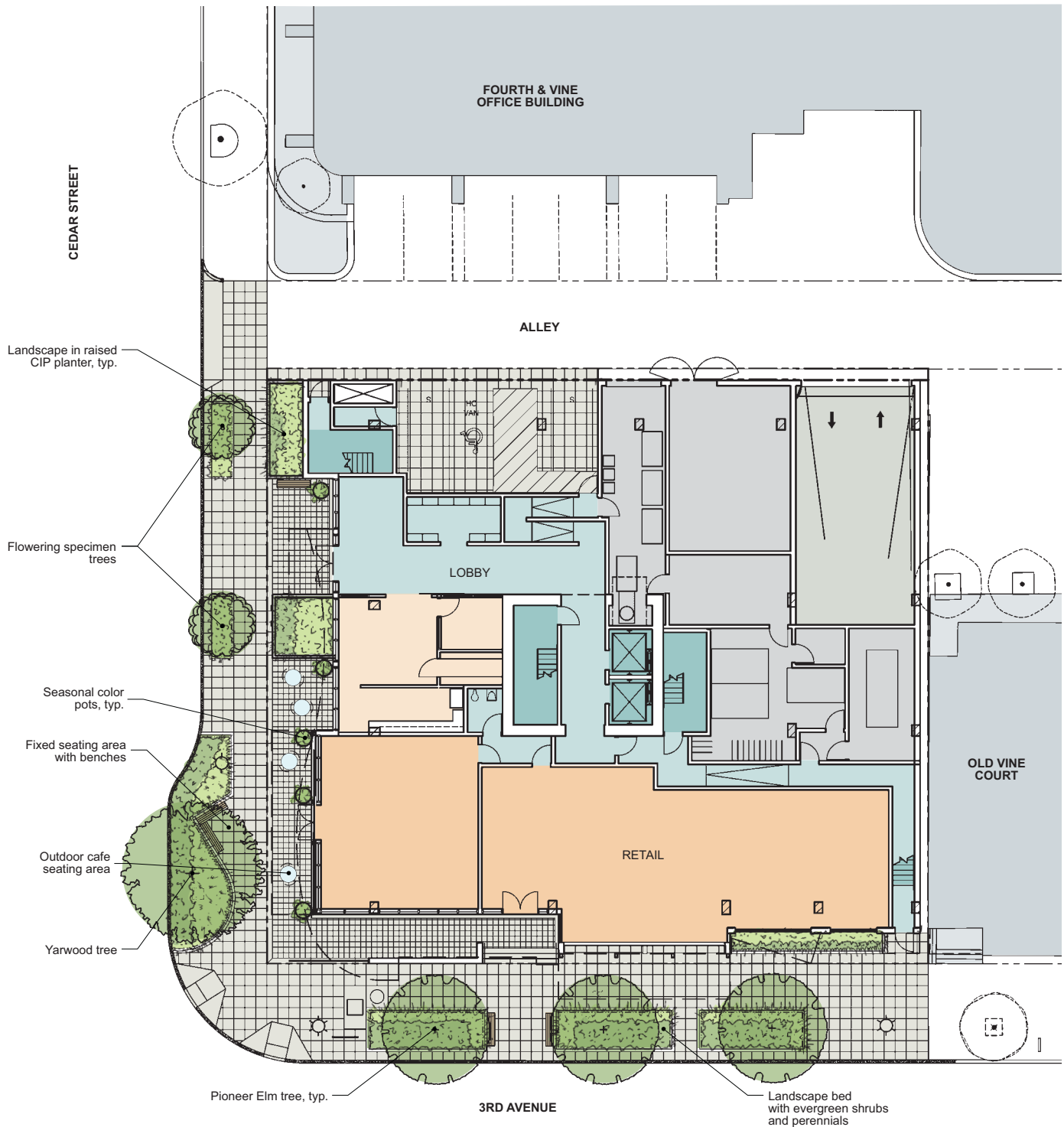
DESIGN AT EDG #2



CURRENT DESIGN



CODE COMPLIANT SITE PLAN



PROPOSED SITE PLAN



















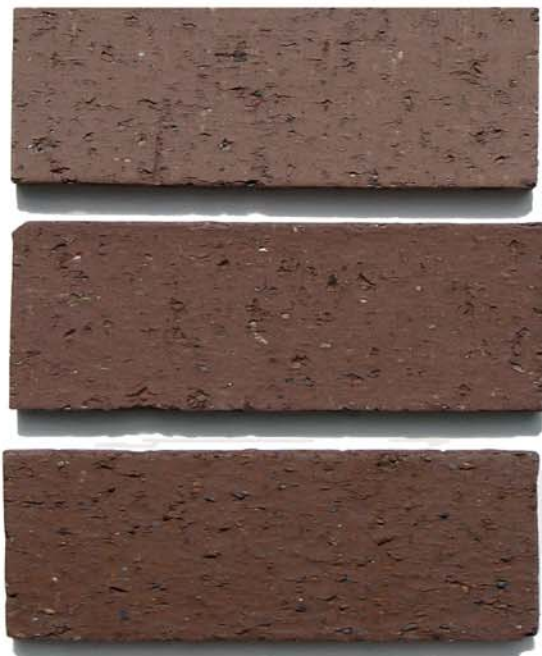












Brick



Ground Face CMU



Scored and Painted Concrete

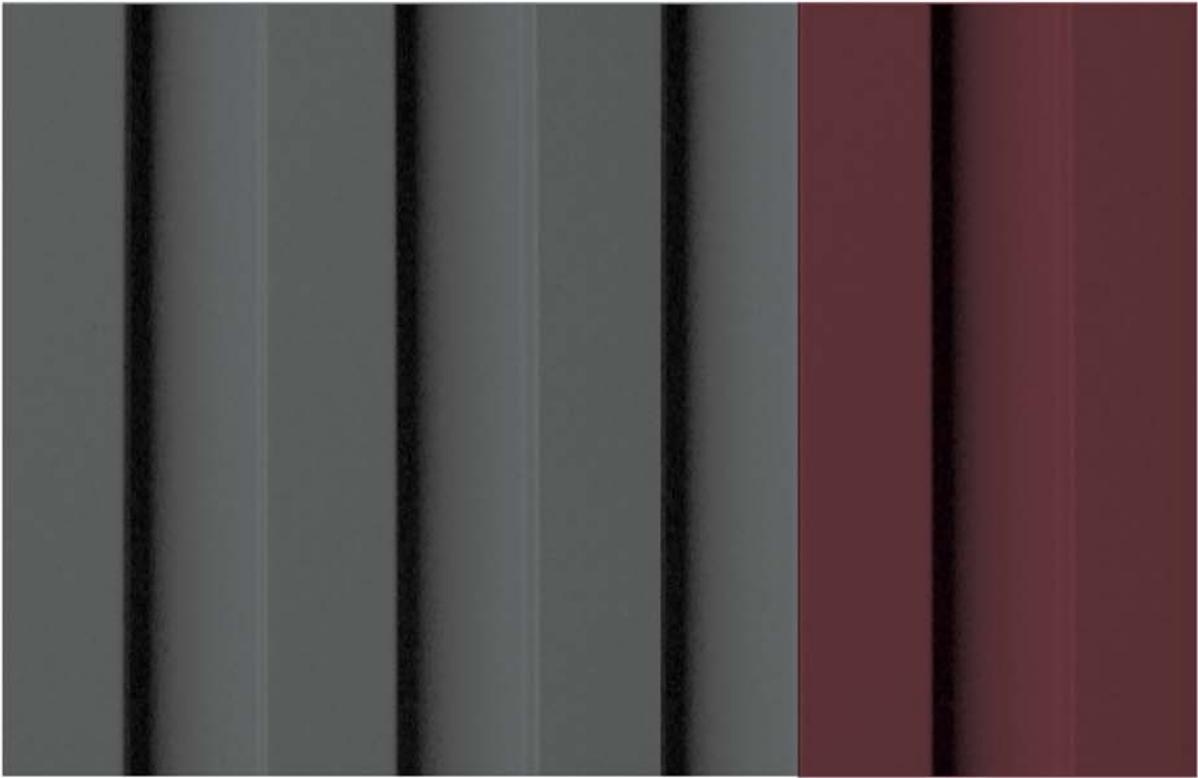
Smooth Metal Panel



minor color

major color

Box Rib Metal Panel



major color

minor color

Paint Colors



residential window frames



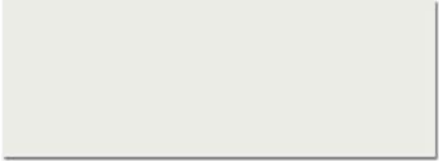
lobby window frames



retail window frames and canopy framing



louvers and doors within a field of brick



underside of canopies

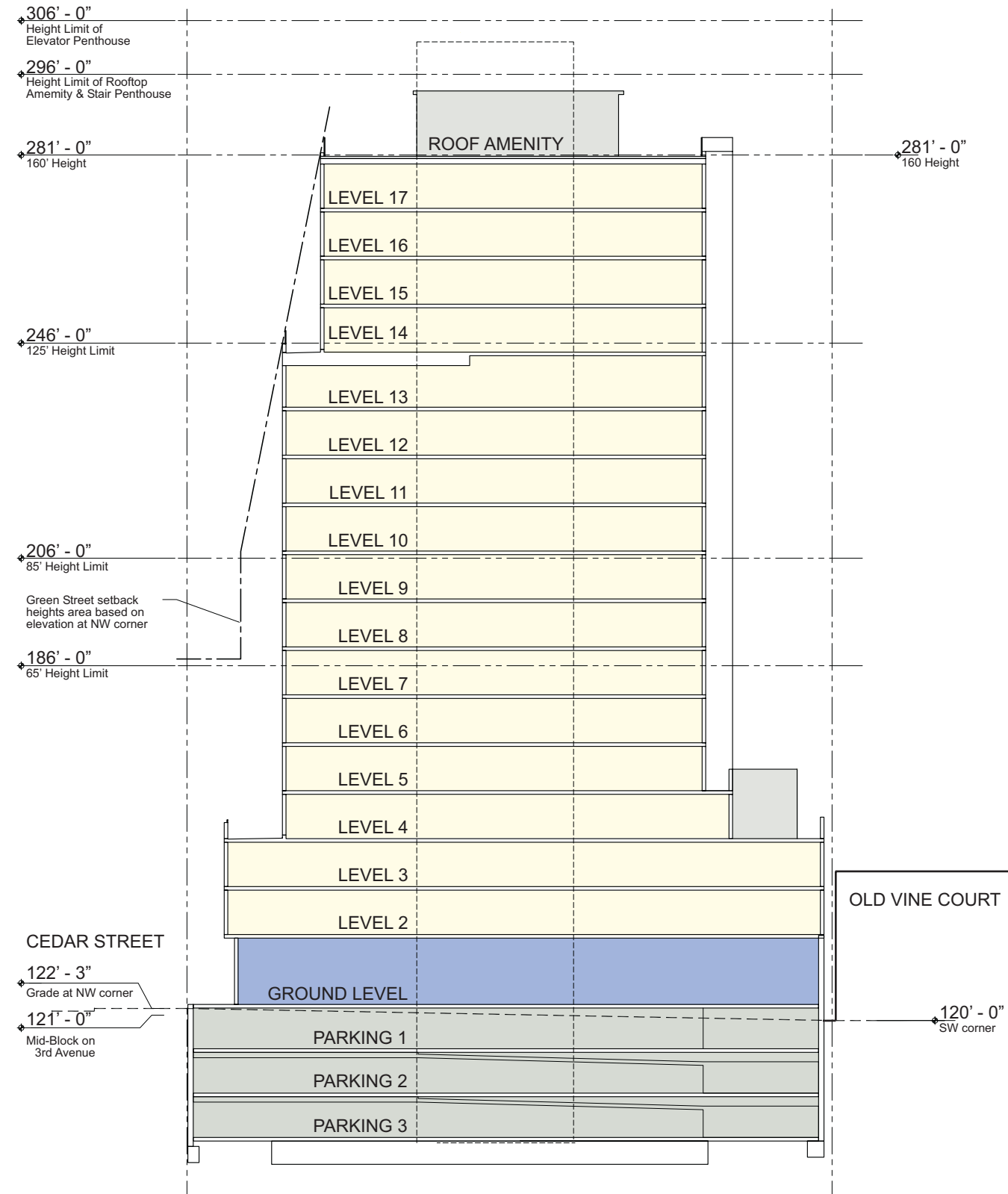


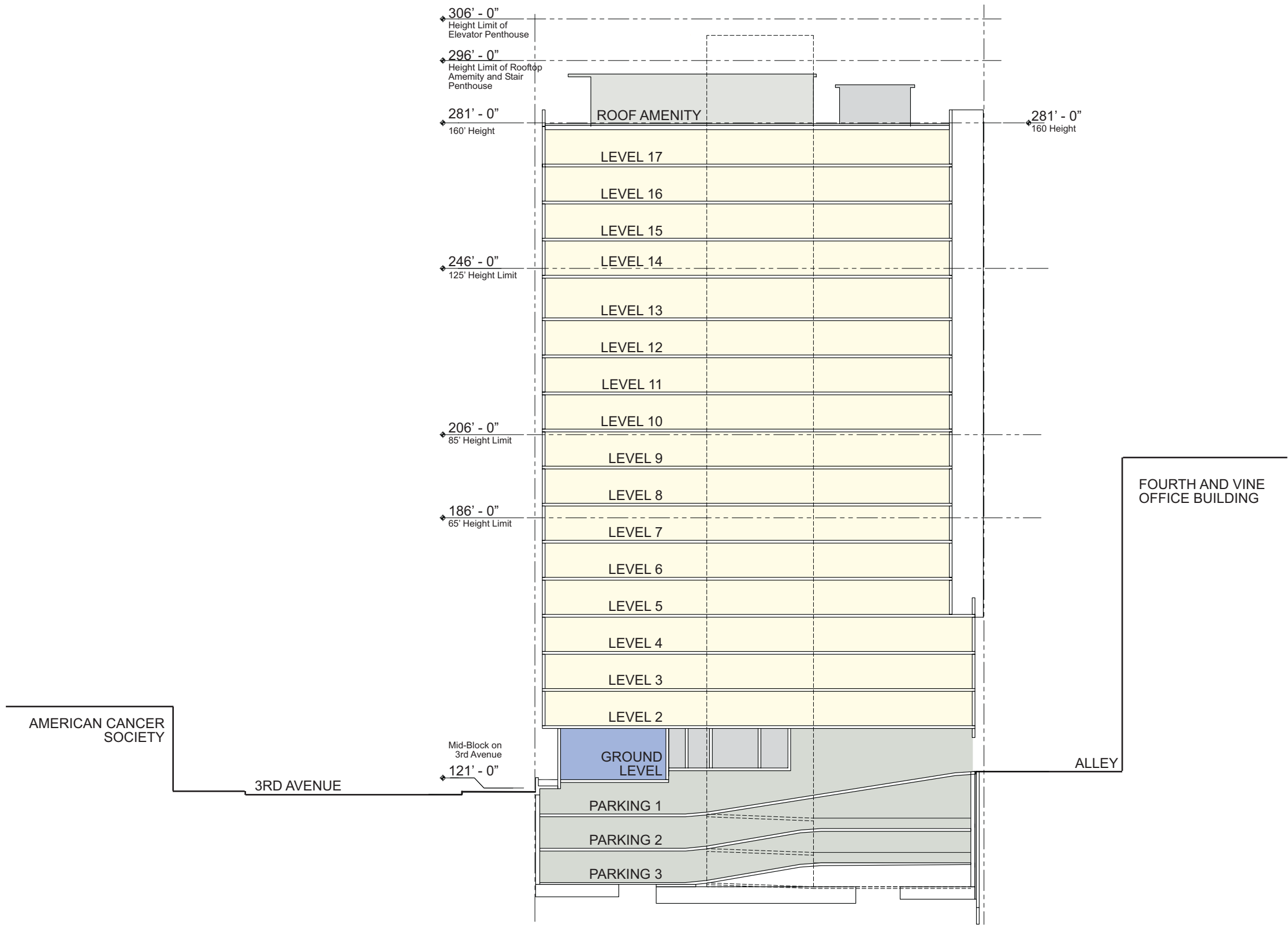
concrete exterior walls

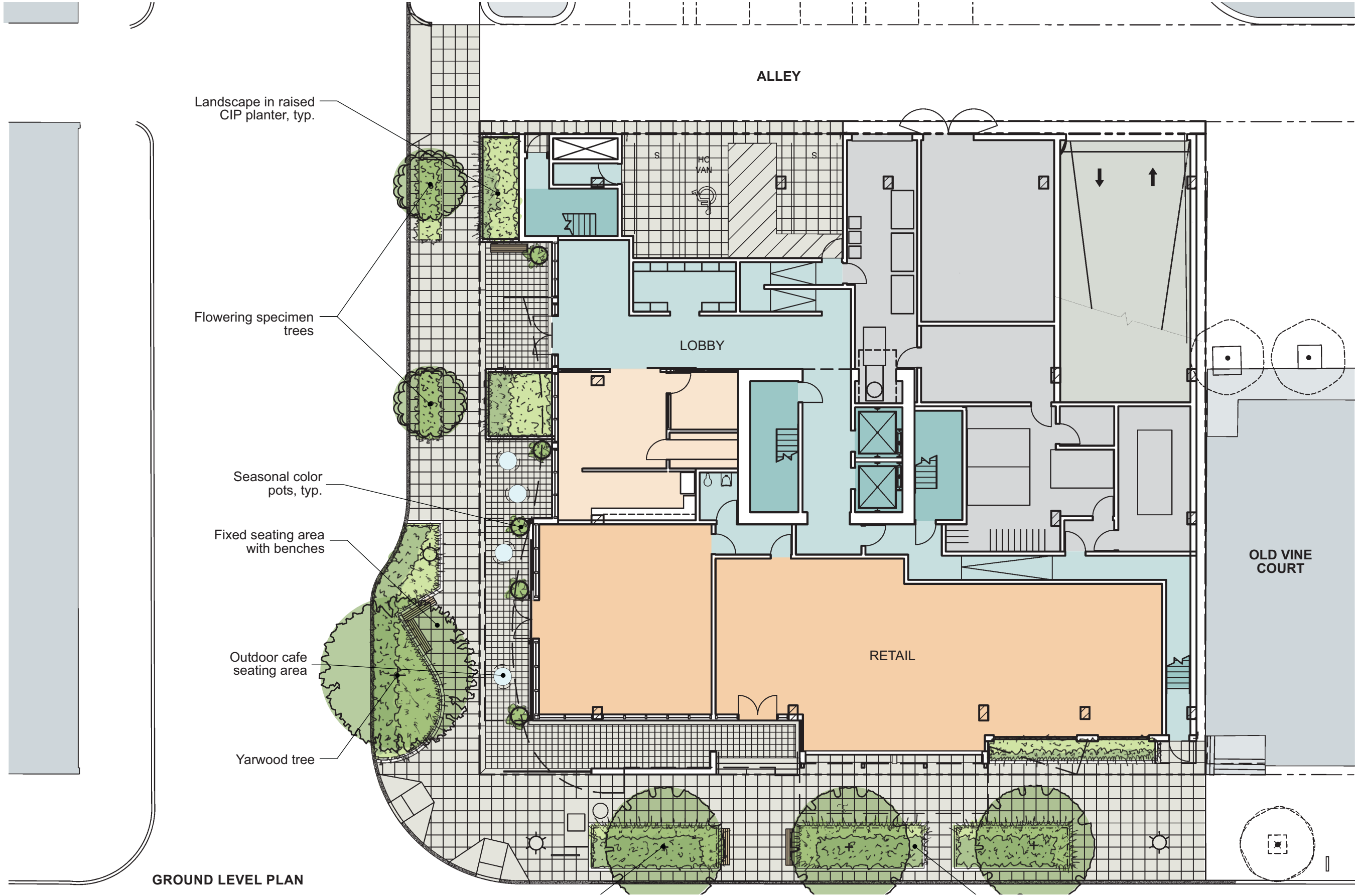


balcony and terrace guardrails

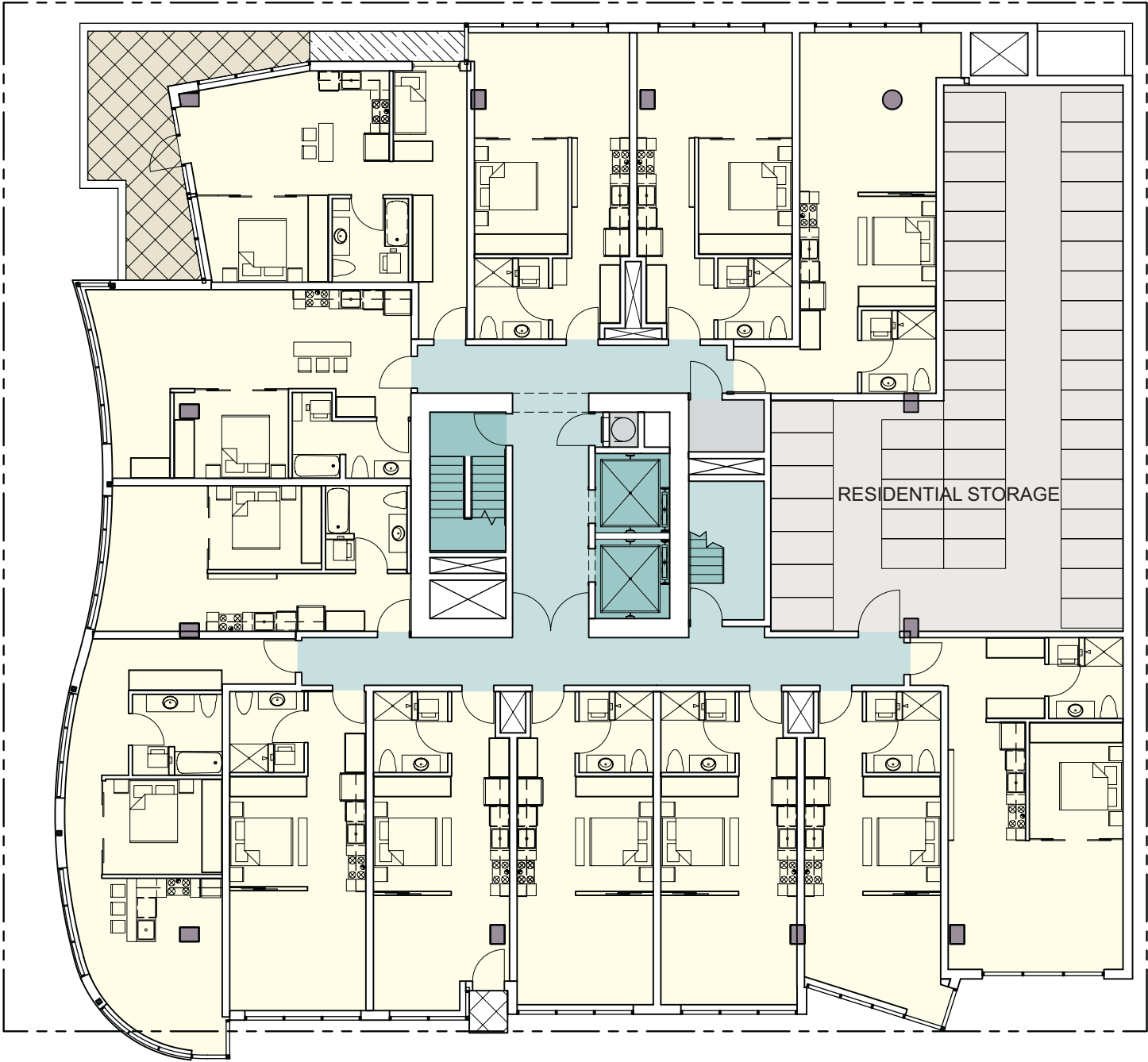
All glass to be without tint.
Where present, low-e coating will be color neutral.



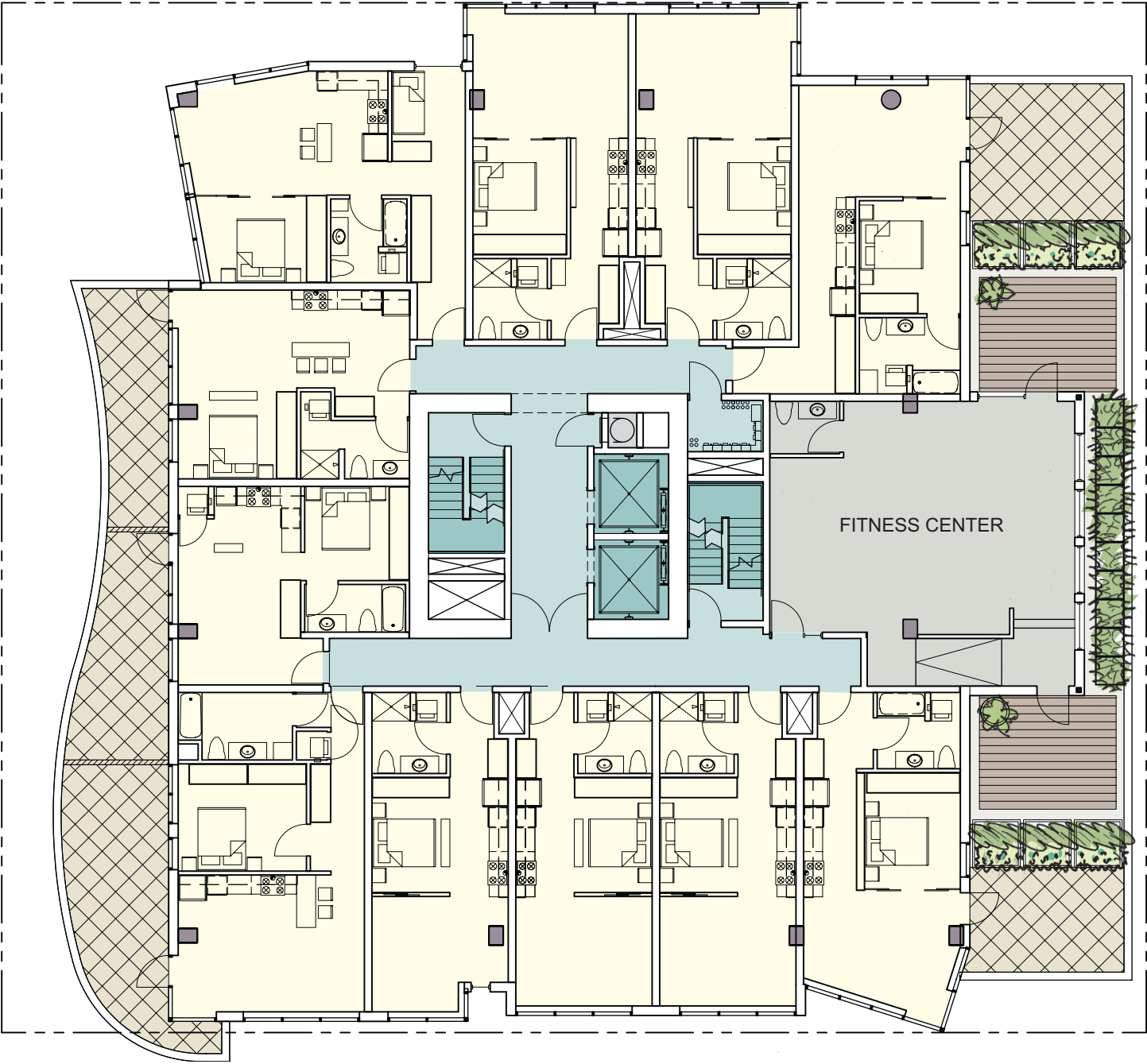




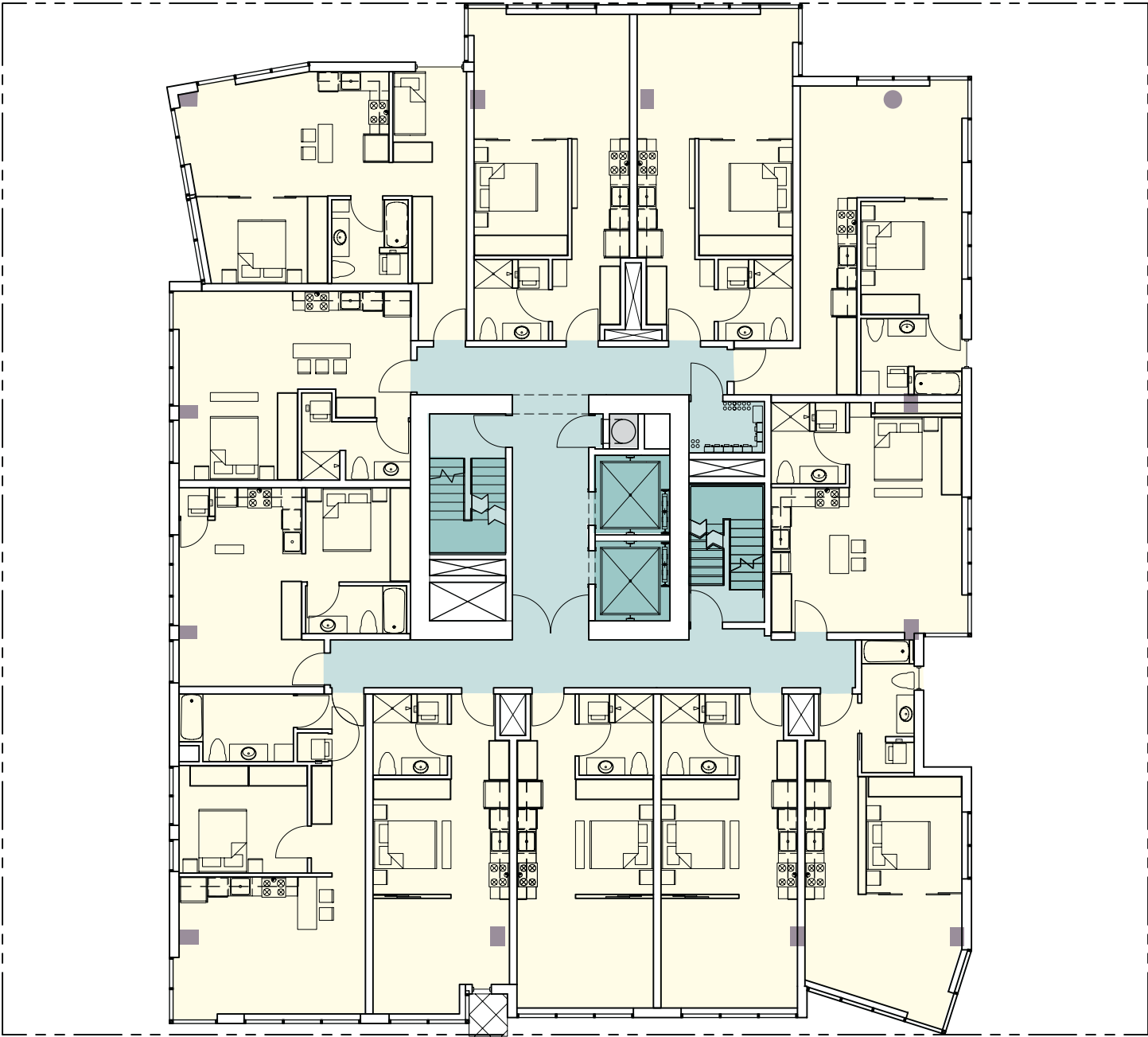
GROUND LEVEL PLAN



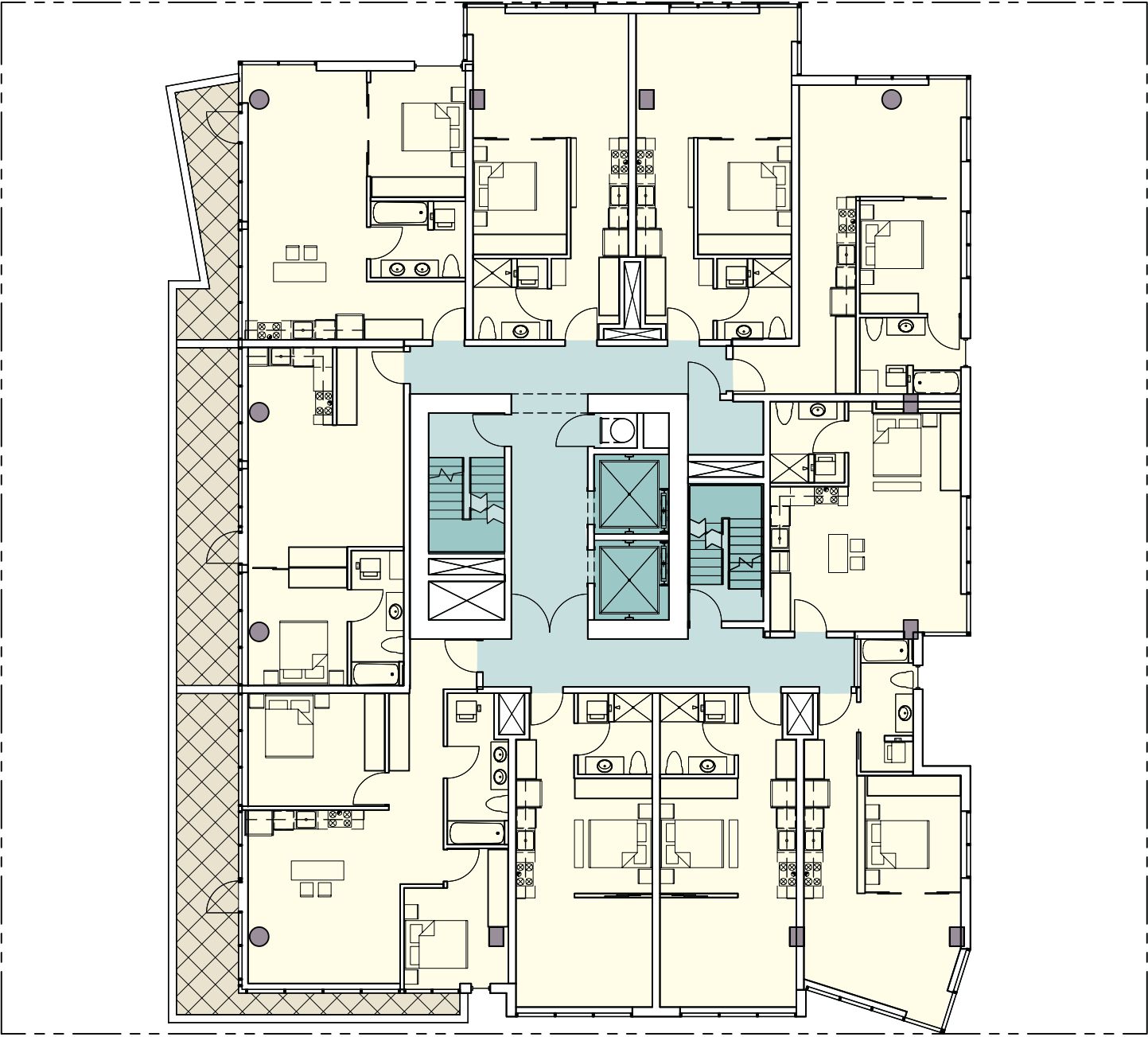
LEVEL 2
(LEVEL 3 IS SIMILAR)



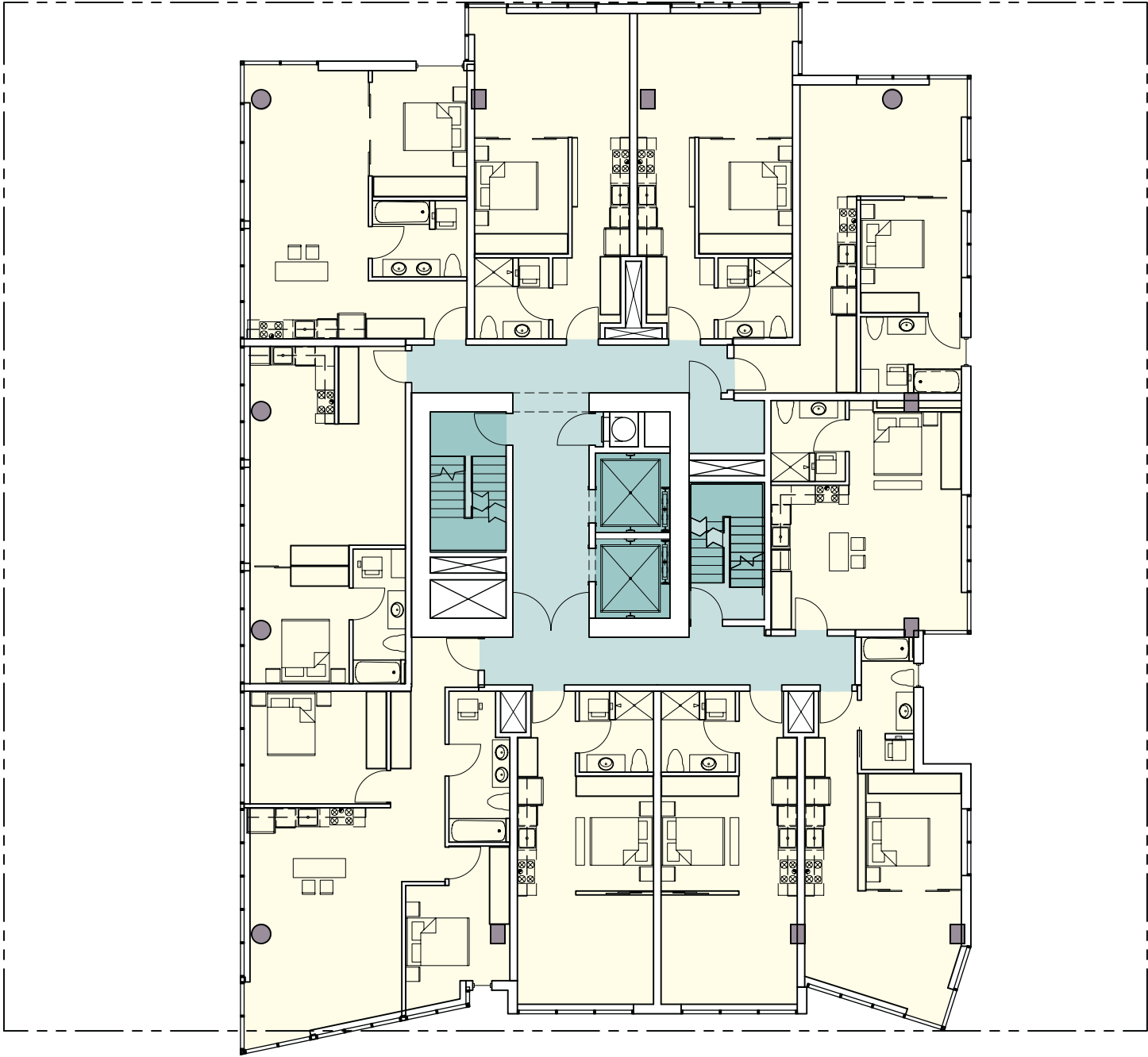
LEVEL 4



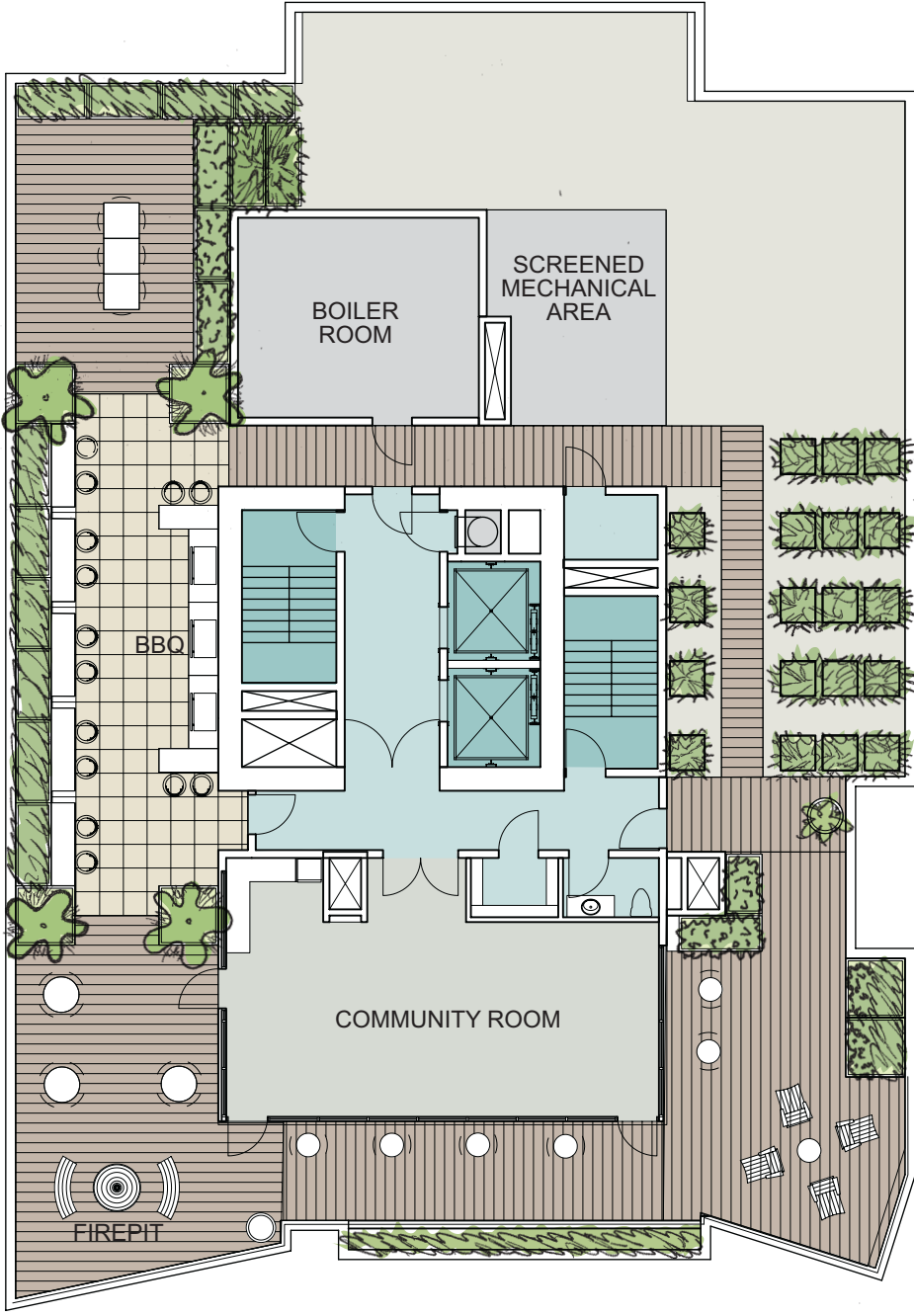
LEVELS 5-13



LEVEL 14

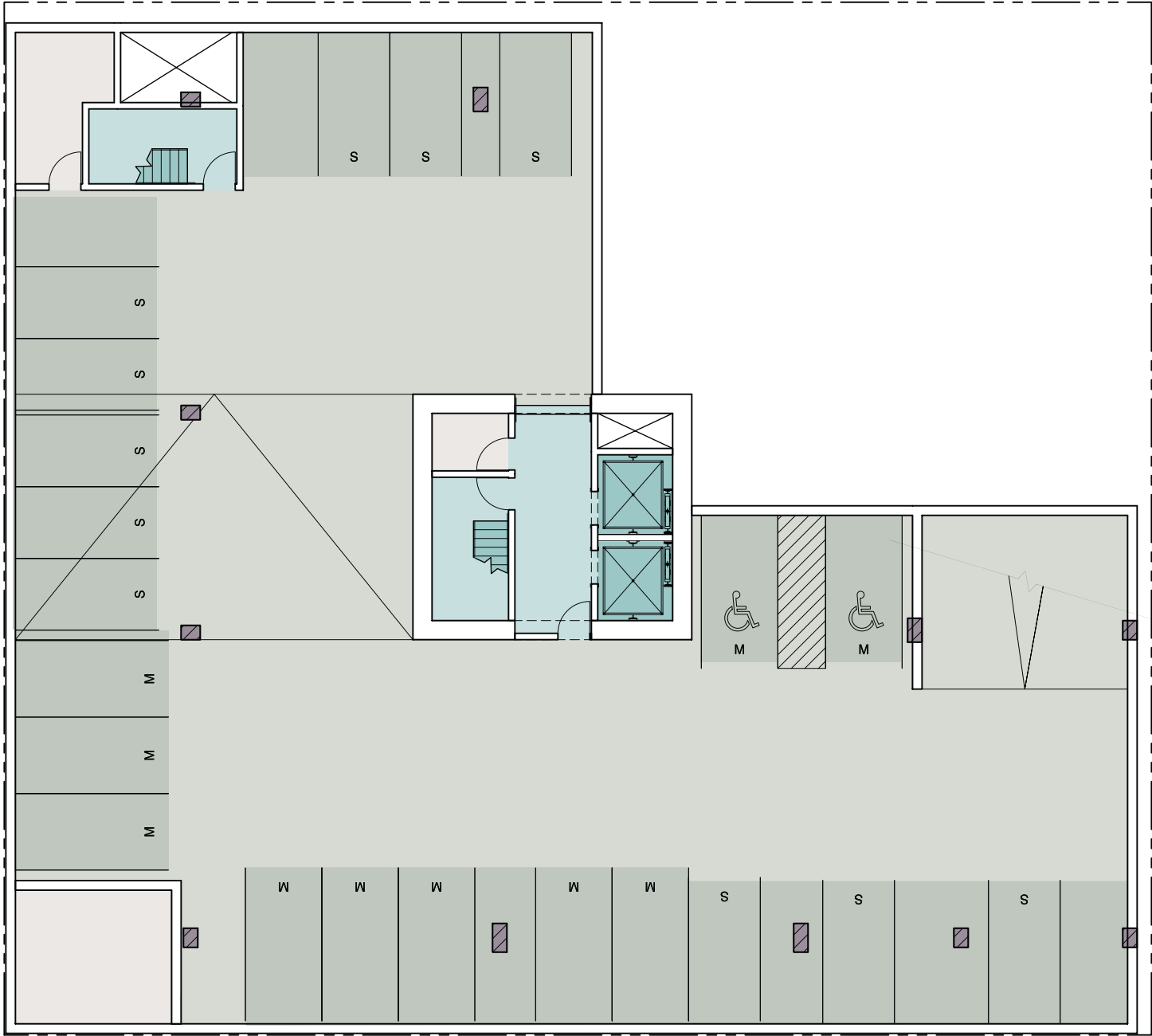


LEVELS 15-17

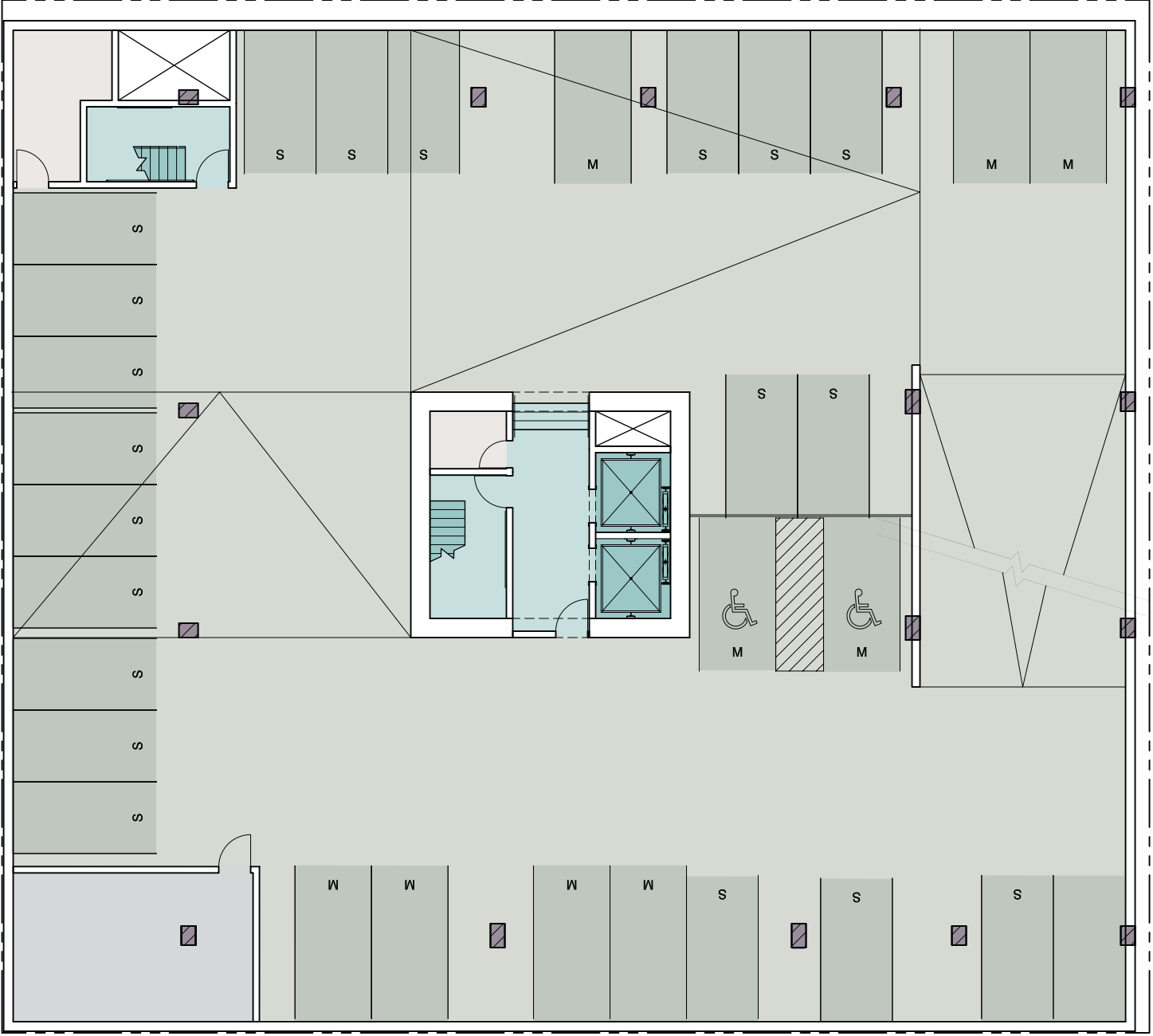


ROOF LEVEL





LEVEL P3



LEVEL P1
(LEVEL P2 IS SIMILAR)

SUMMARY

- Provides an additional 8 foot setback along Cedar Street to enhance the green street amenity (enhances street level retail, human scale, vibrant, pedestrian friendly, active, interesting paving, sidewalk lighting and furniture)
- Significantly less mass below 65' than what is allowable by code
- Above grade parking has been eliminated
- Structure is oriented East/West to preserve views from the East, and additional setback allows windows on the south facade
- More slender structure at upper levels
- Building massing relates to adjacent historic building
- Activated alley with Zip Car access directly across from alley parking for the adjacent office building
- Proposed massing is 1% less than code allowable massing for 1/4 block development, 35% less than code allowable massing for 1/2 block development or development with transfer of lot coverage
- Creates transition between 125 ft and 240 ft zones
- Proposal has community acceptance
- Proposal is within the DRB's ability to grant