

# T H I R D   A N D   B A T T E R Y   B U I L D I N G

Recommendation Meeting  
December 11, 2007

Martin Selig Real Estate  
ruffcorn mott hinthorne stine

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## PROJECT DESCRIPTION

Address: 300 Battery Street  
 Site dimensions: 240' x 107'-9" (25,860 S.F.)  
 Description:

Three-story commercial office building containing 20,986 gross S.F. at the first floor, 24,462 gross S.F. at the second floor, 21,107 gross S.F. at the third floor, and 2000 gross S.F. at the roof for a total of 68,555 gross S.F. The first floor consists of retail and accessory spaces while the top two floors consist of office space. One-and-a-half levels of below-grade parking, with a total of 68 parking stalls is also provided.

## LOCATION

Bordering streets: Property bounded by Third Avenue, Battery Street, Wall Street, and an alley.  
 Lot area: 25,860 S.F.  
 Legal description: Lots 1 through 4 in block 35 of plat of the second addition to the part of the City of Seattle as laid off by A.A. Denny and W.N. Bell (Commonly known as Bell and Denny's Second Addition to the City of Seattle), according to the plat thereof recorded in Volume of Plats, page 77 records of King County, Washington; except the southwesterly 12.00 feet thereof taken for street purposes in King County Superior Court case no. 52280, pursuant to ordinance No.13776 of said county.

## ZONING INFORMATION

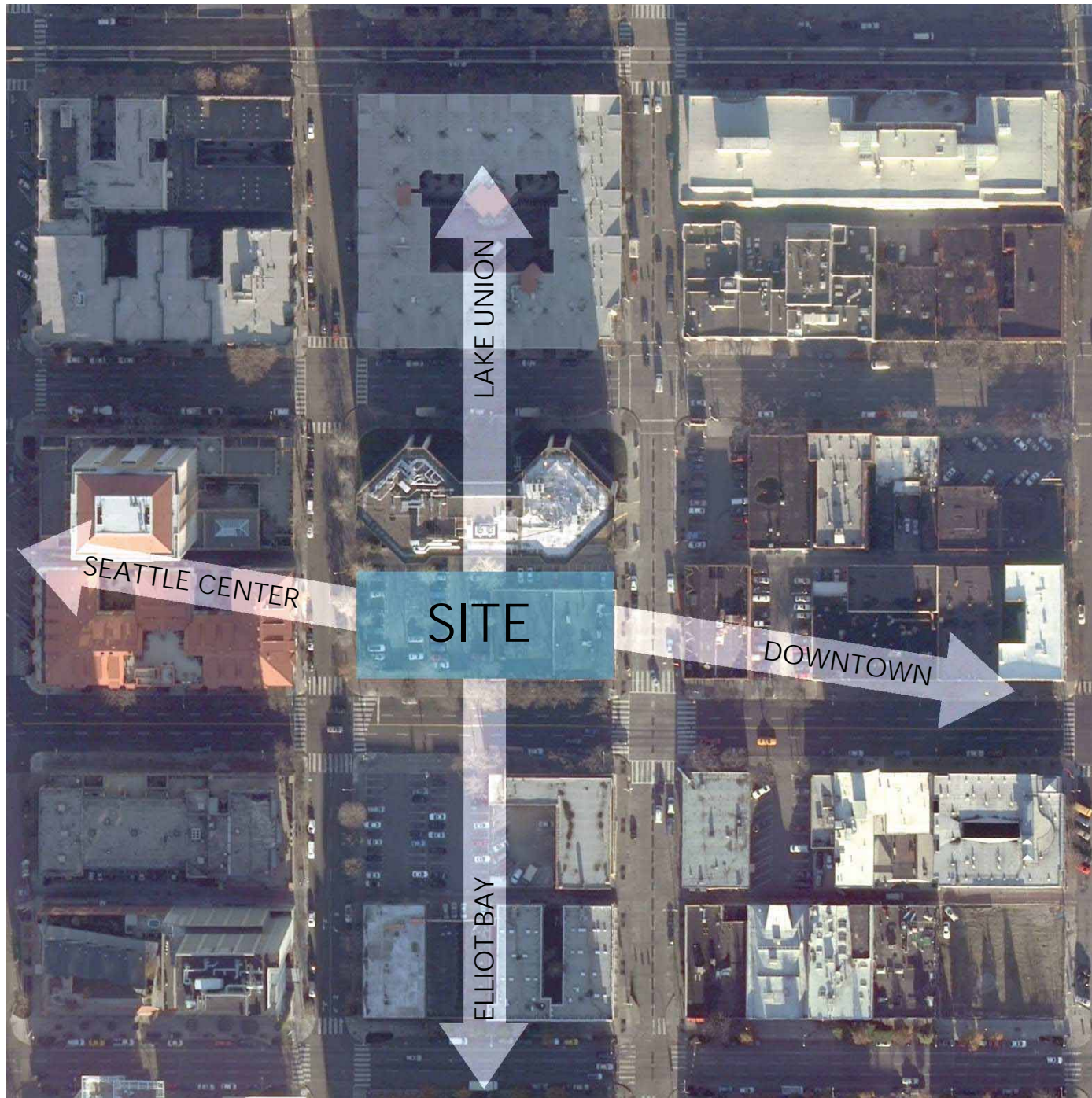
### DOWNTOWN ZONES

Fire Zone: Downtown  
 Zoning Map: 108  
 Base Zone: DMR/R 125/65  
 Permitted Uses: Office and retail permitted outright  
 Street-Level Uses: Required on Class I Pedestrian Streets. 75% of the street frontage must be in street level use.  
 Overhead Weather Protection: Required on all street frontage.  
 Street classifications: Third Avenue - Class I Pedestrian Street  
 Bell Street - Class II Pedestrian Street  
 Wall Street - Class II Pedestrian Street

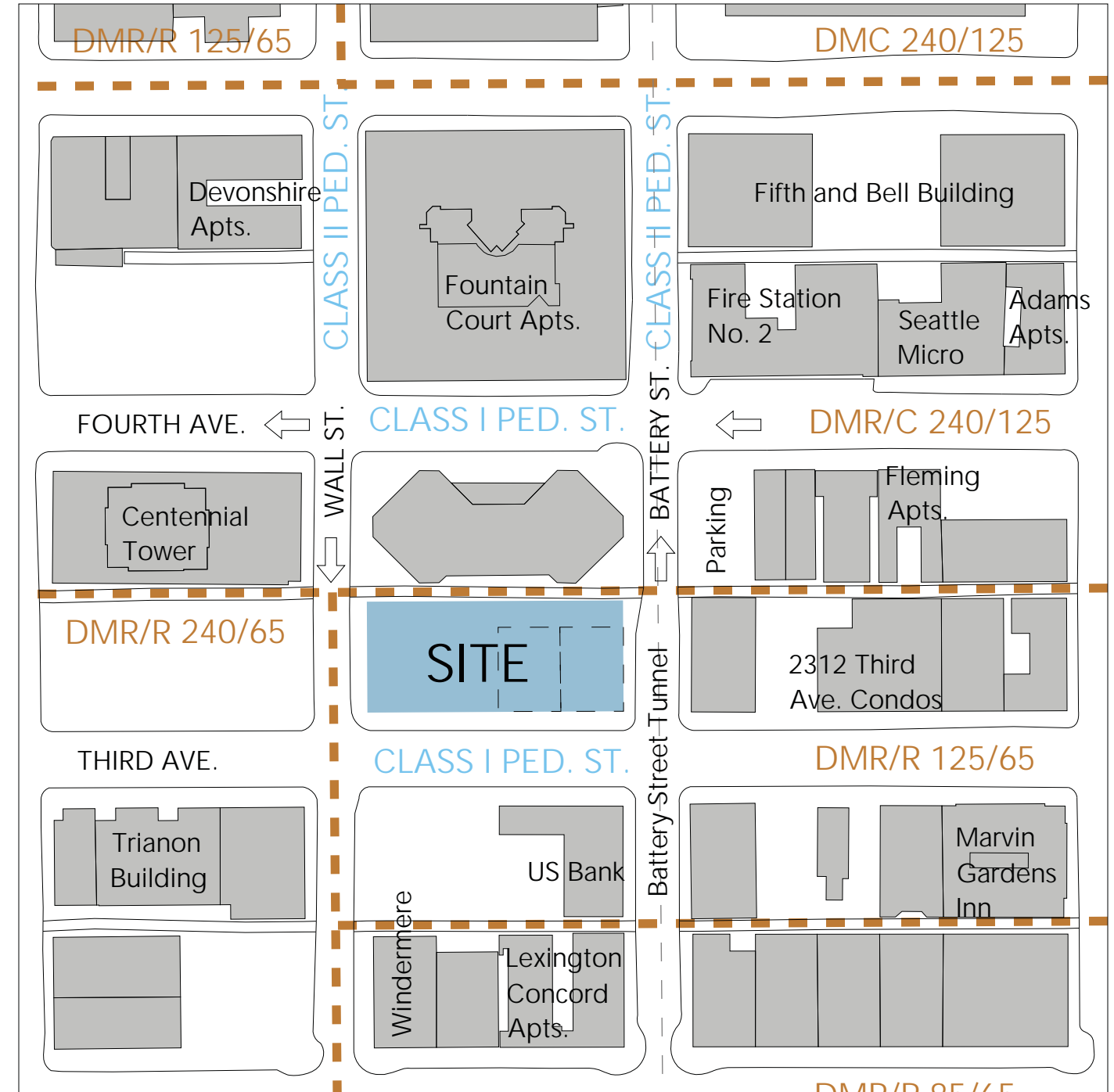
### DOWNTOWN MIXED RESIDENTIAL ZONE

Structure height: 125'  
 F.A.R. Base - 1; Maximum - 2  
 Property Line Façades: Third Avenue  
 Minimum Façade Heights: 35' where property line façades are required, 25' elsewhere  
 Upper Level Setbacks: Required above 35'  
 Façade Transparency: 60% on Class I Pedestrian Street  
 30% on Class II Pedestrian Street

## Development Objectives



AERIAL PHOTOGRAPH



VICINITY MAP

← North

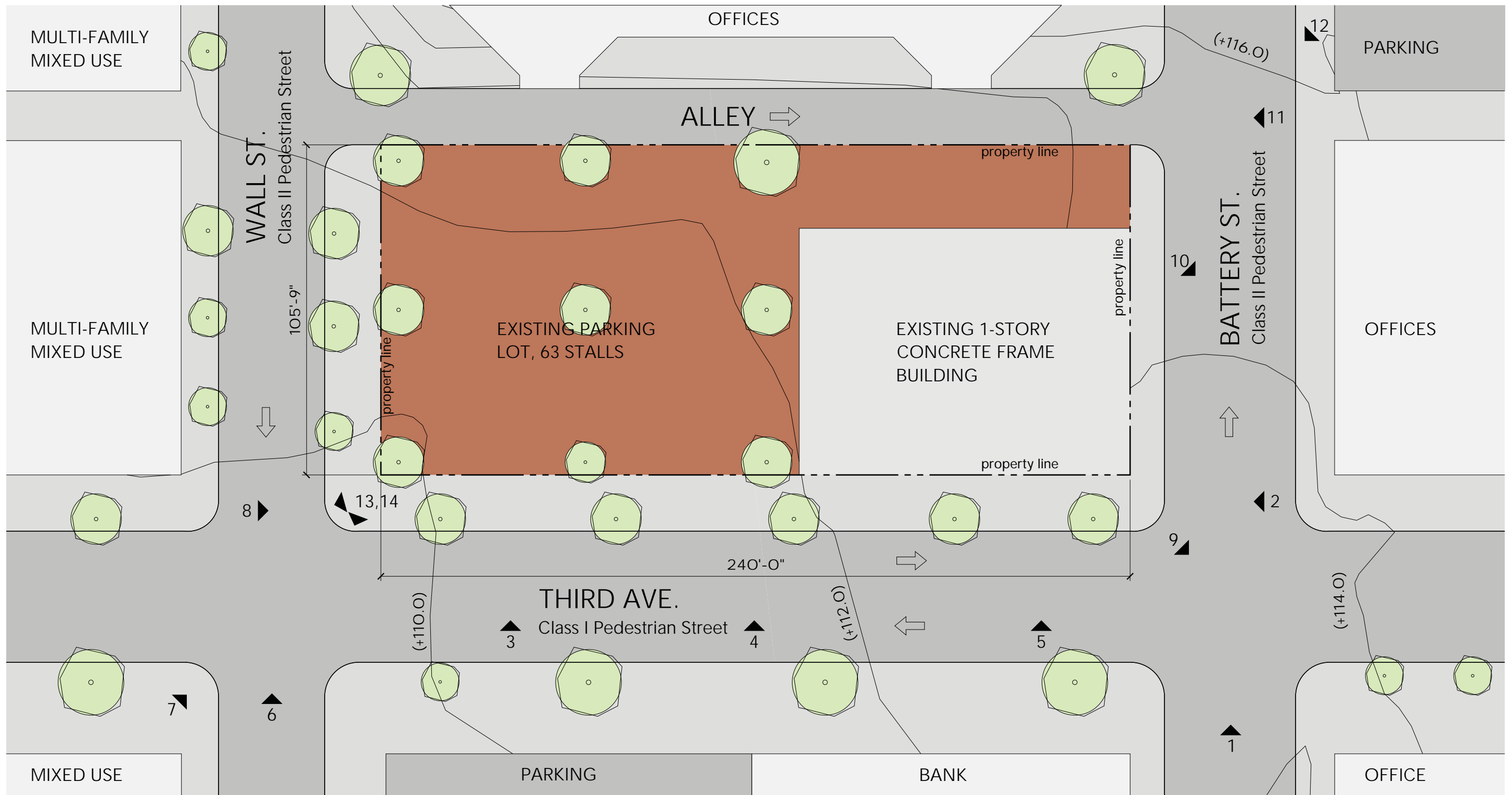
## Vicinity Maps

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## Existing Conditions and Photo Key

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Third Avenue, looking west



Third Avenue, looking east (project site)

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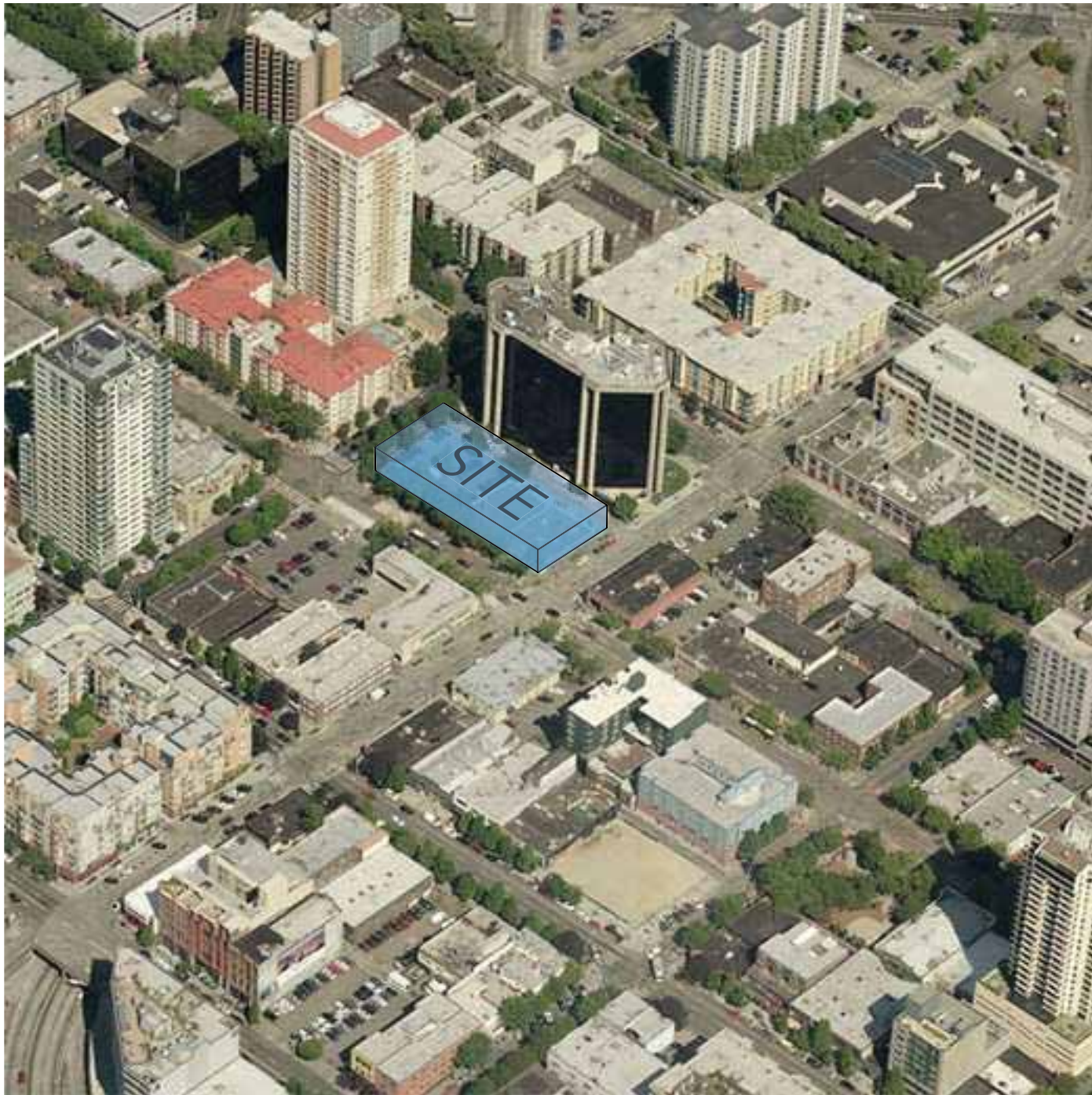
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## Streetscape

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AXONOMETRIC PHOTOGRAPH

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1 (project site left foreground)



2 (project site right foreground)

## Site Photographs

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# Site Photographs

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# Site Photographs

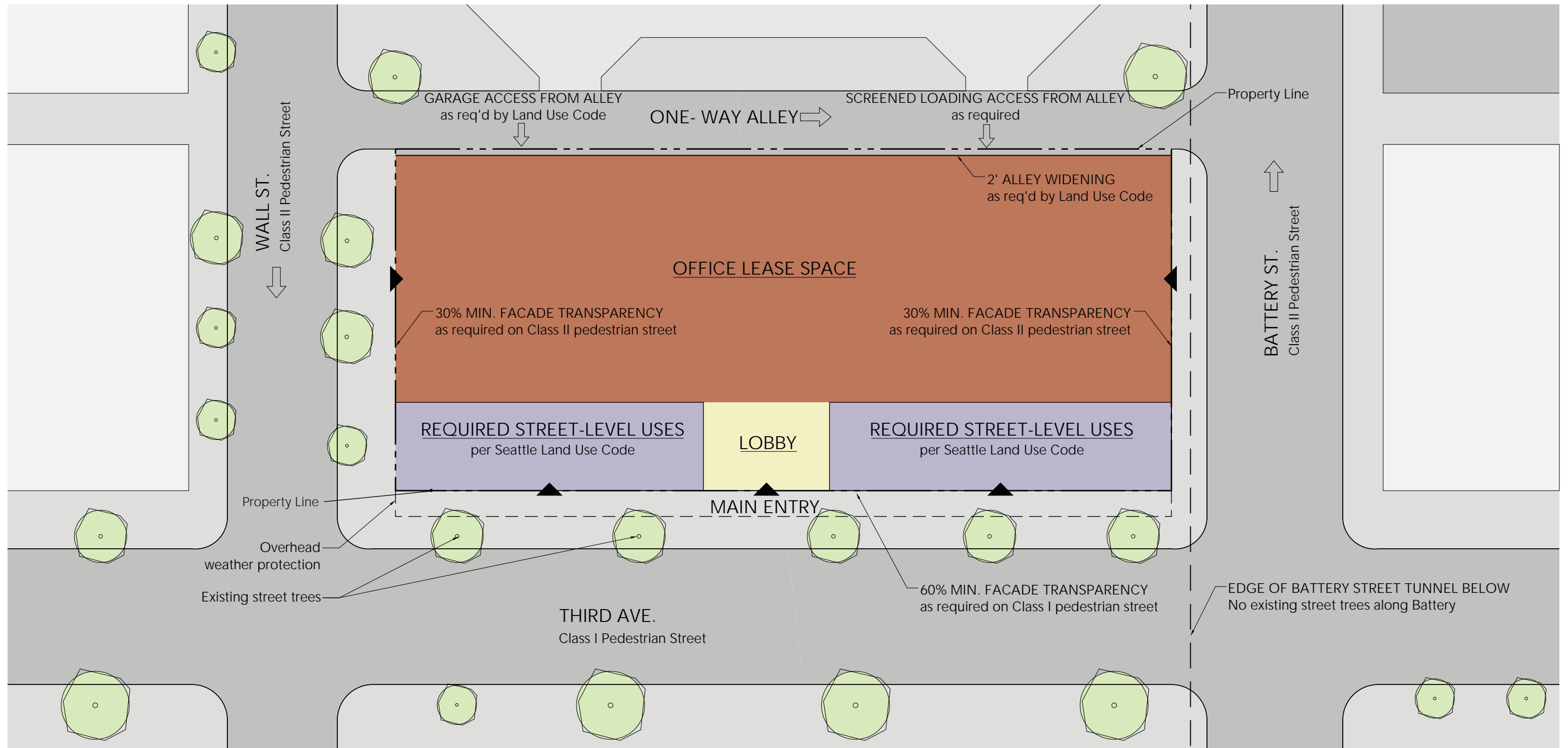
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# Urban Analysis

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## How does the design of 2400 Third Avenue respond to the Belltown Context?

The following narrative addresses the comments received from the Design Review Board at our Early Design Guidance meeting on 13 February 2007, as well as the comments received in our Correction Notice from DPD dated 29 October 2007. References to the prioritized Design Guidelines are noted throughout the narrative.

2400 Third Avenue is a proposed commercial office and retail building located on Third Avenue between Wall and Battery Street in the geographic heart of Belltown – Downtown Seattle's northern neighborhood.

Belltown is an eclectic and diverse neighborhood with a rich architectural context expressed in an array of architectural forms, scales and styles. Recently, the neighborhood has experienced the construction of many highrise residential towers but with few exceptions, the immediate context surrounding the proposed project is dominated by low scale commercial office and residential buildings expressed in a variety of architectural styles.

**B-1** The low horizontal architectural form and modern exterior expression of 2400 Third Avenue seeks to mediate and establish a sympathetic transition between the scale and design of the recently constructed taller bulky towers and the smaller lower buildings that have existed in this neighborhood for many years. The proposed three story building covering a half block is similar in scale to many surrounding historic and iconic buildings in Belltown yet the modern design expresses current building systems and the values of today's building tenants.

The architectural form of the proposed building is comprised of two / two story interlocking masses that acknowledge the scale of the neighborhood. The upper volume is expressed as a crystalline transparent structure resting on a lower masonry / stone base. The upper form cantilevers to the west over a portion of the sidewalk along Third Avenue establishing a base for the building and a strong relationship to this Class I Pedestrian Street.

**C-1** The overhang provides a covered exterior space and human scale architecture for sidewalk retail activities. The north and south elevations of the masonry base of the building step down to two stories in height creating outdoor terraces for the third floor occupants and forming a strong relationship to the adjacent residential building to the north.

**C-1, D-1** Meeting at the corners of the site, the building's two interlocking masses are setback from the street intersection to increase the available open space at the corner. The upper building mass is expressed as a tall clear glass corner creating an iconic architectural feature.

**C-2** The exterior architectural expression of 2400 Third Avenue is designed to be human scaled, fresh, and contemporary utilizing cladding materials with a sense of permanence and familiar to the neighborhood. The proposed design takes visual cues from other modern, contemporary and international style buildings in the neighborhood. The proposed design for the 2400 Third Avenue Building has much in common with the architectural expressions found in buildings such as the Top Pot Donut on Fifth Avenue, the Banner Building on Western Avenue and the Group Health (former PI Building) on Wall Street. The base of the building fronting the public streets is clad in a small scale (18" x 48") dark granite plank with a textured finish and stainless steel accents. Large clear glass windows framed by stone walls provide rich architectural detail, visual interest and a high degree of visibility into the retail located along the sidewalks on all streets.

**C-2** Cantilevered door frames and window frames of polished stainless steel give the retail and building entrances a scale consistent with adjacent storefront developments and a crisp modern appearance.

**B-4, C-2** The west façade of the upper mass features floor to ceiling glass to expose the interior of the building to the street below. The façade is modulated vertically and horizontally with strips of a contrasting glass color, projecting mullions and horizontal sunshades.





**C-6, D-5, E-3** The alley façade is conceived as another public face and is designed and detailed utilizing similar finish materials. The lower two floors of this elevation are clad in a dark brick with large windows concentrated at the building corners adjacent to the sidewalks of the flanking streets. The required building services such as the loading dock, dumpsters and below grade parking are located in the center of the block and hidden from view by overhead roll-up doors recessed into niches in the brick walls. The required garage exhaust louvers are also located on the sidewalls of this niche. The metal framed doors have an infill of translucent glass and are backlit at night, creating the appearance of large lanterns and providing a level of illumination for pedestrians using the alley at night.

**B-4** Additional architectural detail will be provided to further recall details presently existing on other buildings in the Belltown Neighborhood. A projecting cornice is planned at the roof level of the building along Third Avenue. This detail is a modern interpretation of the traditional cornices that exist on many of the residential buildings in the neighborhood and when lit from below will create a memorable building feature visible along Third Avenue.

**C-1, C-2** The street level development at 2400 Third Avenue is designed to engage the neighborhood pedestrians by continuing the development of adjacent blocks to the north and south. The retail frontage is intended to express the scale of small shops and allows for flexibility in locating shop entrances. The recessed shop fronts create variety in the building façade and establish a protected zone for exterior seating and display. This sidewalk zone will be further defined and distinguished from the remainder of the sidewalk by utilizing a colored and textured concrete.

**B-4, C-5, D-4, D-5** Continuous overhead weather protection of glass canopies with integrated signage and lighting will be provided along Third Avenue, Wall and Battery Streets to enhance pedestrian comfort and safety.

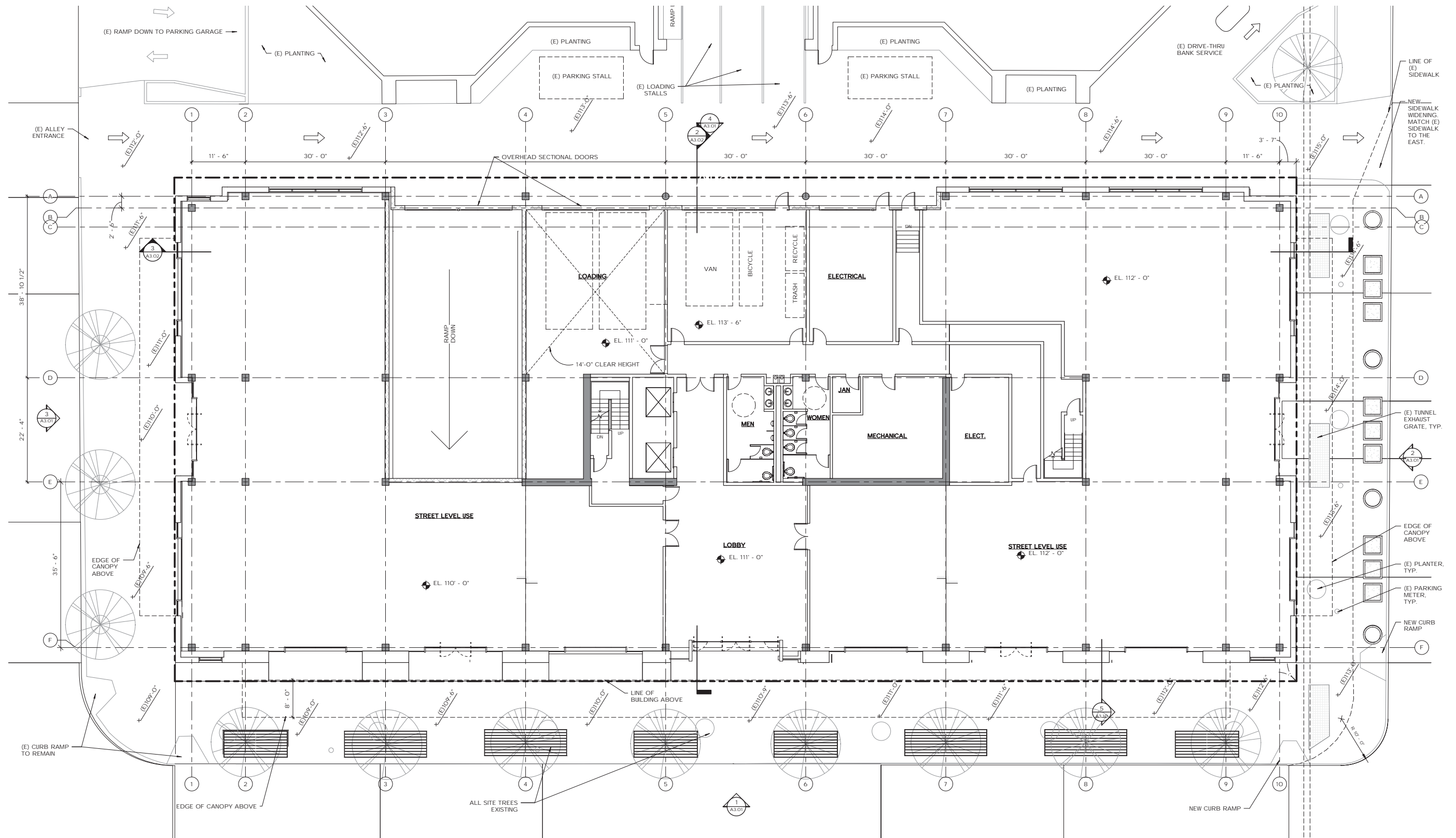
**B-4, C-2, C-4, C-5, D-4, D-5** An enhanced and taller canopy is provided at the building lobby and main entrance to maximize visibility into the lobby as well as modulate the canopy over the length of the building façade. Also, the sidewalk canopy on Wall Street is lower and closer to the sidewalk to create a more intimate pedestrian scale along this predominately residential street. The canopy is designed to drain back to the build and into inter-

nal downspouts to minimize water spill on the public sidewalks.

**C-1, D-1, D-2, D-3, D-6** To further enhance the pedestrian experience and to build on Belltown's tradition of distinctive landscape elements, extensive planting areas with street trees are planned along Third Avenue and Wall Street. Abundant planting is also planned along the widened Battery Street sidewalk but because of the tunnel below the sidewalk, the planting will be provided in raised planters. The raised planters will also provide a sense of separation from the fast moving automobiles on Battery Street. Public artwork or seating benches will also be provided within the landscaped areas along Third Avenue.

**B-4, D-1, D-2** Finally, the roof of 2400 Third Avenue will be developed with planting and seating areas to provide an outdoor open space available to the building occupants. The artful and graphic planting design surrounds the elliptically shaped mechanical penthouse and creates an exciting visual counterpoint when viewed from the taller adjacent buildings.





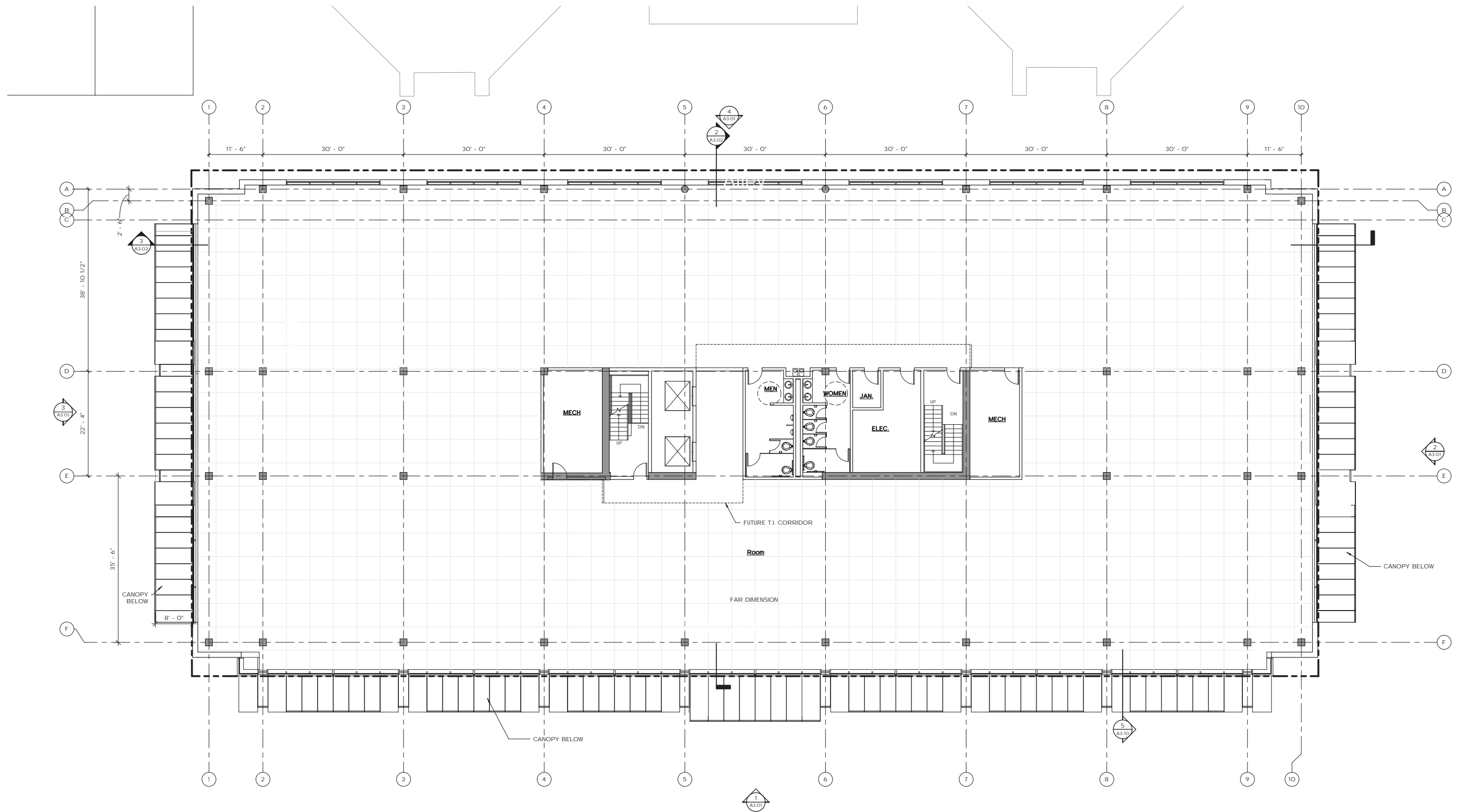
# Conceptual First Floor Plan

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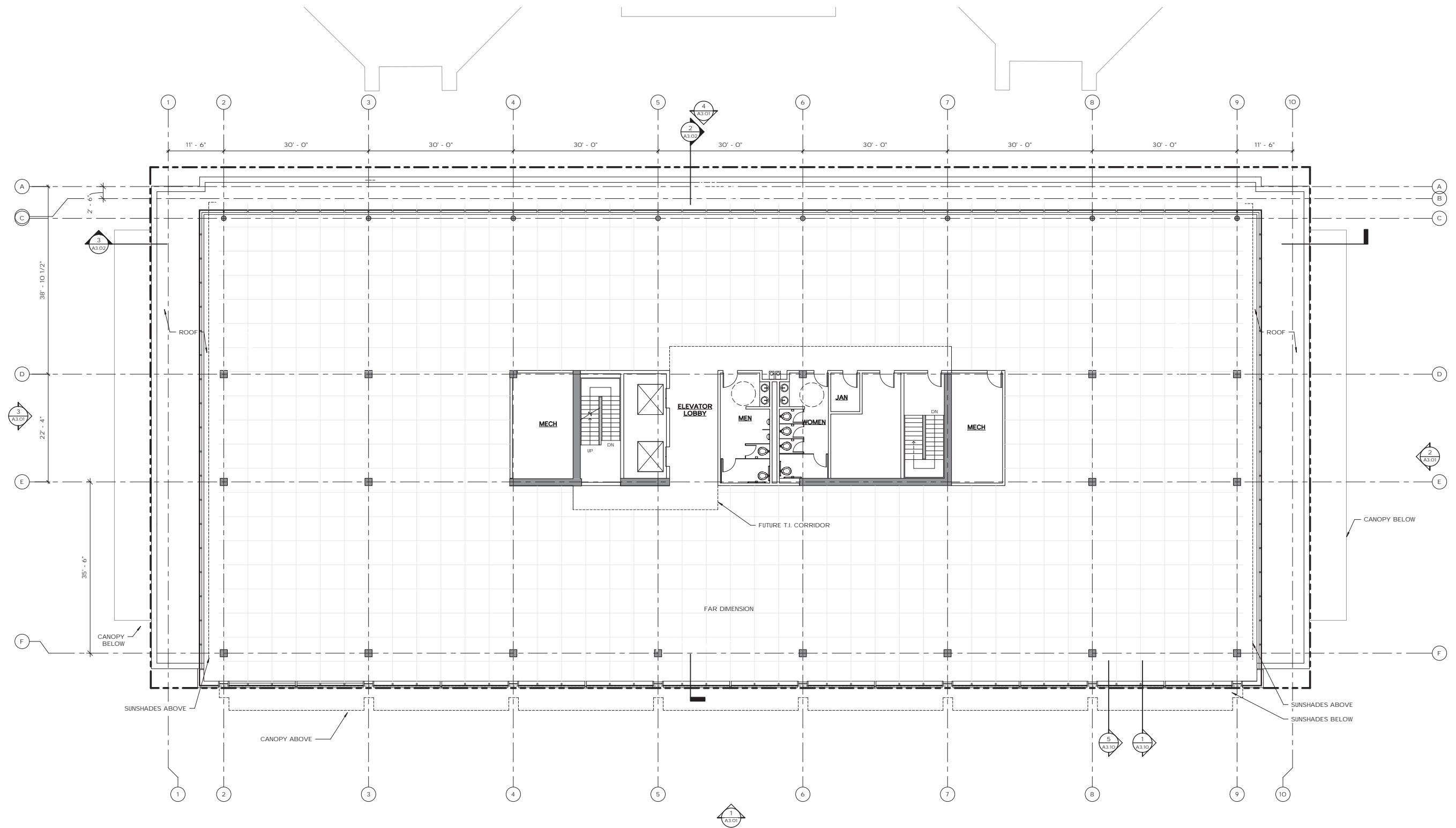
# Conceptual Second Floor Plan

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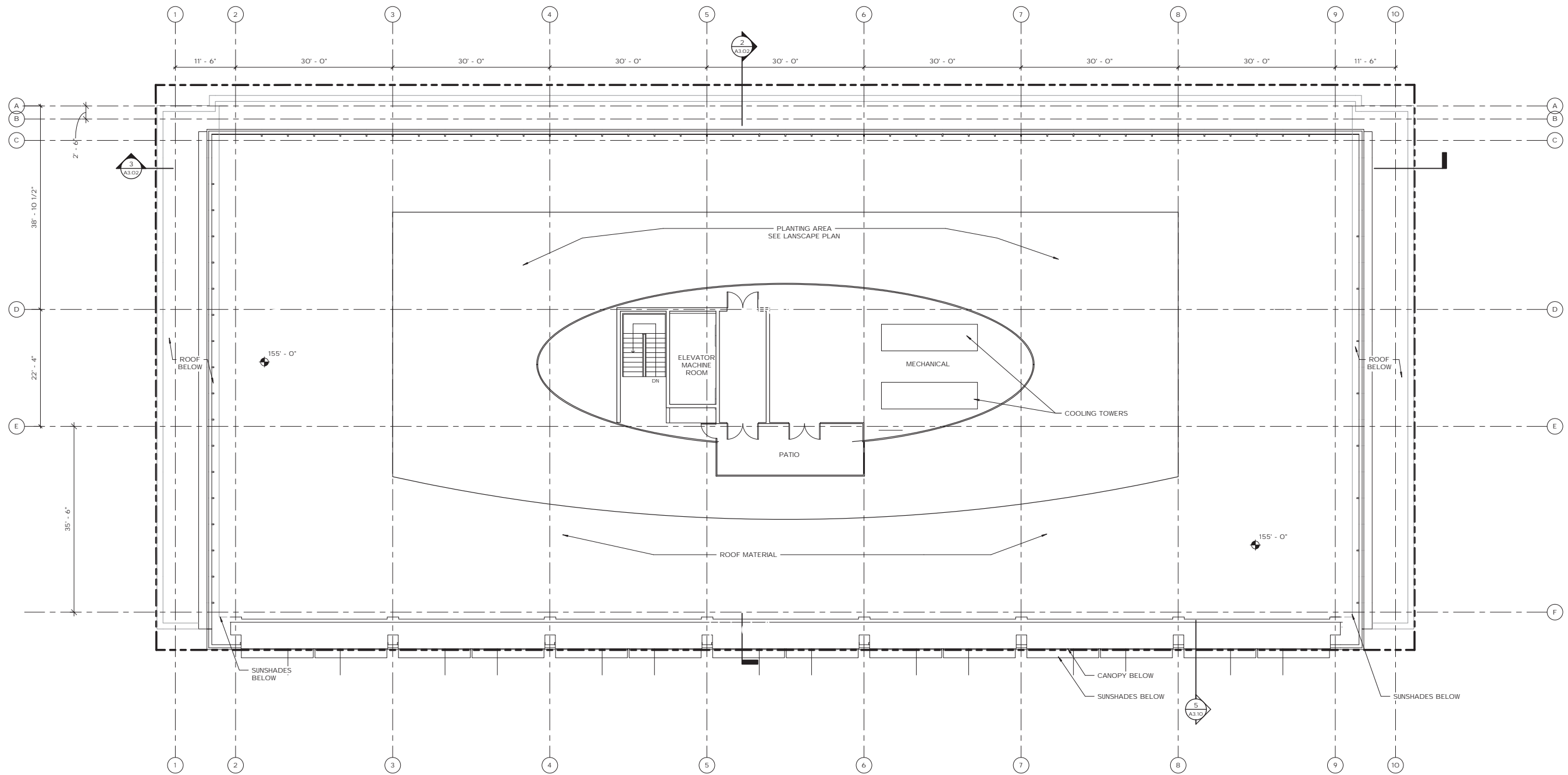
# Conceptual Third Floor Plan

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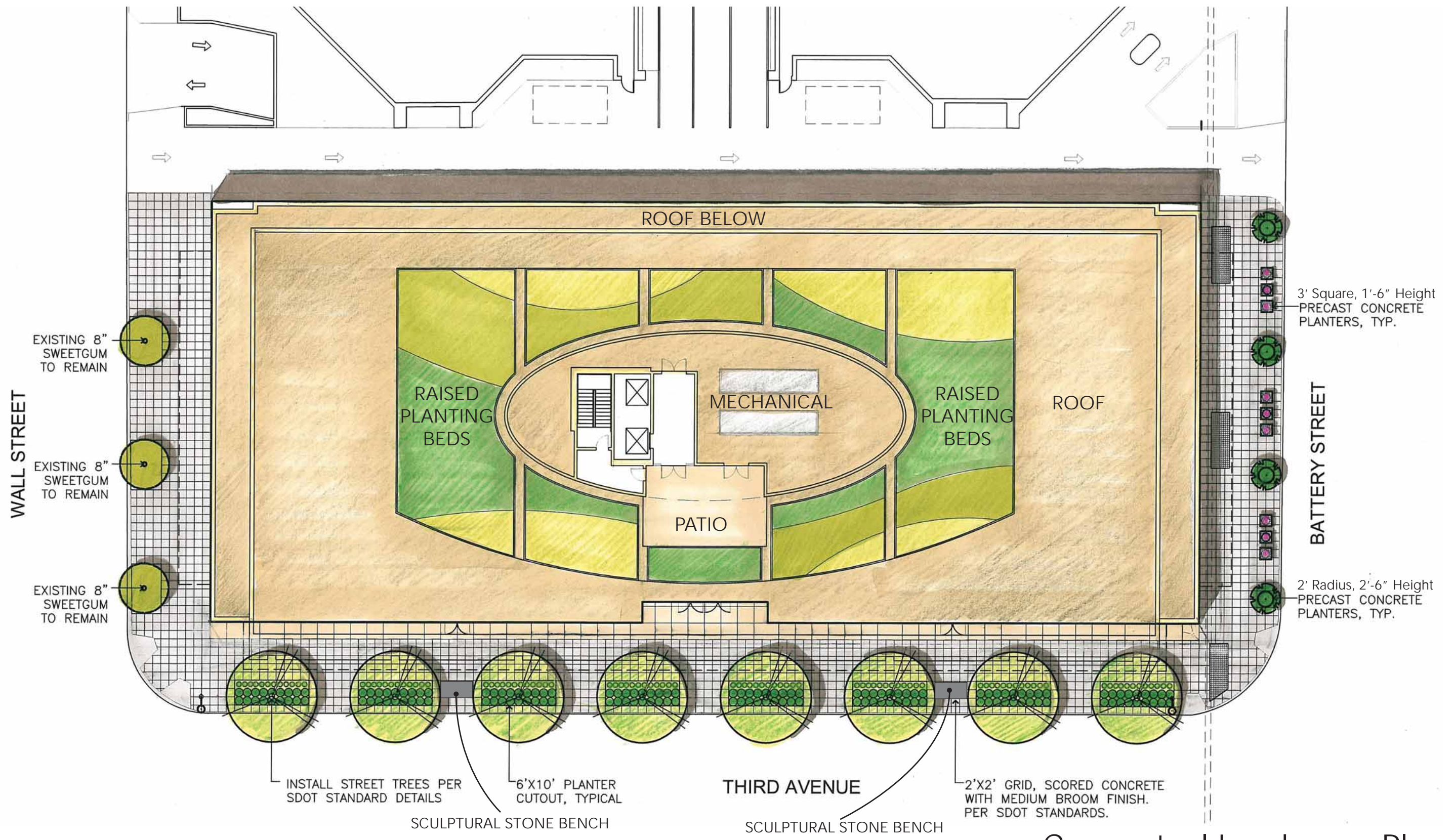
# Conceptual Roof Plan

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# Conceptual Landscape Plan

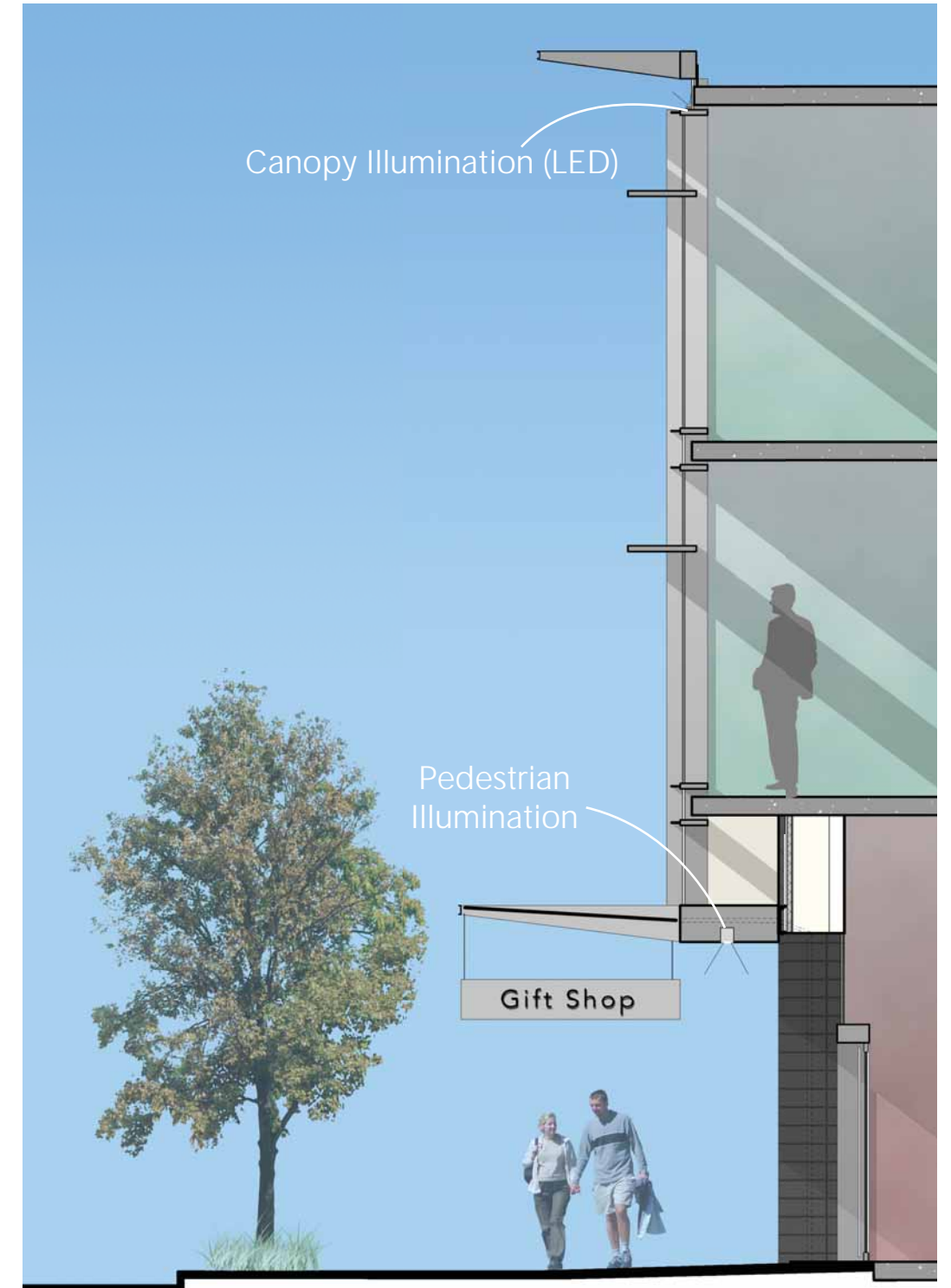
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## Wall Section and Canopy Examples

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View Looking North-East

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West Entry Vignette

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## South Facade Vignette

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Alley Vignette  
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## North Facade Vignette

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## Contextual West Elevation

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## Contextual South Elevation

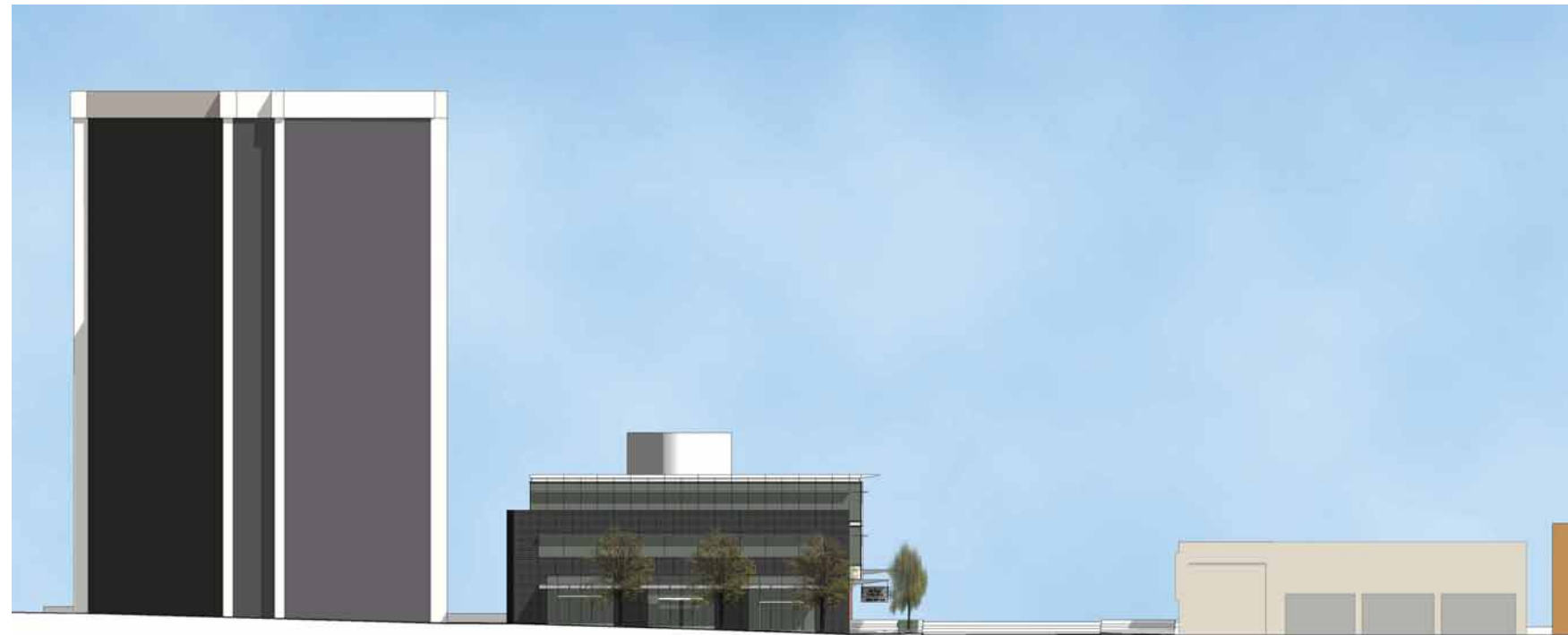
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## Contextual North Elevation

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## 3rd Ave. Elevation

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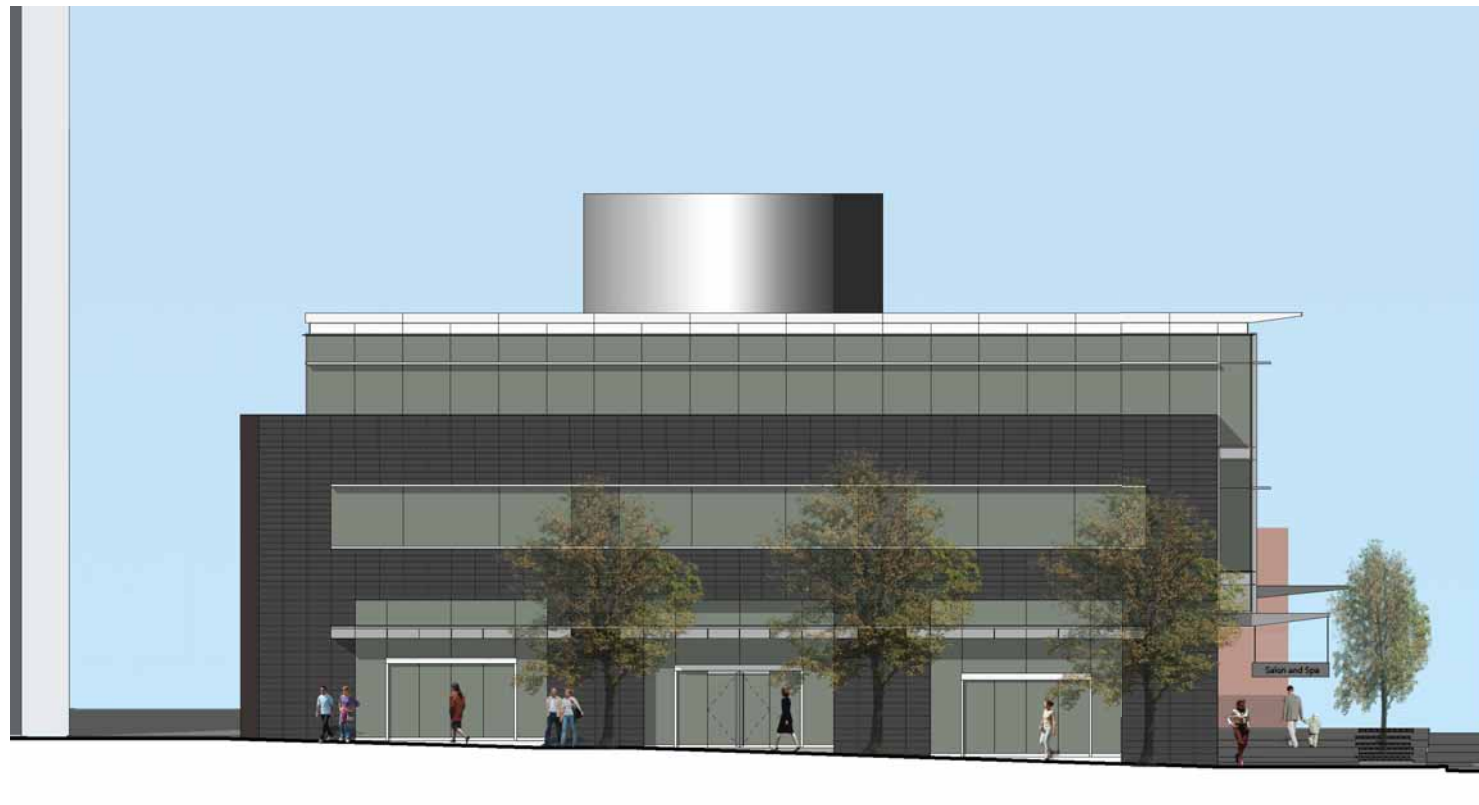
## Battery St. Elevation

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Wall St. Elevation

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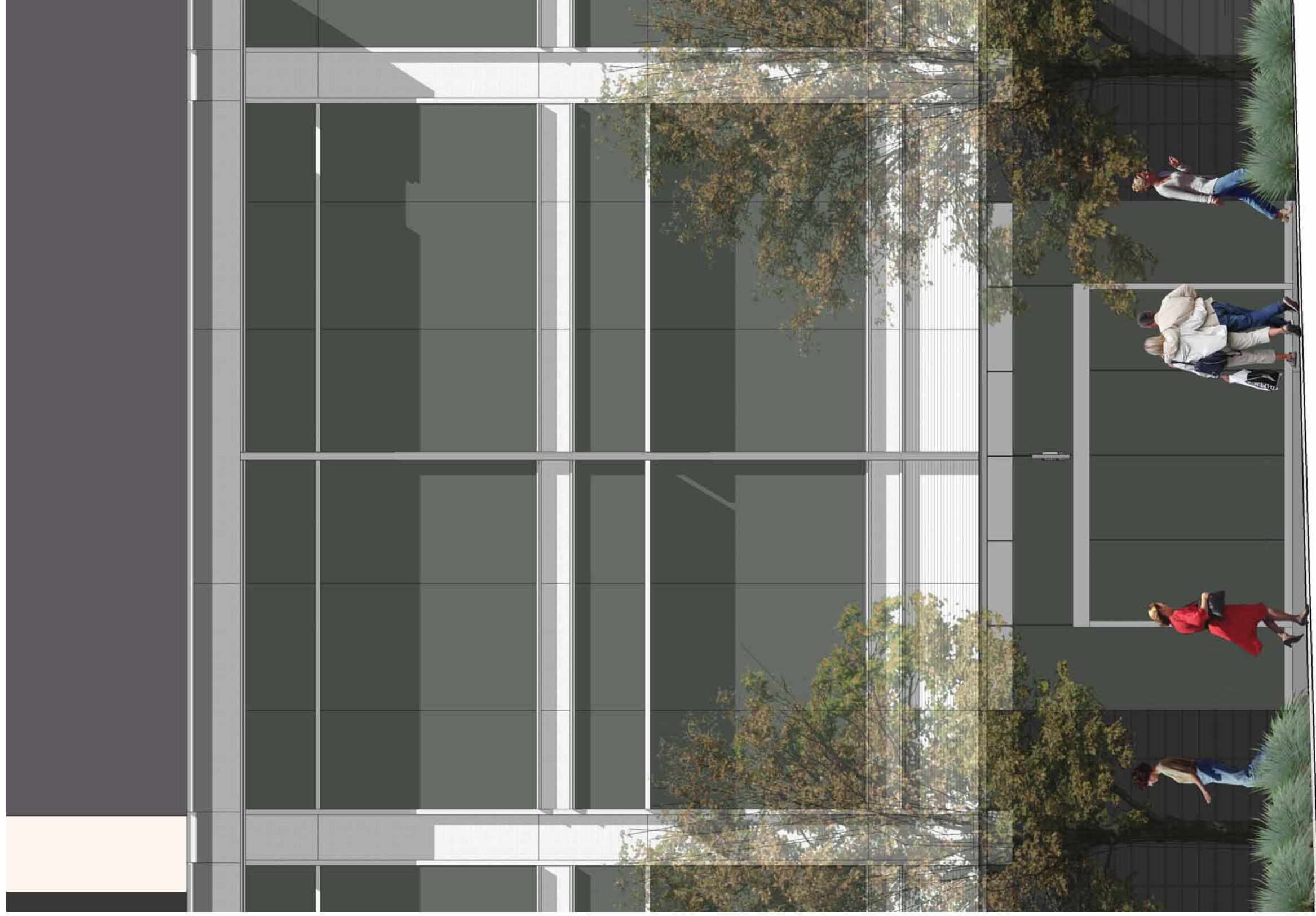
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# Alley Elevation

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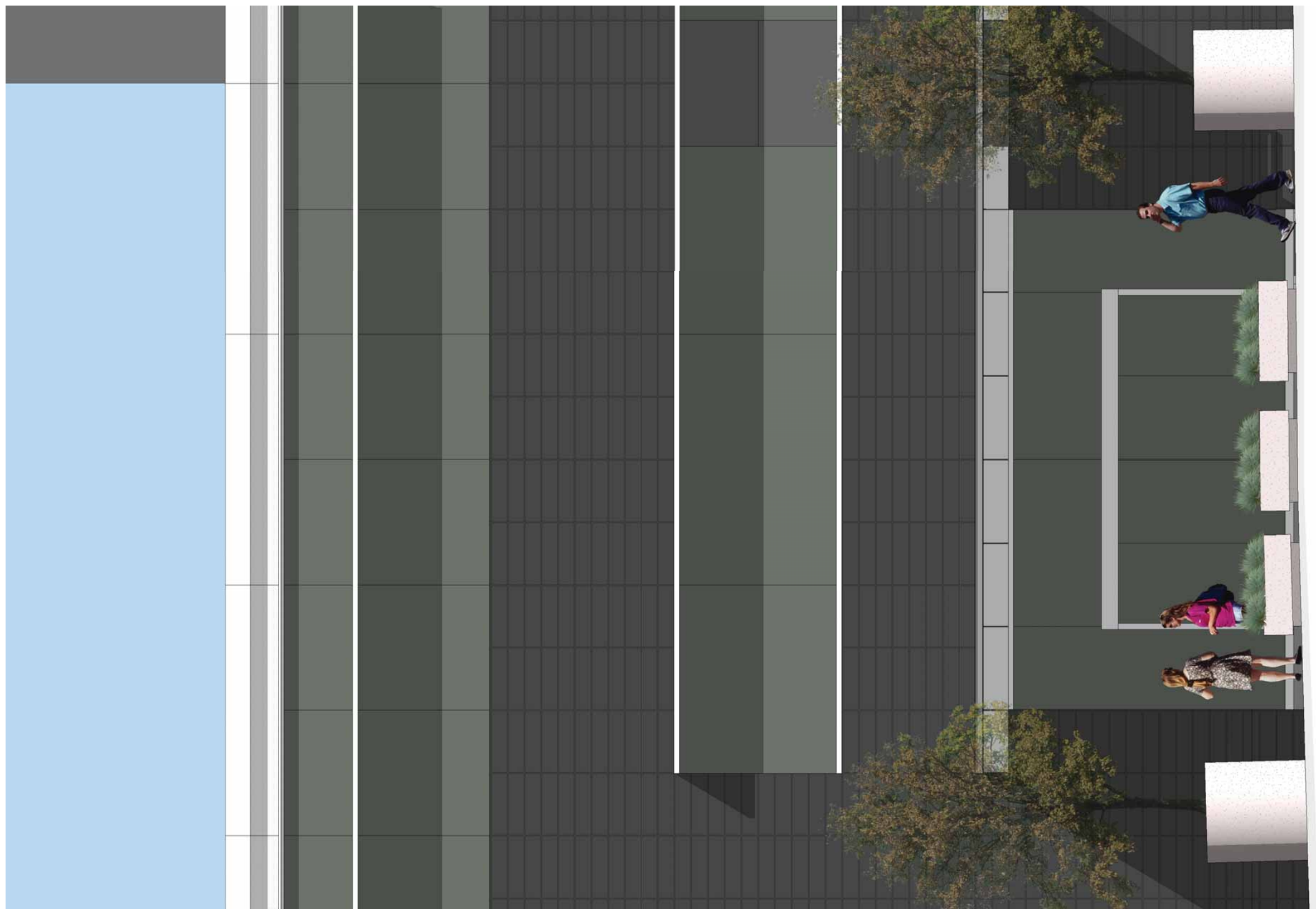


## Enlarged West Elevation

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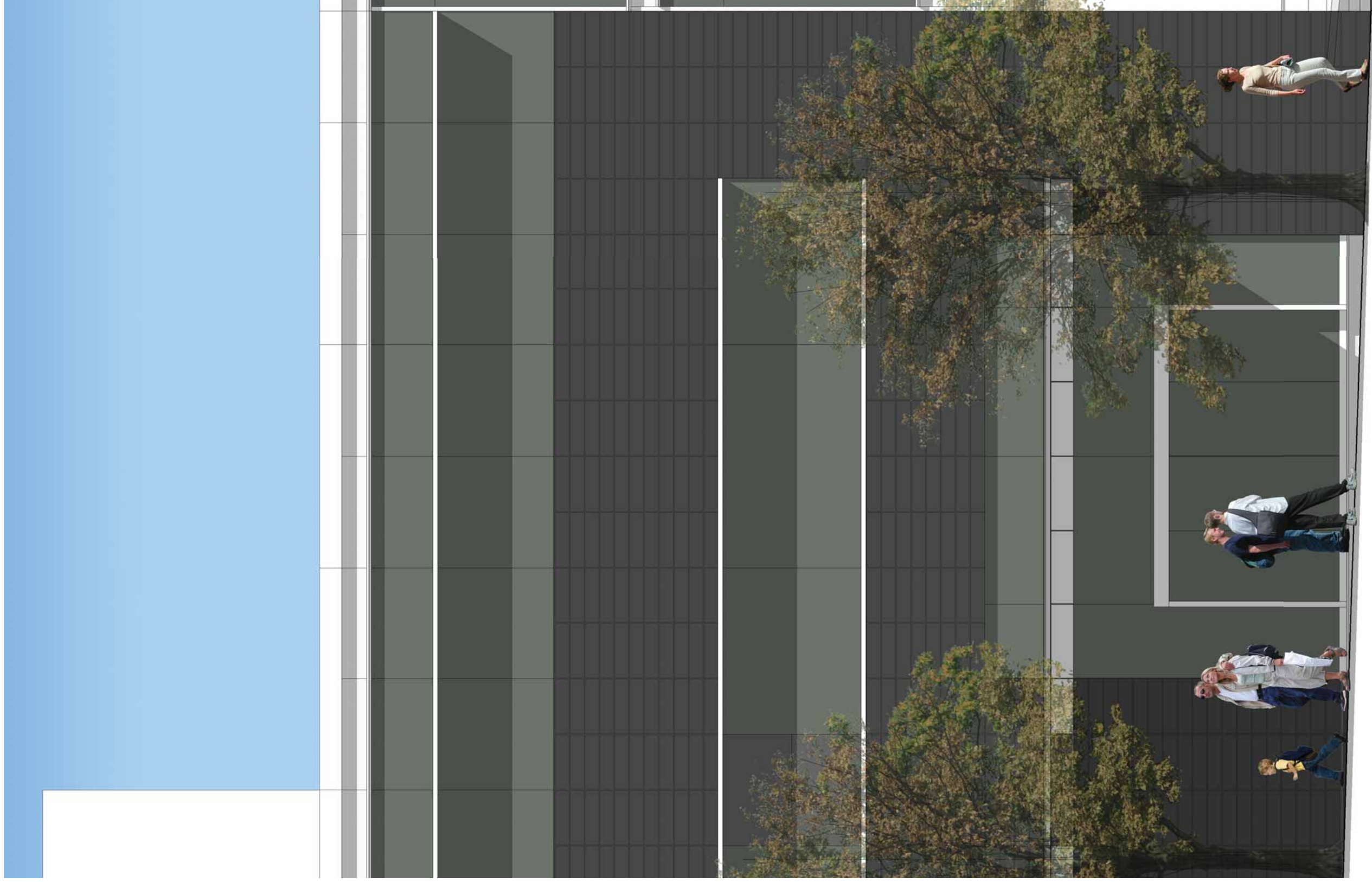
# Enlarged South Elevation

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## Enlarged North Elevation

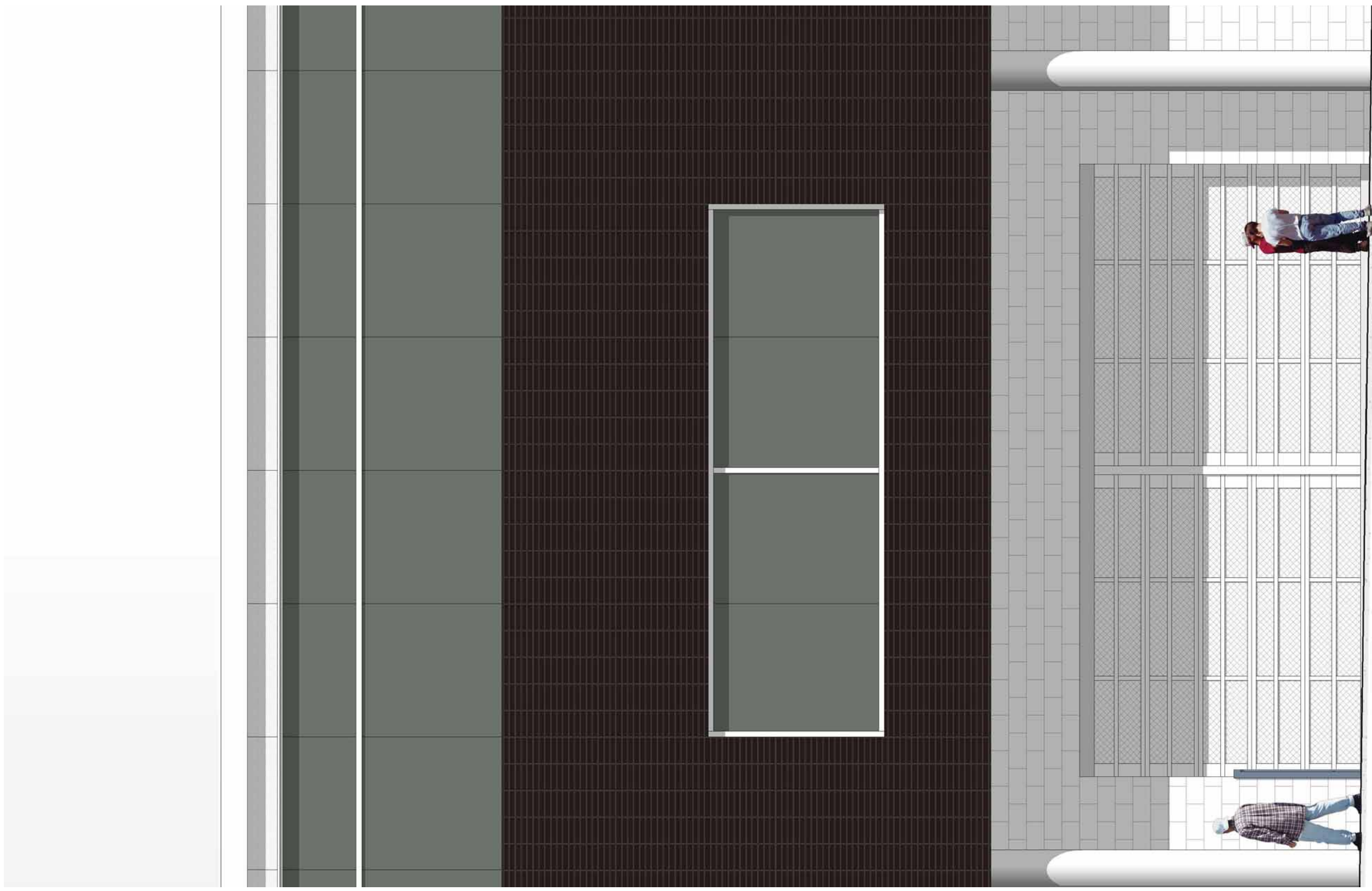
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# Enlarged East Elevation

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