

DESIGN REVIEW BOARD FINAL RECOMMENDATIONS

MARCH 19, 2008

project site



**SITE CONTEXT
PHOTOS**

project site



project site



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PHOTOS**



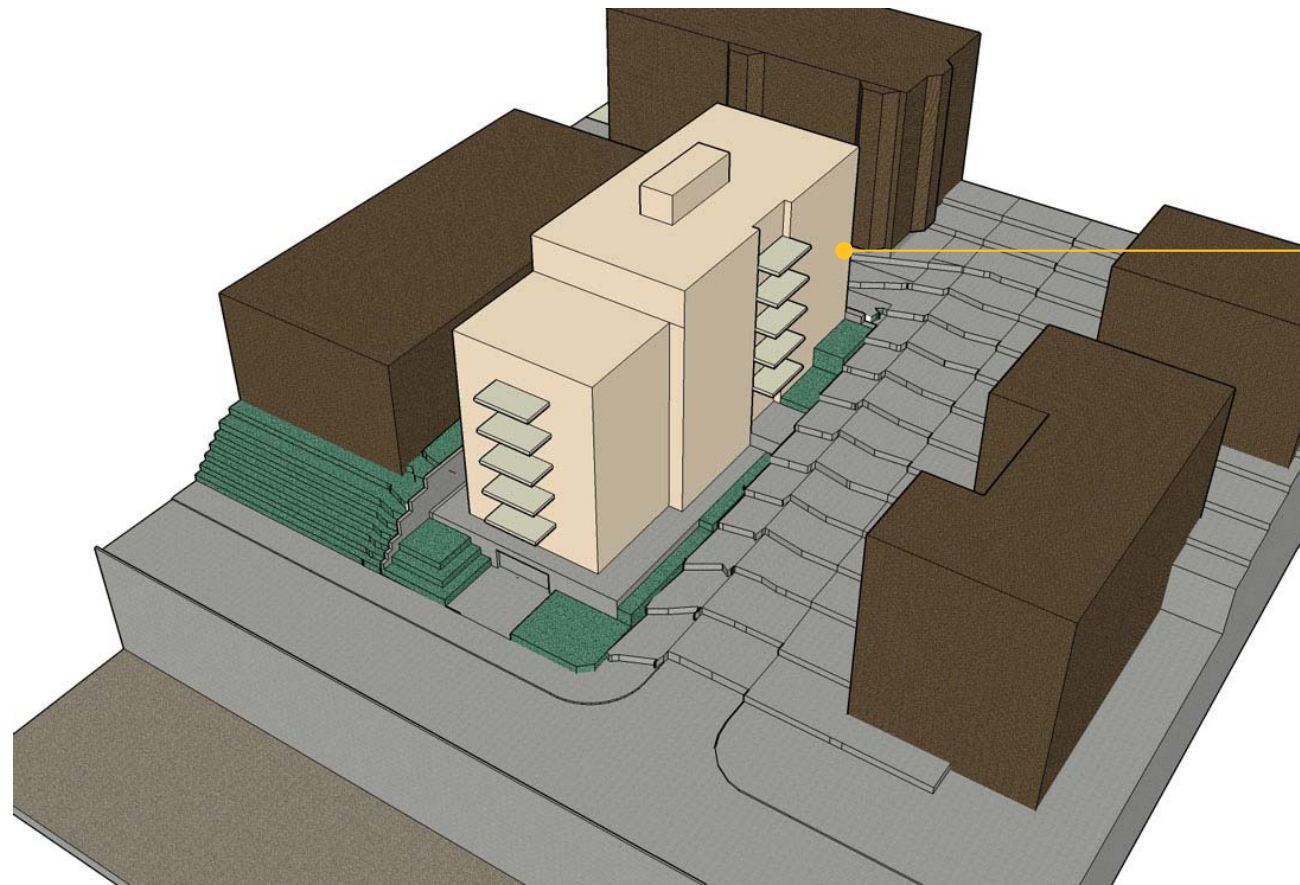
project site

SOUTH WEST CORNER TOWARD DOWNTOWN



project site

WEST SIDE LOOKING EAST



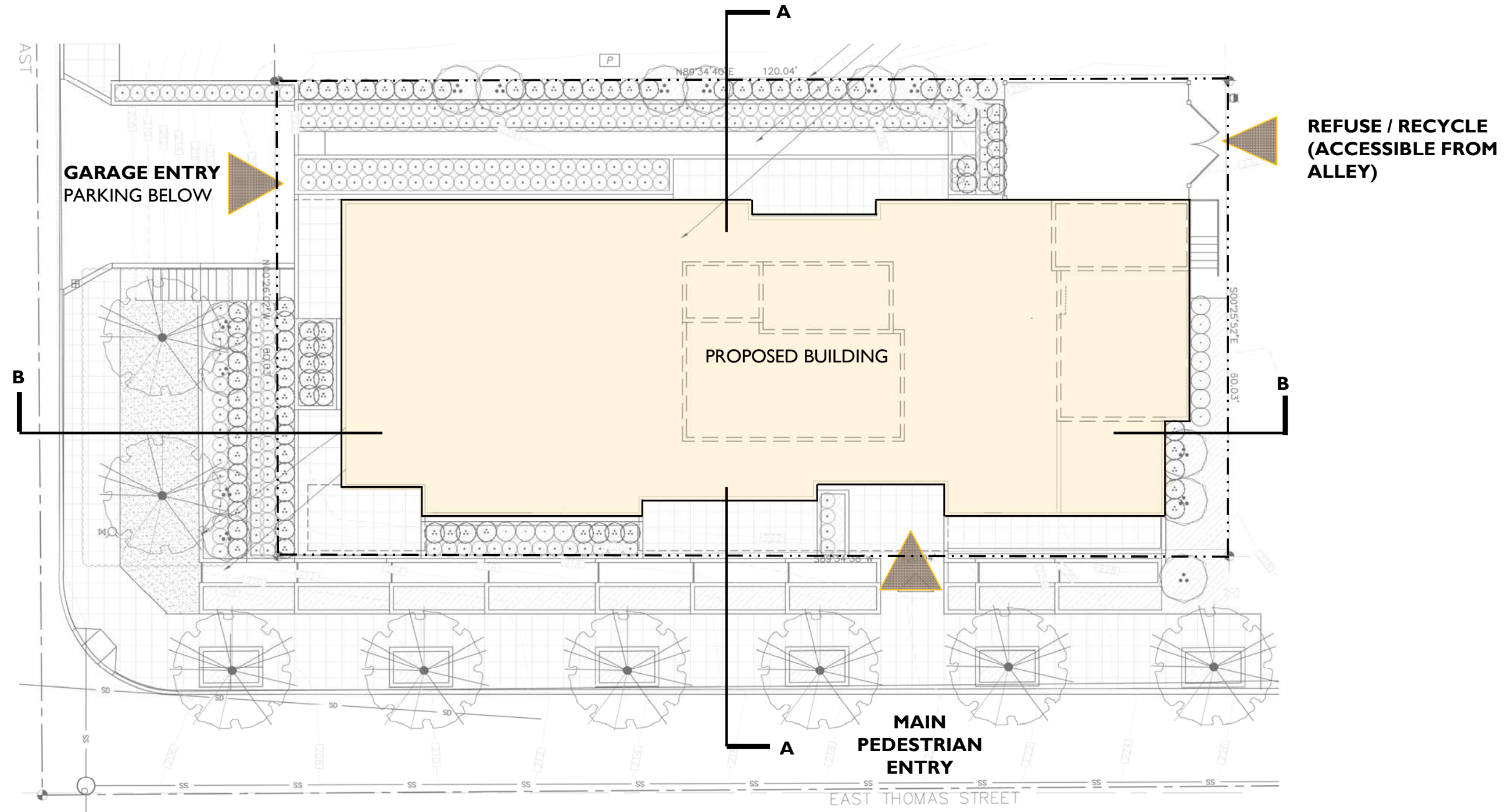
Early Design Guidance: Option B

- 32-36 multifamily apartments
- 3 levels of parking below grade (approx. 43 spaces)
- 2 spaces of parking off existing alley
- exterior courtyard
- reduced setbacks

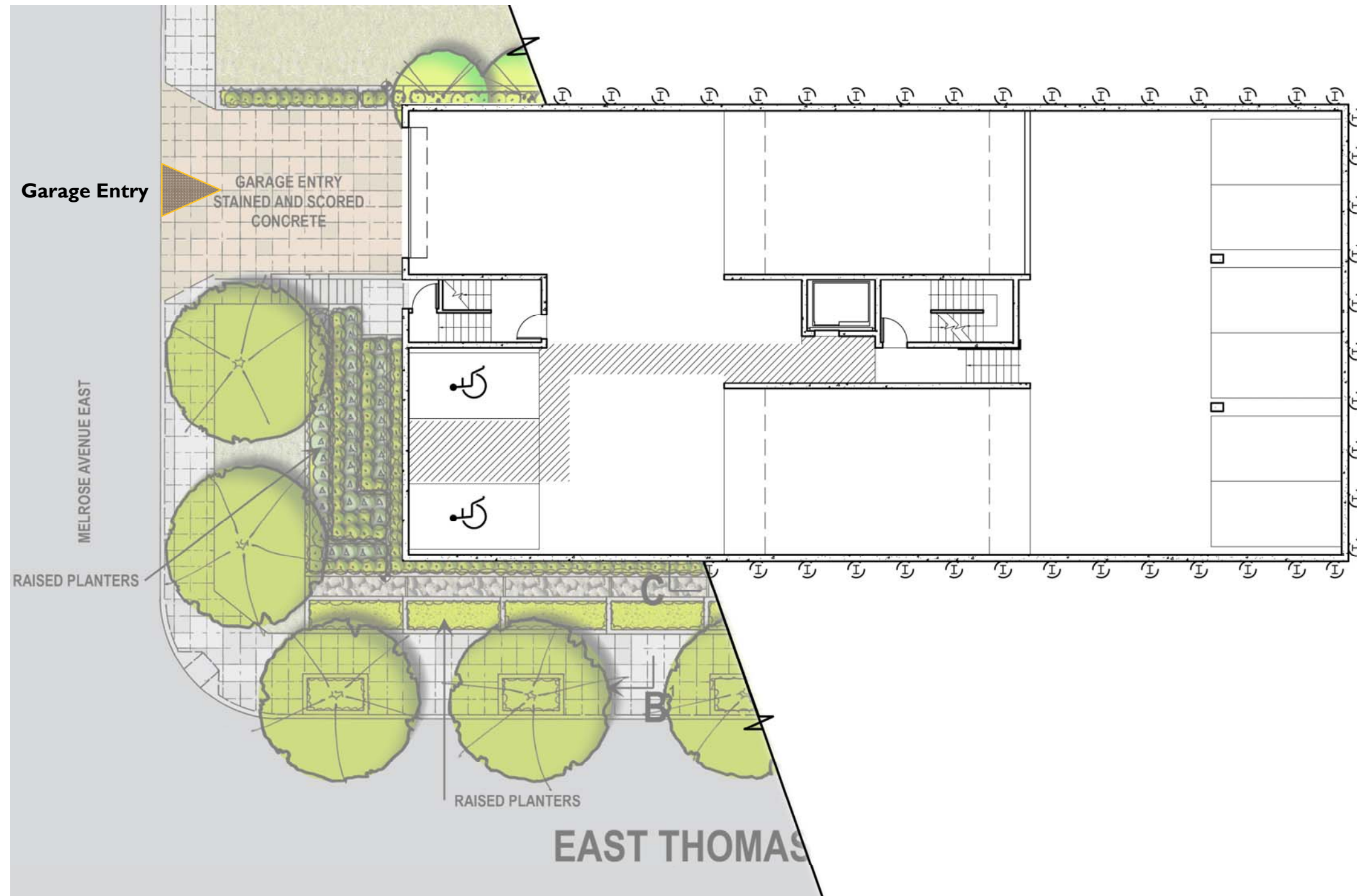


Project Proposal

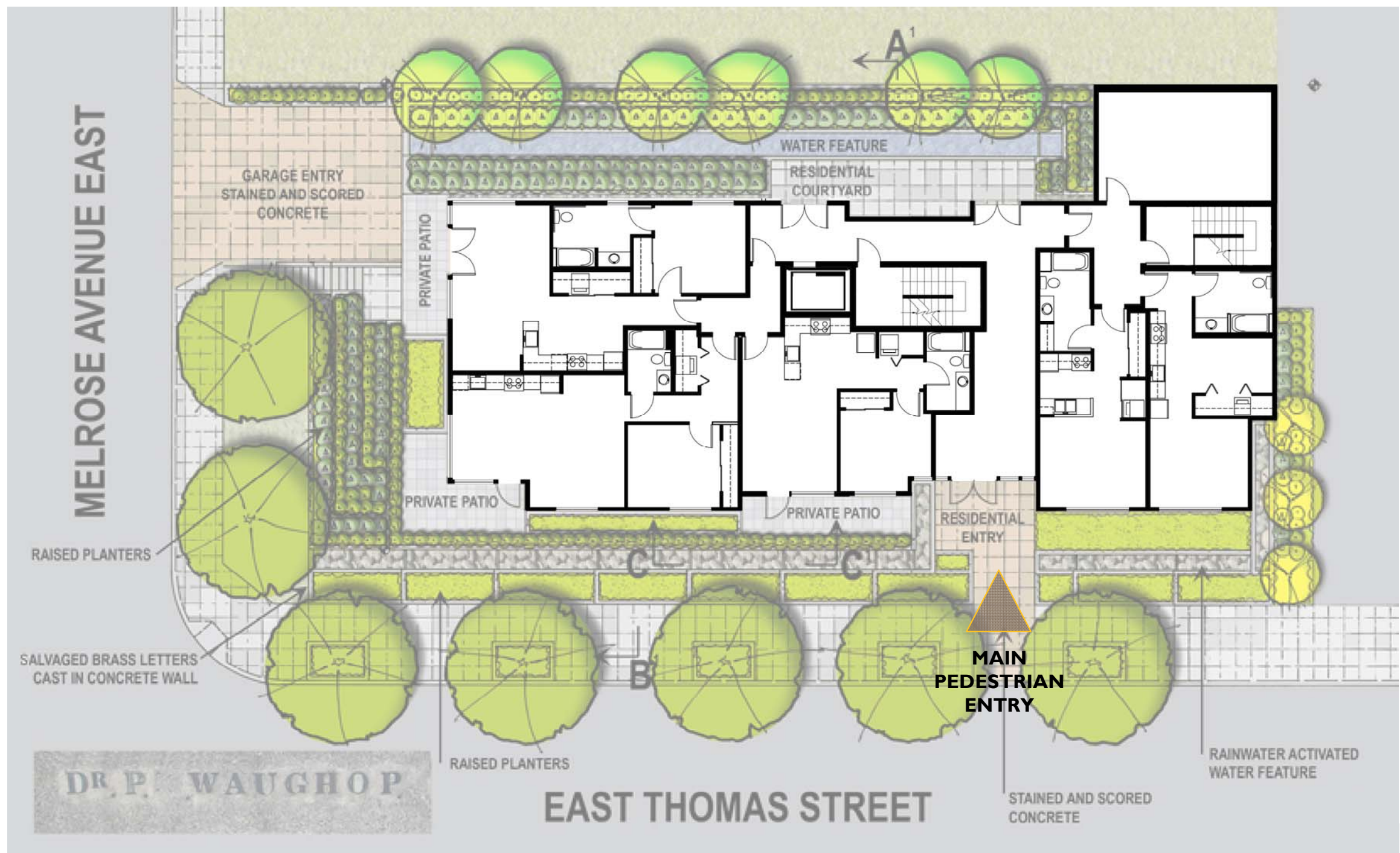
- 30 multifamily apartments
- 3 levels of parking below grade (32 spaces)
- reduced setbacks
- exterior courtyard w/ water feature
- roof garden and community room w/ views
- terraced landscape

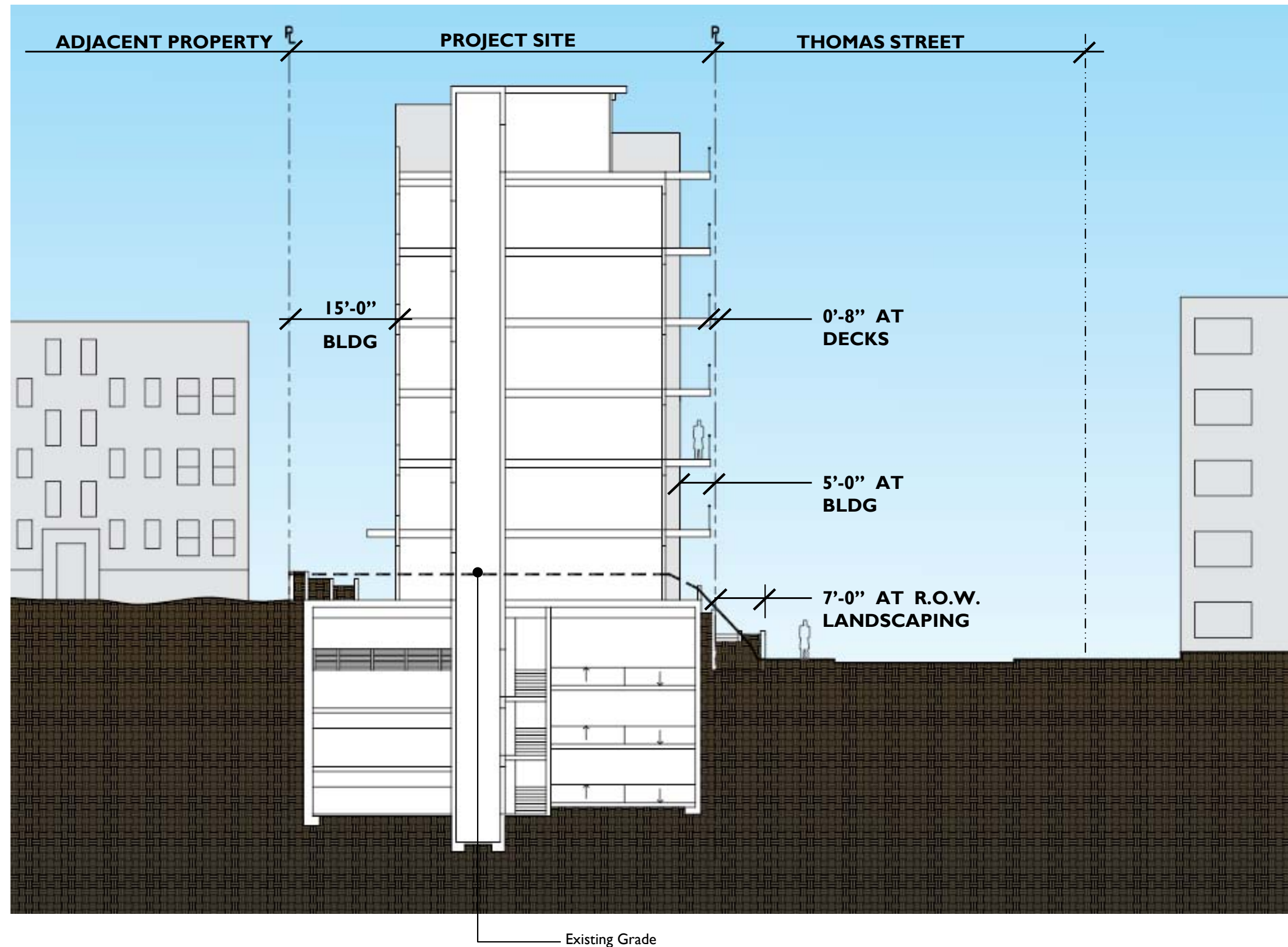


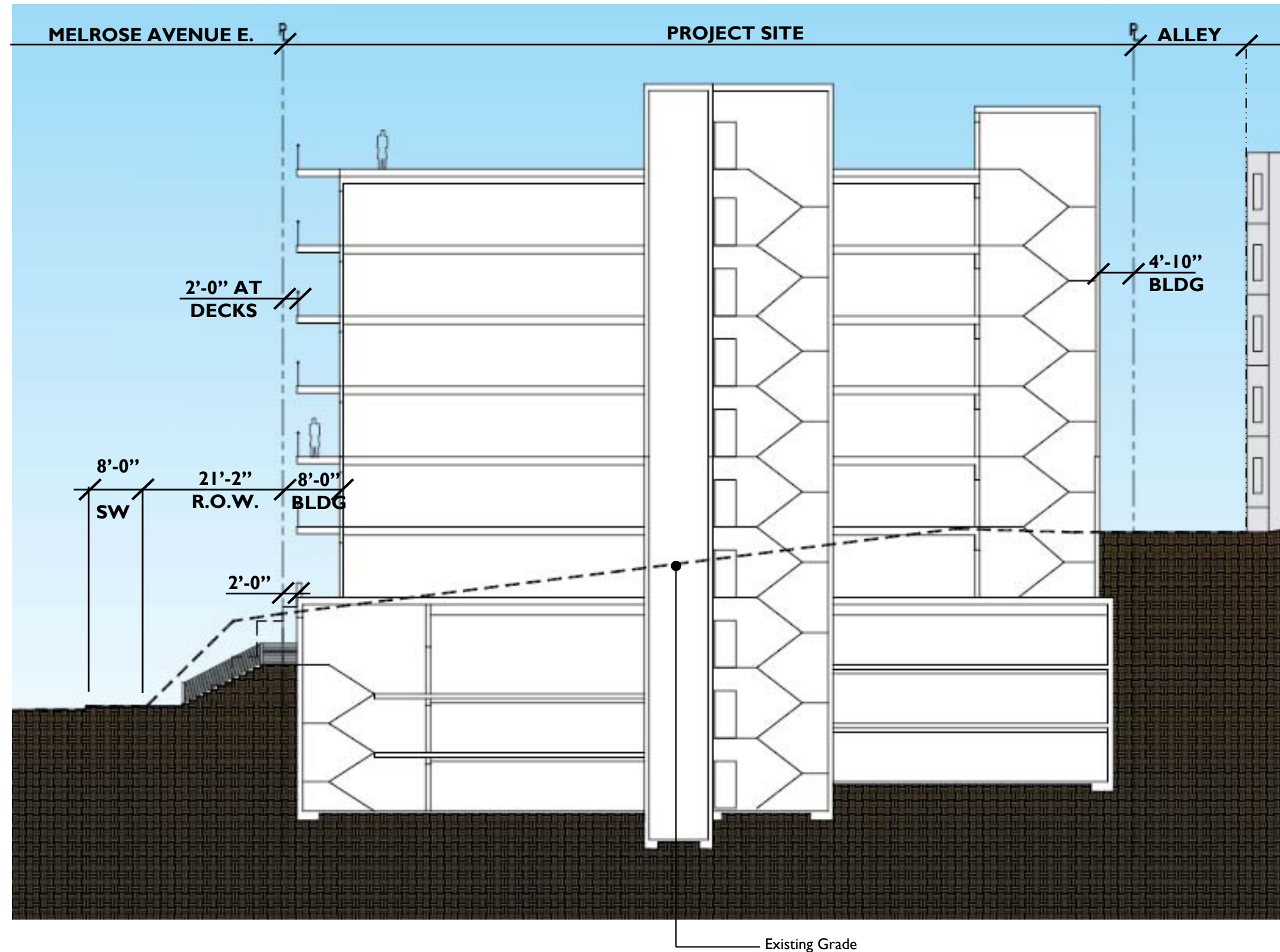
**FLOOR PLAN
GARAGE ENTRY
AT MELROSE
AVENUE EAST**

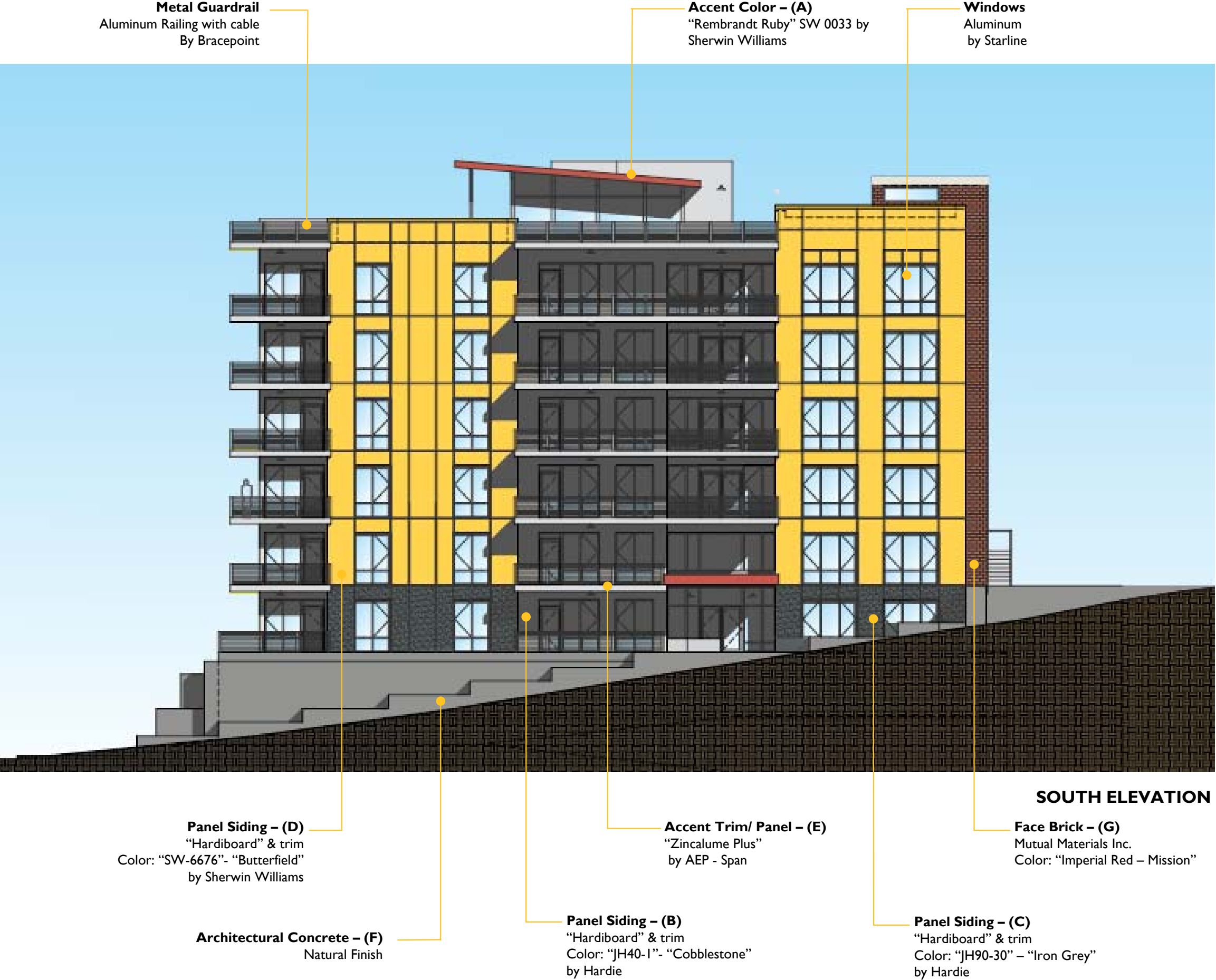


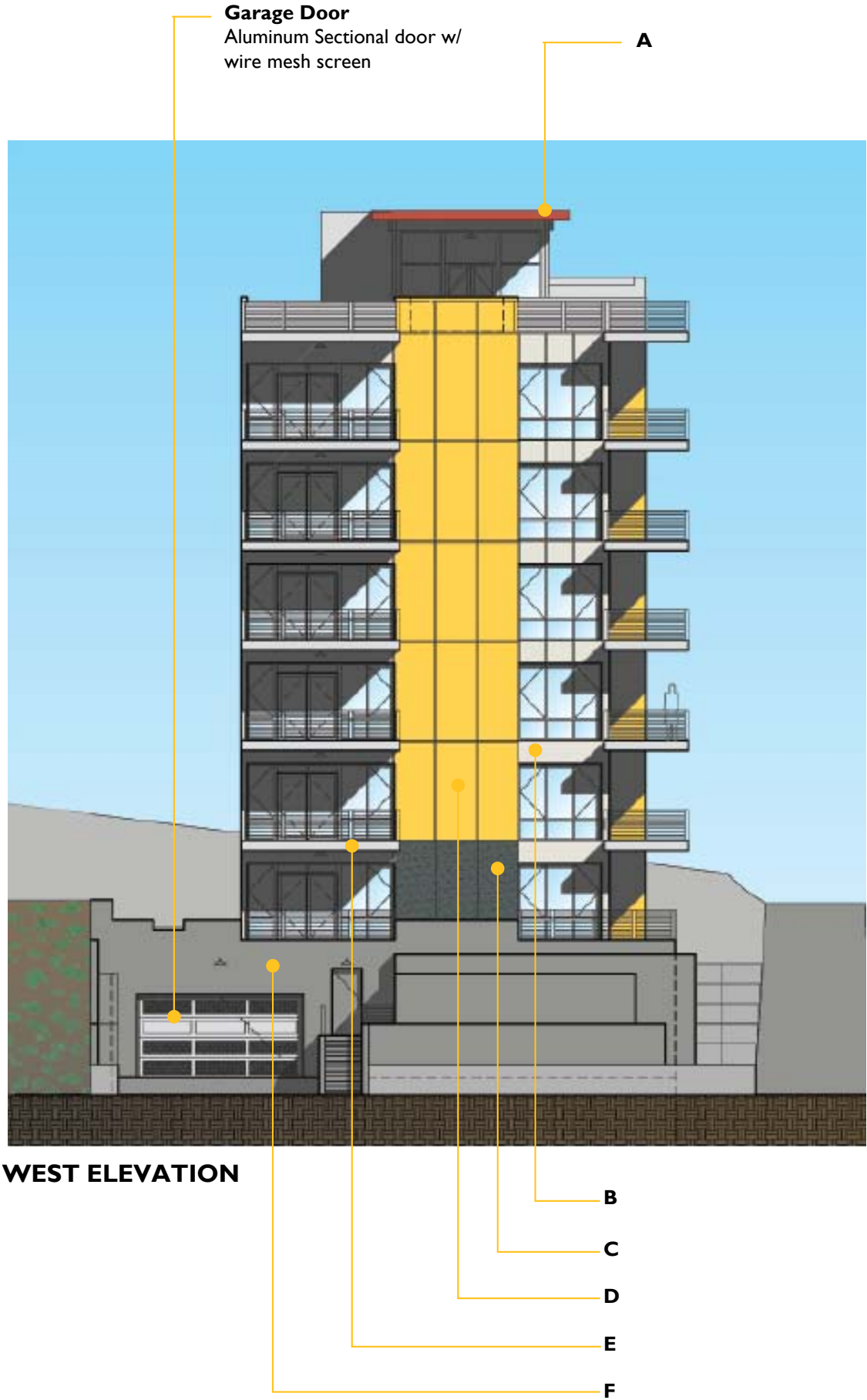
**FLOOR PLAN
PEDESTRIAN
ENTRY AT EAST
THOMAS STREET**

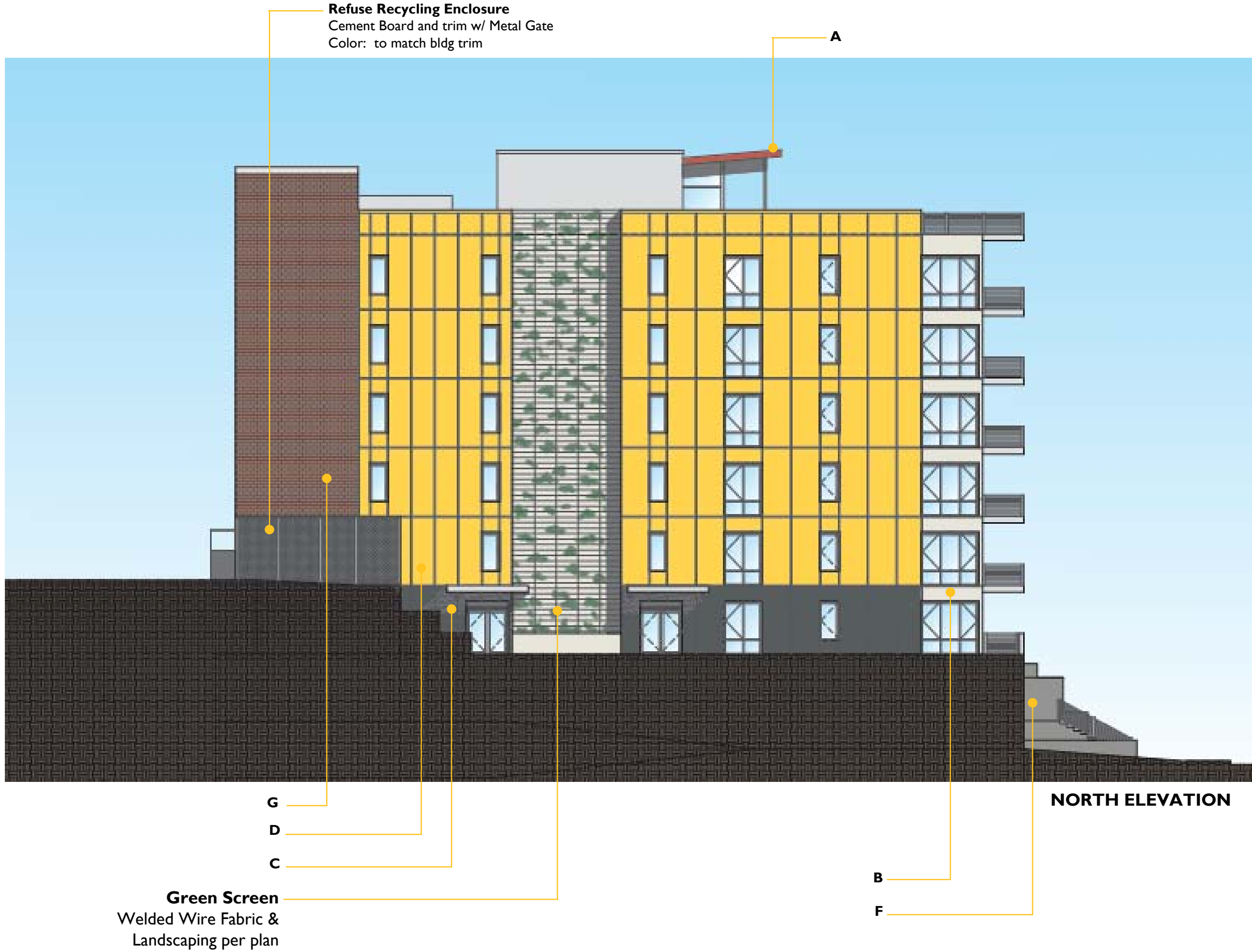














**SOUTH WEST CORNER OF EAST THOMAS
STREET AND MELROSE AVENUE EAST**



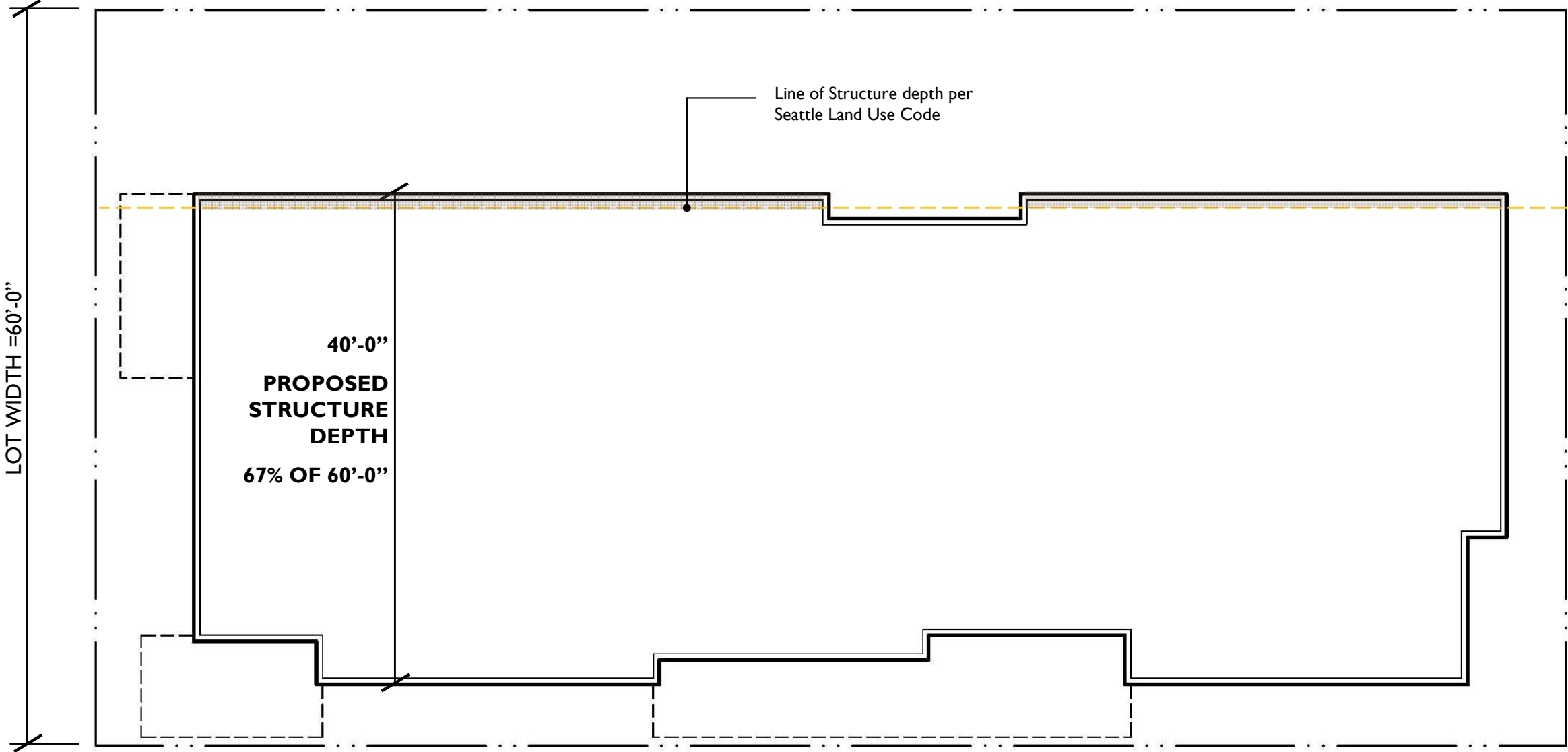
LOOKING WEST DOWN EAST THOMAS STREET



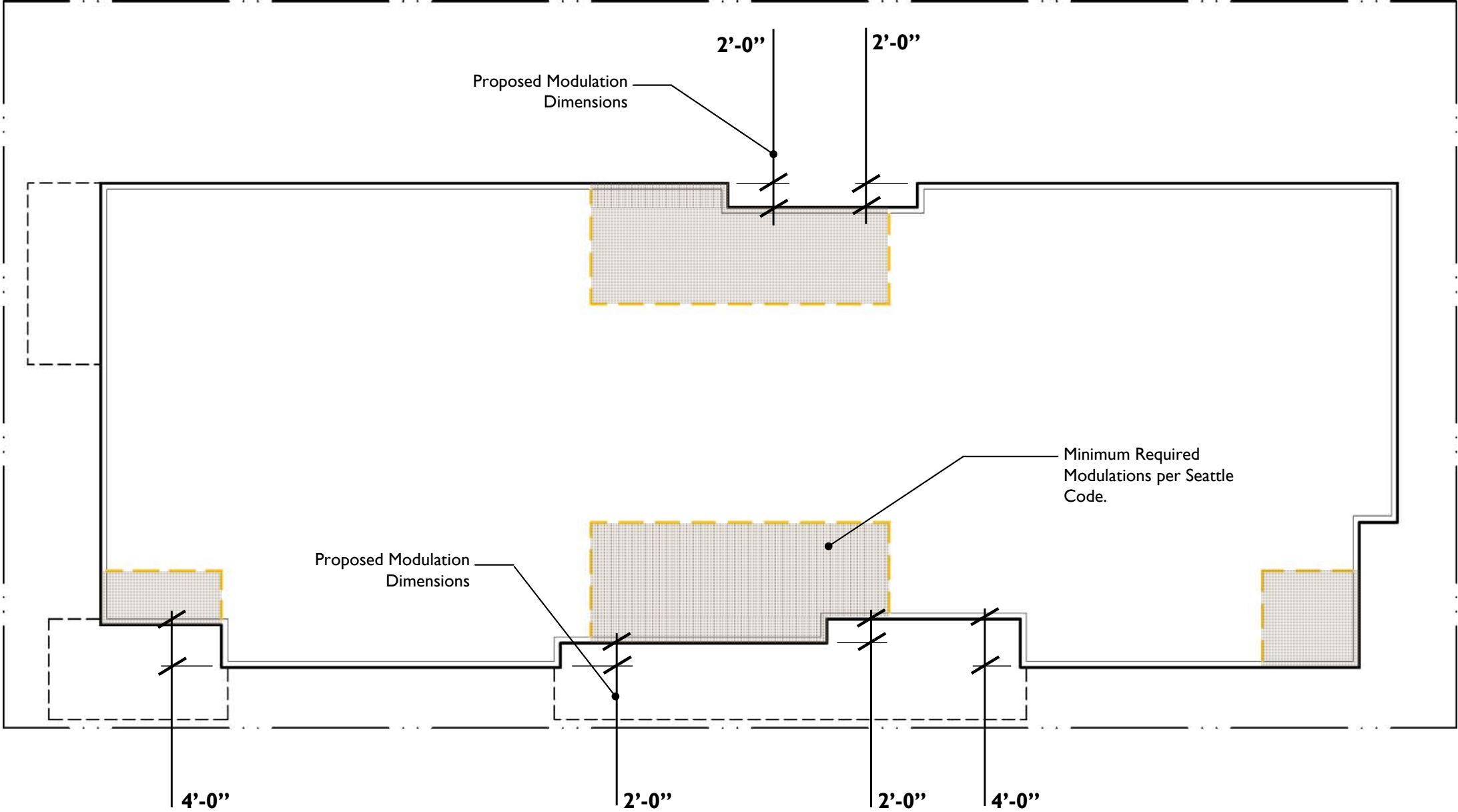
**LOOKING SOUTH DOWN MELROSE AVENUE
EAST**



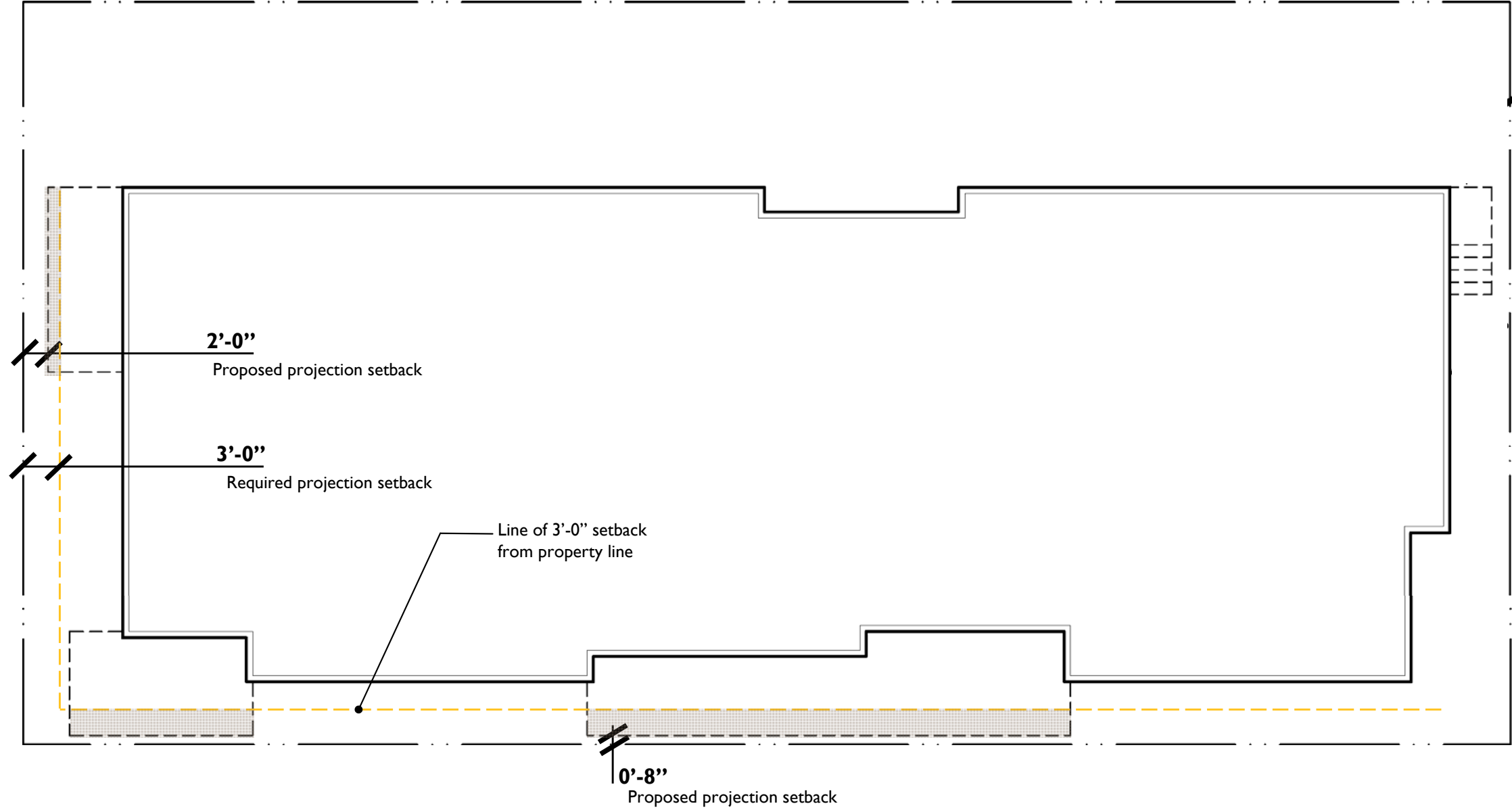
DEPARTURE	CODE REQUIREMENT	PROJECT PROPOSAL	RATIONALE
1	SMC 23.45.052 (B.1.a) STRUCTURAL DEPTH FOR GROUND RELATED HOUSING 65% OF LOT DEPTH (39'-0")	PROPOSAL INCREASES BUILDING DEPTH TO 73% OF LOT DEPTH (44'-0")	ADDITIONAL DEPTH ALLOWS FOR MORE BUILDING MODULATION WHILE MAINTAINING THE DRB PRESCRIBED VIEW CORRIDOR AND 15' NORTH SETBACK AND ALLOWS FOR SOLAR SHADE BALCONIES
2	SMC 23.45.054 (D.1.a) THE MINIMUM DEPTH OF MODULATION SHALL BE EIGHT (8) FEET	PROPOSAL REQUESTS TWO (2) FOOT MODULATIONS AT ALL FACADES FOR MORE THAN THE REQUIRED TEN (10) FOOT LENGTH.	SETBACK LINES CONSTRICT BUILDING LAYOUT AND ALLOW FOR CONFINED PARKING LAYOUTS. REDUCED BUILDING MODULATION TO BE COMPLIMENTED BY CHANGES IN EXTERNAL MATERIALS.
3	SMC 23.45.056 (A.3.c.& d) PORTIONS OF THE FAÇADE WHICH BEGIN EIGHT (8) FEET OR MORE ABOVE FINISHED GRADE SHALL BE NO CLOSER THAN THREE (3) FEET TO THE FRONT (AND SIDE) LOT LINE.	PROPOSAL REQUESTS BALCONIES THAT PROJECT INTO THE FRONT SETBACK WITHIN 8" OF THE PROPERTY LINE.	CONCESSIONS FOR REQUIRED SETBACKS FOR THIS NARROW LOT DEPTH CAN TAKE ADVANTAGE OF VIEW OPPORTUNITY WITH CABLE RAIL DECK RAILING. THESE DECKS ALSO ACT AS SUNSHADES AND QUALIFY AS PART OF THE OPEN SPACE REQUIREMENT WITH SIX (6) FOOT DEPTH.
4	SMC TABLE 23.45.056 A SIDE SETBACK (ALLEY) REQUIRED TO BE EIGHT (8) FEET	REQUEST SIDE SETBACK OF 4'-10" FOR ALLEY SIDE OF BUILDING AND 1'-4" SETBACK FOR EXIT STAIR @ ALLEY DISCHARGE.	MINIMUM EXIT SEPARATION DISTANCE PER SEATTLE BUILDING CODE PUSHES STAIR B AWAY FROM STAIR A. PROPOSED LOCATION DOESN'T ENCROACH UPON EXISTING BUILDING FOOTPRINT AND MAINTAINS VIEW CORRIDOR.
5	SMC 23.54.030 REQUIRES MIN 5'-0" FROM CENTERLINE OF STALL TO NEAREST STRUCTURAL ELEMENT	REQUEST 4'-8" CLEAR TO NEAREST STRUCTURAL ELEMENT	PROPOSED REDUCTION IS THE RESULT OF SHORING SETBACKS AND REQUIRED MINIMUMS FOR DRIVE AISLE WIDTH, EXIT STAIR WIDTH, ACCESSIBLE PARKING STALL WIDTH PER ANSI CODE AND SEATTLE LAND USE CODE.
6	SMC 23.45.056.A FRONT SETBACK. THE REQUIRED FRONT SETBACK SHALL BE THE AVERAGE OF THE SETBACKS OF THE FIRST PRINCIPAL STRUCTURES ON EITHER SIDE...	REQUEST 5'-0" FRONT SETBACK.	REQUEST MIN INSTEAD OF AVERAGED SETBACK DUE TO EXISTING ADJACENT STRUCTURE OF 2'-6" AND NARROW PROJECT SITE CONSTRAINTS.
7	SMC 23.45.060 ALLEY (PARKING) ACCESS REQUIRED.	REQUEST PARKING GARAGE ENTRANCE ON MELROSE AVE. E.	SITE CONFIGURATION AND SLOPE MAKE ALLEY ACCESS INFEASIBLE (LOSE OF HABITABLE SPACE, GARBAGE TOWARD THOMAS ST.AND EVEN EFFICIENT GARAGE) FOR PROJECT. DRB NOTED "SITE TOPOGRAPHY AND ROCKERY ARE ELEMENTS THAT CAN HELP MINIMIZE THE PRESENCE OF THE DRIVEWAY FROM THE STREET."
8	SMC 23.45.058.B.3 NO HORIZONTAL DIMENSION FOR REQUIRED GROUND-LEVEL OPEN SPACE SHALL BE LESS THAN TEN (10) FEET.	REQUEST GROUND LEVEL OPEN SPACES WITH DIMENSIONS LESS THAN TEN (10) FEET.	SITE CONFIGURATION AND SETBACKS LIMIT ALLOWABLE DIMENSIONS FOR GROUND LEVEL OPEN SPACE.



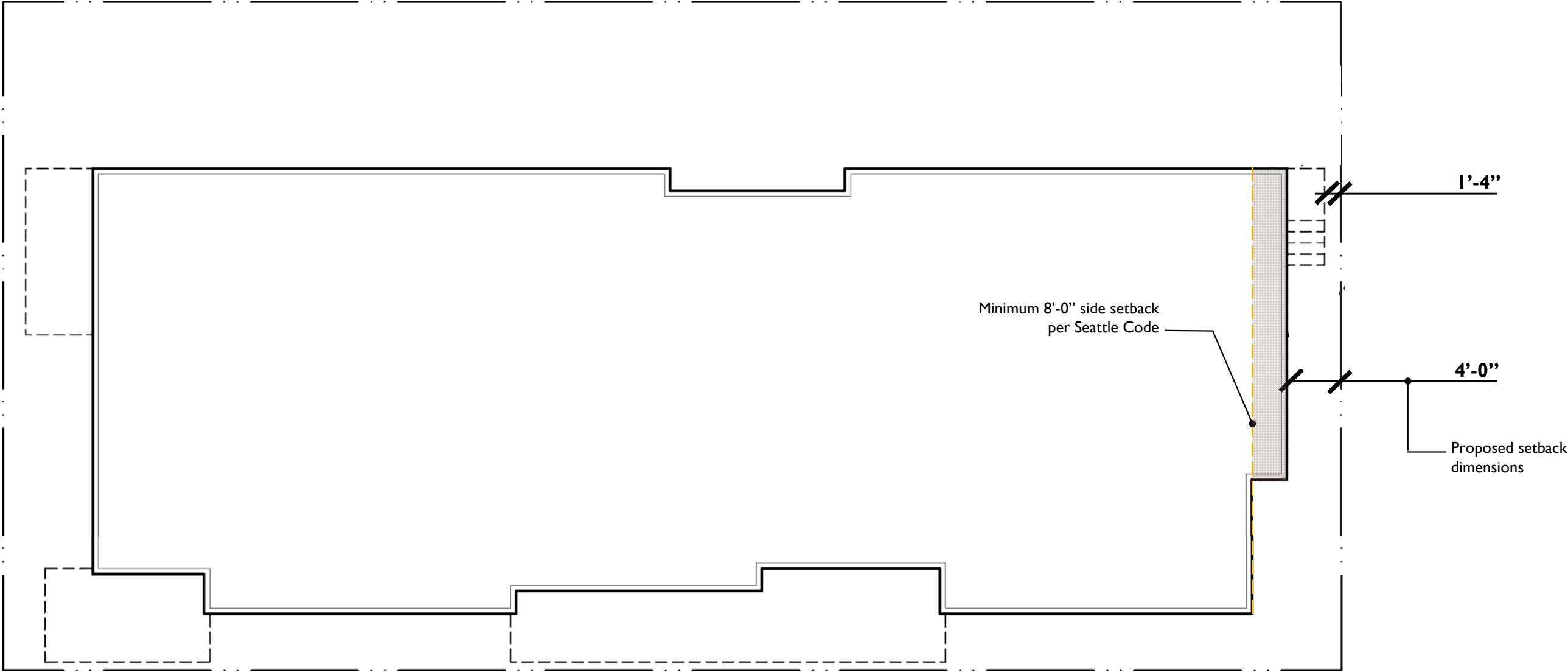
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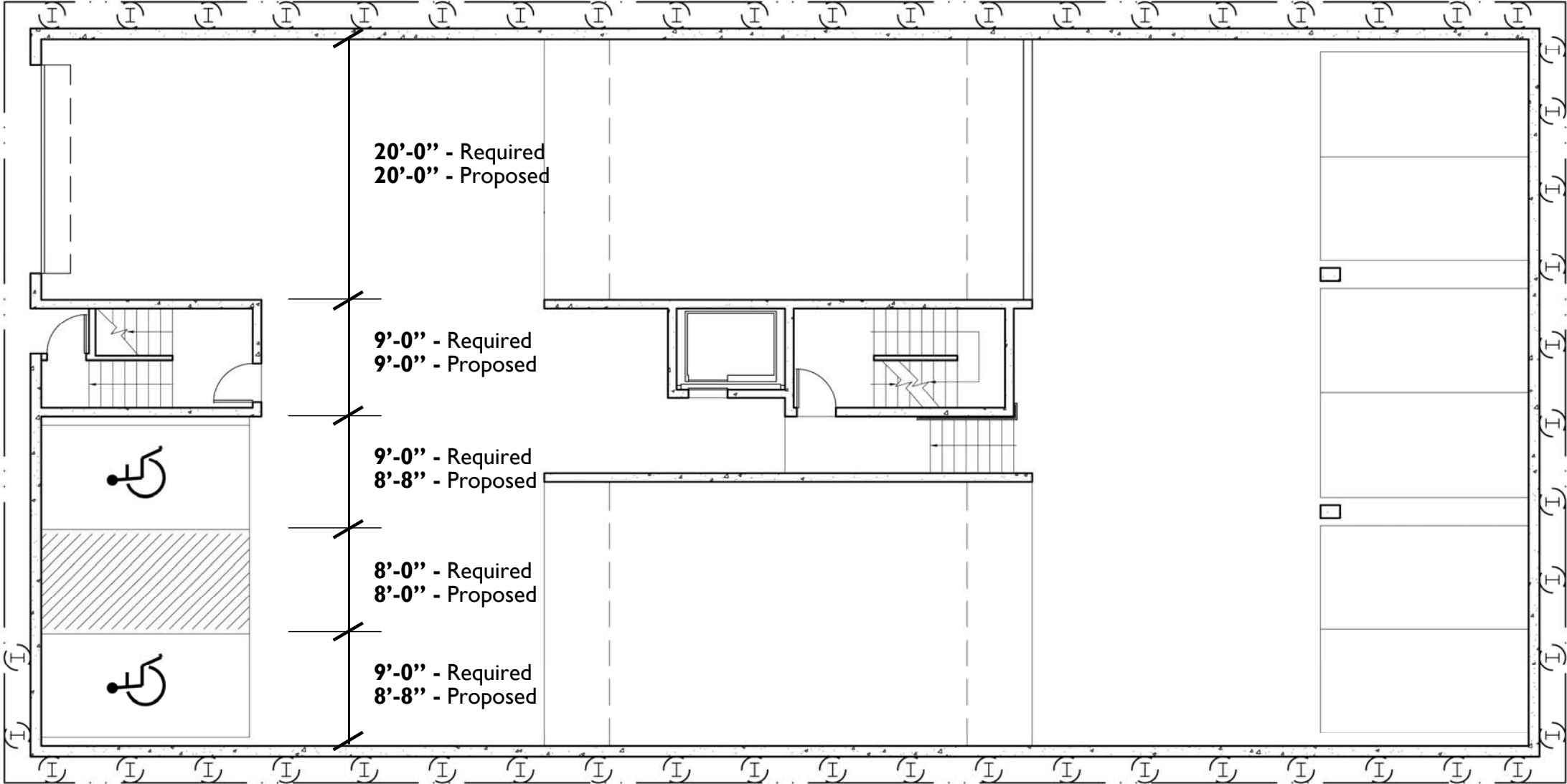


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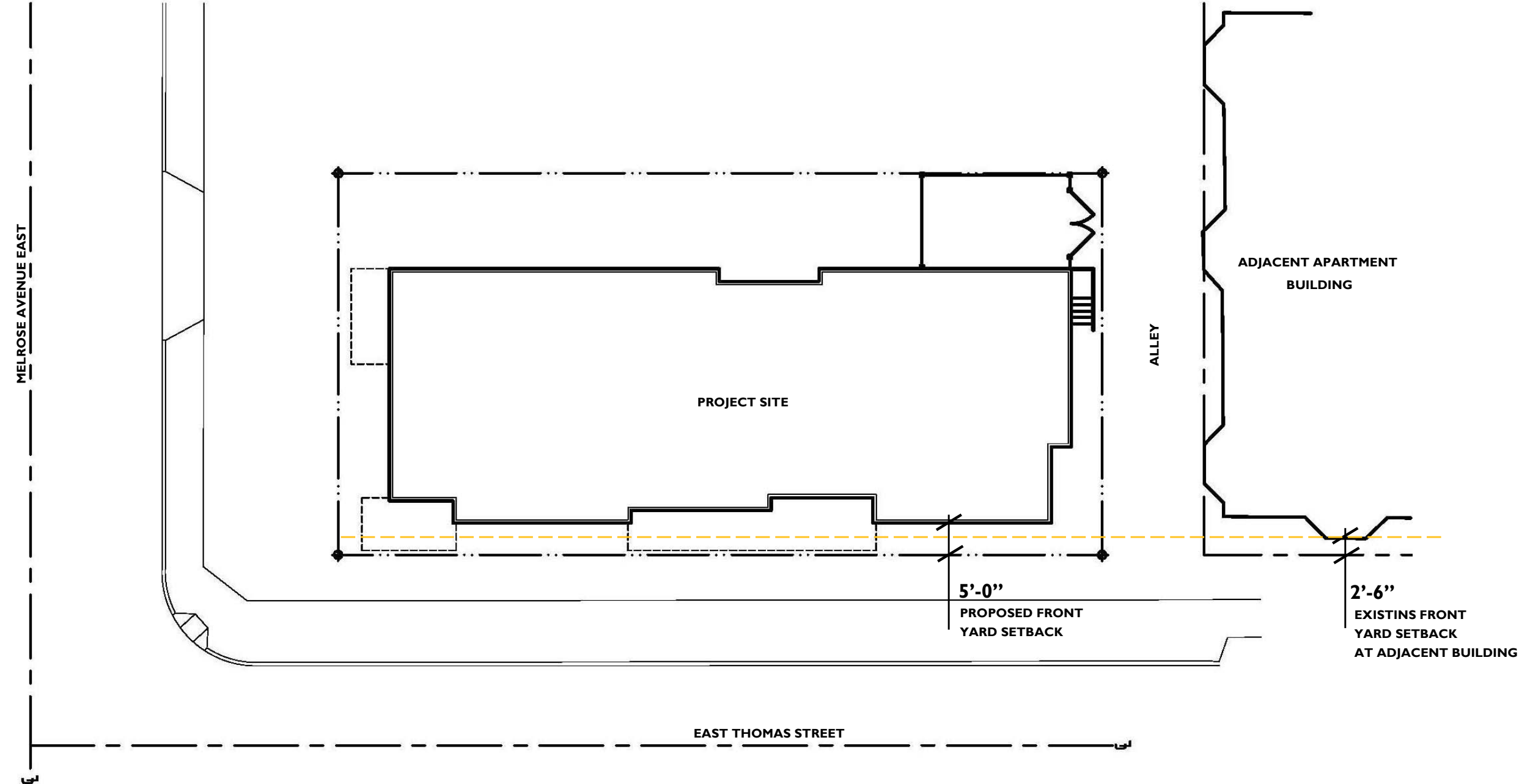
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DEPARTURE 5:
PARKING
DISTANCE



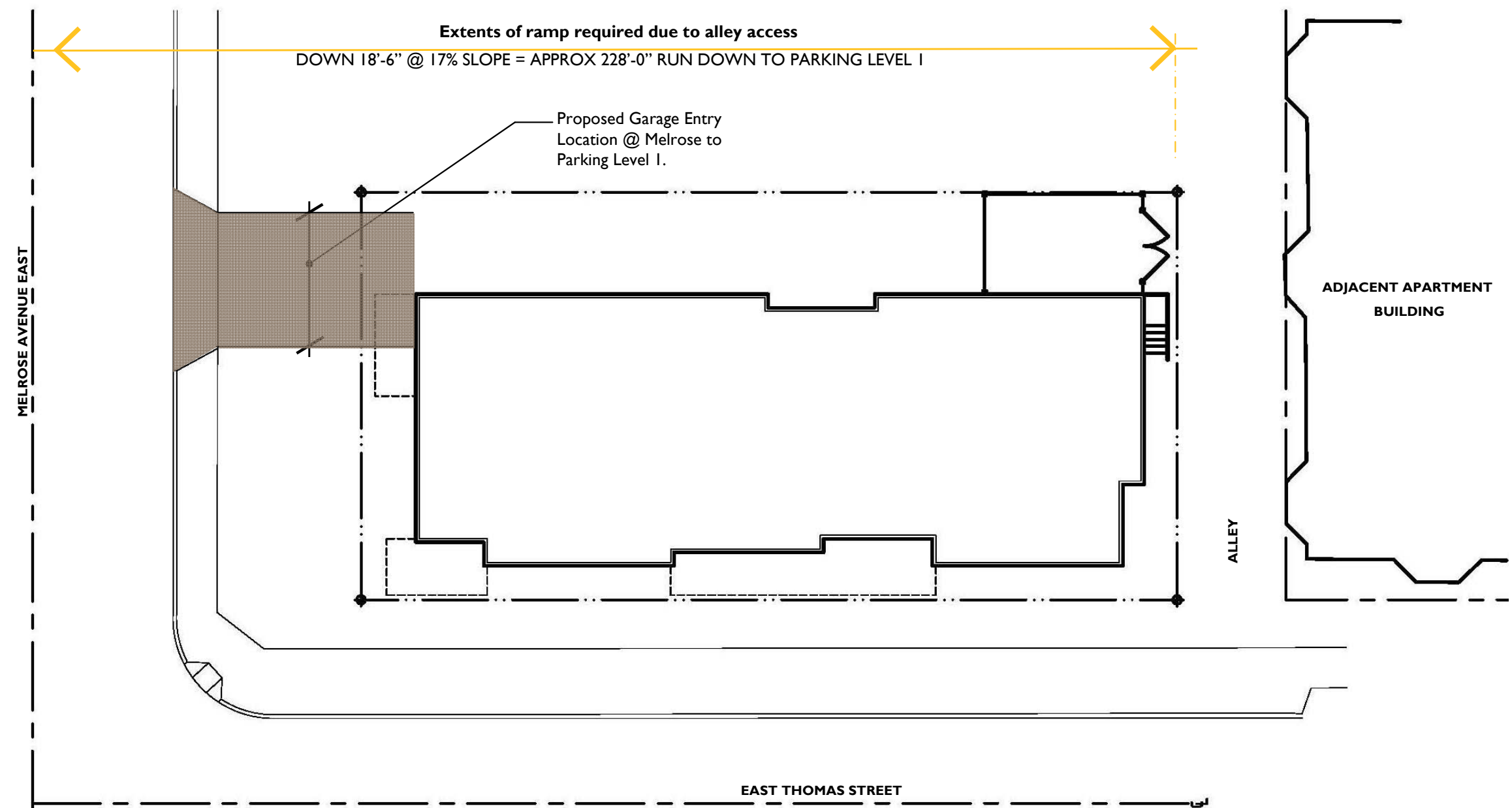
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DEPARTURE 6:
AVERAGED
FRONT SETBACK

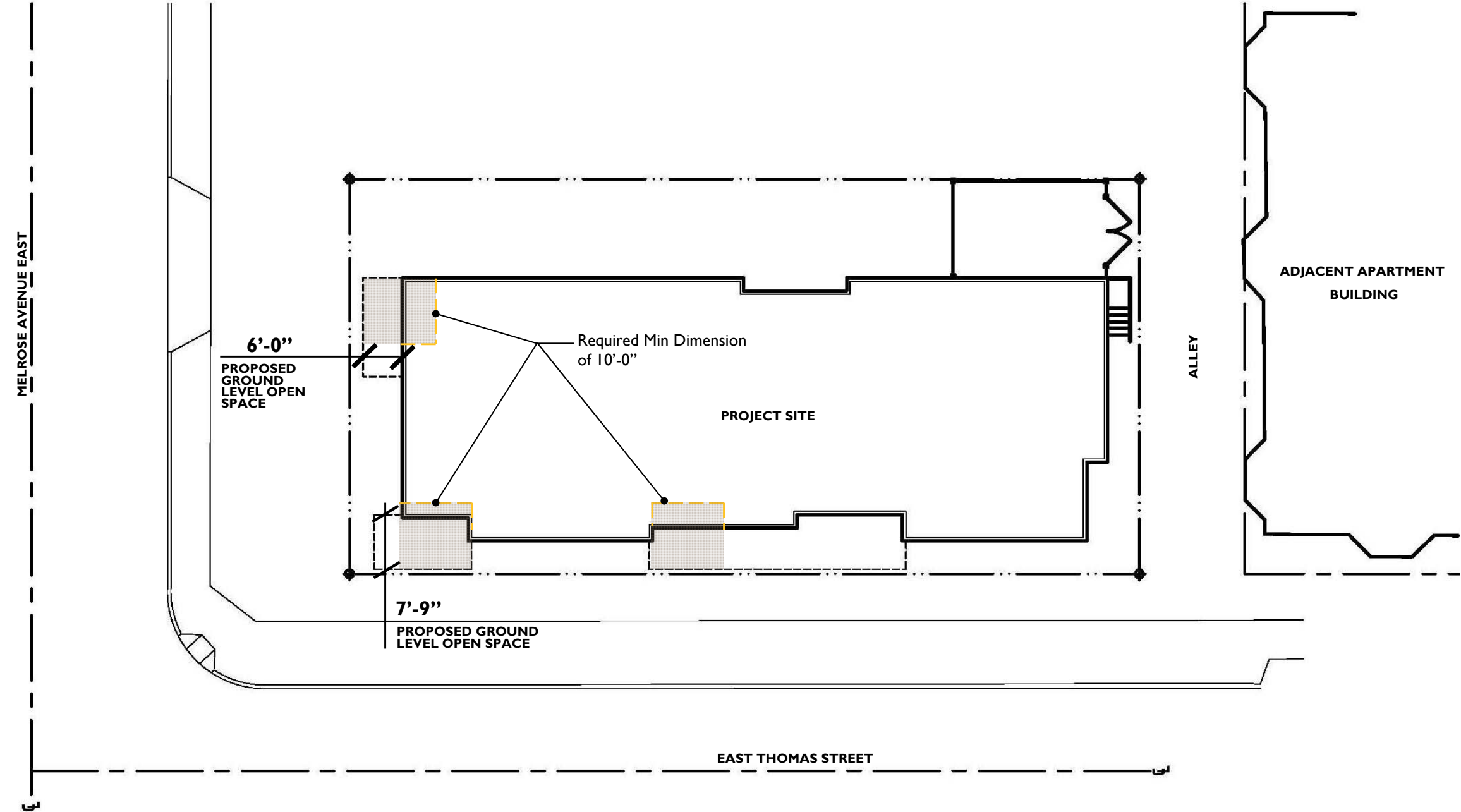


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DEPARTURE 7:
GARAGE
ENTRANCE
LOCATION



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R.O.W. LANDSCAPING

Proposed ROW

- stepped planter design within ROW to simulate existing rockery and planted terraced landscape
- cascade rock planters will terminate at historic brass letter plaque
- transitions into neighboring rockery with stepped planters and planting.



Typical ROW

- shows SDOT ROW standard grading requirements of 2% from BOS up to property line.
- retainage of neighboring rockery along property line will be problematic without a "wall" in the ROW.





Fall Equinox September 21 – 1:00pm



Summer Solstice June 21 – 1:00pm



Winter Solstice December 21 – 1:00pm

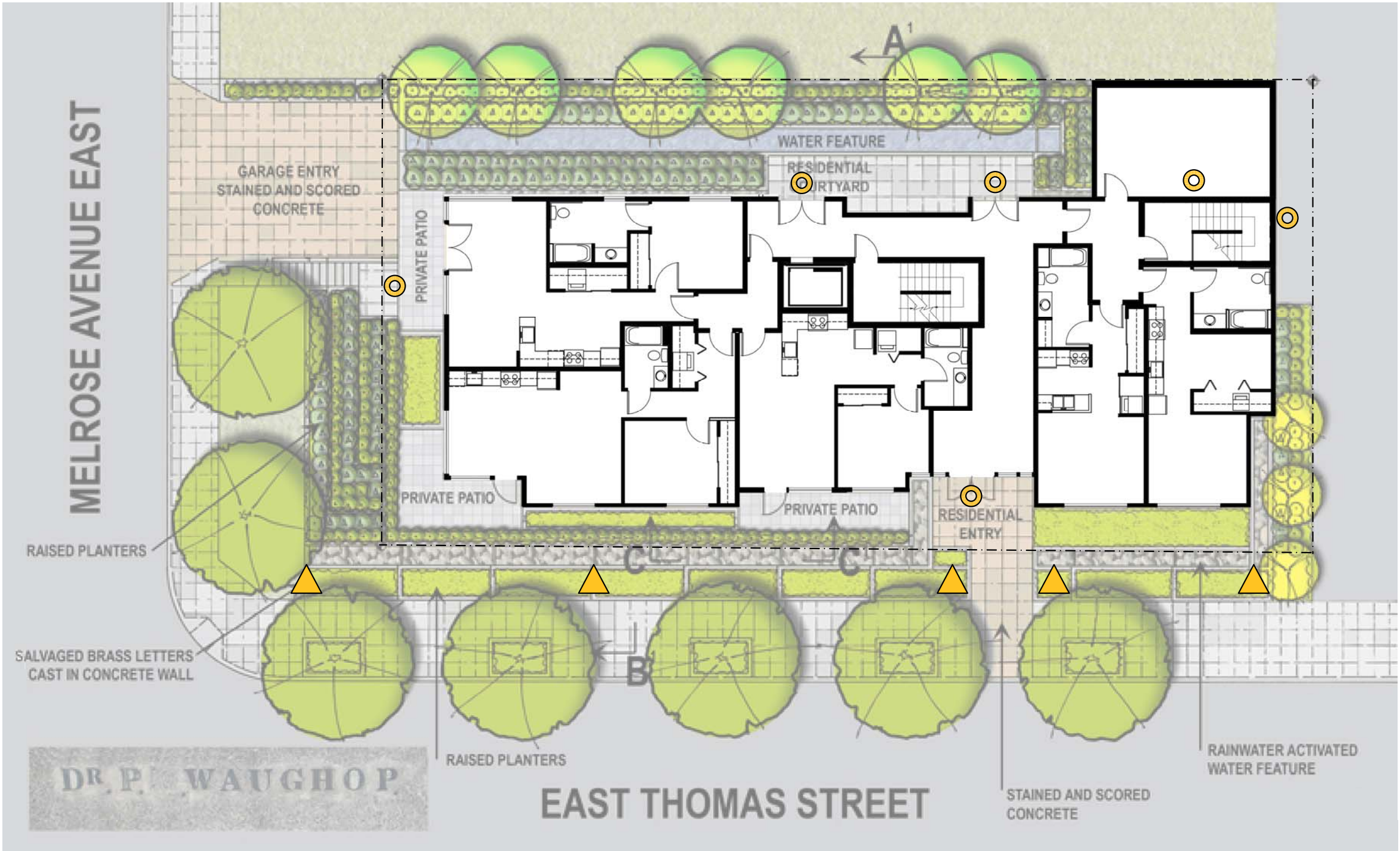
LIGHTING PLAN

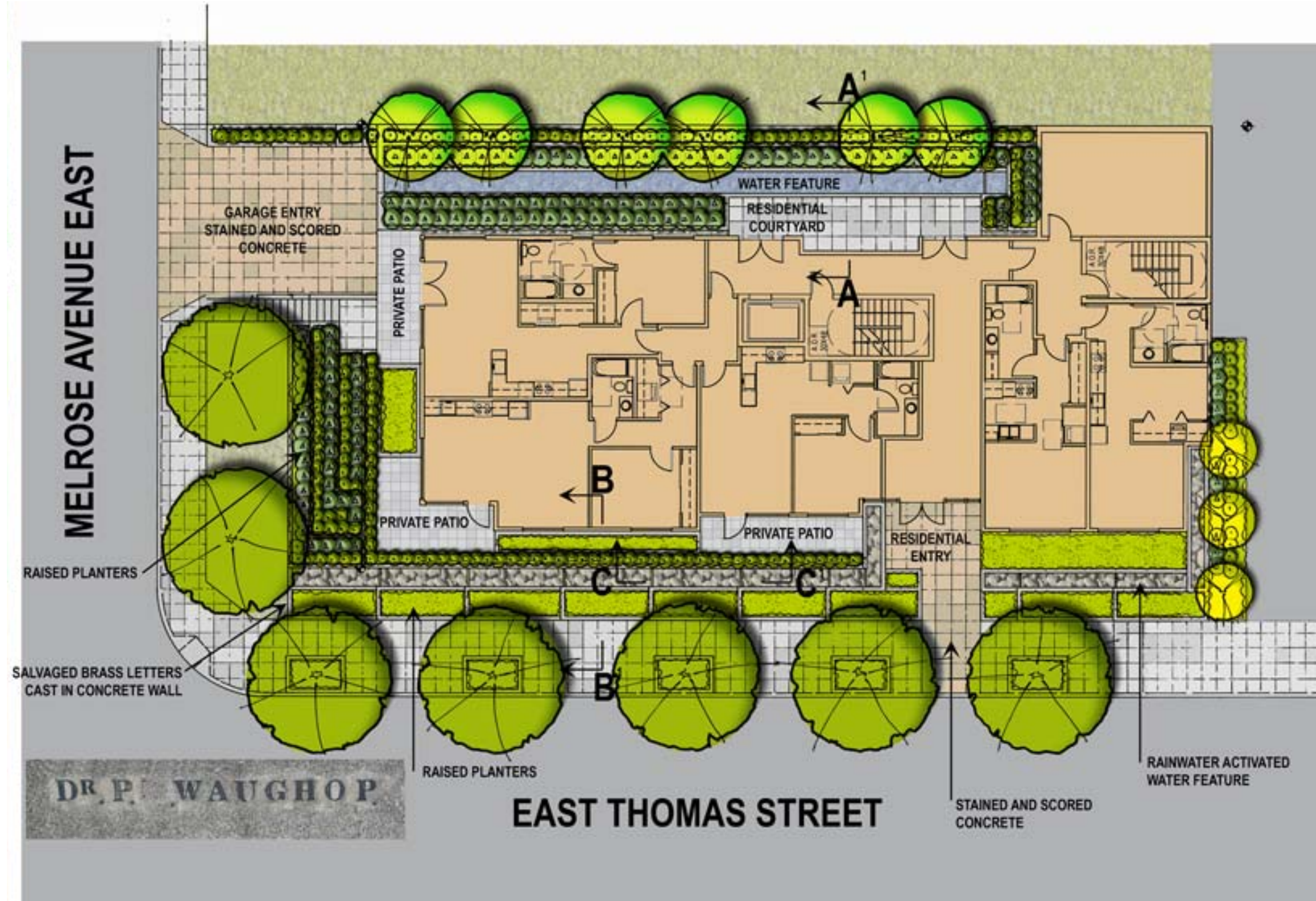


Lighting Locations:
- these locations
represent a mixture of
landscape and building
lighting for aesthetics
and security.

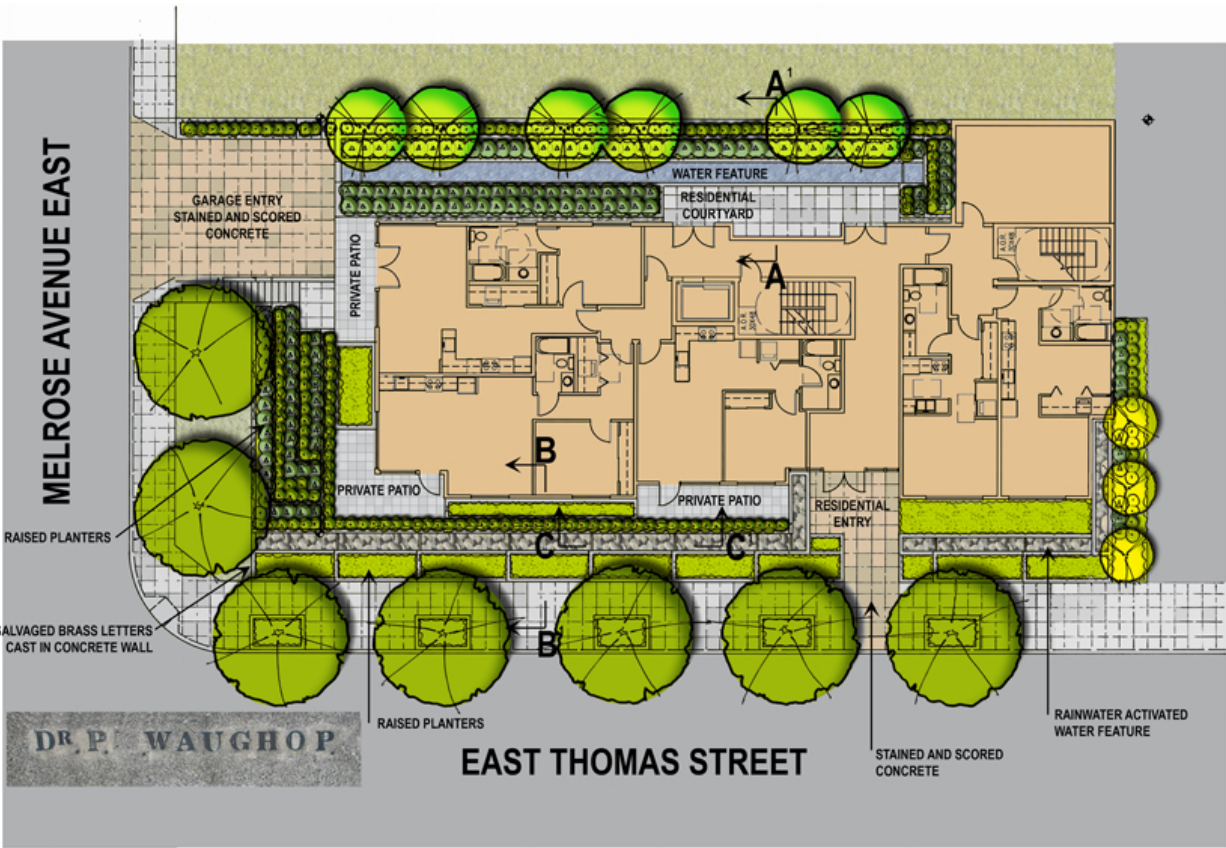


**Approved SDOT
Lighting**

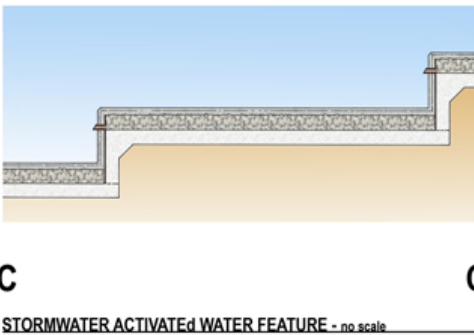
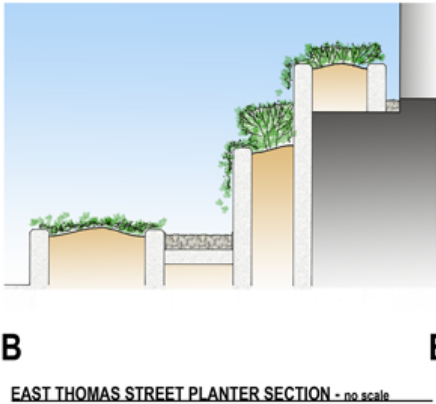
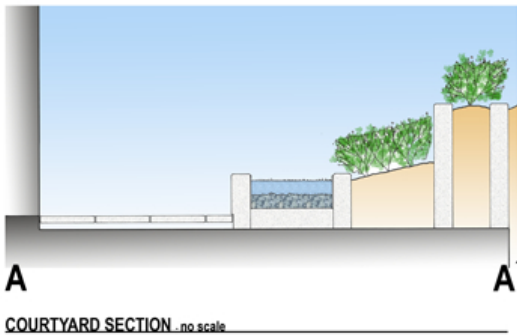








SITE AND LEVEL ONE LANDSCAPING PLAN - 1" = 8'



THOMAS & MELROSE - landscape plan

march 2008

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ROOFTOP LANDSCAPING PLAN - 1" = 8'





THOMAS & MELROSE - landscape plan
march 2008

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