

DRB RECOMMENDATION MEETING: september 01, 2010

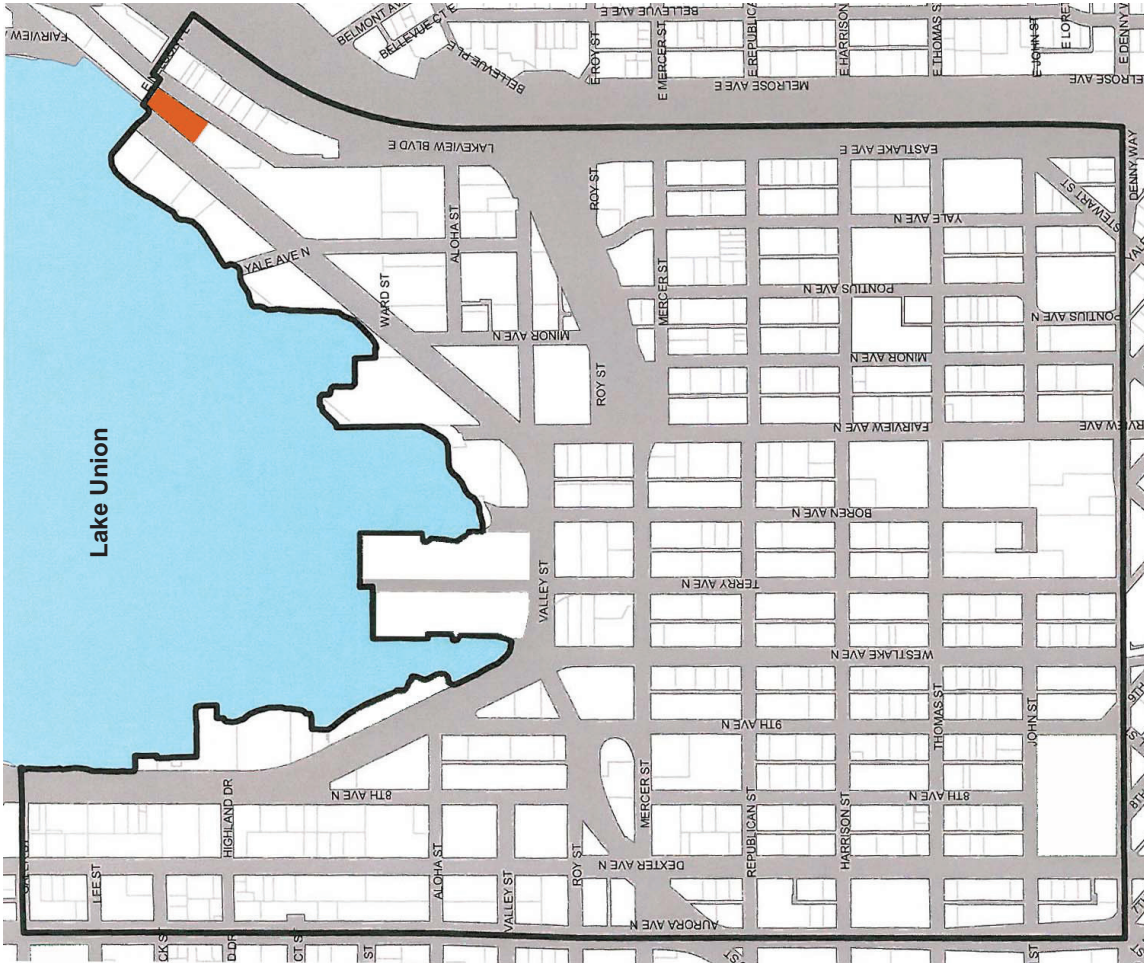


STOCK & ASSOCIATES
architecture. interiors

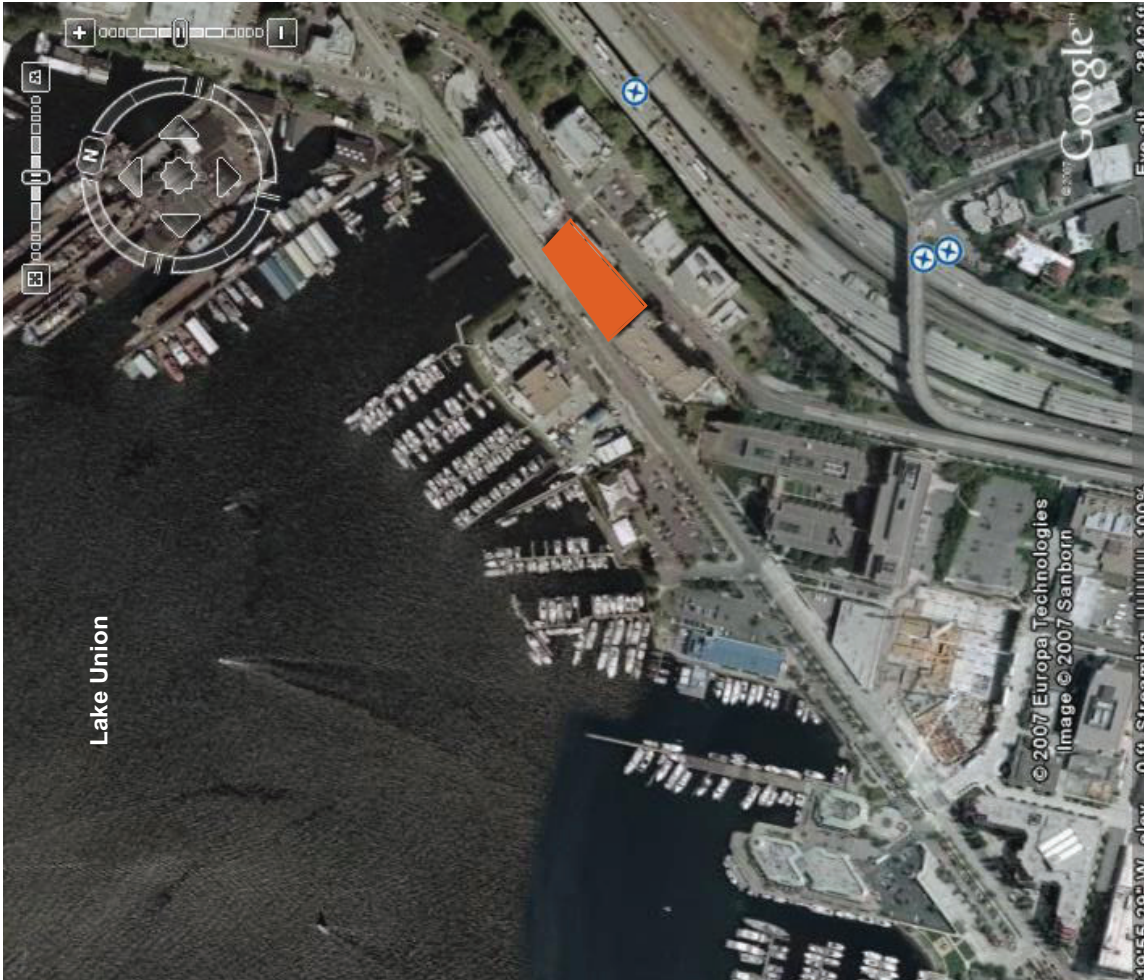
1165 EAST LAKE AVENUE
DESIGN REVIEW BOARD
SECTION 1: SITE & CONTEXT

Project Location

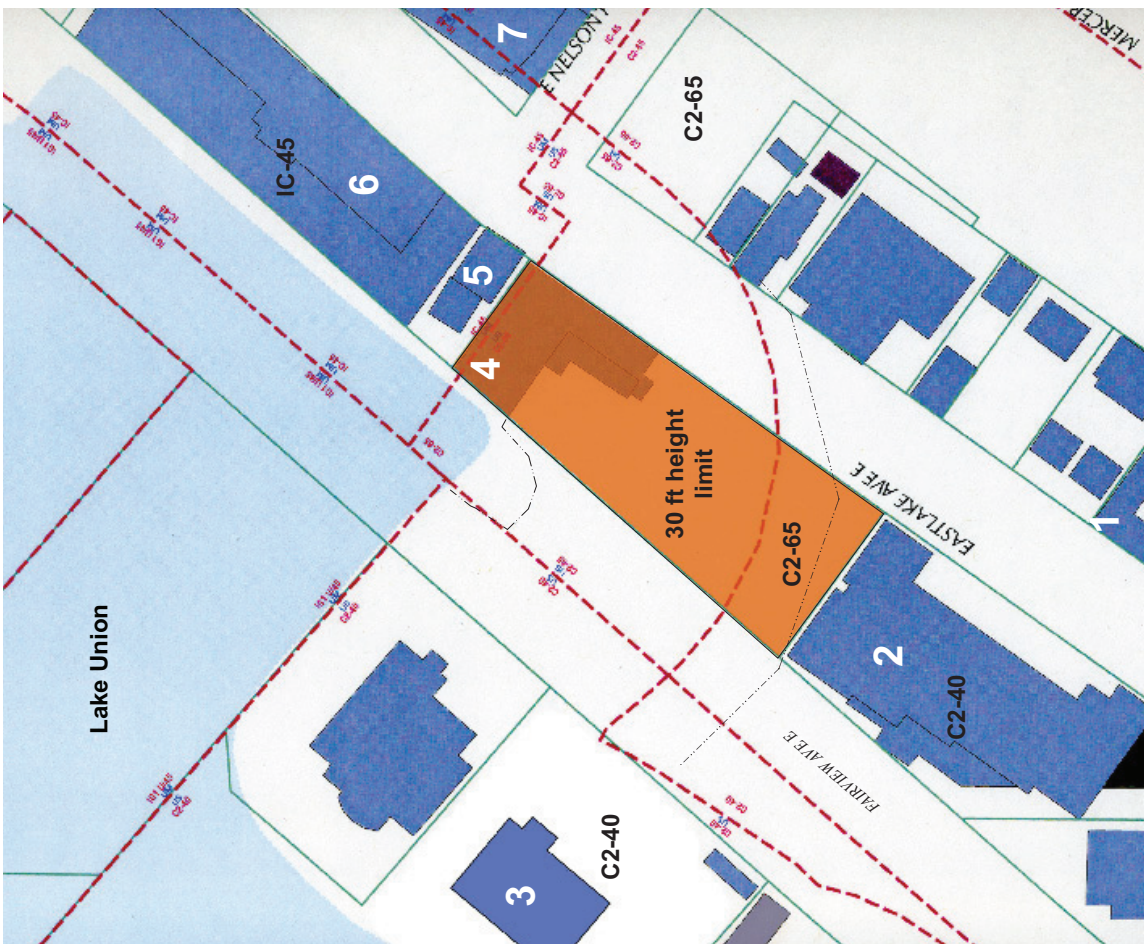
South Lake Union Urban Boundary



Aerial Site Map

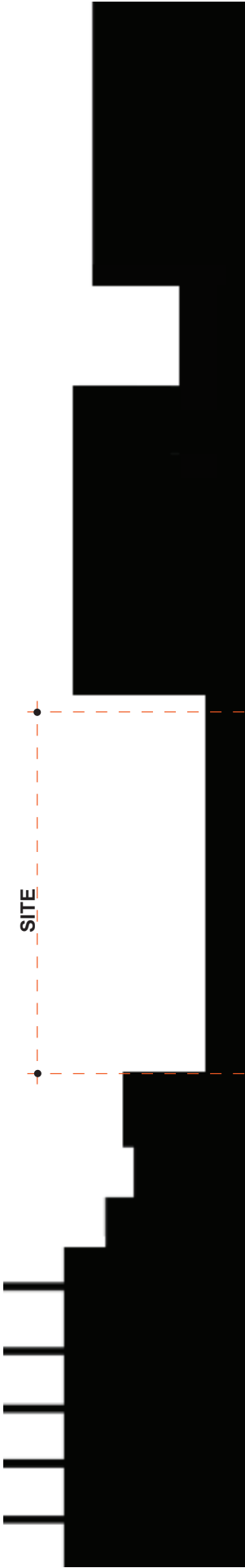


Zoning Map / High Water Line

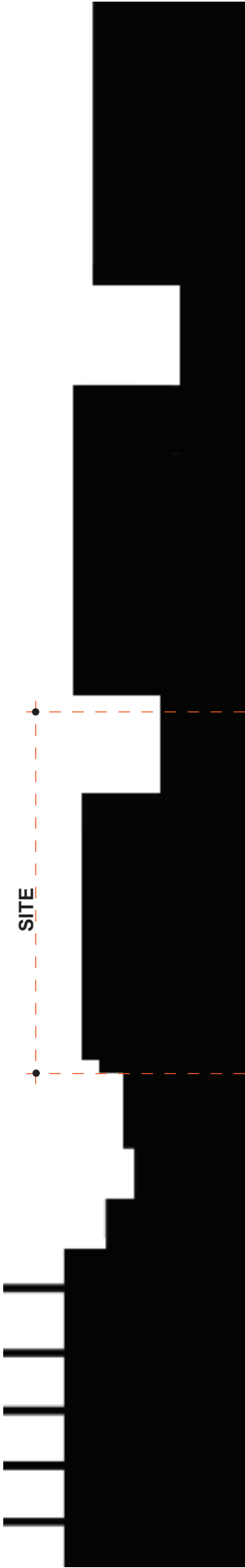


Context

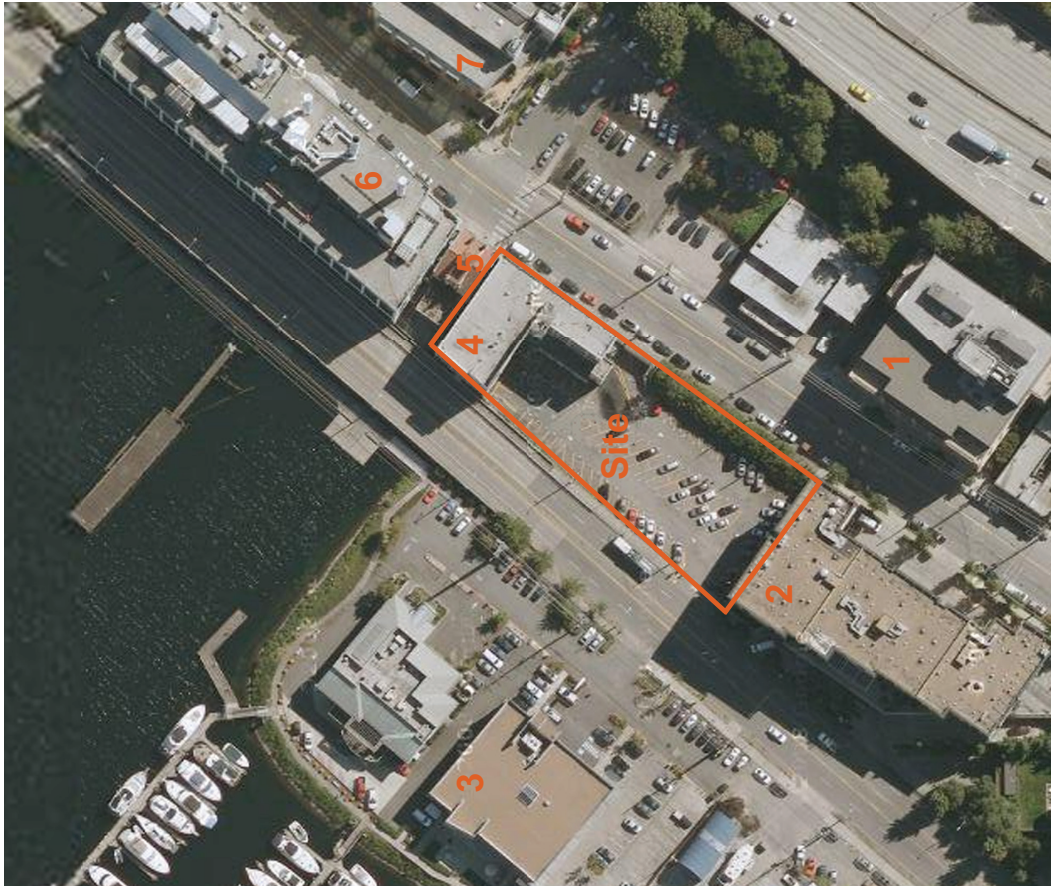
Surroundings



West Elevation
Current figure-ground of site



West Elevation
Proposed figure-ground of site



1144 Building



Silver Cloud Inn



Office Building



Gunn Building - Retained



Hydro House

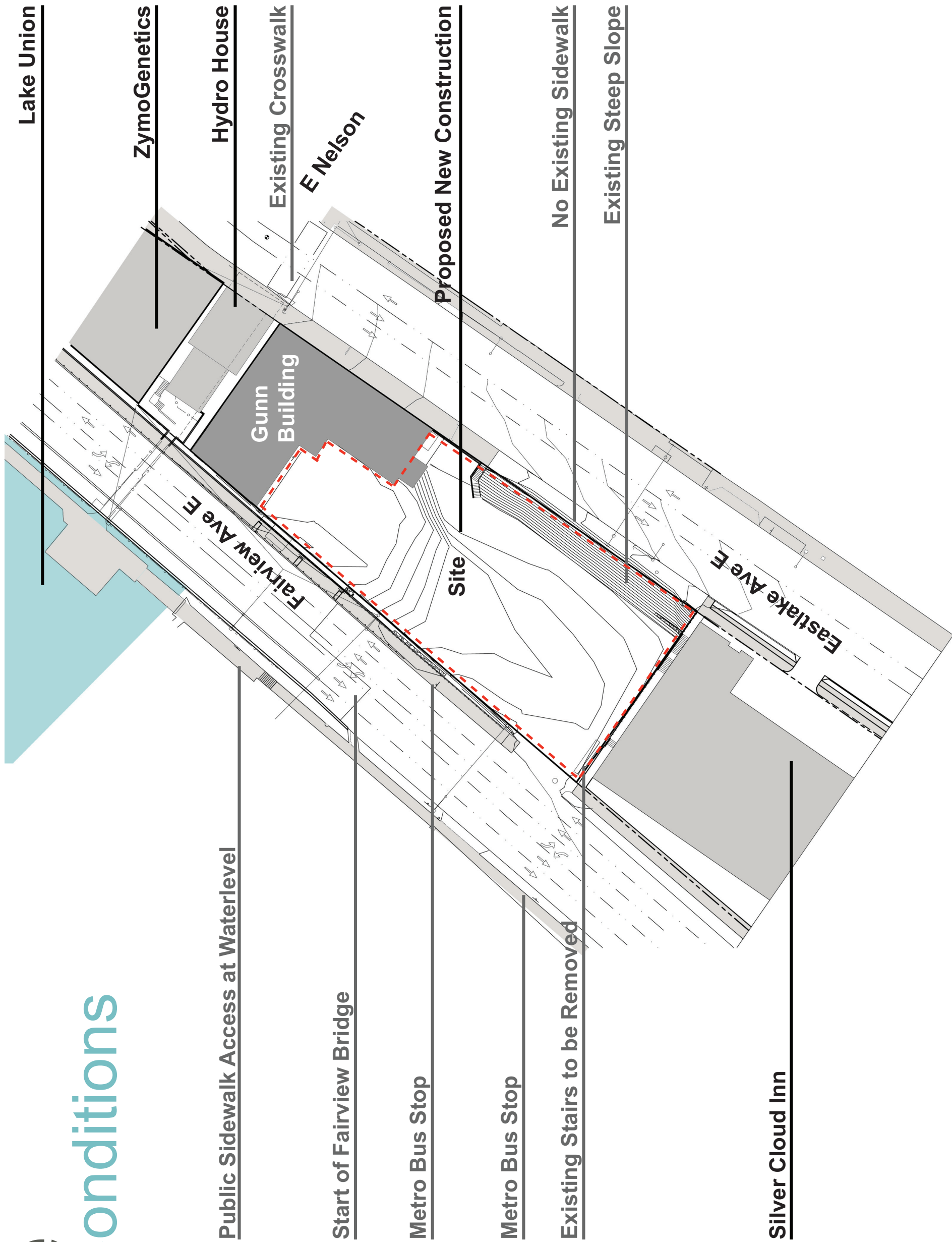


Zymogenetics / Steam Plant

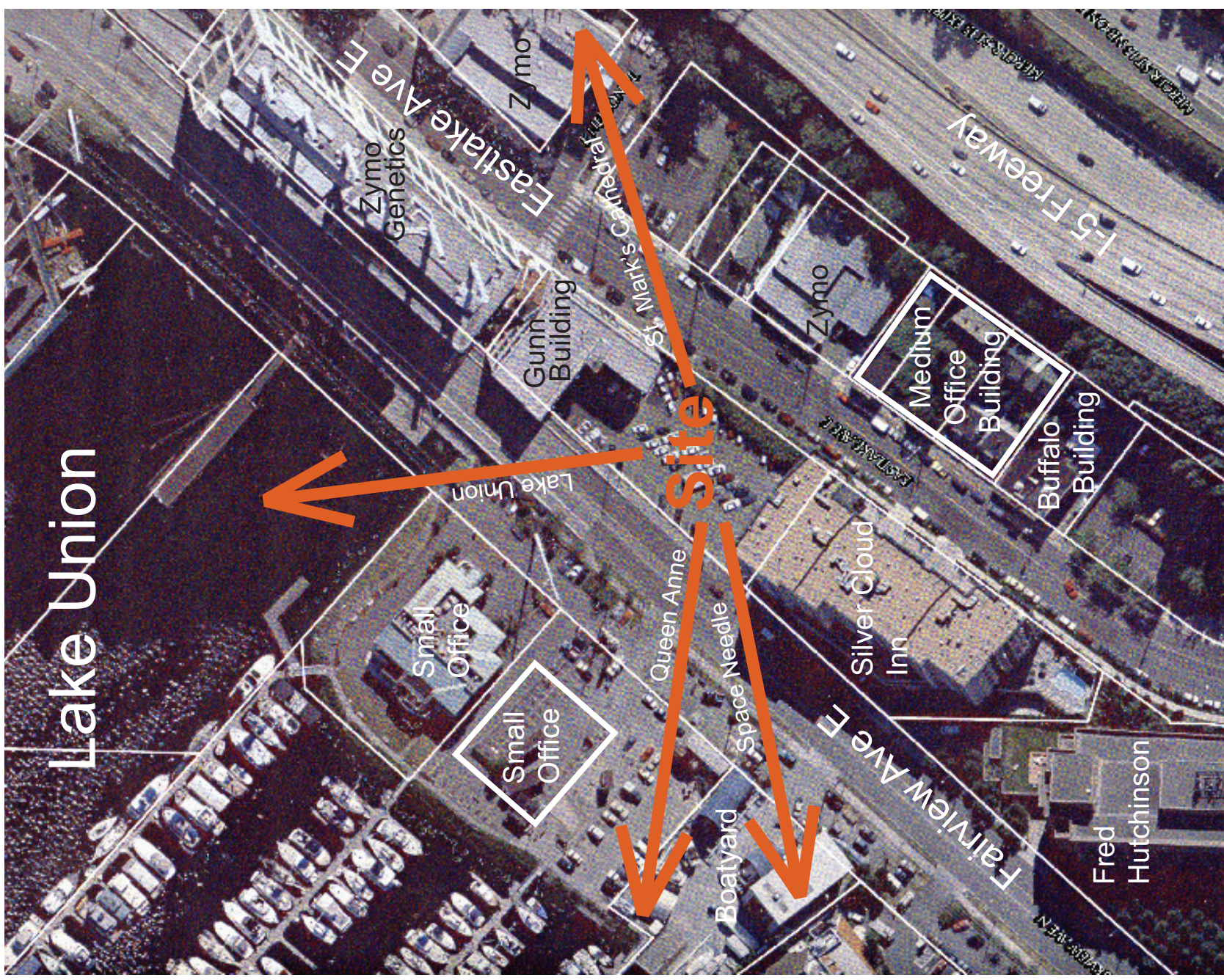
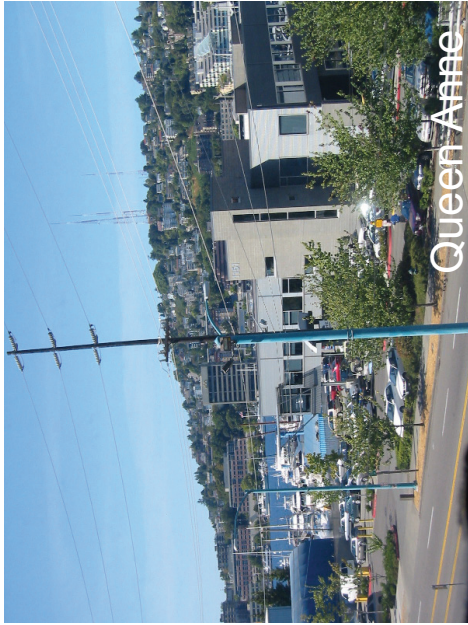


Zymogenetics

Site Conditions

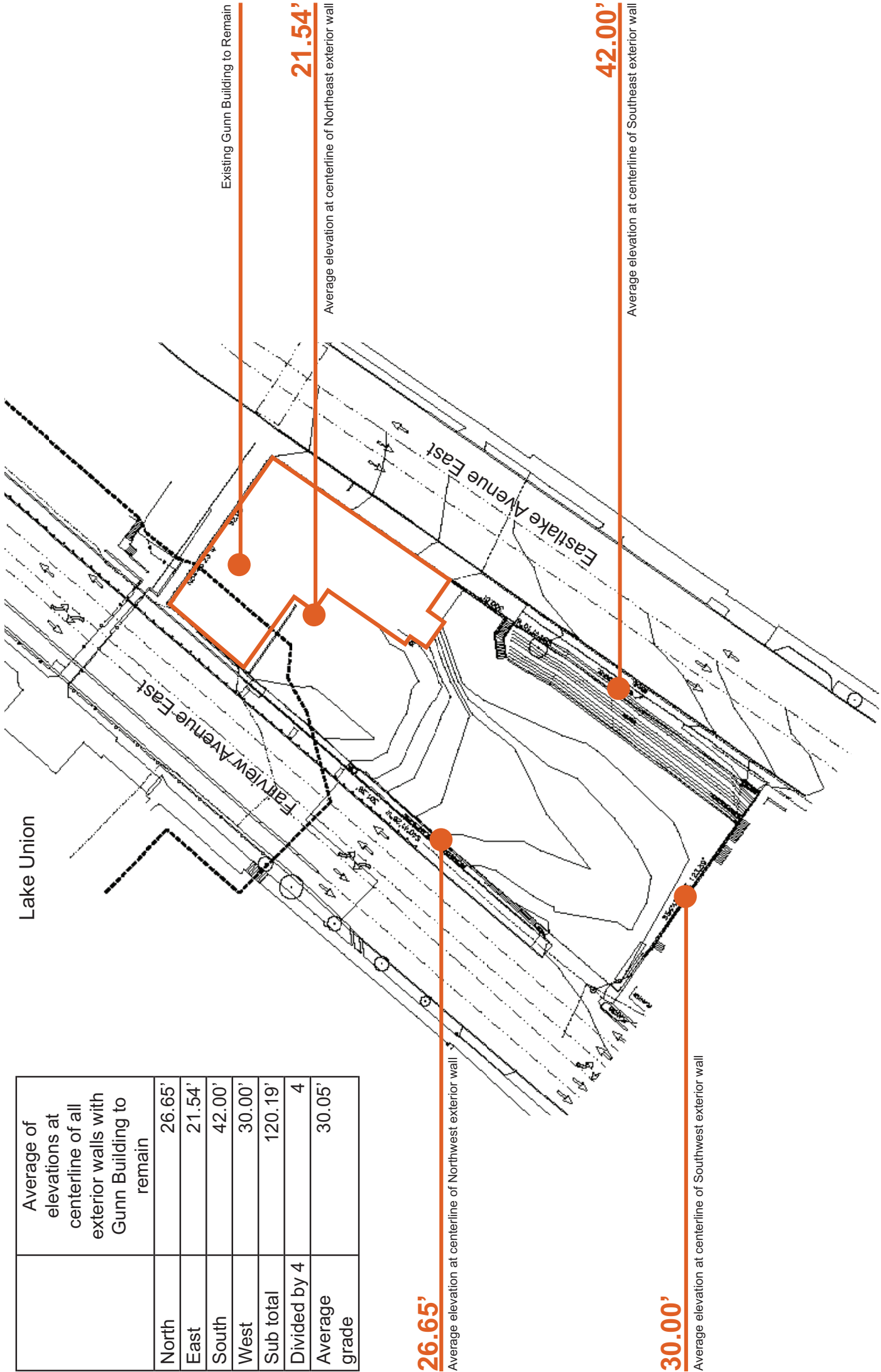


Site Opportunities



Shoreline Datum

	Average of elevations at centerline of all exterior walls with Gunn Building to remain
North	26.65'
East	21.54'
South	42.00'
West	30.00'
Sub total	120.19'
Divided by 4	4
Average grade	30.05'



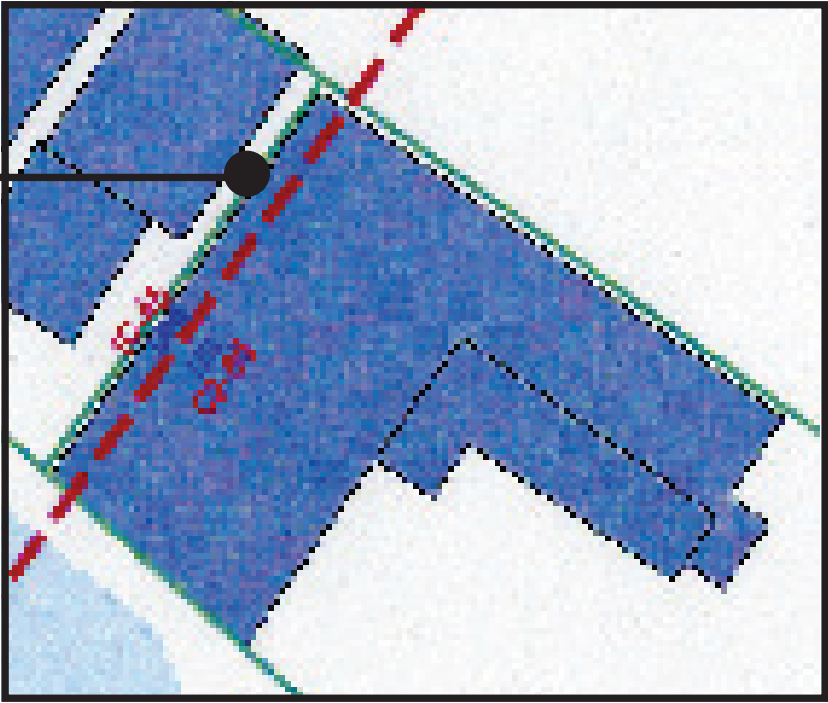
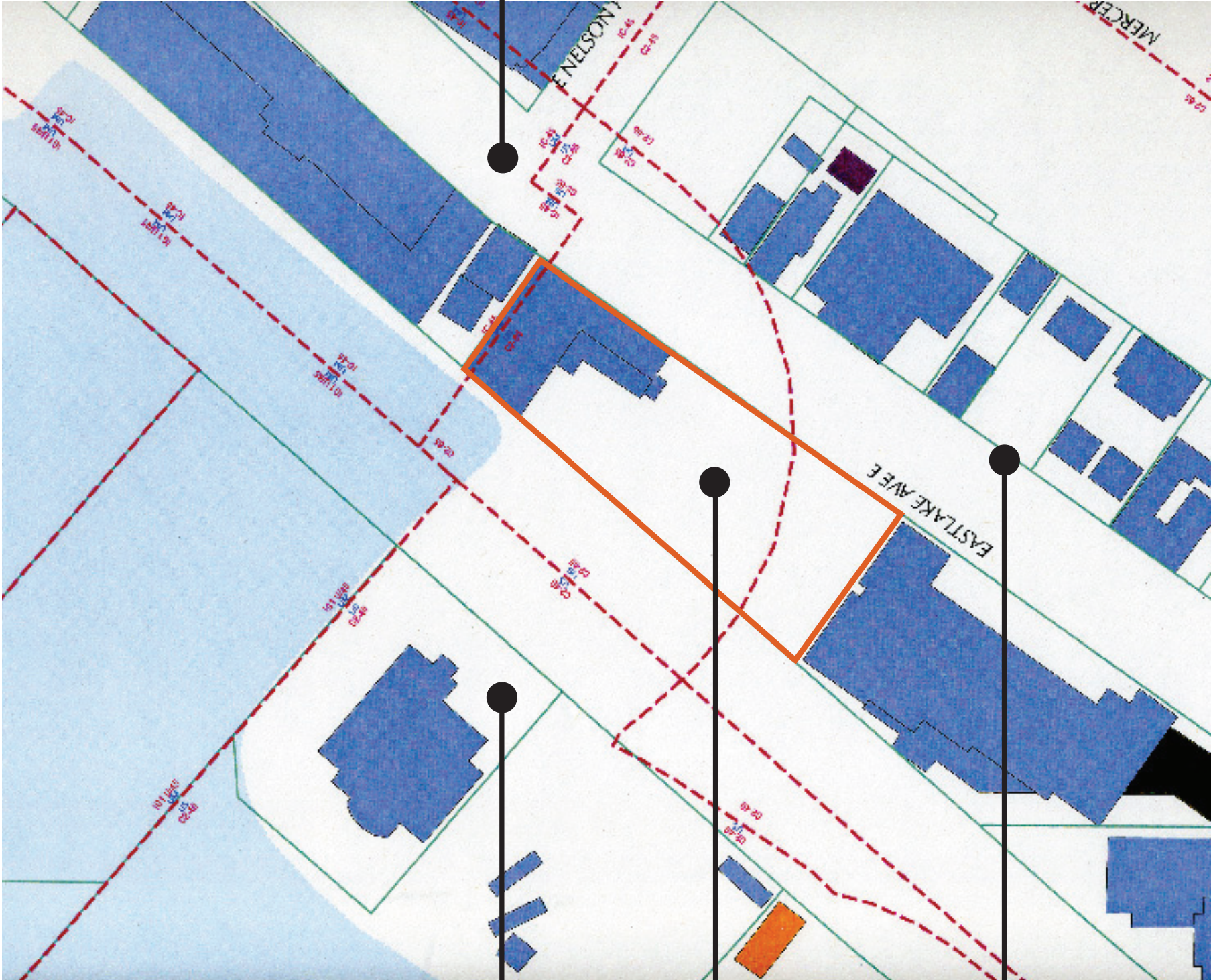
Zoning Overlays

C2-40
urban stable

C2-65
urban stable
site

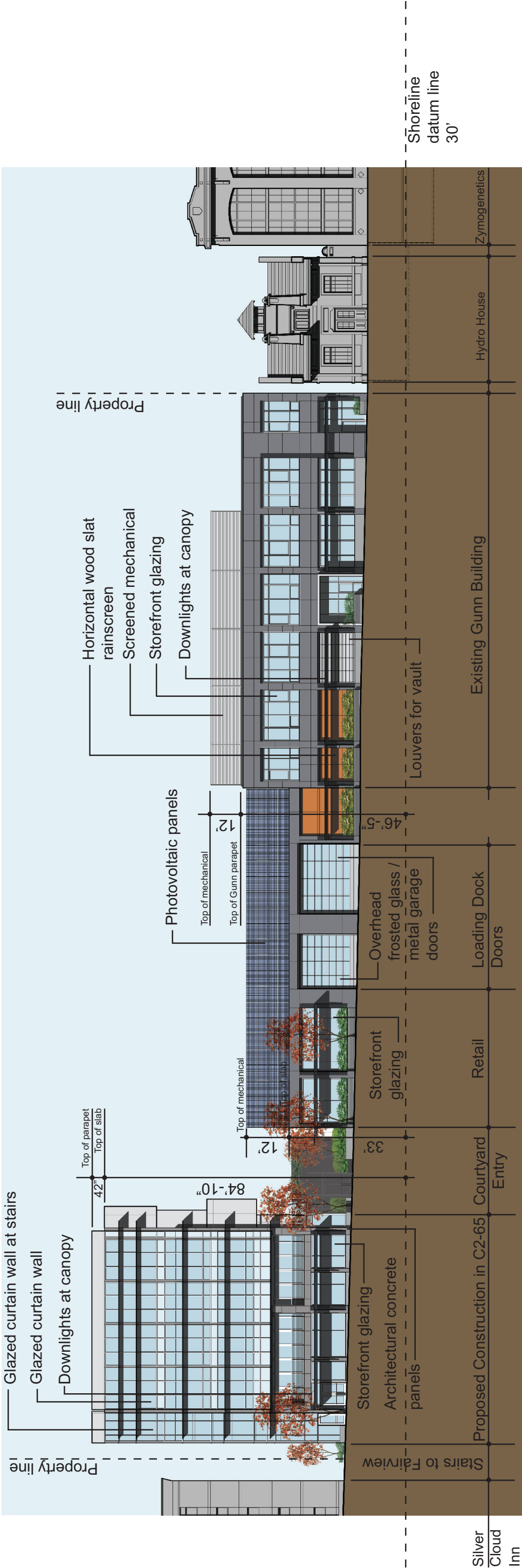
C2-65

IC-45
urban maritime



1165 EAST LAKE AVENUE
DESIGN REVIEW BOARD
SECTION 2: ORIGINAL MASSING

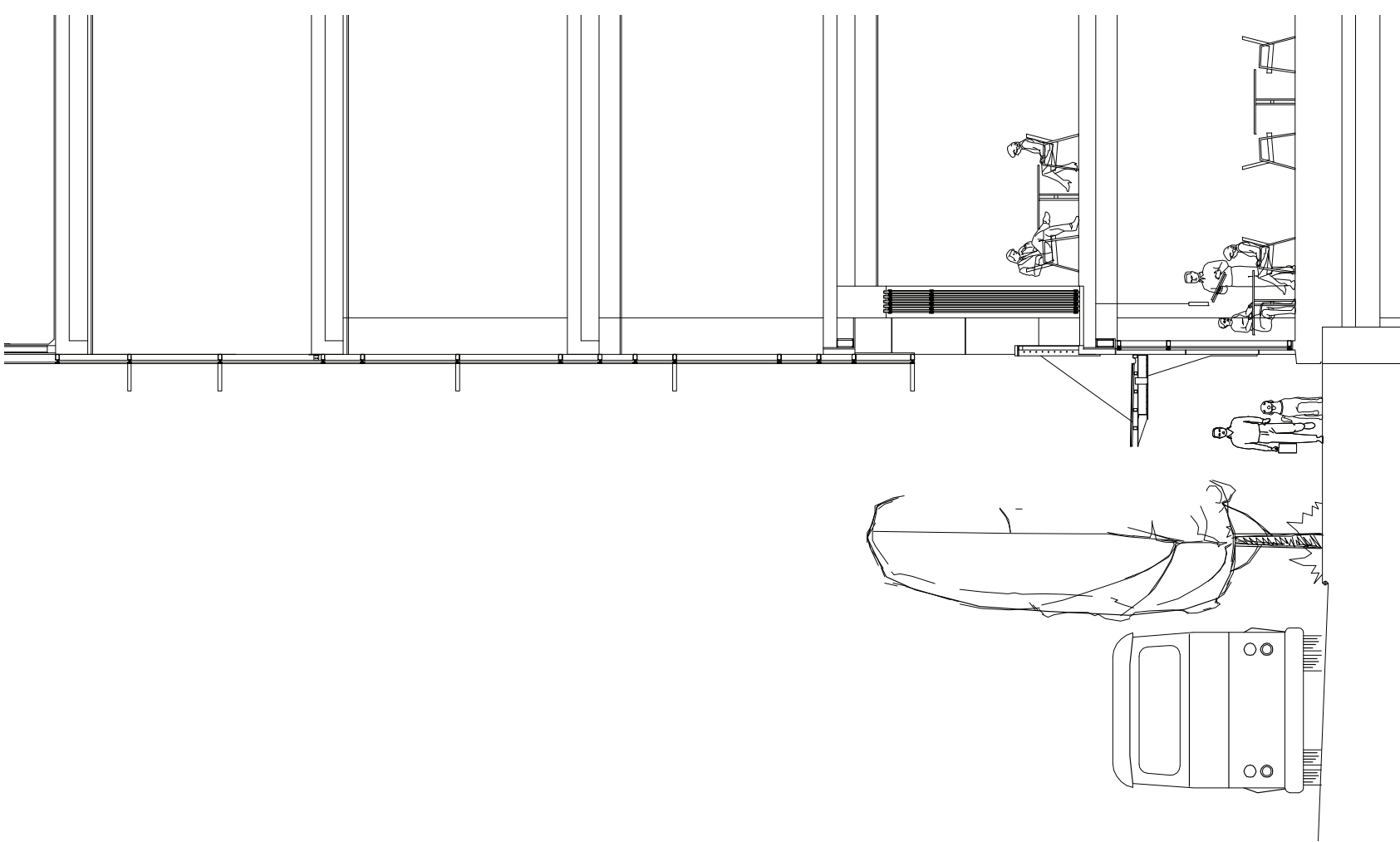
Eastlake Avenue



Eastlake Streetscape

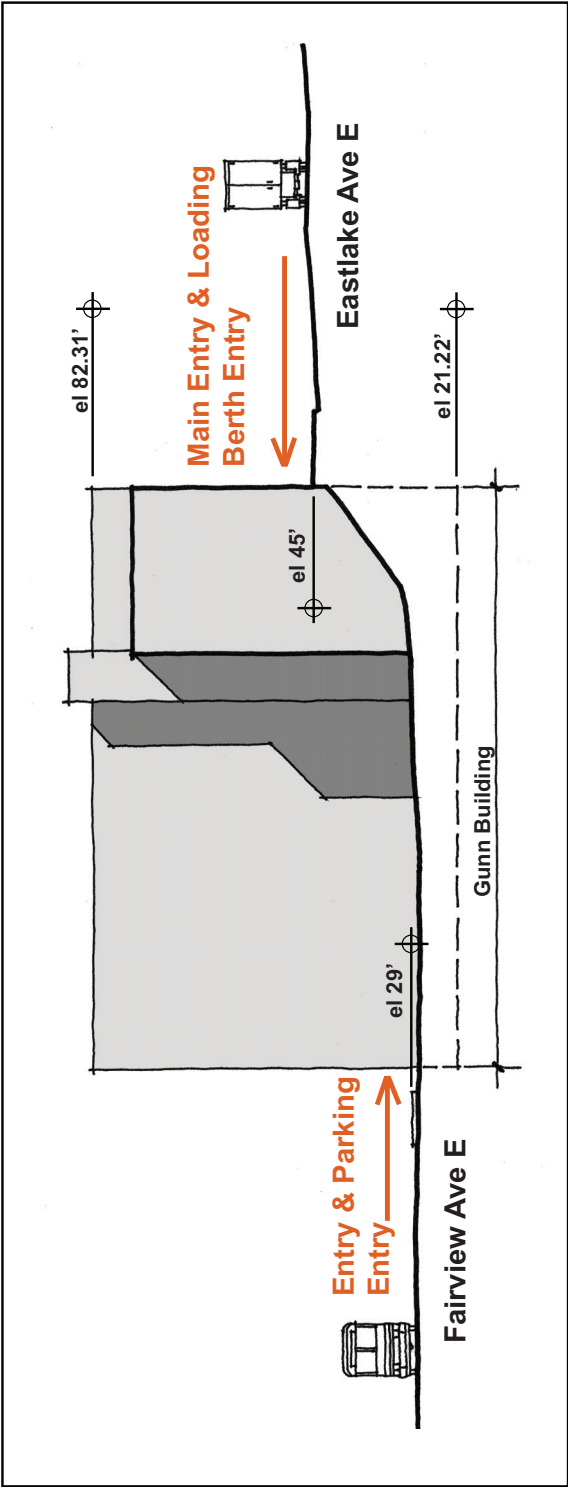


View of Eastlake Entry

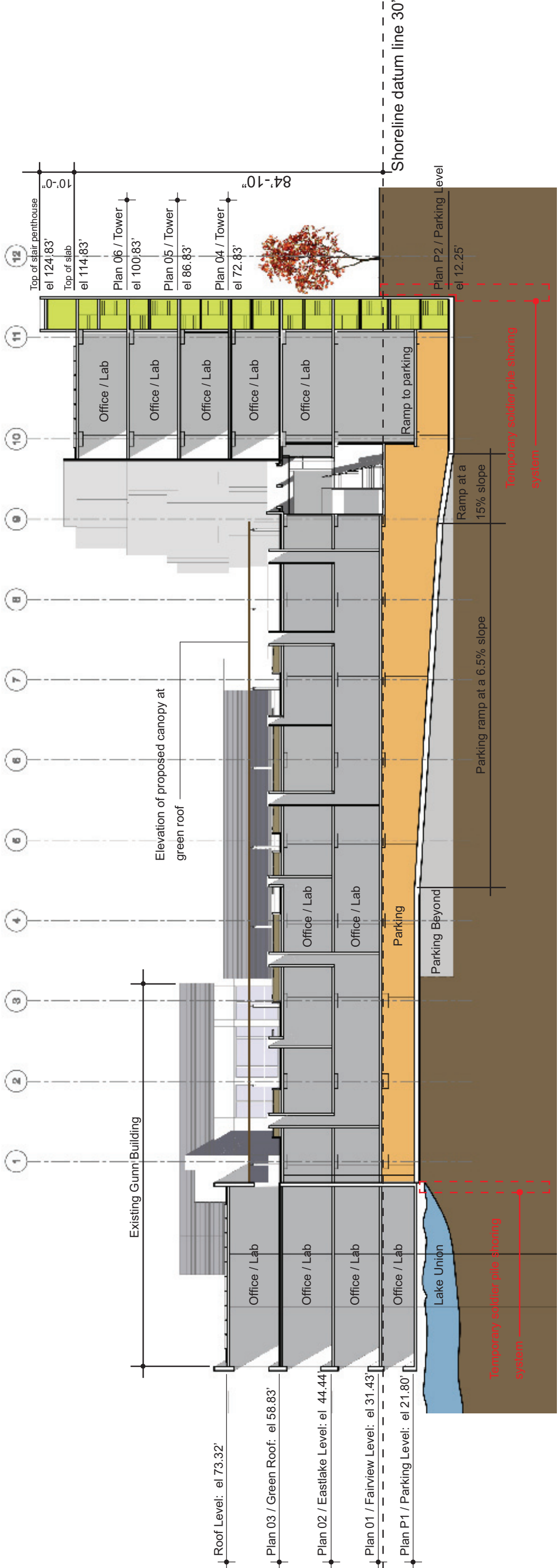


Section at restaurant

Site sections

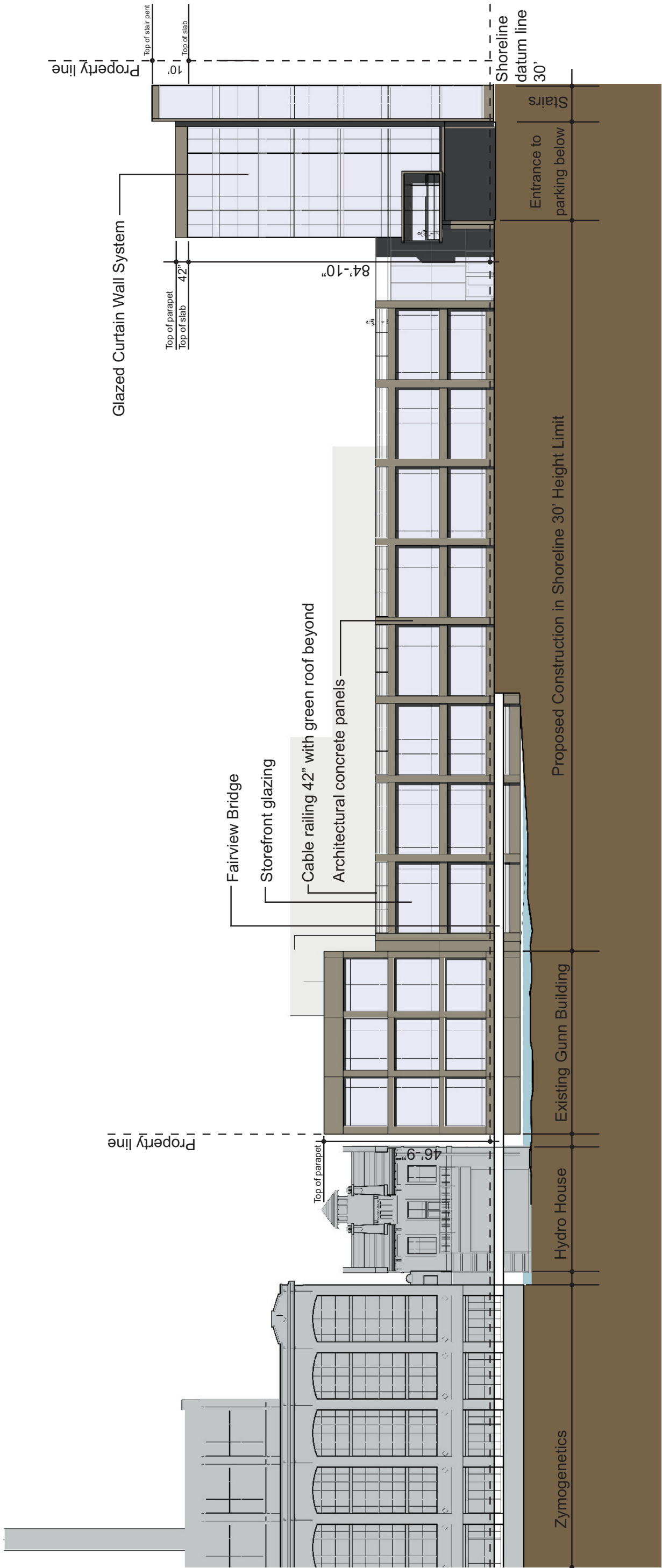


Cross Section through site



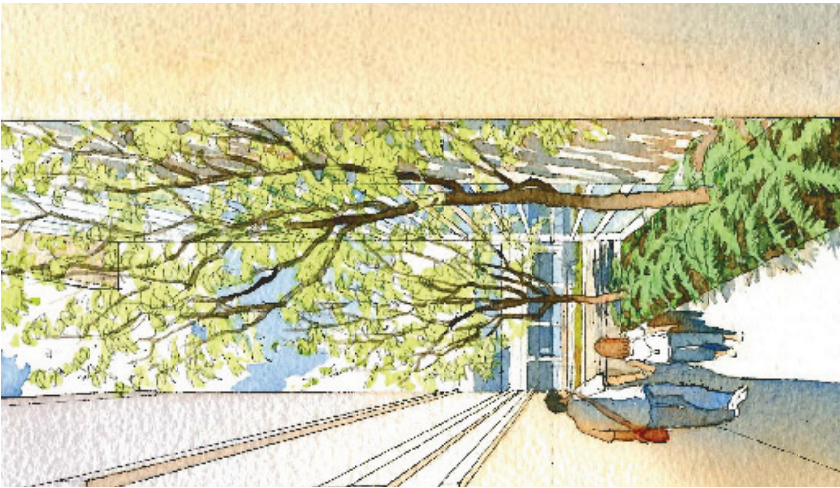
West Elevation

Fairview Avenue



Elevation

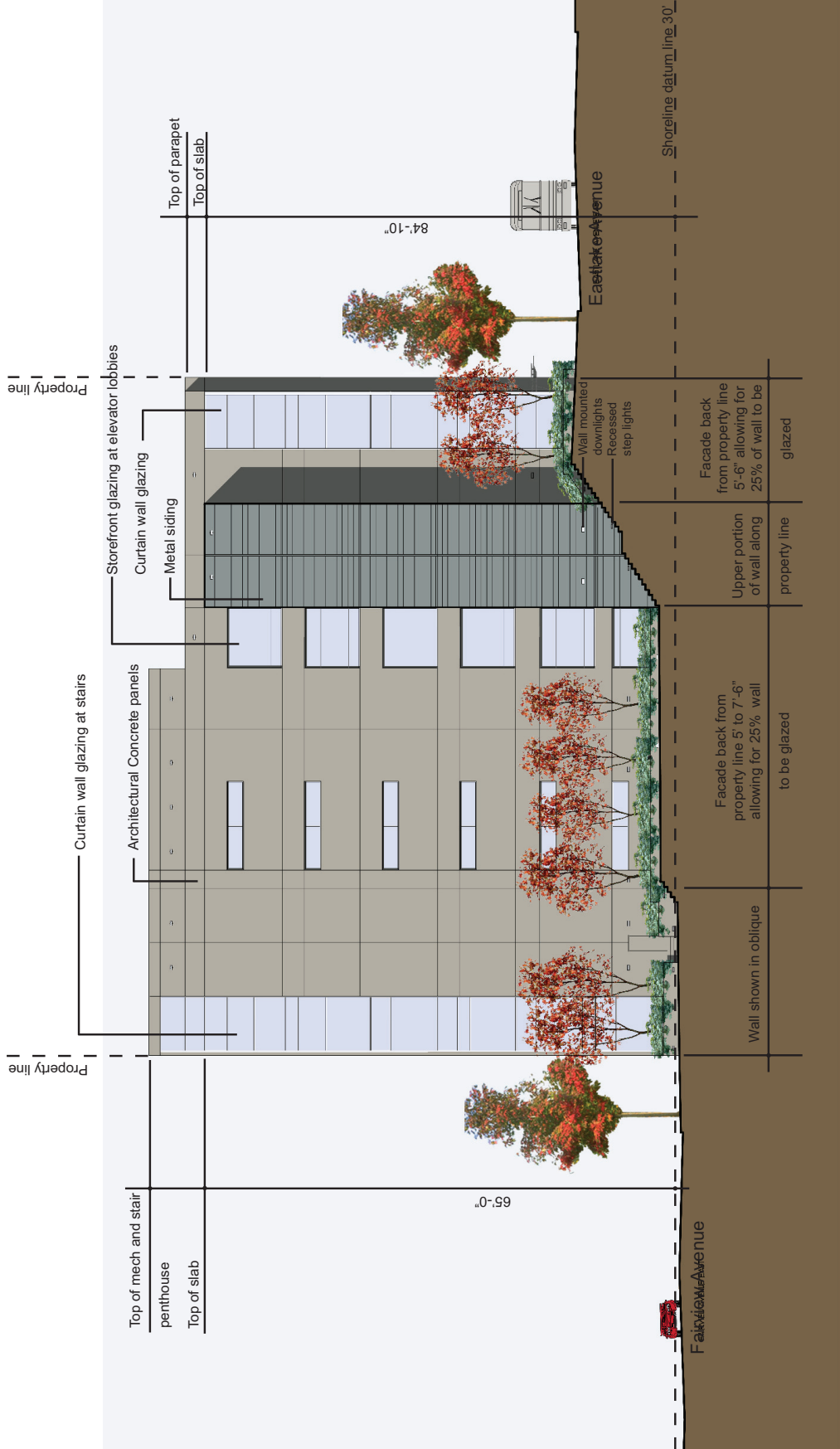
South



Silver Cloud stairs at Fairview



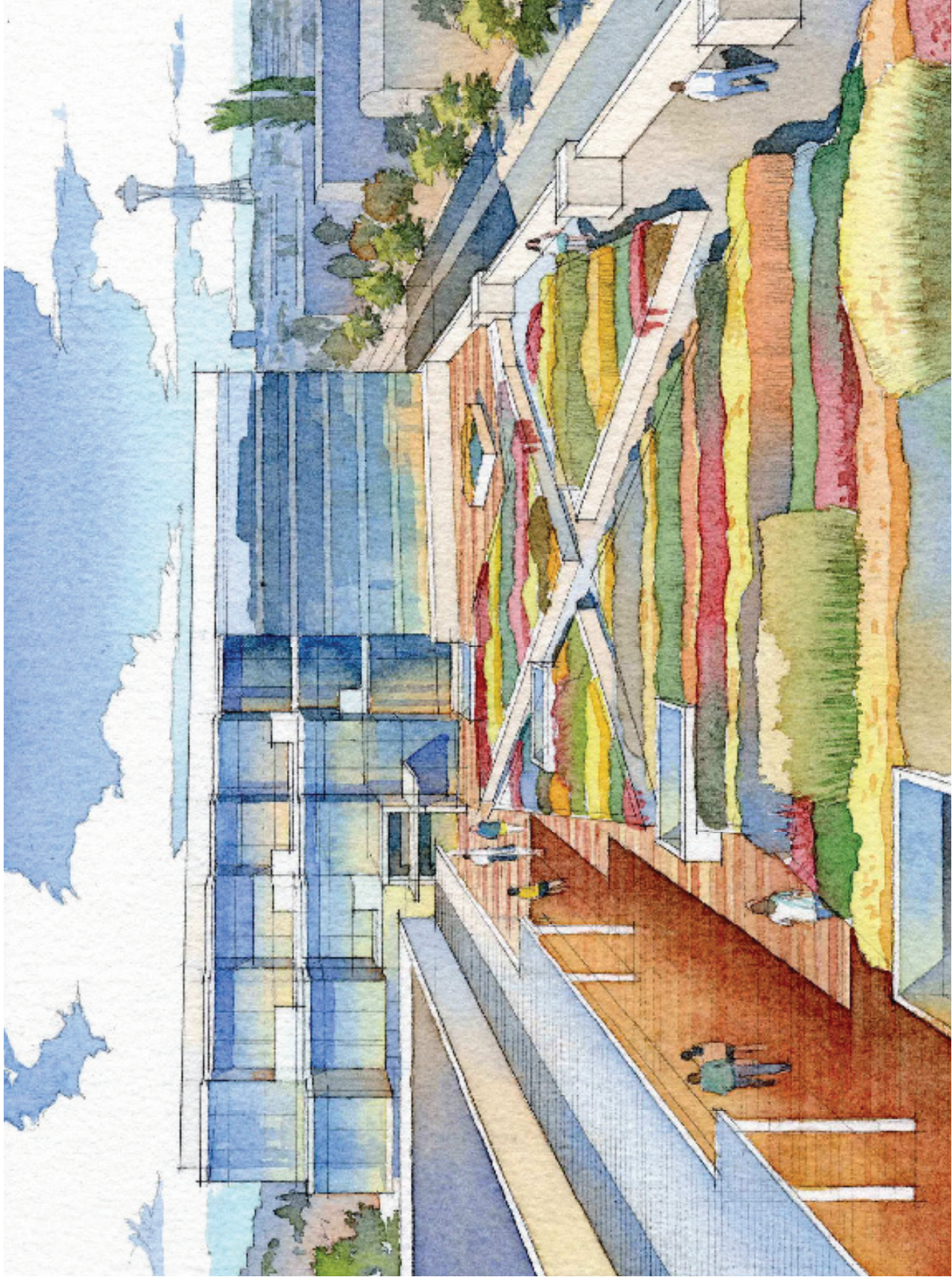
Silver Cloud stairs at Eastlake



Silver Cloud stairs existing



Silver Cloud stairs existing



1165 EAST LAKE AVENUE DESIGN REVIEW BOARD

SECTION 3: EDG, SLU, CODE, & DRB FEEDBACK

Early Design Guidance Board Recommendations			
Design Review Guidelines		EDG Recommendation from Board	Response from Architect Revised Massing
A Site Planning			
A-1 Responding to Site Characteristics		The Board requested a design solution preserving a public pedestrian route between the two streets; either internally or by enhancing the existing stair on the Silver Cloud property to the south.	The revised plans would provide an improved, much wider stair linking Eastlake and Fairview through a publically accessible plaza.
The siting of buildings should respond to specific site conditions and opportunities.			
A-2 Streetscape Compatibility		The Board suggested the exploration of street level design options to provide protection and visual interest and encourage human activity at the sidewalk.	The main building entry has been sited off the plaza; a retail space is located on the Eastlake front of the plaza, with windows onto both the street and the plaza. The loading dock has been relocated in the revised plans to the Fairview level which will provide a better pedestrian experience on Eastlake. There is a canopy along Eastlake which extends from the plaza along the new building and ties into the Gunn facade. At Fairview the stair has been widened and landscaped. The garage entry utilizes the existing curb cut. A restaurant is located along the Fairview facade at the plaza level as a view overlook which will provide eyes on the street.
The siting of the buildings should acknowledge and reinforce the existing desirable spatial characteristics of the right-of-way.			
A-4 Human Activity		The Board suggested site development to encourage human activity on the street.	The primary pedestrian traffic at the site is along Eastlake Avenue. The main entry has been sited on Eastlake level. The Owner is giving up the existing areaway under the Eastlake sidewalk in order to provide more street trees. Canopies will provide rain protection and will have wood soffits and downlights. The retail and restaurant spaces, as well as the plaza and stair, should promote pedestrian activity.
New development should be sited and designed to encourage human activity on the street			
A-5 Respect for Adjacent Sites		The Board was concerned with the proximity to the Silver Cloud Inn and the privacy between the two buildings.	The building has been pulled back from the property line approximately 70 feet and the resulting plaza is landscaped for visual interest. The plaza will be accessible to the public and the restaurant and retail uses will be easily accessed by Silver Cloud guests from either Eastlake or Fairview.
Buildings should respect adjacent properties by being located on their site to minimize disruption of the privacy and outdoor activities of residents in adjacent buildings.			
C Architectural Elements and Materials			
C-1 Architectural Context		The Board requested the team study the neighboring buildings and the Gunn building and provide a building character compatible with the existing forms.	The neighborhood's newer buildings are typically composed in brick and glass; the revised massing similarly features brick, glass, and metal panels. The existing Gunn building will be stripped back to its concrete frame and will also have brick panels.
New buildings proposed for existing neighborhoods with a well-defined and desirable character should be compatible with or complement the architectural pattern and siting pattern of neighboring buildings.			
C-2 Architectural Concept and Consistency		The Board asked for high quality finish materials.	Finish materials include brick, concrete, metal panel, glass, and ipe wood.
Building design elements, details and massing should create a well-proportioned and unified building form and exhibit an overall architectural concept.			
Buildings should exhibit form and features identifying the functions within the building.		Architecture to present a strong concept.	The building form ties the Gunn building and new construction together but still expresses the Gunn. The massing is pulled in at the restaurant and retail space to accent them.
In general, the roofline or top of the structure should be clearly distinguished from its facade walls.		Show a consistency of facades and materials	A unified material palette is used to tie the existing Gunn building together with the new construction. The roof line is capped by a cantilevered slab.
D Pedestrian Environment			
D-2 Blank Walls		The Board requested that the wall along the Silver Cloud Inn be designed with public safety in mind and noted it should not be a blank wall.	The building has been pulled back from the property line approximately 70 feet and the resulting plaza is landscaped for visual interest. The plaza will be accessible to the public and the restaurant and retail uses will be easily accessed by Silver Cloud guests from either Eastlake or Fairview.
The building should avoid large blank walls facing the street, especially near sidewalks. Where blank walls are unavoidable, they should receive design treatment to increase pedestrian comfort and interest.			
D-7 Personal Safety and Security		The Board suggested that the Silver Cloud stair and the area under the bridge should incorporate design solutions that enhance personal safety and security.	The area at the stair has been widened significantly. Good lighting will be provided and the restaurant and retail space will provide "eyes" on the space. The area under the bridge will be cleaned and rocks added to stabilize the lake edge, as permitted by SDOT.
Project design should consider opportunities for enhancing personal safety and security in the environment under review.			
E Landscaping			
E-3 Landscape Design to Address Special Site Conditions		The Board requested "interesting landscape details" and encouraged a park-like landscape at the rooftop level.	The revised massing places the roof top garden at the Eastlake level where it will be accessible to the public. The landscape features native plants, basalt boulders and low walls for seating. There is a cantilevered overlook for views of the lake and Space Needle. The restaurant also has an outdoor seating area with lake views.
The landscape design should take advantage of special on-site conditions such as high-bank front yards, steep slopes, view corridors, or existing significant trees and off-site conditions such as greenbelts, ravines, natural areas, and boulevards.			



Design Guidelines – City wide
South Lake Union supplemental

A. Site Planning

- A-1 Responding to Site characteristics**
The siting of buildings should respond to site specific conditions

Storm water run-off, detention and filtration systems
Sustainable landscaping
Currently run-off flows directly into the lake, the project will collect it properly. The landscaping will be primarily native plants.
- A-2 Streetscape compatibility**
Siting should acknowledge and reinforce existing desirable characteristics of the right away.

Provide pedestrian friendly amenities
Encourage street level spaces that vary in size, width and depth
Place retail where it will be conducive to use
Configure retail so that it can spill out to the sidewalk
Pedestrian amenities such as canopies, tree grates, lighting, bike racks and benches will be provided along Eastlake Avenue. The plaza and stair will provide an interesting exterior space. The retail space has been located at the corner of the plaza on Eastlake Avenue so that it can utilize outdoor space on two sides. The restaurant has an outdoor seating area.
- A-3 Entrances visible from the Street**
Entries should be clearly identifiable and visible from the street
The main entry is off the landscaped plaza and accessible from both Eastlake and Fairview via the enhanced stair.
- A-4 Human Activity**
New development should be sited and designed to encourage human activity on the street.

Create graceful transitions from public to private spaces
Design facades to encourage activity to spill out from the building
Reinforce pedestrian connections
Design for safe, well-lit connections to link high activity areas
The entry has been located off the plaza to provide a transition space between the sidewalk and the building lobby.
The retail space has windows onto the street and the plaza and it has a covered exterior area. The restaurant has an outdoor seating area on the plaza.

The sidewalk along Eastlake will be enhanced with canopies, planters and lighting. The stair between Eastlake and Fairview will be substantially widened and landscaped.

A-5 Respect for adjacent sites

Buildings should respect adjacent properties by being located to minimize disruption of the privacy and outdoor activity of residents of adjacent buildings. The revised massing has been pulled back from the south property line and an approximately 70 foot wide plaza created to provide a greater level of privacy for the adjacent hotel rooms.

B. Height, Bulk and Scale

B-1 Height, Bulk and Scale compatibility

Projects should be compatible with the scale of development anticipated by Land Use policies for the surrounding area and should be sited to provide a sensitive transition to nearby less intensive zones.

Address both pedestrian and auto experience with building placement scale and detail
Articulate the façade vertically or horizontally in intervals that relate to the existing structures in the vicinity.
Consider using architectural features to reduce building scale

The revised massing integrates well with the overall scale and texture of the neighborhood. The height variance will allow the addition of the plaza in order to reduce the overall scale compared to the original proposal. The plaza overlook not only provides views from above but creates a canopy to denote the parking entry off Fairview.

C. Architectural Elements and Materials

C-1 Architectural Context

New buildings proposed for an existing neighborhood with a well defined character should be compatible with or complement the architectural character and siting patterns of neighboring buildings.

Reuse and preserve important buildings where possible
Respond to history and character in the adjacent vicinity in terms of patterns, style and scale
Respond to working class, maritime, commercial and industrial character in the waterfront area

The existing Gunn Building will be renovated. The Gunn will be integrated into the new construction through the use of materials in common. The building will be composed of brick, glass and metal panel as is characteristic of the other biotech building in the area. The revised massing is more in scale with the buildings along Eastlake and Fairview.

C-2 Architectural concept and consistency

Building elements, details and massing should create a well proportioned and unified building form and exhibit an overall architectural concept. Buildings should exhibit form and features identifying the functions within the building.

Design the roofscape in addition to the streetscape
The roof edge is designed as a cantilevered slab to provide some sun shading as well as visual interest. The roof top mechanical equipment will be enclosed or screened from view.

C-4 Exterior finish materials

Exteriors should be constructed of durable and maintainable materials that are attractive even when viewed up close. Materials that have texture, pattern or lend themselves to a high quality of detailing are encouraged.

Materials will include brick, glass, metal panel, concrete, with ipe wood, concrete pavers and walls and basalt boulders at the plaza

D. Pedestrian Environment

D-1 Pedestrian open spaces and entrances

Convenient and attractive access to the building entry should be provided; paths and entry areas should be well lighted and entry areas should be protected from the weather. Opportunities for creating lively pedestrian oriented open space should be considered.

The proposed plaza will provide a much needed landscaped open space for both Fairview and Eastlake.

D-2 Blank walls

Buildings should avoid large blank walls facing the street especially near sidewalks. Where blank walls are unavoidable, they should be designed to reduce their impact on pedestrian comfort and interest.

There are no blank walls in the revised massing. The openings at the parking ramp along Fairview will have decorative screening to provide interest.

D-4 Design of parking lots near sidewalks

Parking lots near sidewalks should provide adequate security and lighting, avoid encroachment of vehicles on the sidewalk and minimize visual clutter.

Parking below grade is preferred

Parking is below grade, sloping down from the Fairview level.

D-6 Screening of dumpsters, utilities and service areas

Buildings should locate service elements such as dumpsters, loading docks and mechanical equipment away from the street front where possible.

Dumpsters will be located in a closed loading dock. Loading dock has opaque doors to screen it from the street. Most mechanical equipment is located at the rooftop and integrated into the architecture.

D-7 Personal safety and security

Project design should consider opportunities for enhancing personal safety and security.

Enhance public safety

The area at the stair has been substantially widened. The restaurant and retail spaces will provide "eyes" on the plaza and street. The area under the bridge is under discussion with SDOT regarding better access control.

E. Landscaping

E-1 Reinforce existing landscape character of neighborhood

Where possible, and when there is not an overriding concern, landscaping should reinforce the character of neighboring properties and abutting streetscape.

Encourage landscaping that meets LEED criteria

Where appropriate install indigenous trees and plants
Most plantings will be native plants. The landscape will be part of the LEED strategy for the building. The planter beds and street trees will reinforce the plantings at nearby properties.

E-3 Landscape design to address special site conditions

The landscape design should take advantage of special on-site conditions such as high-bank front yards, steep slopes, view corridors or existing significant trees and off site conditions such as greenbelts, ravines, natural areas, and boulevards.

Landscape should be designed to take advantage of views to waterfront and downtown.

The plaza possible with a Shoreline Height Variance will provide the public and occupants with excellent views of Lake Union and the Space Needle.



Land Use Code Review			Departure Requested	Page #
Code Section	Required	Provided		
SMC 23.47A.004 Permitted Use	Zone is C2-65			
Use - R&D Lab - C-5	Permitted	Uses cited are anticipated. Project is at 23.47A.006.027.		
Use - Offices - C-8	Permitted, limited to 1 FAR or 35,000 sq ft unless it meets 23.47A.010.D			
Use - Restaurant C-2.b	Permitted			
Use - Retail - C-10.a	Permitted			
SMC 23.47A.008 Street Level Use				
Eastlake Avenue East is NOT located in a pedestrian designated zone at this location.				
SMC 23.47A.008 Street Level Development Standards				
Project does not have residential units and there are no adjacent residential units, therefore the provisions are only applicable as related to 23.47A.010 below.	Blank facades: Blank facades shall not exceed 20 feet in width and the total of all segments shall not exceed 40% of the width of the facade along the street.	Street front elevations comply		Sheets 10 & 11
	Both the Eastlake and Fairview facades have the required percentage of openings. The Eastlake facades are glazed, at Fairview the facades are not glazed, but have the building standard mullion pattern with perforated metal fins at 6" on center perpendicular to the street to provide a view into the building while screening the parking ramp.			
	Transparency: 60% of the street frontage shall be transparent between 2 feet and 8 feet above the sidewalk and allow unobstructed views from the outside into the structure.			Sheets 10 & 11
	Access to Parking per 23.47A.032 below.	Complex - see the 23.47A.032 section below.		Sheet 3
	Parking is located within the building along the sidewalk and is separated from the street-facing facade, although the building is separated from the sidewalk bridge structure by a gap of about 3 feet in width and of varying depth in the part of the ROW.	In order to have an internal loading area at the Fairview level and due to the geometry of the parcel, parking cannot be separated from the building. Request that this departure be approved for the purposes of 23.47A.010.		
	Location of parking per 23.047A.032 Within a structure street-level parking shall be separated from street level, street-facing facade, and another permitted use.			Sheet 3
SMC 23.47A.010 Maximum size of non-residential use				
	Office Use is limited to (1) FAR or 35,000 sq ft, whichever is greater unless the following standards of 23.47A.008 are met	Tenants have not yet been identified. Project meets the requirements of 23.47A.006 with the exception noted above.	Request confirmation that office uses by R&D are not the primary use in the building are accessory to the lab use and permitted to exceed the size limits of this section.	
SMC 23.47A.011 Outdoor Activities		There are no outdoor activities planned for the site.		
SMC 23.47A.012 Structure Height		Structure is partially in the shoreline therefore height is governed by 23.60, see below		
SMC 23.47A.013 Floor Area Ratio		FAR is 4.25 in the 65' zone. All parking is below grade. Project is on South Lake Union therefore 15% of gross floor area may be deducted for mechanical equipment		
SMC 23.47A.014 Setback Requirements		Project is not adjacent to a residential zone.		
SMC 23.47A.014 View Corridors		No view corridors are required on the site.		
SMC 23.47A.016 Landscaping and screening standards		Green Factor score of .30 required	Green Factor score is .37	Sheet 17

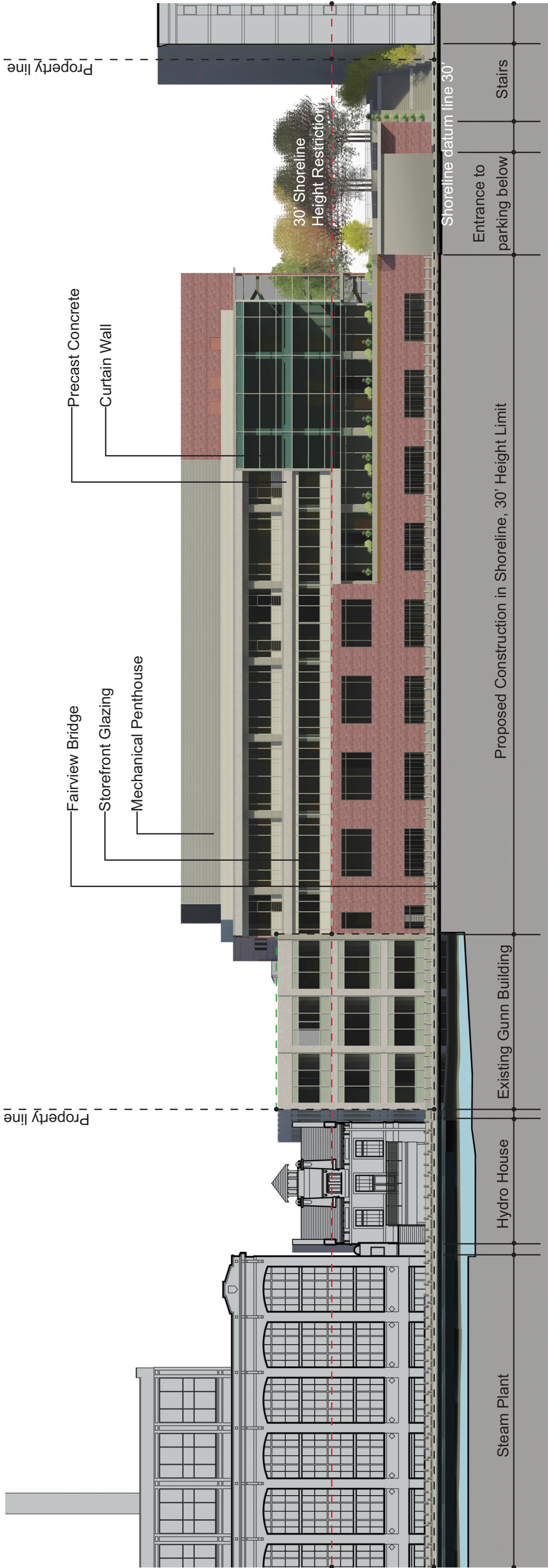
	Street trees are required, if not feasible, landscaping other than trees may be provided in the planting strip if approved by SDOT.	The Eastlake planting strip is over arway for 50% of its length. SDOT will be provided where possible and raised planter beds where they are not possible. On the Fairview frontage the majority of the length of the structure will screen the parking per Chart D line 1.	Raised planter beds will be provided on Eastlake and additional trees will be provided on the proposed southern plaza to add trees to the site.	Sheet 18
	Screening is required for parking garages occupying the street-level, street-facing facade between 5 and 6 feet above sidewalk grade.	The property is separated from the Fairview sidewalk by an approximately 3 feet on the exterior wall of the structure will screen the parking per Chart D line 1.		Sheets 3 & 11
SMC 23.47A.018 Noise Standards				
	Lot is NOT located within 50 feet of a residential use.	Roof-top mechanical will be enclosed or acoustically screened as required.		Sheets 7, 10 & 11
SMC 23.47A.020 Odor Standards	A. The venting of fumes must be at least 10 feet above sidewalk grade.	Any fume exhaust will be at least 10 feet above sidewalk grade. No Major Odor sources are planned.		
SMC 23.47A.022 Light and Glare Standards	Exterior lighting must be shielded and directed away from adjacent uses.	All exterior fixtures will meet "Dark Sky" standards, fixtures at the plaza abutting the adjacent property will be full cutoff lights lighting the ground only.		
	Interior lights in parking garages must be shielded and directed away from the parking area is different from the elevation at the lot line to 3 feet.	Parking along the Fairview frontage is on a ramp that slopes below street level and has a solid wall to 3' above the parking surface, and lights will be shielded.		Sheets 3 & 11
	Glare diagram is required for structures using reflective coated glass or for new or expanded structures over 65 feet when the facade is over 30% clear or tinted glazing and is directed toward a major arterial.	No reflective coated glazing or highly reflective materials will be utilized. Structure is approximately 43 feet high at Eastlake and approximately 61 feet at Fairview.		Sheets 10 & 11
SMC 23.47A.024 Residential Amenity Areas	This is a non-residential project.			
SMC 23.47A.027 Landmark Districts & Designated Landmark Structures	Project is not in a Landmark district nor is it a designated Landmark Structure.			
SMC 23.47A.028 Standards for drive-in Businesses	There are no planned drive-in businesses.			
SMC 23.47A.029 Solid Waste and recyclable materials storage	276 sq feet of storage is required with access for a front loading container	An enclosed loading dock is provided with space for this.		Sheet 3
	Front loading containers accessed directly by a collection vehicle into a structure shall be provided with an 21' overhead clearance.	Due to Shoreline height limits the loading bay is restricted to approximately 14' in height, a trash compactor will be used.		Sheets 3 & 13
SMC 23.47A.030 Required Parking and Loading	Per SMC 23.54.015 and 23.54.035 below			
SMC 23.47A.032 Parking location and access	Parking access may be from a street or alley.	Parking is accessed from Fairview Avenue		Sheet 3
	Off street parking may be located anywhere on a lot in C2 zones unless across the street from a residential zone.	There are no residential zones near the property		
	Direct access to a loading berth is permitted only when no alley is available.	There are no alleys abutting the site. The loading dock is accessed from Fairview Avenue.		Sheet 3
	Within a structure street-level parking shall be separated from street level, street-facing facades by another permitted use.	Parking is located within the building along Fairview and is not separated from the street-facing facade, although the building is separated from the sidewalk bridge structure by a gap of about 3 feet in width and of varying depth that is part of the ROW.	In order to have an internal loading area at the Fairview level and due to the geometry of the parcel, parking cannot be separated from the building. Request that this departure be approved for the purposes of 23.47A.010.	Sheet 3

SMC 23.47A.033 Transportation concurrency level of service	Per 23.52			
SMC 23.52.004 Requirement to meet transportation concurrency level-of-service standards				
	Demonstrate that forecasted traffic will not cause LOS issues at applicable screenlines.	Per submitted Traffic Study there are no issues.		
SMC 23.53.015 Improvement requirements for existing streets in residential and commercial zones		This is under discussion with SDOT; SDOT #36491		
SMC 23.53.035 Structural Building overhangs		Canopies along Eastlake Avenue extend 5 feet from the building and are at 8' above the sidewalk (height varies with the slope of the street).		Sheets 10 & 14
	Projections such as balconies that do not increase the space enclosed by the building may have a maximum horizontal projection of 3 feet at the roof level.	The balcony proposed at the Fairview overlook is 5 feet deep x 38 feet wide to provide greater views of the lake and Space Needs.	As part of the public amenity proposed in the project, the balcony would like to extend the shoreline variance. The balcony proposed at the Fairview overlook is 5 feet deep x 38 feet wide to provide greater views of the lake and Space Needs.	Sheets 4 & 10
SMC 23.54.015 Required Parking	No parking for motor vehicles is required for uses in commercial zones in urban centers.	Project includes 82 stalls of parking.		Sheets 3 & 8
	Per Chart E and based on projected uses, 50 stalls of covered bike parking are required.	50 stalls of bike parking are provided in the parking garage.		Sheet 3
SMC 23.54.035 Loading Berth Requirements				
	Per Chart A two berths are required.	Two berths are provided.		Sheet 3
	Berths are required to be 10 feet wide x 35 feet long	Berths are 10 feet wide x 35 feet long		Sheet 3
SMC 23.60.608 Permitted Uses on upland lots in the US Environment	Research and Development Laboratories are permitted outright			
	Ground floor offices (in SLU) are permitted outright.			
	Uses permitted outright on waterfront lots in the US environment are permitted on upland lots. Offices above the ground floor are permitted in the Lake Union area when other uses occupy the ground floor level.			
	Eating and drinking establishments are permitted outright on waterfront lots in the US environment and thus also on upland lots			
SMC 23.60.632 Height in the US Environment				
	The maximum height shall be 30'	Height from average elevation (shoreline datum line) is approximately 57 feet to top of roof slab and a total of 72 feet to top of mechanical penthouse.	Per request for a Shoreline Variance proposed height exceeds the shoreline limit.	Sheet 11
	Roof-top features - open calls, skylights, parapets and skylwalks are limited to 4' above the maximum height limit.	Parapets comply with this.		
	The following rooftop features may extend up to 15 feet above the maximum roof height so long as the combined roof coverage for all features does not exceed 25% of the roof area if the total includes mechanical equipment.	Roof coverage is approximately 40% for the proposed height. The area of roof has been reduced therefore the percentage of rooftop coverage has increased, however it is restricted to the new construction only so that the lower Gunn roof may provide a view to the lake from any future commercial across Eastlake.	Per the request for the Shoreline Variance the area of roof has been reduced therefore the percentage of rooftop coverage has increased, however it is restricted to the new construction only so that the lower Gunn roof may provide a view to the lake from any future commercial across Eastlake.	Sheet 7
SMC 23.60.634 Lot Coverage in the US Environment	Structures are permitted to occupy 100% of an upland lot	Structure covers 100% of the lot.		Sheets 3 & 4
SMC 23.60.652 Height	Height shall be calculated per this section	Calculations provided		Sheets 2, 10 & 11
SMC 23.60.006 Structure Height	When any portion of a structure falls within the shoreline district the height for the entire structure shall under 23.60.952.	Structure was calculated for the entire structure under study.		Sheet 2, 10 & 11

Design Review Board Recommendation Meeting July 2, 2008		
Board Questions:	Response - Original Massing Proposal	Response - Revised Massing Proposal
Will the building skin of the existing Gunn building be stripped?	The existing skin may be stripped back to the concrete structure and skim coated or clad. There would be a joint or reveal in the envelope separating existing building from new construction.	The concrete frame of the Gunn would be stripped of the existing stucco, repaired and coated.
Design continuity: Did you want the existing Gunn building to read separate from the new construction?	There is to be a subtle difference in the existing facade and the new construction, but by continuing the structural pattern of the existing facade to the Fairview elevation, there is an overall continuity to the elevation. The Eastlake elevation on the street level retains a similar structural pattern along the facade but is broken up with the loading dock, retail and the building's recessed entry.	The structural frame of the Gunn Building will be exposed; its rhythm will be expressed in the new facade both vertically and horizontally to tie the old and new construction together while allowing the Gunn to remain distinct. A canopy along Eastlake also extends across the Gunn and the new construction.
Loading Dock: Why is the dimension of the driveway so wide?	Stock & Associates, Inc. had several meetings and conversations with DPD and SDOT concerning the loading dock configuration. Given the narrow width of the site, internal truck maneuvering was not possible. DPD therefore granted back in, exit forward maneuvering for the dock, provided a flagger is present and hours are restricted to avoid conflict with the bus layover zone. With this configuration and code minimum of two loading berths required, the proposed loading dock driveway with an intermediate pedestrian refuge area is the least dimension possible to achieve truck maneuvering.	The revised massing possible with a Shoreline Height Variance would allow the loading dock to be entered off Fairview using the existing curb cut. Eastlake Avenue would not require any curb cut under this proposal.
Why doesn't the restaurant facade along Eastlake have the same raised planter beds as the remainder of the facade?	Discontinuing the planter bed at the restaurant allows for sidewalk café seating along Eastlake. The street facades of the restaurant are intended to be glazed panel folding door systems that open up the restaurant interior to the seating area along the Eastlake sidewalk.	The restaurant is now located off the plaza along the Fairview facade with a view of the lake.
Green roof: Will this be a traditional green roof with the ability to handle storm water retention?	Yes. The main green roof on the third level will be composed of planters with depths up to 18 inches and be designed to handle storm water retention.	The current proposal utilizes planters on structure with more hardscape to accommodate pedestrian movement through the plaza. Stormwater will be handled by traditional methods.
Security: The depth off the street of Fairview entrance is a security concern. Further security measures, such as a gate, are encouraged.	The EDG board requested that Stock & Associates, Inc. look into recessing the building entrances off Fairview and Eastlake. Lighting choices should also be made with security in mind, to keep the space well lit.	The Fairview entry has been eliminated pedestrians on Fairview will access the building at the main entry off the plaza.
Wall System: What is the wall system at the tower?	Currently, a curtain wall system will be used at the flatter, east and west facades and portion of the north facade. Aluminum storefront will be used at the north facade projections and at the Gunn Building.	
Retail: What is planned for retail use?	At this time, a particular tenant is unknown. The intent is to enrich the street life along Eastlake with a restaurant and retail space. The property owner is pursuing talks with potential tenants.	The property owner has not identified a tenant at this time.
Perspective at Stairs: Why is core projection not shown?	The rendering was completed prior to very recent plan changes shifting the core projection east to further open up the view corridor for the Silver Cloud hotel rooms at the hotel's north facade.	No longer applicable
LEED: Where are points being generated within the checklist? Are you using photovoltaic panels?	The green roof, and native plants are one area for points. Photovoltaic panels were value engineered out of the project for budgetary reasons. Many of the points are deriving from energy categories. Others are Re-use of the Gunn Building, job site recycling of waste, low VOC products, local products, etc. Fish habitat under the bridge seems to also be a possible source for points.	Points are focused on the same areas, except the green roof has been eliminated. Project goal is LEED Silver.
Is there an agreement with the Silver Cloud for maintenance of the existing stairway?	The property owner is in conversation with the Silver Cloud owners on this topic. The plans currently show all landscaping within the property lines for this project and it would therefore be maintained by the property owner and not the Silver Cloud.	The Owner and Silver Cloud have agreed to combine the area formerly covered by the stair on the Silver Cloud property with the plaza area on our site. If the Shoreline Height Variance is approved an easement will be negotiated that will cover maintenance.

With potential low light levels, are you concerned with the landscape's viability?	The landscape architects for this project have allocated native understory plants that require low light levels at this location. Their experience with these plants at a separate, very similar location has been successful. Although the section is narrow, limited direct sunlight will reach the space in the afternoon hours.	No longer applicable; the wider plaza provides plenty of sun.
Security concern for pedestrians.	With security in mind, lighting at the stair level and overhead will be provided all along the path from Eastlake to Fairview to insure the area is well lit. By making use of the option for 25% of the facade to be glazed, windows have been located in areas like the elevator lobby and stairs to allow for "eyes" to be on the travel path to increase safety.	The plaza is much more open than the original stair. The retail space, restaurant, building lobby and hotel rooms all face onto the plaza which should provide plenty of "eyes" on the travel path.
What is the dimension of stairs and distance from the Silver Cloud north elevation?	Dimensions vary as the stairs get closer to Fairview, as the wall angles north, away from the Silver Cloud. Minimum dimensions at the Eastlake portion of the stair: Stair width approximately 5'-5" and width of landscaping approximately 5'-6". At the Fairview end: landscaping width increases to approximately 7'-8".	The revised stair is 14 feet at the Fairview level and 9 1/2 feet at the plaza level. The plaza's width varies from 67 to 74 feet wide.
Restroom core projection: What is the purpose of pushing the restrooms out past the face of the rest of the south facade?	Given the shoreline height restrictions on the site, the width of the tower is restricted. The maximum allowable shape dictated by the shoreline and zoning restrictions leaves the floor plate narrow at the Fairview side, wider at Eastlake with structural columns further dividing up the narrow plan. Given the programmed use for the building being research and development labs, a rectilinear floor plate is the most desirable shape. By pushing out core elements like the restrooms, the floor plate is freed up to allow for more functional lab layouts.	No longer applicable if revised massing is approved.
Facade modulation: The facade modulation on the north side of the tower is an interesting portion of the facade. Why does the modulation only occur on this facade?	There was an opportunity at this facade to literally follow the curved shoreline boundary for that north wall or modulate the elevation, creating cube-like projections that push out to meet that boundary line. To increase view opportunities on each floor and take advantage of a given zoning restriction, we chose to modulate the elevation and let this portion of the tower be unique to the adjacent elevations.	The revised massing provides modulation on the street facades.
Roof Landscaping: What will be planted on the roof?	The main green roof on level three will be primarily a medicinal herb garden with raised planters and approximately 18 inch soil depths. The higher roofs will be planted with a modular, shallow pan system of lightweight soil and drought tolerant vegetation, such as sedums.	No longer applicable; plantings have been moved to the plaza level.
Lab locations: On which floor of the taller section will the lab space start, in relationship to the restroom projection?	Labs will start on level 03.	No longer applicable; taller section is eliminated in the revised massing.
Requested Departures:	Rationale	
Original Massing: One development standard departure was requested: allow mechanical penthouse at the building edge along Eastlake Ave E.	This allows the street facade to be more in scale with the development along the street.	
Departure was supported by the Board		
Recommended conditions:		
The restroom core projection at the south facade (at the stairway next to the Silver Cloud, will need to be eliminated on levels 01 and 02, but can remain on levels 03, 04, 05 and 06.		
The recessed Fairview entrance will require further security. A security gate was suggested. The Eastlake entrance was seen as more active and would not require further security considerations.		
The corner of the building on the Eastlake facade near the stairway passageway will need to be carved back at the ground level to ease the pedestrian transition to and from the stairwell. The change of form would be from the ground level to the first lab floor.		

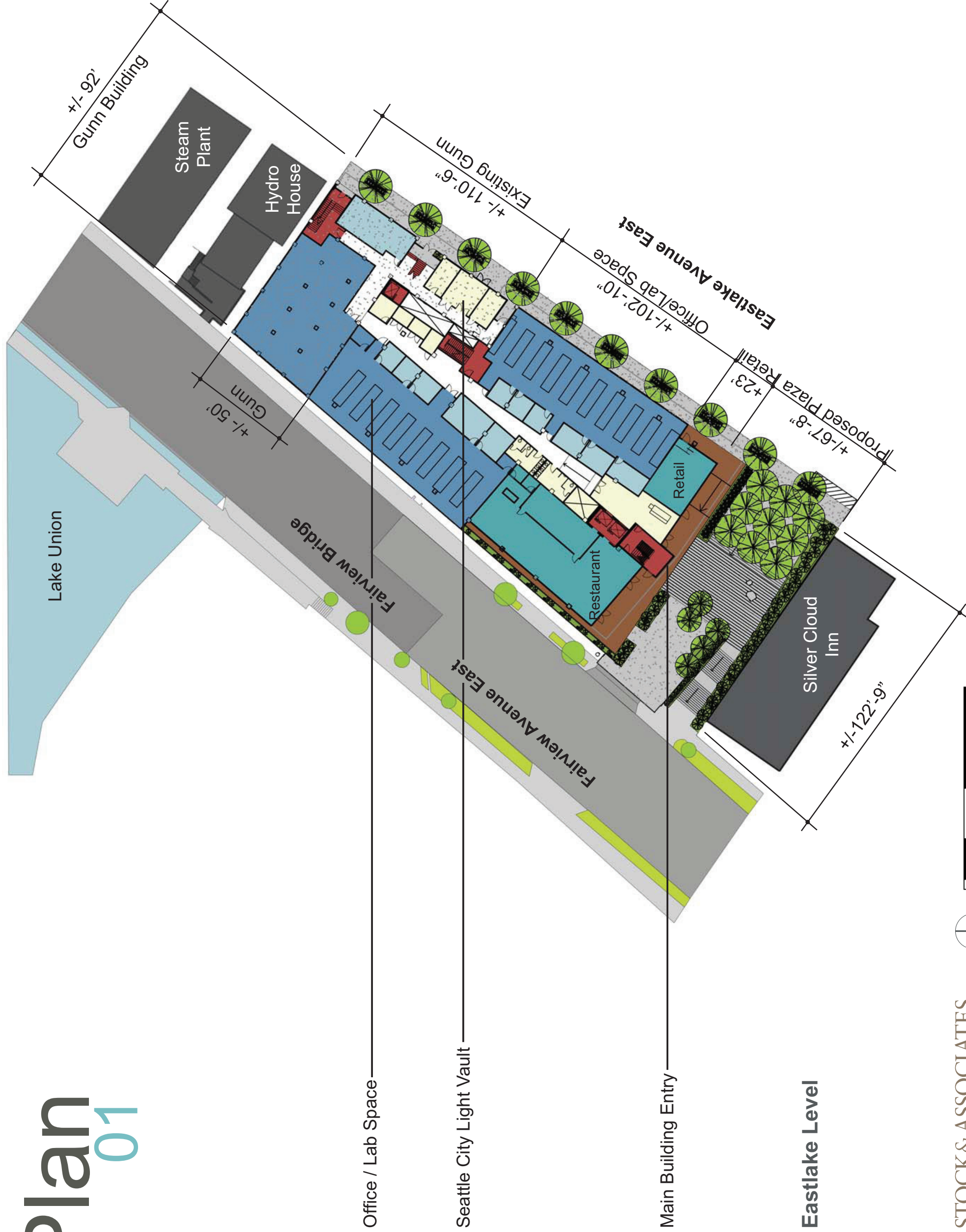
1165 EAST LAKE AVENUE
DESIGN REVIEW BOARD
SECTION 4: REVISED MASSING



Fairview Avenue

Plan

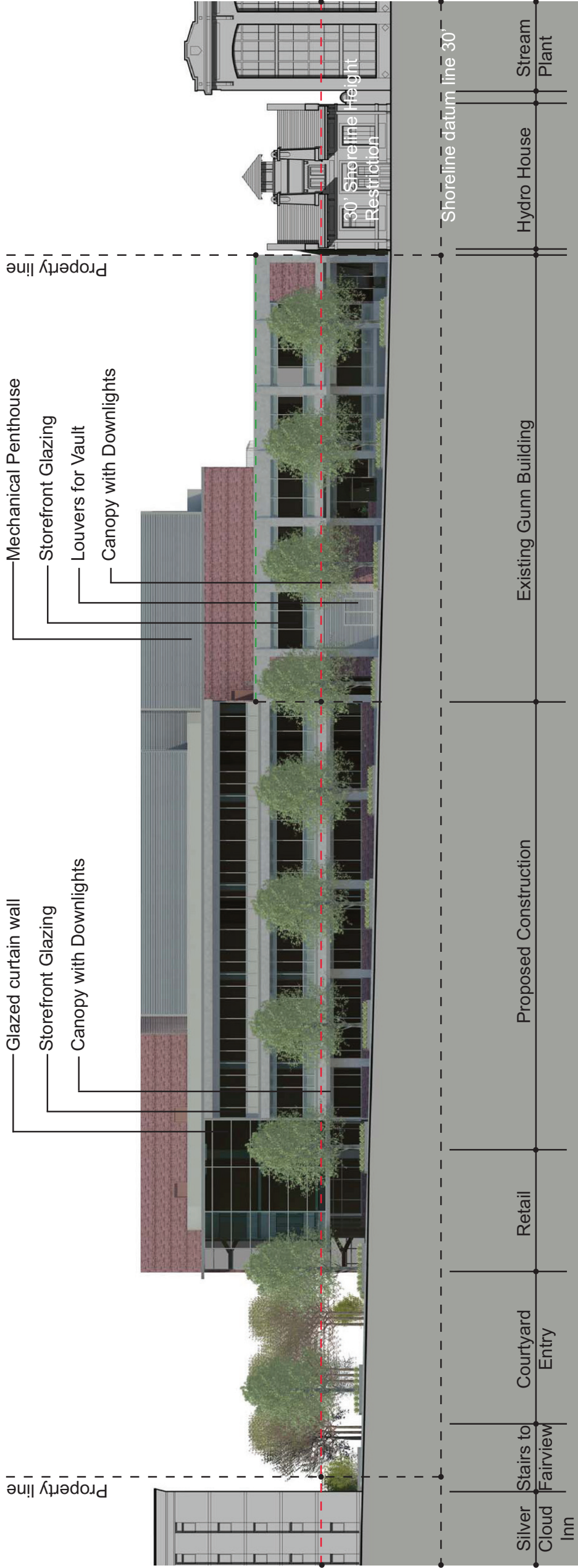
01



Eastlake Level

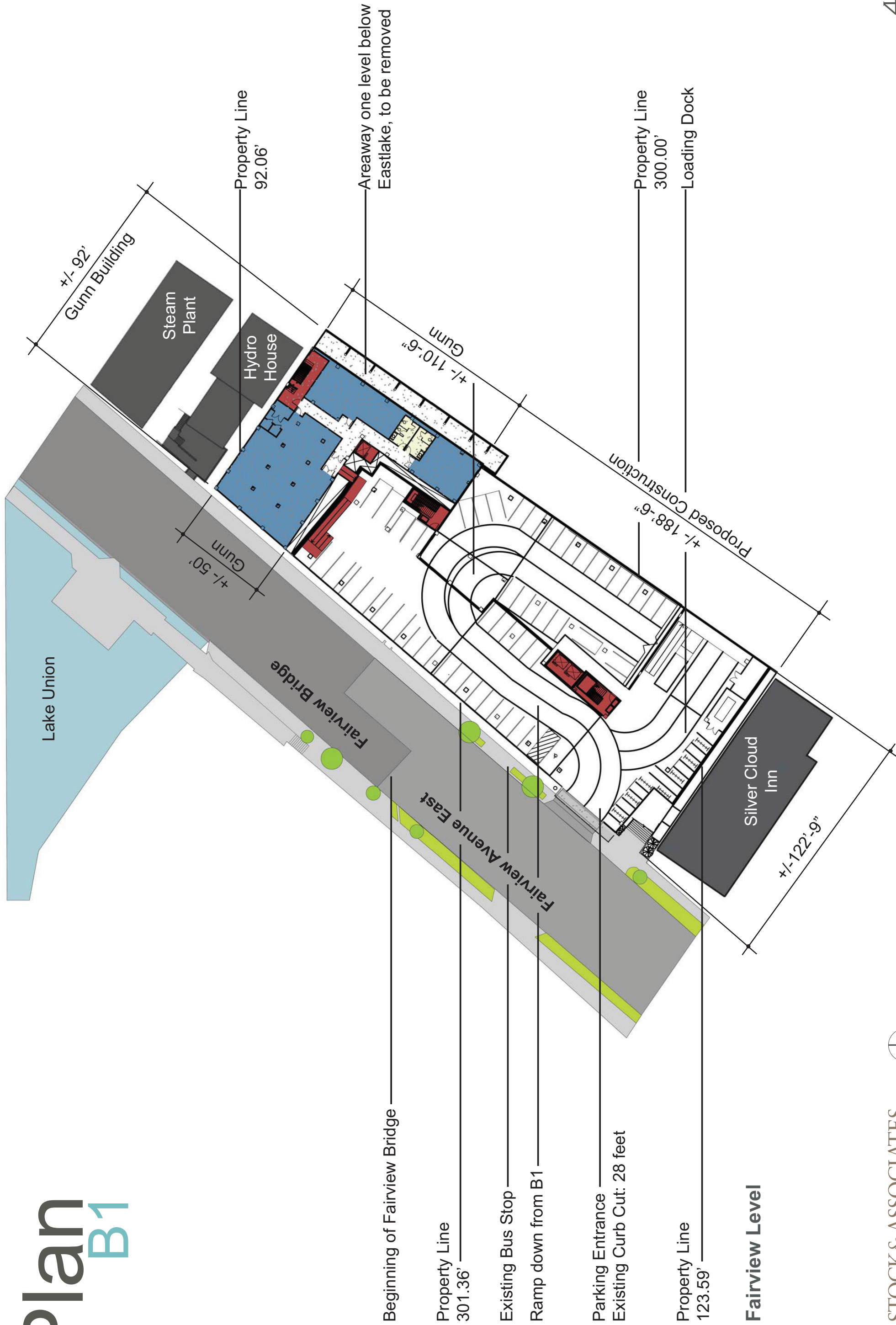
Elevation

East



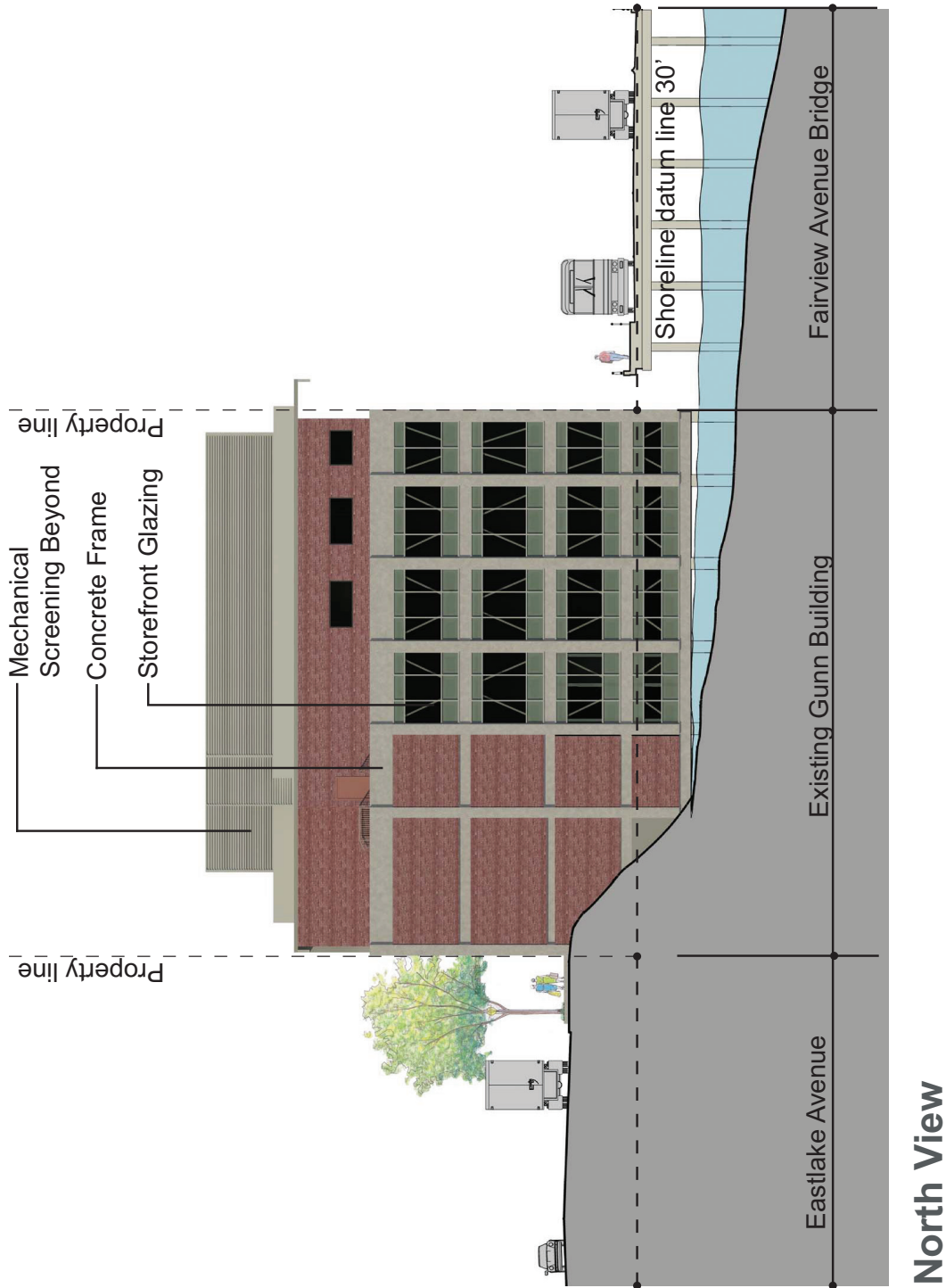
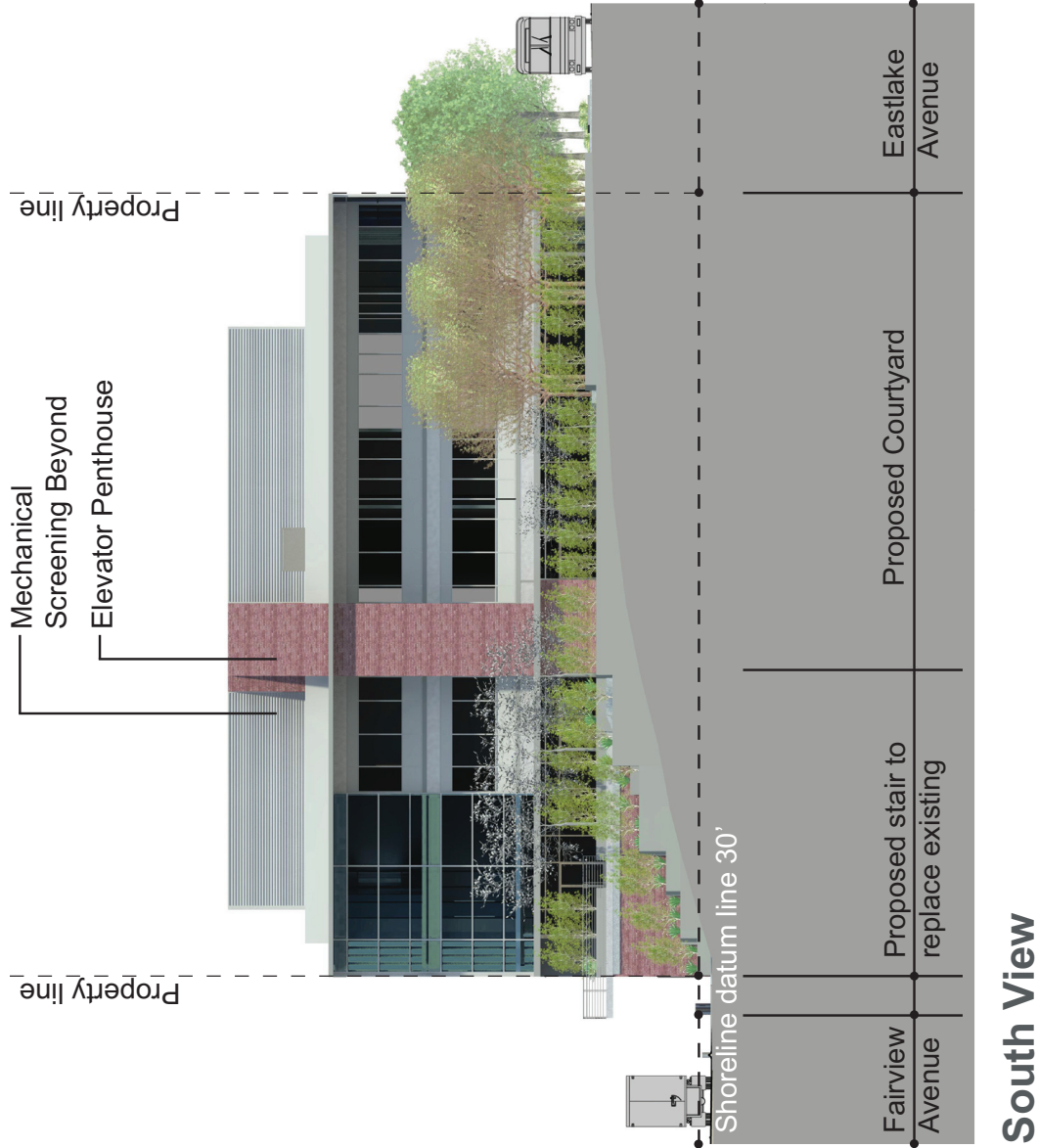
Eastlake Avenue

Plan B1



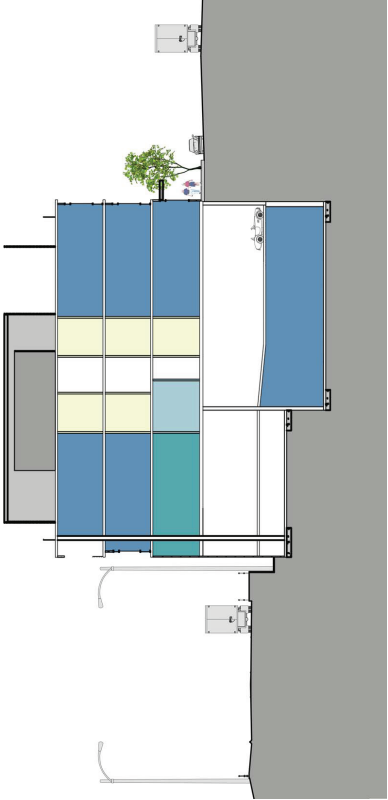
Elevation

South & North

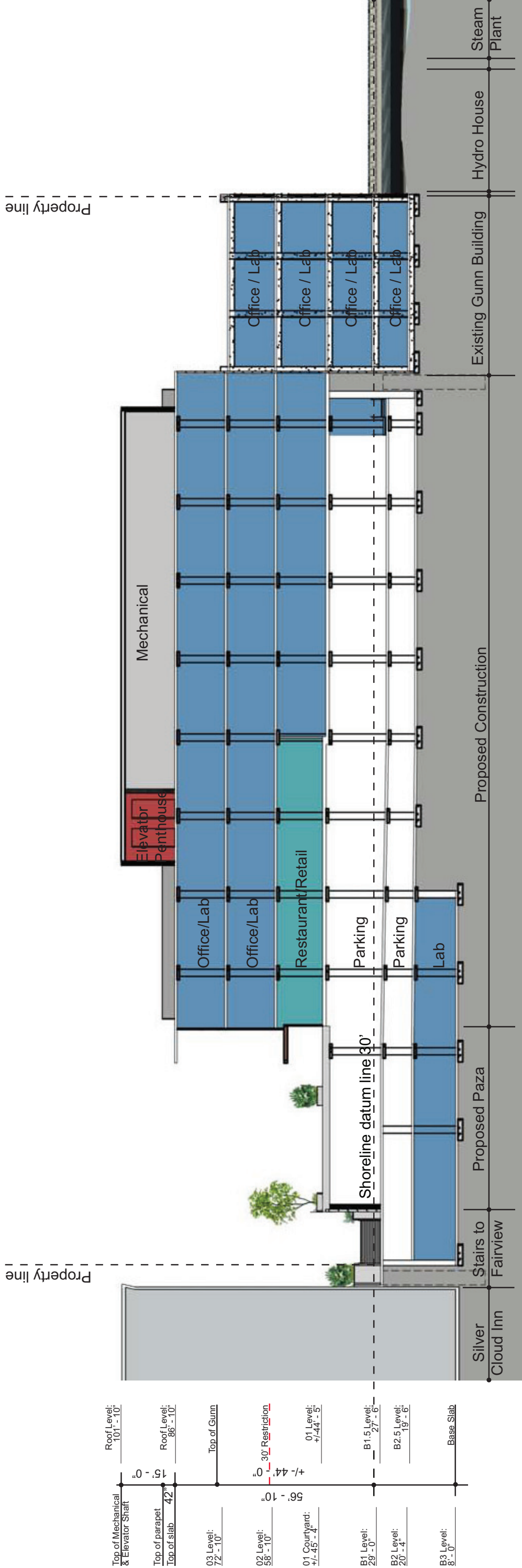


Section

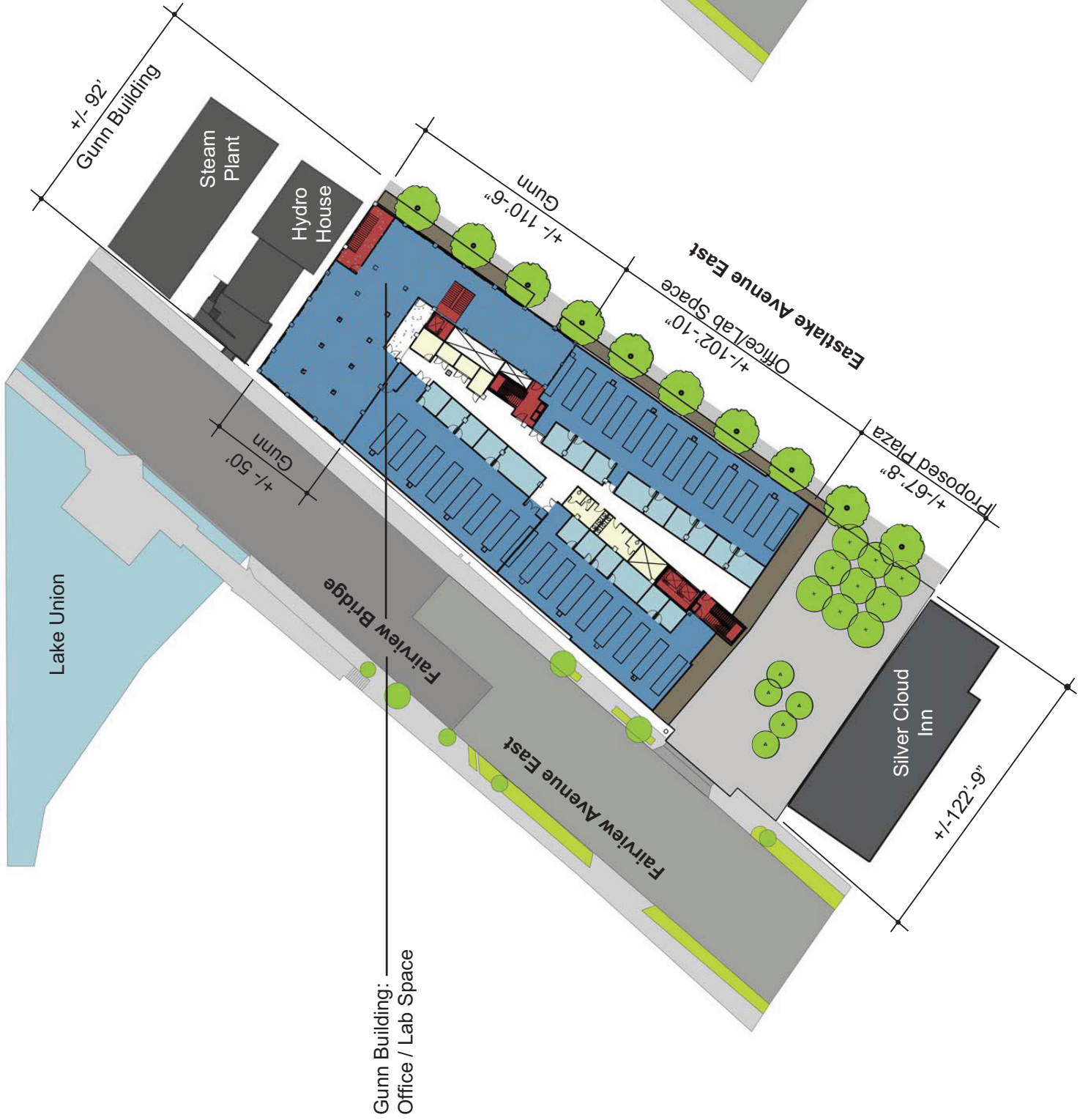
South to North



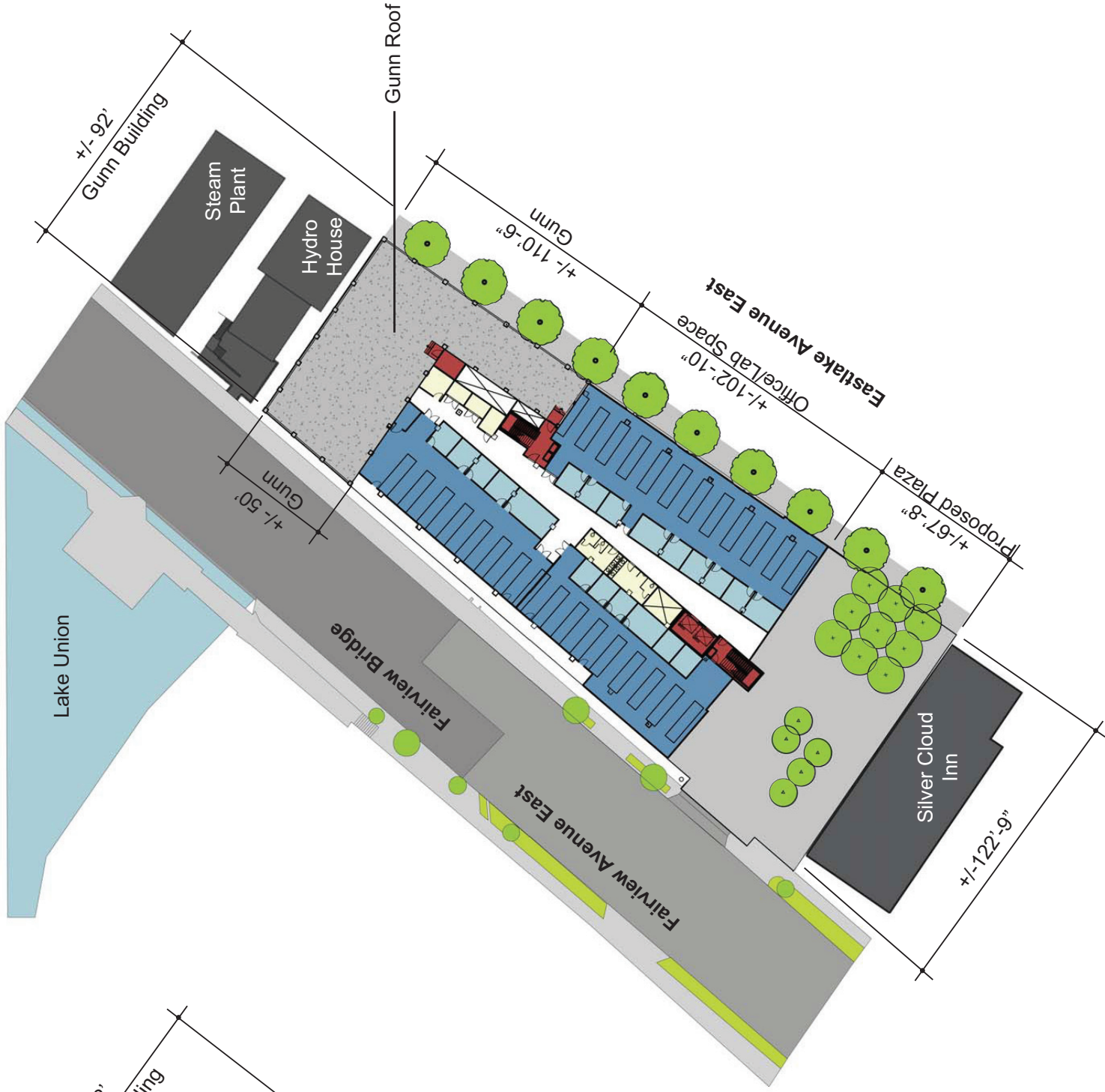
West to East Section



Plan 02, 03



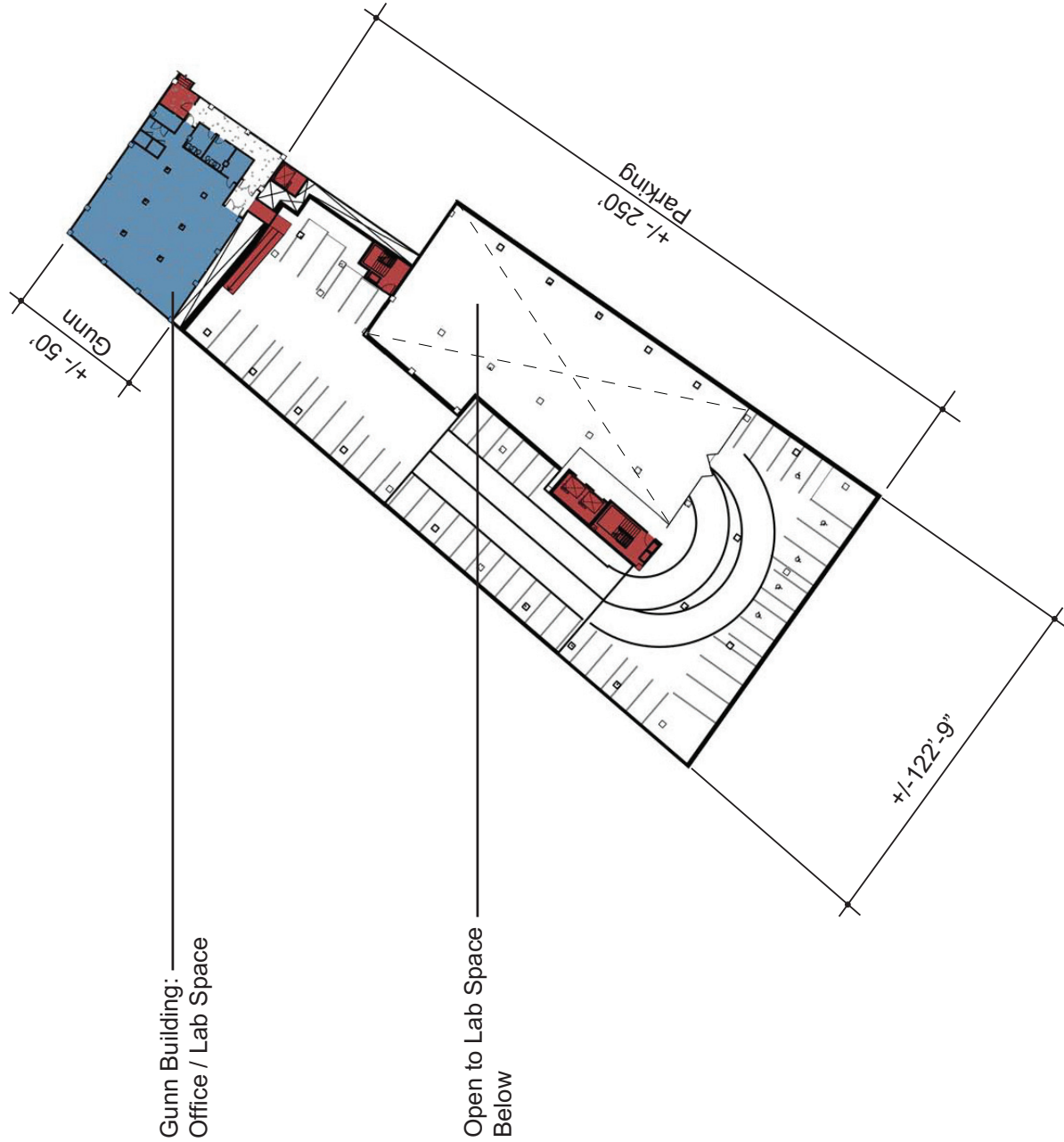
02: Office / Lab Space



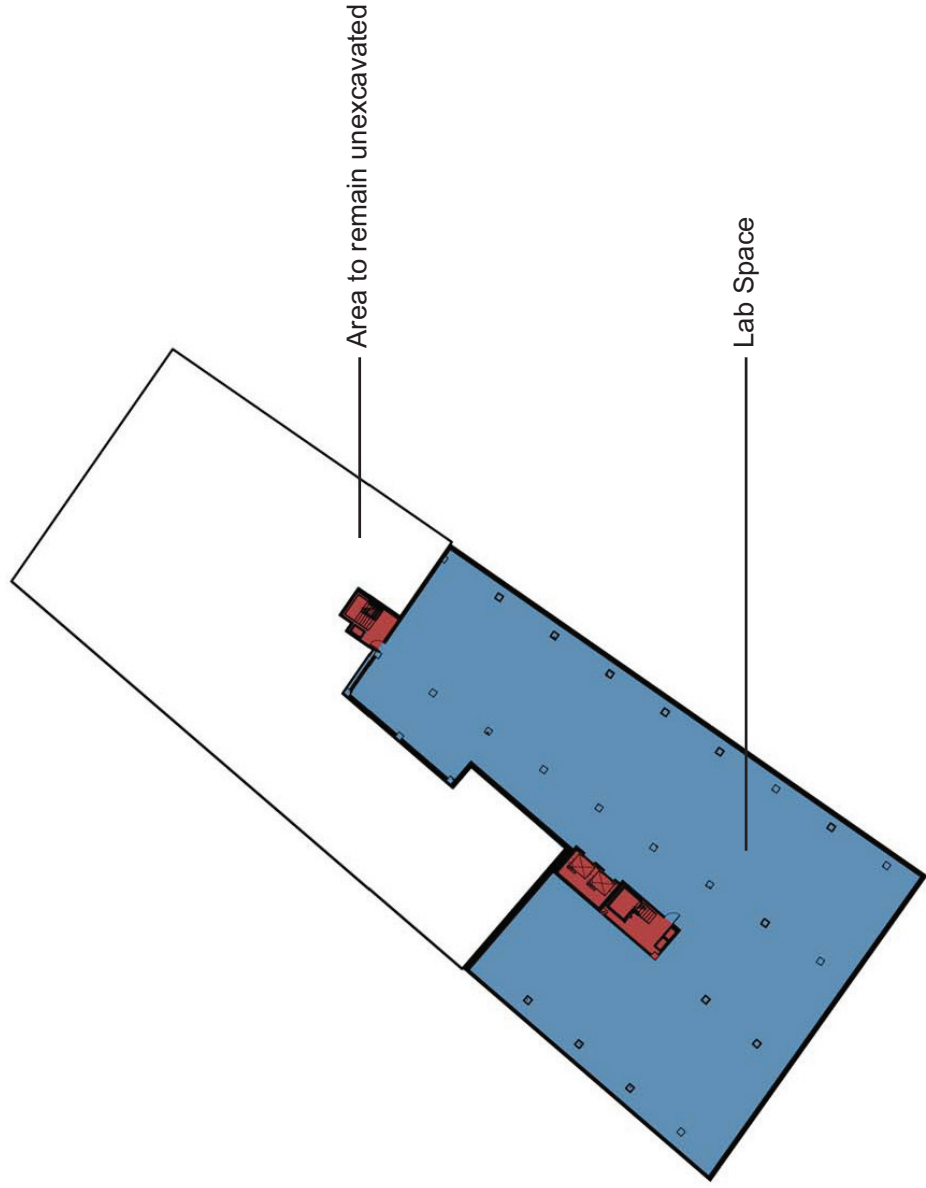
03: Office / Lab Space

Plan

B2, B3



B2: Parking

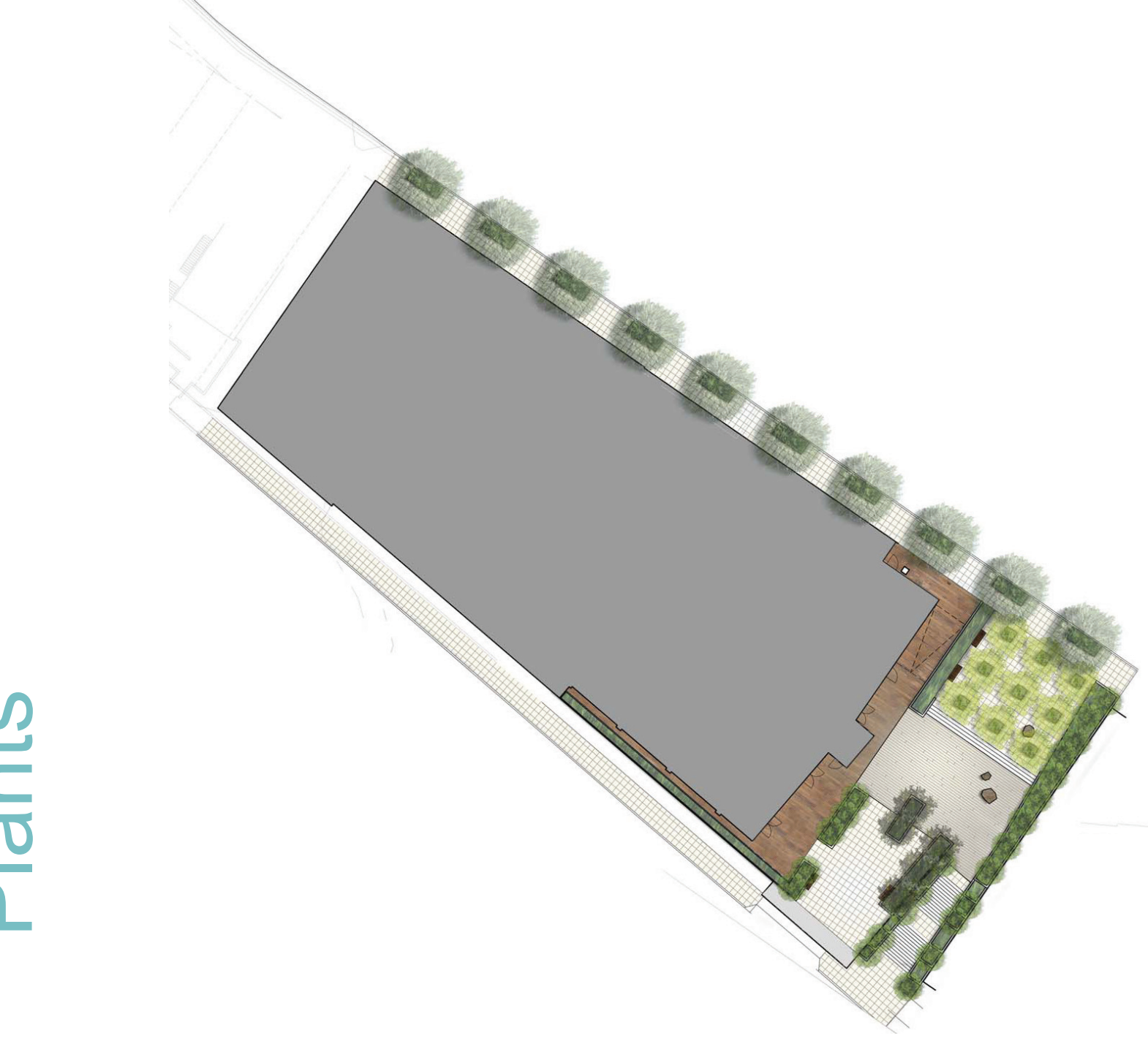


B3: Lab Space

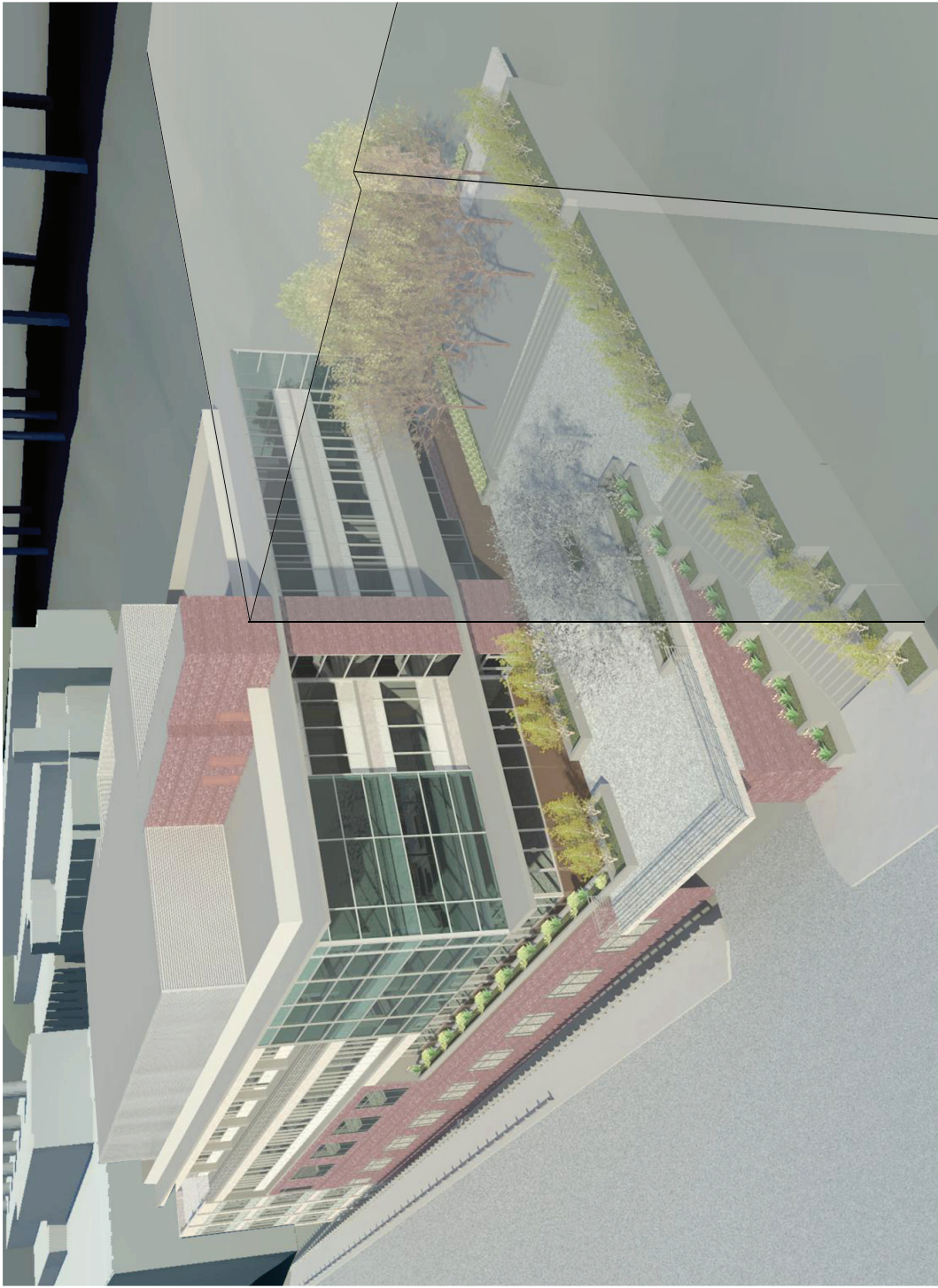
Eastlake



Landscape Plants



Fairview



Fairview Stair



Plaza



Landscape

Plaza Material Detail



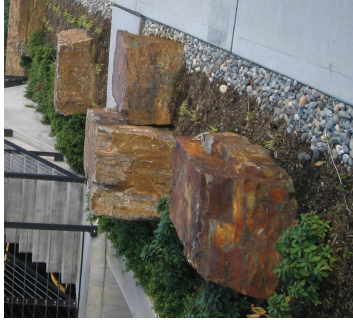
Vine Maple Trees



Ipe Wood



Birch Trees



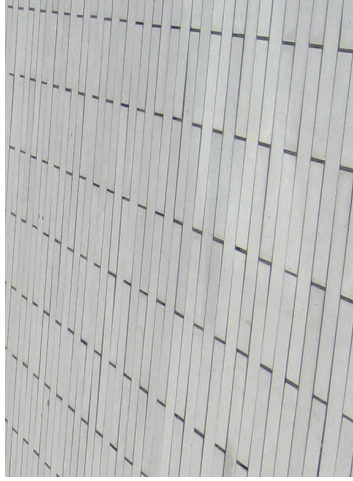
Basalt Stone Seating



Wood Bench



Concrete Pavers



Stepped Planters