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PROJECT INFORMATION

PROPERTY ADDRESS

3825 S Ferdinand St, Seattle WA

OWNER

1440 Jackson Investors, LLC
T (206) 547-4008

PRIMARY TENANT

Walsh Construction Co.
T (206) 547-4008

ARCHITECT

Weinstein A+U LLC
T (206) 443-8606

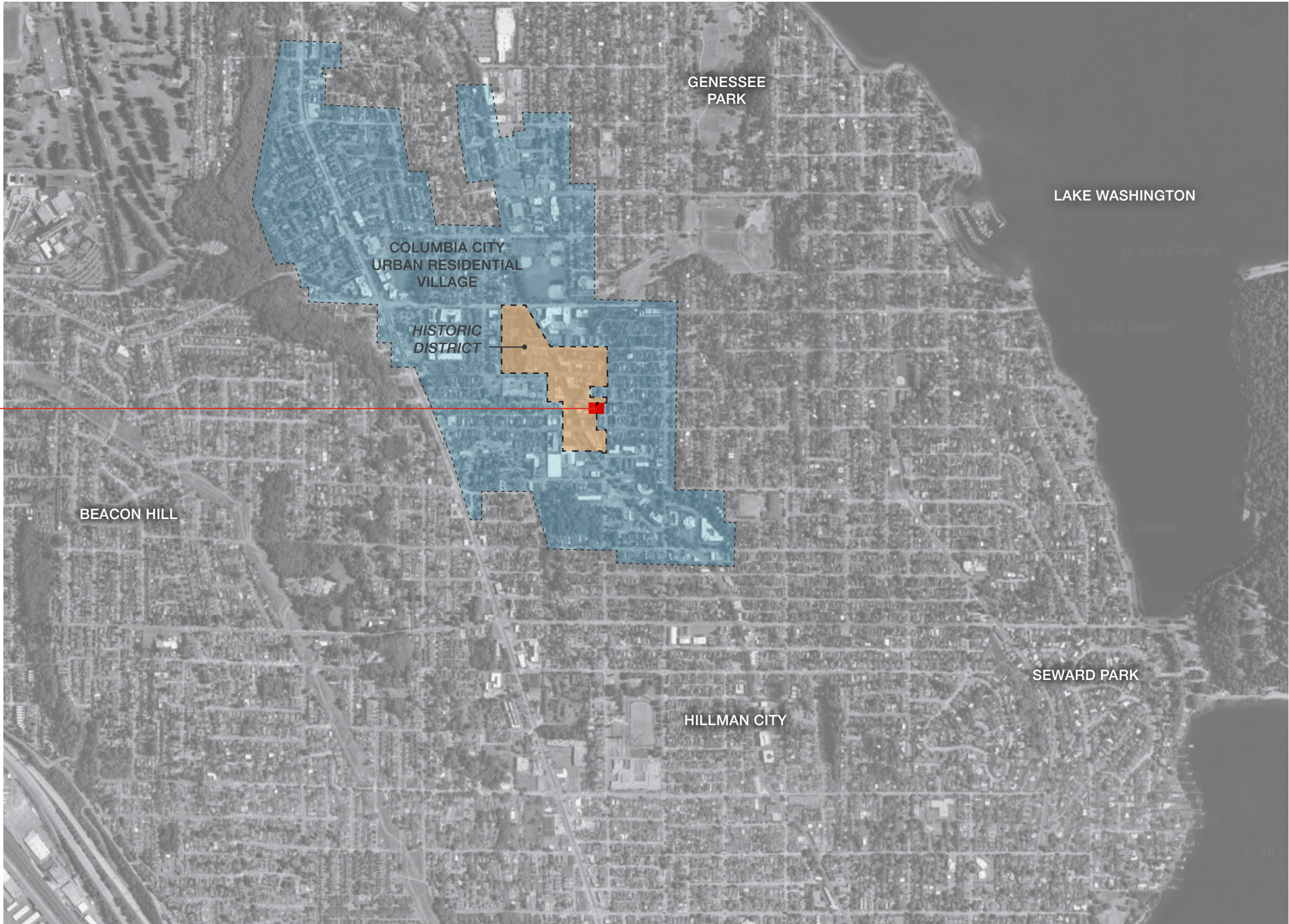
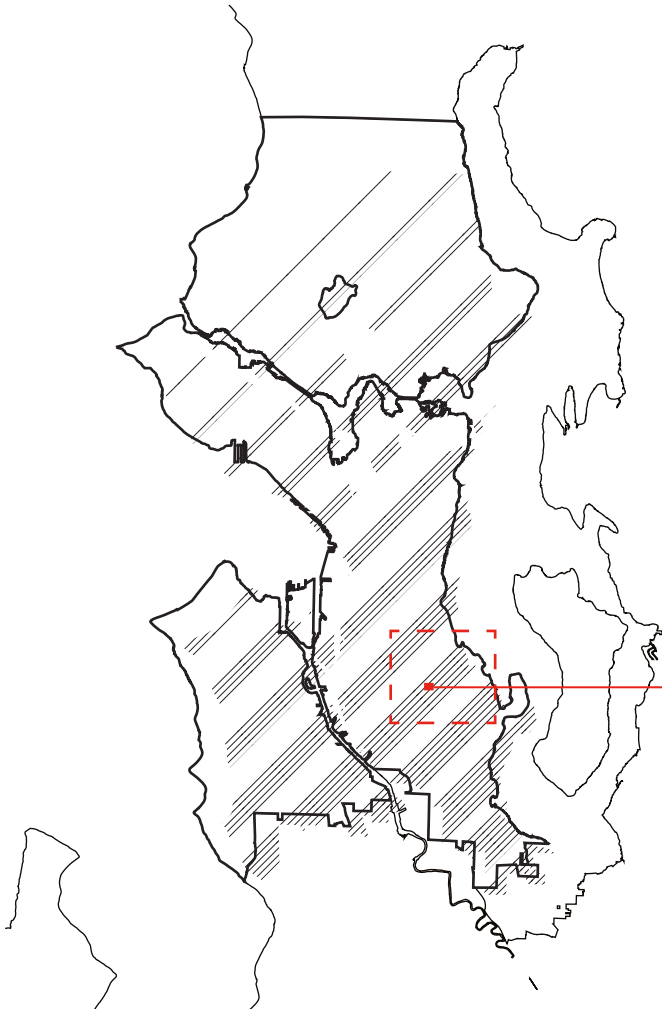
LANDSCAPE

Karen Kiest Landscape Architects
T (206) 323-6032

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1.0 PROJECT SUMMARY



1.0 PROJECT SUMMARY

PROJECT DESCRIPTION

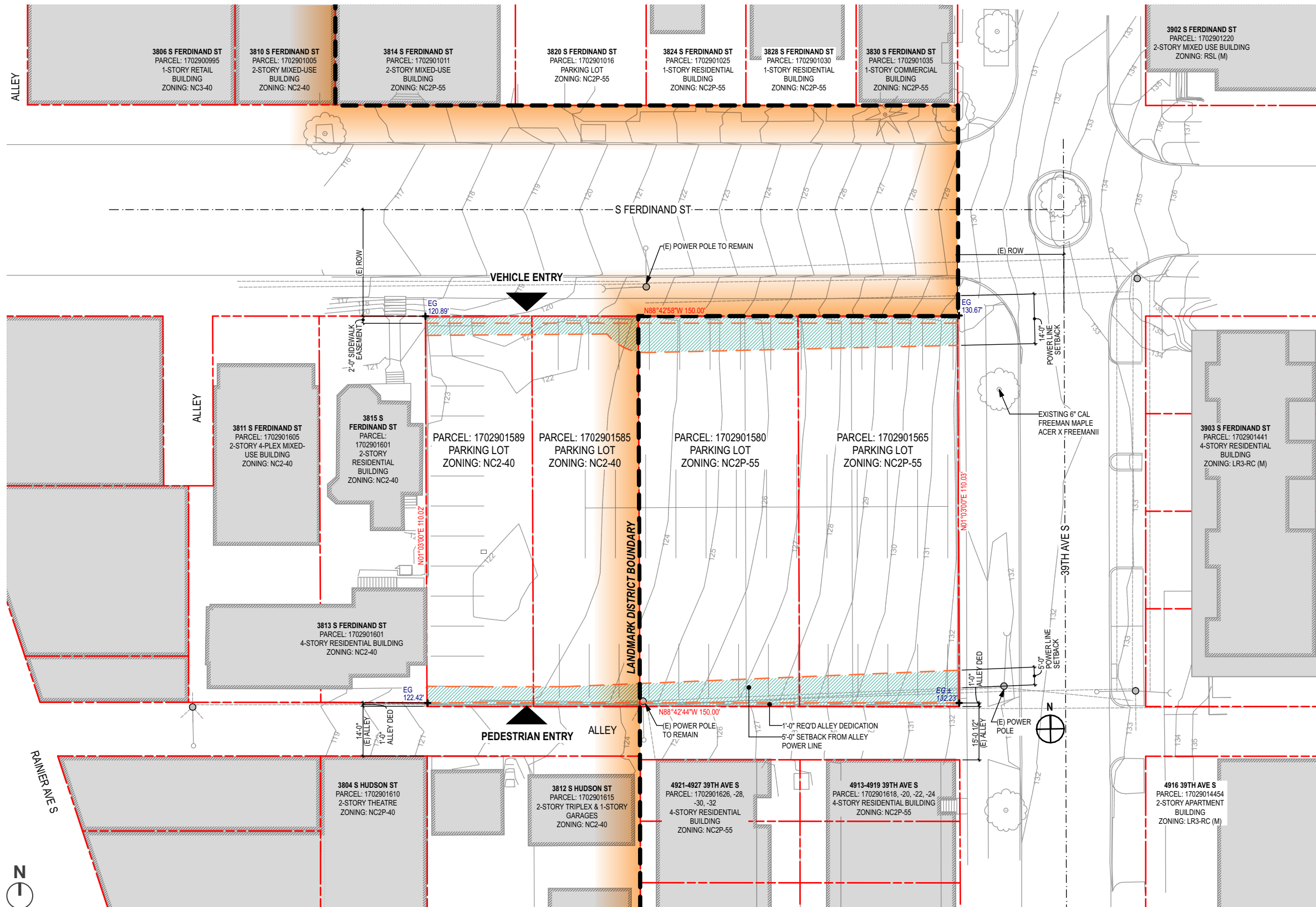
The project site is the surface parking lot located at the corner of S Ferdinand St and 39th Ave S. There is an alley along the south edge of the site, and approximately 10-ft of grade change across the site. The westerly two parcels, 60-ft in width total, fall within the Columbia City Landmark District.

Within the Landmark District, the zoning height limit is 40-ft, and the proposed building is 3 stories plus a mechanical and stair penthouse. On the easterly 2 parcels, outside the District boundary where the zoned height limit is 55-ft, the building includes a partial 4th story. The building will provide small scale commercial spaces at the street level, office space for Walsh Construction Company, and parking for approximately 45 vehicles. The total proposed building area including parking is 40,800-sf, with 10,400-sf of that within the Landmark District.

The proposal would remove the existing surface parking lot and curb cut on S Ferdinand Street, and locate structured parking on two levels, accessed from the alley.

The project goals include:

- Provide a new headquarters for Walsh Construction Company that expresses their identity as a Northwest General Contractor, totaling approximately 25,000-sf of office area;
- Provide parking for at least 40 vehicles for use by Walsh during normal business hours, in a higher-than-typical ratio of large stalls. Some parking may be flexible use to support neighborhood business uses in the evenings and weekends;
- Respect the historic Peirson House next door and preserve the oblique view of the structure's form;
- Improve pedestrian character along S Ferdinand St:
 - Remove curb cut to surface parking lot, re-direct vehicular access to alley
 - Locate loading access and trash collection functions on alley side of building
 - Widen the sidewalk and provide landscape buffer between street and sidewalk, including street trees
 - Activate the public realm with adjacent restaurant and cafe terraces



1.0 PROJECT SUMMARY



VIEW OF SITE FROM ACROSS S FERDINAND ST



VIEW OF PORTION OF SITE WITHIN LANDMARK DISTRICT, LOOKING SOUTH

2.0 LANDMARK DISTRICT ANALYSIS

FOUNDATIONS

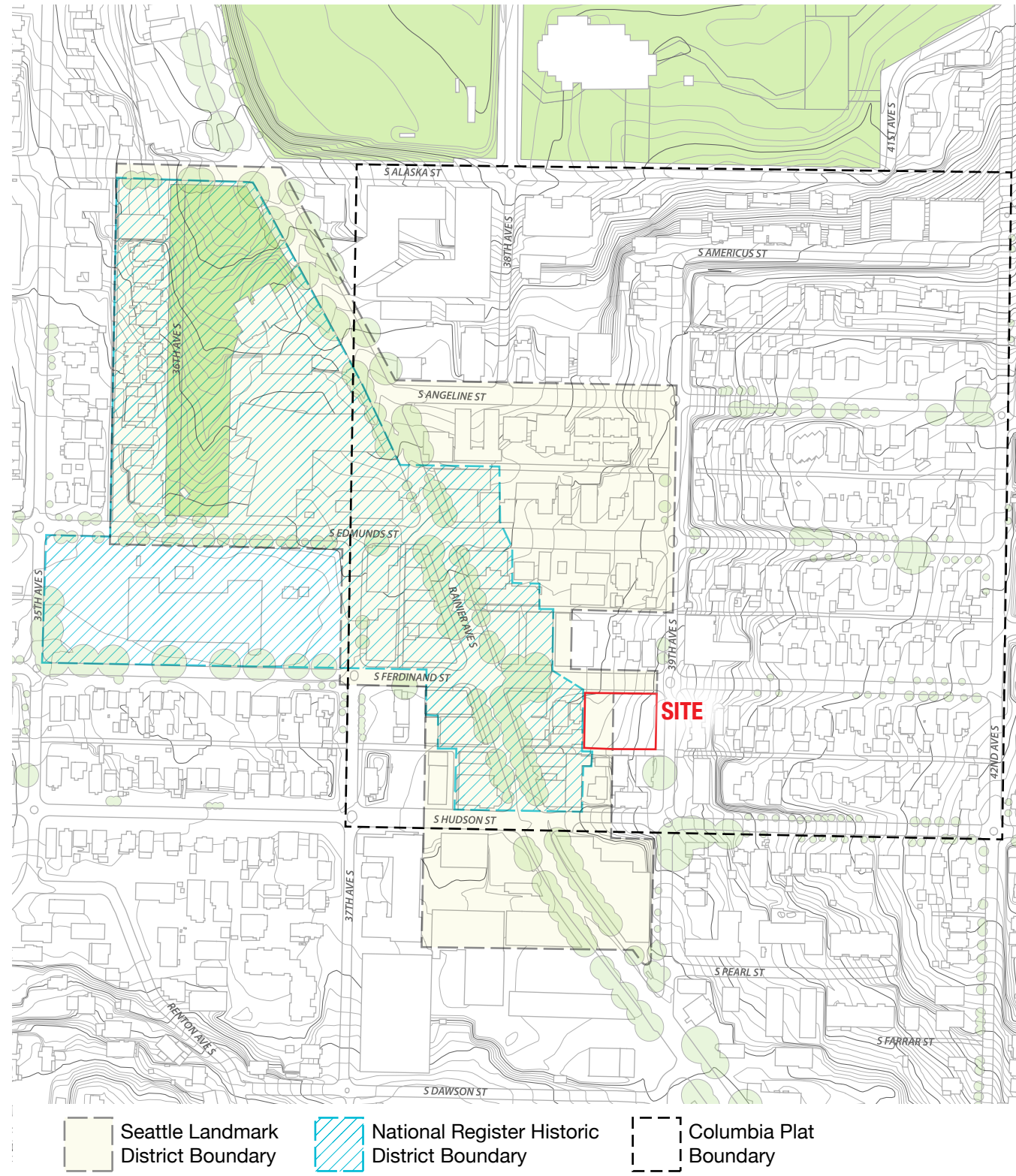
In 1890-1891, forty acres of traditional land of the Duwamish people near Sq'a'tsld (now known as Wetmore Slough), was cleared to establish a new town site called the Columbia Plat. Strong initial town growth is credited to two major factors: a booming timber industry and waterway connection via the Slough, and an electric rail service connecting Seattle to the town site along Rainier Avenue (also where a Duwamish trail had connected the Seward Park area to Elliot Bay). Columbia City was an independently incorporated city for approximately 14 years before annexation by Seattle in 1907. Although the Slough was drained in 1917 due to the cutting of the ship canal, and later filled (now Genessee Park), Columbia City continued to grow and prosper.

Columbia City was designated a Seattle Landmark District in 1978, and added to the National Register of Historic Places in 1980, to preserve and protect the district's historic building fabric that was extant and well preserved.

DISTRICT CHARACTER

Approximately half of Columbia City's historic contributing building stock dates from two boom periods flanking WWI, with 20% built between 1890 and 1914, and 30% built in the prosperous period of the 1920's. Most are vernacular buildings constructed by local carpenters and masons (in 1893, half of Columbia City voters were in the construction industry).

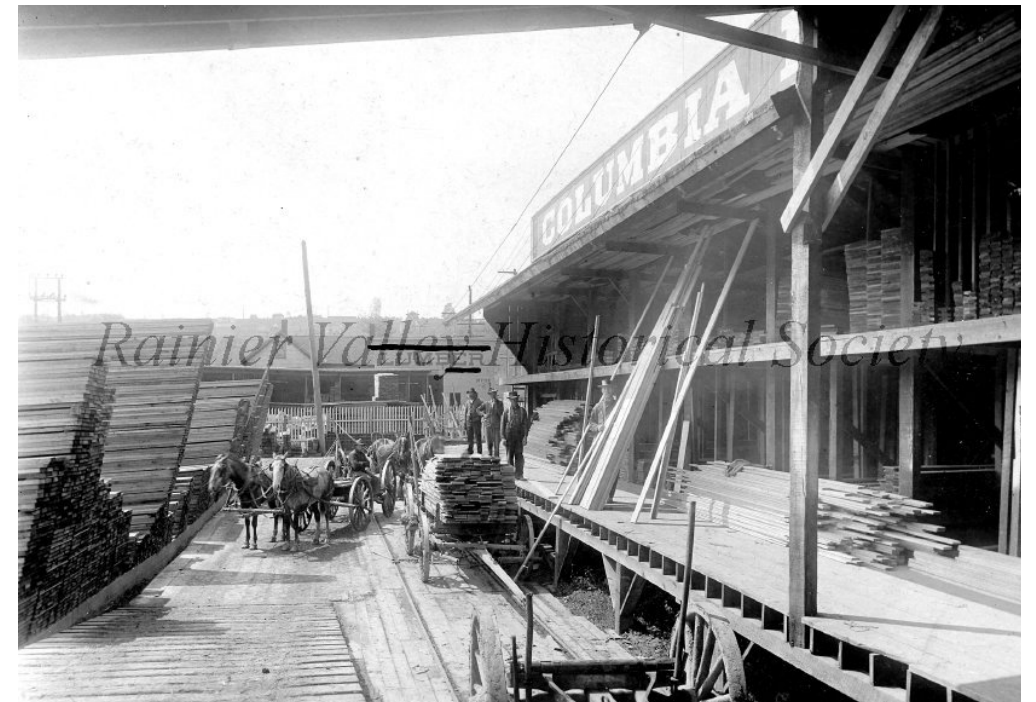
Commercial structures are concentrated mostly along Rainier Avenue with a zero-lot-line continuous street wall. There are relatively few historic commercial structures on the side streets behind the Rainier-fronting strip. In fact, the very close proximity of residential buildings to the Rainier commercial strip, with houses built directly behind on the same block, is a noted unique character of the neighborhood, to which historians attribute the strength of pedestrian oriented businesses and street life. Structures are of one to three stories, masonry or wood frame construction, and clad with brick, stucco or wood lapped siding. Roofs are generally flat with "simple decorative cornices or diminutive parapets" (National Register Nomination Form). At the street level, primary facades are highly transparent with painted wood or tiled stem walls below continuous storefront windows, and recessed entries.



↑ Map showing Columbia City's original plat, Seattle and National landmark district boundaries.

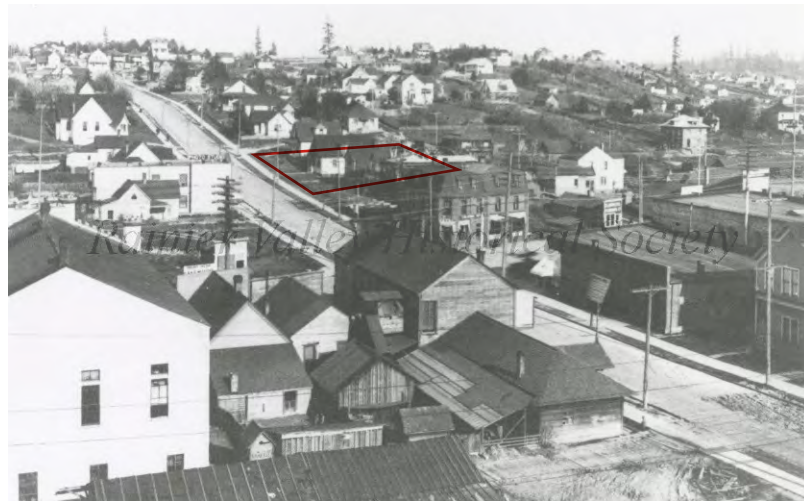


↑ 1891 view of the electric rail line cars stopped at Rainier and Ferdinand. Image © 2023 Rainier Valley Historical Society. All Rights Reserved.



↑ 1910 of Columbia Mill, located approx 1/2 mi south of site on Rainier. Image © 2023 Rainier Valley Historical Society. All Rights Reserved.

2.0 LANDMARK DISTRICT ANALYSIS



↑ 1909 view of project site (highlighted in red), looking east down Ferdinand Street, showing early development. Image © 2023 Rainier Valley Historical Society. All Rights Reserved.



↑ 1947 aerial view of Columbia City, looking north. The photo shows earlier development on project site (highlighted in red) prior to the 1978 Landmark District designation. Image © 2023 Rainier Valley Historical Society. All Rights Reserved.

S Ferdinand Street

The block of S Ferdinand Street between Rainier Avenue S and S 39th St is marked with the Dodge Building (Geraldine's) and Columbia Hotel Building (Lottie's) at the NW and SW ends respectively. On the south side of the street, the original platting included an alley directly behind the Rainier-fronting parcel, plus seven 30-ft wide parcels fronting Ferdinand.

The lots east of the alley on the block were originally developed as residential, and appear to have remained residential until at least the mid-1950's. Census data from 1940 suggests that these buildings included a duplex, a tri-plex and a single-family house. At some point between the mid-1950's and late-1970's, the structures on the project site were demolished and the property converted into the present-day surface parking lot.

The two extant residential structures on the block, both identified as contributing buildings in the Historic Register, are among the oldest residential structures remaining in the District. The building at 3811 S Ferdinand St was built in 1908 as an apartment building with four units (according to the 1940 census data), and has since been converted to mixed use with businesses occupying the lower units. It is the oldest apartment building in the District.

The house at 3815 S Ferdinand St, known as the Peirson House, was built in 1891 and remains in residential use today. Both buildings, along with other original buildings on this block of Ferdinand Street that no longer exist, were built by Van R. Peirson, one of the first 20 residents of the Columbia Plat and Mayor of the town at two different periods. The older house has additional historic significance as his home. The house was restored by its owner in 1984 and sold to the City of Seattle in 2015.



↑ Peirson House in 1895, approximately four years after its construction. Image © 2023 Rainier Valley Historical Society. All Rights Reserved.



↑ Peirson House with extant adjacent buildings in 1937. Image still from MOHAI Minute: Peirson House (8/10/2010)



↑ Peirson House with extant adjacent buildings in 1952. Image still from MOHAI Minute: Peirson House (8/10/2010)



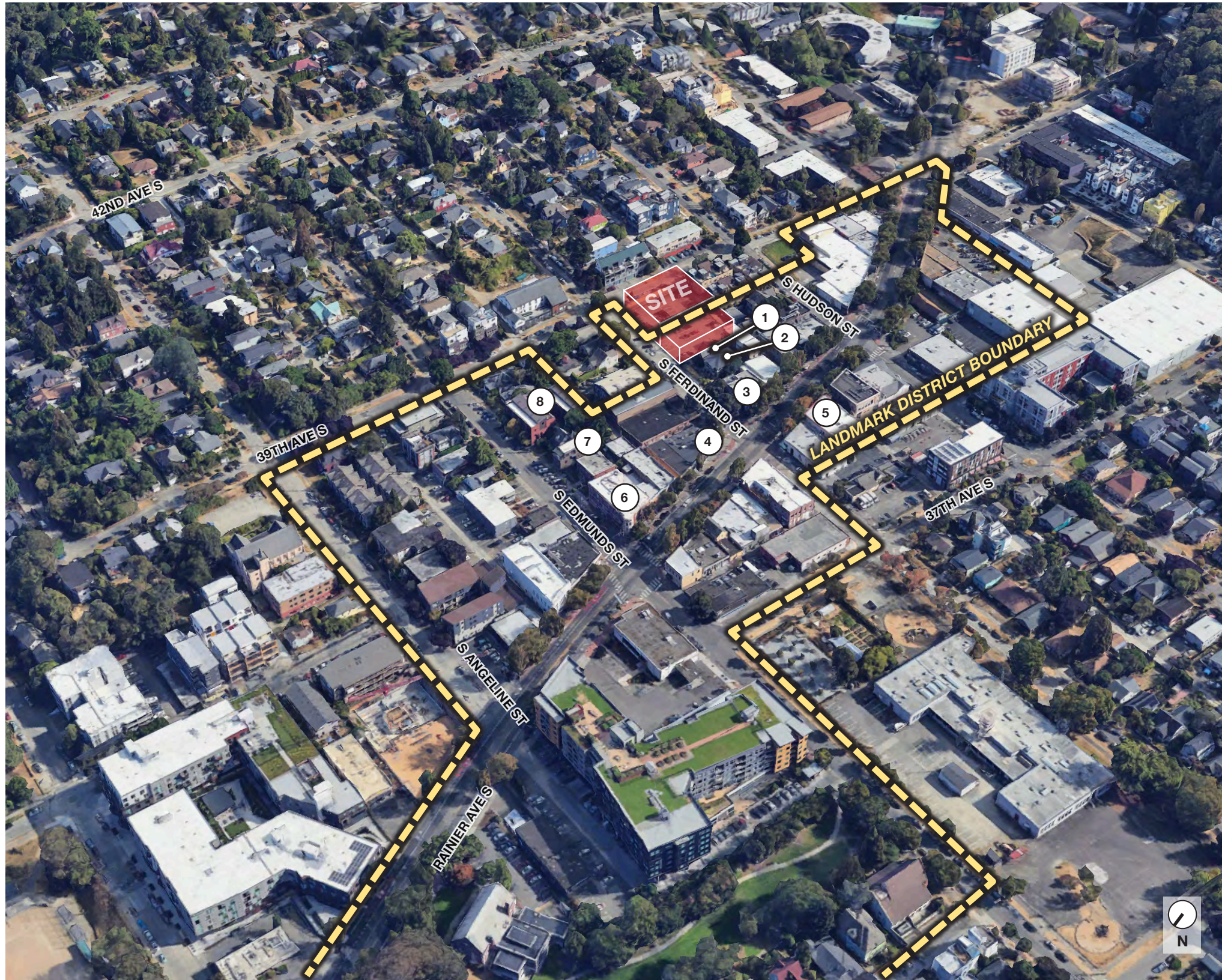
↑ Peirson House in 1979, with surface parking lot to east. Image from National Register Nomination, photographer David Hansen.



↑ Van R. Peirson III. Photograph © 2023 Rainier Valley Historical Society. All Rights Reserved.

2.0 LANDMARK DISTRICT ANALYSIS

CURRENT BUILDING CONTEXT PHOTOGRAPHS



1 PEIRSON HOUSE



2 PEIRSON APARTMENTS

2.0 LANDMARK DISTRICT ANALYSIS



3 COLUMBIA HOTEL



5 HEPLER BLOCK



7 3815B S EDMUNDS ST MIXED USE (NON-HISTORIC)



4 DODGE BUILDING



6 TOBY BUILDING



8 S EDMUNDS ST LIVE/WORK LOFTS (NON-HISTORIC)

2.0 LANDMARK DISTRICT ANALYSIS

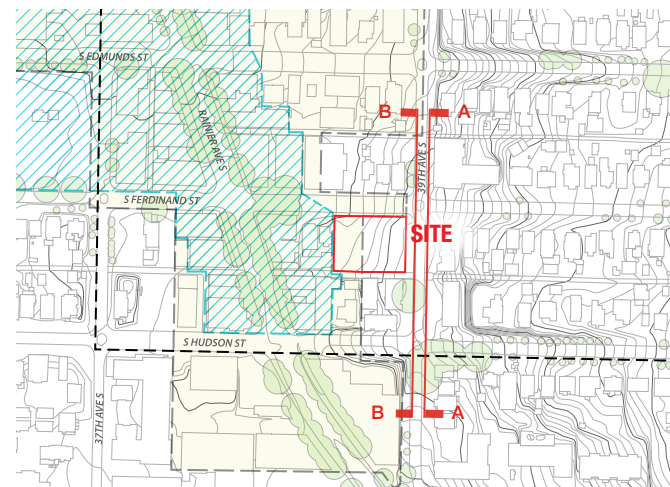
CURRENT CONTEXT PHOTOGRAPHS: STREET ELEVATIONS



A | NORTH-SOUTH STREET ELEVATION - 39TH AVE S - EAST SIDE



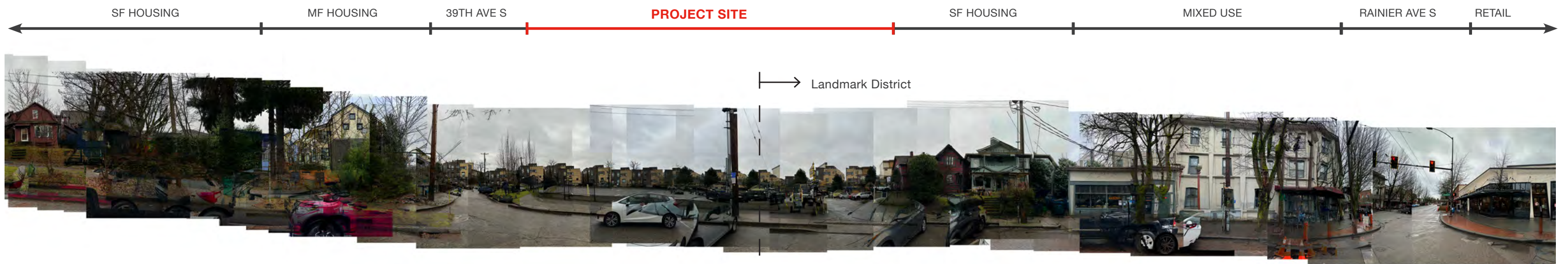
B | NORTH-SOUTH STREET ELEVATION - 39TH AVE S - WEST SIDE



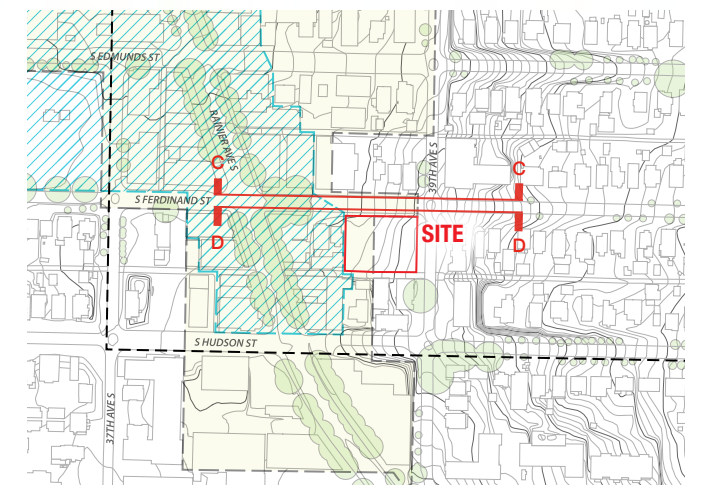
2.0 LANDMARK DISTRICT ANALYSIS



C | EAST-WEST STREET ELEVATION - S FERDINAND ST - NORTH SIDE
See next pages for enlarged photo montage of project site block



D | EAST-WEST STREET ELEVATION - S FERDINAND S - SOUTH SIDE
See next pages for enlarged photo montage of project site block



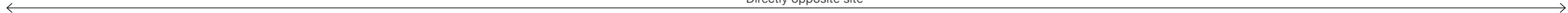
2.0 LANDMARK DISTRICT ANALYSIS



S FERDINAND ST FRONTAGE PHOTO MONTAGE - NORTH SIDE - RAINIER AVE S TO S 39TH ST

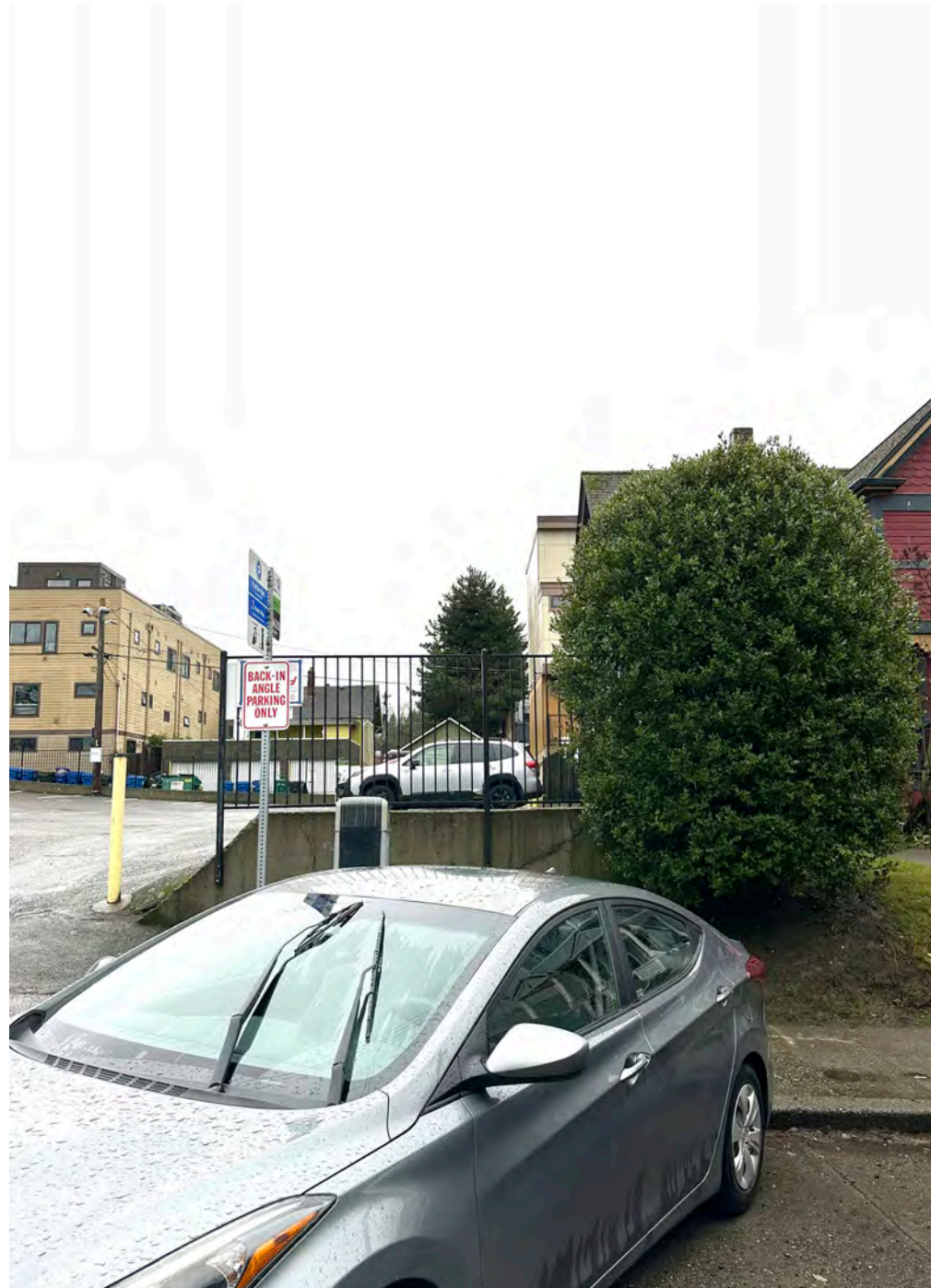


Directly opposite site

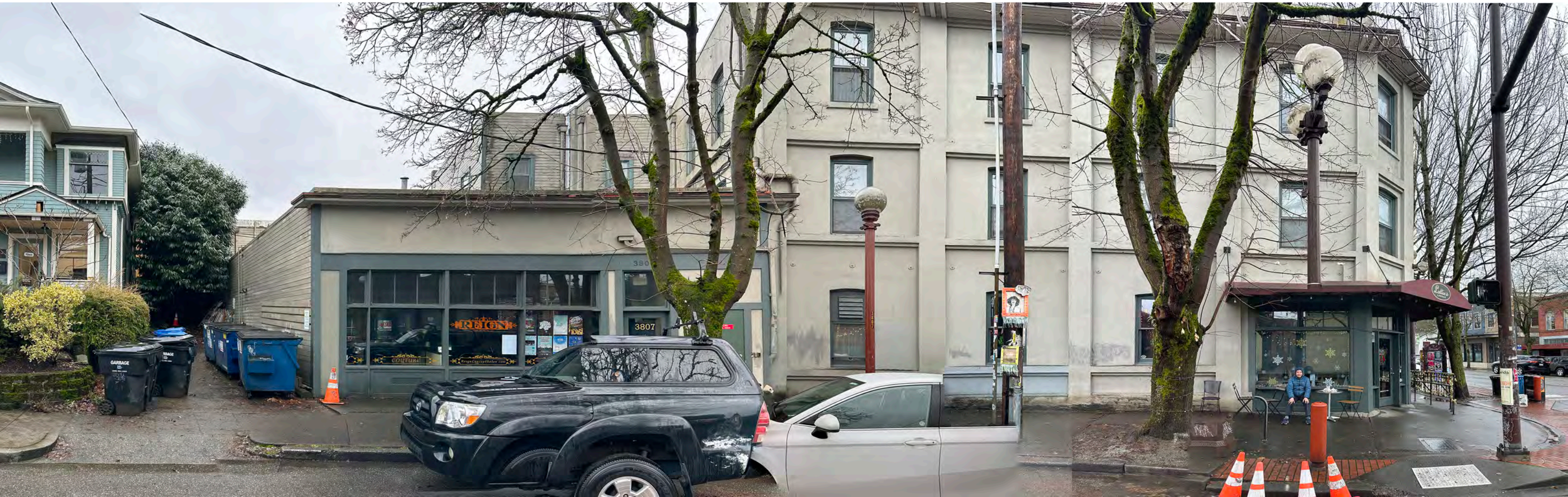


S FERDINAND ST FRONTAGE PHOTO MONTAGE - NORTH SIDE - RAINIER AVE S TO S 39TH ST

2.0 LANDMARK DISTRICT ANALYSIS



S FERDINAND ST FRONTAGE PHOTO MONTAGE - SOUTH SIDE - RAINIER AVE S TO SITE



S FERDINAND ST FRONTAGE PHOTO MONTAGE - SOUTH SIDE - RAINIER AVE S TO SITE

2.0 LANDMARK DISTRICT ANALYSIS



EXISTING SIDEWALK LOOKING EAST



EXISTING SIDEWALK EAST OF POWER POLE, LOOKING EAST



Property Line approx along concrete wall



Stair in ROW

EXISTING SIDEWALK LOOKING WEST

EXISTING SIDEWALK WEST OF SITE, LOOKING WEST

2.0 LANDMARK DISTRICT ANALYSIS

EXISTING GRADE CONDITION AT NW CORNER OF SITE



Model is
approx 5 ft tall

↑ Looking east from in front of neighboring stairs



↑ Looking west from in front of parking pay station

EXISTING CONDITIONS AT ALLEY



↑ Looking west down alley adjacent to Landmark District zone parcels

↑ View of alley-fronting townhouses

← Looking east down alley from end at Rainier Ave S

2.0 LANDMARK DISTRICT ANALYSIS



PHOTO MONTAGE FROM SITE LOOKING SOUTH (ACROSS ALLEY)



PHOTO MONTAGE FROM SITE LOOKING WEST (LANDMARK DISTRICT)

3.0 DISTRICT GUIDELINES

COLUMBIA CITY DESIGN GUIDELINES

1. Scale of Buildings and Structures

The scale of all structures, in relationship to other structures and spaces is important. The scale should continue to be small and relatively uniform.

RESPONSE

Although the proposed building is longer than many of the historic commercial structures in the district, the structural bays of the building are similar to those of the historic structures, and this is similarly expressed through its exterior composition, with 12-ft minor bays at the upper levels, and 24-ft major bays at the street level, providing more openness and transparency. The proposed height of the part of the building within the historic district is within the height limit and consistent with other 3-story commercial buildings found within the district. A mechanical enclosure and stair penthouse that extend above the height limit are set back from the street lot line by over 36-ft.

2. Building Materials and Fixtures

Integrity of structure, form and decoration should be respected. Building facades should be brick, wood, or other materials that are in keeping with the historic character of the District. Exterior light fixtures shall be in keeping with the historic character of the District.

The proposed brick frame exterior design is expressive of the structural order and programmatic organization of the building. Proposed exterior materials include brick, wood or metal infill cladding on the primary mass, and metal panel cladding at the recessed core element, which is set back over 36-ft from the property line.

3. Building Surface Treatments

Approved surface treatments shall be consistent with the historic qualities of the District. No paint shall be applied to unpainted masonry surfaces. Painted surfaces shall be appropriate and consistent with other buildings in the District. Local paint stores have an "historic colors" palette that may be useful as a guide. The Board Coordinator also has a palette of historic colors that may be used as reference.

The proposed color palette will be a combination of natural earth tones (brick and stained wood), and neutral, low-gloss, paint colors (metal panels and window frames).

4. Storefront

Building facades should have a greater proportion of window and door openings than wall spaces on pedestrian levels. Storefront materials should be brick, wood, concrete, and tile, or a combination thereof.

The proposed street level on Ferdinand is fully transparent between brick piers. The proposed street level on 39th is transparent at the office-entry central bay, and clad with a textural and visually interesting brick pattern on the north and south bays where no pedestrian entries are proposed.

5. Transparency

To provide street-level interest that enhances the pedestrian environment, street level uses shall have highly visible linkages with the street. Windows at street-level shall permit visibility into the business, and visibility shall not be significantly obscured by security bars or gates, frosting, etching, painting, extensive signage, window darkening film or mirrored film, window treatments, or other means. The intent is to encourage pedestrians to focus on the products or services offered, rather than the signage.

No visually obscuring window treatments are proposed.

6. Landscaping.

Landscaping is encouraged but not required. Approval of the use of landscaping, including window boxes and planters, shall be based on the applicant's desire and ability to maintain the landscaping.

Landscaping at the street level will be provided. Details are yet to be developed.

7. Street Use.	Any work that affects a street, alley, sidewalk, or other public right-of-way, shall be reviewed by the Review Committee and Board. Emphasis shall be placed on creating and maintaining pedestrian-oriented public spaces and rights-of-way. Street trees and other plant materials that add human enjoyment to the District shall be encouraged. Decorative treatments within the sidewalk, including special paving patterns and building entryway tiling shall be preserved. The use of alleys for services and public-oriented activities shall be encouraged.	<p>The proposal will include the maximum number of new street trees that can be accommodated between required clearances from other elements. Proposed landscape fronting the central bays of the structure may provide seat-wall seating along the sidewalk.</p> <p>The alley will be utilized to access two levels of a partially-below grade parking garage, which will also provide loading space for the proposed restaurant/cafe businesses.</p>
8. Street Furniture.	All elements of street furniture, including but not limited to street lights, benches, trash receptacles, and planters, shall be reviewed by the Review Committee and Board as to their specific compatibility with the District. Street furniture must be appropriately sized and sited to afford generous provisions for pedestrian flow.	Proposed street furniture is limited to integral seat-wall planter edges and bike racks. Details are yet to be developed.
9. Parking.	To mitigate the potential impacts of required accessory parking and loading on the District, the Review Committee and Board may review parking requirements for individual building rehabilitation projects or changes of use in existing buildings. The Board may write a letter of support to the Department of Planning and Development Director for a reduction in required parking or loading for a specific building rehabilitation project, new construction, or change of use...	Not applicable. No parking or loading berth required.
10. Awnings/Canopies/Marquees.	Marquees, awnings, and canopies will be encouraged at street level. Shiny, high-gloss materials are not appropriate. Distinctive architectural features shall not be covered, nor shall installation damage the structure. Awnings may be installed on upper levels where appropriate.	Due to the power line setback, a marquee extending over the sidewalk is infeasible. Marquees projecting from the primary pedestrian entries are proposed. Proposed materials will include matte-finish painted metals and/or natural wood finishes.
11. Signs.	All signs on or hanging from buildings or windows, or applied to windows, are subject to review and approval by the Review Committee and Board	Signage will be proposed under a separate application.
13. New Construction		
a. Siting.	New construction shall be compatible with historic buildings in terms of the setback, orientation, spacing, and distance from adjacent buildings.	The proposed project has an anomalous adjacency with the Peirson House next door. The deep setback of this residential house is at odds with the current-day commercial zoning requirements that discourage setbacks from the sidewalk. The spacing of the Peirson House and Peirson Apartments are not a precedent that can be followed under modern Building Code (they are too close together). The proposed building sets back from the sidewalk to give breathing room to this significant historic structure, and provides a setback from the Peirson House windows that helps meet the intent of current Building Code for fire separation between properties.
i. Commercial		

3.0 DISTRICT GUIDELINES

- A. Orientation
 1. Commercial buildings adjacent to public open space, including Columbia Park and the Columbia Library grounds, should front on and relate to the street(s) and the public open spaces through...
 2. At the District’s primary intersections (South Edmunds, South Ferdinand and South Hudson Sts), corner developments should feature angled corner entrances that foster pedestrian activity and reinforce historic precedent and the importance of the intersections.

Not applicable. Site is not adjacent to public open space, nor on Rainier Avenue.

- B. Setback.

Because commercial street facades are uniformly located at the front property lines, there is a strong street edge definition in the District. Continuous street walls with little or no ground-level setbacks are the historical precedent.

Although the proposed project is a commercial building, the design team feels that a zero-setback street frontage is inappropriate for this site because the Peirson House next door, although not yet a designated Landmark Building, is unlikely to be demolished due to its historical significance. The overhead power lines also make a zero-setback infeasible. The proposal sets the primary mass of the building back as required for the power lines, and the western 20-ft of the mass even further back, to preserve public view of the house's architectural form.

b. Massing/Scale. Massing, or physical bulk and size, of all new buildings in the District must be consistent with the massing of existing historic buildings.

- i. Commercial
 - A. Height.

New developments exceeding the typical one to three story height of the District’s historic buildings should honor the scale, massing, and proportion of the adjacent buildings.

The part of the building in the District is 3 stories plus a stair/mechanical penthouse. The part of the building outside the District includes a partial 4th story, which is set back from the lower 3-story mass to minimize its visibility from the downhill District direction.

c. Form. The form, or overall shape, of new construction should relate to neighboring historic buildings and promote a visual sense of continuity. Unusual building and roof forms are discouraged.

- i. Commercial
 - A. Roof Form
 1. Design rooflines to reflect the traditional roof configurations found on historic commercial buildings within the District.
 2. Detailing of the parapets of commercial buildings with cornices and stepping is preferred.

The National Register describes the typical commercial buildings as having "generally [...] flat roofs, with simple decorative cornices or diminutive parapets." The detail is yet to be developed, however, the design team's concept is a modern interpretation of a minimally decorative cornice such as a steel C-section coping or fascia.

The proposed minimal cornice is flat and expressive of the building's true roof form, consistent with many of the District's historic structures.

d. Facade Composition. Use a solid-to-void ratio, or window-to-wall ratio, that is similar to that which is found on historic buildings within the block and throughout the District. Façade design must provide visual interest (depth and relief) and avoid large unbroken surface areas.

- i. Commercial

- A. Windows Alignment, proportions and groupings of windows on upper floors should relate to the ground-floor building elements, as well as be sympathetic to the fenestration patterns of the historic building stock within the District.
- B. Storefronts/Doors
1. For compatibility with the small town character of the District’s commercial storefronts, design street-facing walls with multiple bays and entryways to develop an architectural rhythm consistent with other commercial buildings. Long uninterrupted walls shall be avoided.
 2. To provide street-level interest that enhances the pedestrian environment, the ground floor shall have highly visible linkages with the street. The ground floor of new construction with street frontage should have generous storefront windows.
 3. Canopies and awnings are encouraged.

The façade is composed of a masonry frame that expresses the structural order of the building. Brick piers define the "major" bays of the concrete structure of the building's base, and continue up through the 3-story mass. "Minor" bays split the major bays in half at the upper levels' wood structure, and are expressed by the fenestration pattern at those levels.

No long uninterrupted walls directly up against the Ferdinand frontage are proposed. The blank wall of the vertical core element is set back from the sidewalk by over 36-ft, in which setback is proposed landscape and a dining terrace which will likely include the restaurant's own decoration, umbrellas and plants.

Dining terraces, landscaped open space and transparent storefront are included in the Ferdinand street level design.

Marquees are proposed at the restaurant and café entry bays. Due to the setback of the building from the sidewalk, marquees projecting over the sidewalk are not feasible.

e. Materials, Colors and Finishes.

Materials commonly used on historic buildings in the District are preferred. Colors should be subdued and consistent with the historic buildings within the District.

The proposed color palette will be a combination of natural earth tones (brick and stained wood), and neutral, low-gloss, paint colors (metal panels and window frames).

i. Commercial

- A. Building facades should be brick, wood, stone, and stucco, or a combination thereof.
- B. Storefront materials should be brick, wood, concrete, stone, glass or tile.
- C. Wood windows and doors are preferred. Metal windows and storefront systems will be reviewed for compatibility with neighboring historic buildings. Vinyl and other synthetic materials are discouraged.

The proposed brick frame exterior design is expressive of the structural order and programmatic organization of the building. Proposed exterior materials include brick, wood or metal infill cladding on the primary mass, and metal panel cladding at the recessed core element, which is set back over 36-ft from the property line.

The Owner would prefer the same storefront material throughout, and that it be painted aluminum frames, which are more durable than wood and require less maintenance. The proposed frontage is also not adjacent to any other commercial structure, and its total width is mostly outside the historic District, where aluminum storefront would not be disallowed.

The Owner would prefer fiberglass window frames, which are more durable than wood, yet come in many prefinished colors and can have the same appearance as wood frames.

4.0 DESIGN STUDIES

SITE ORGANIZATION

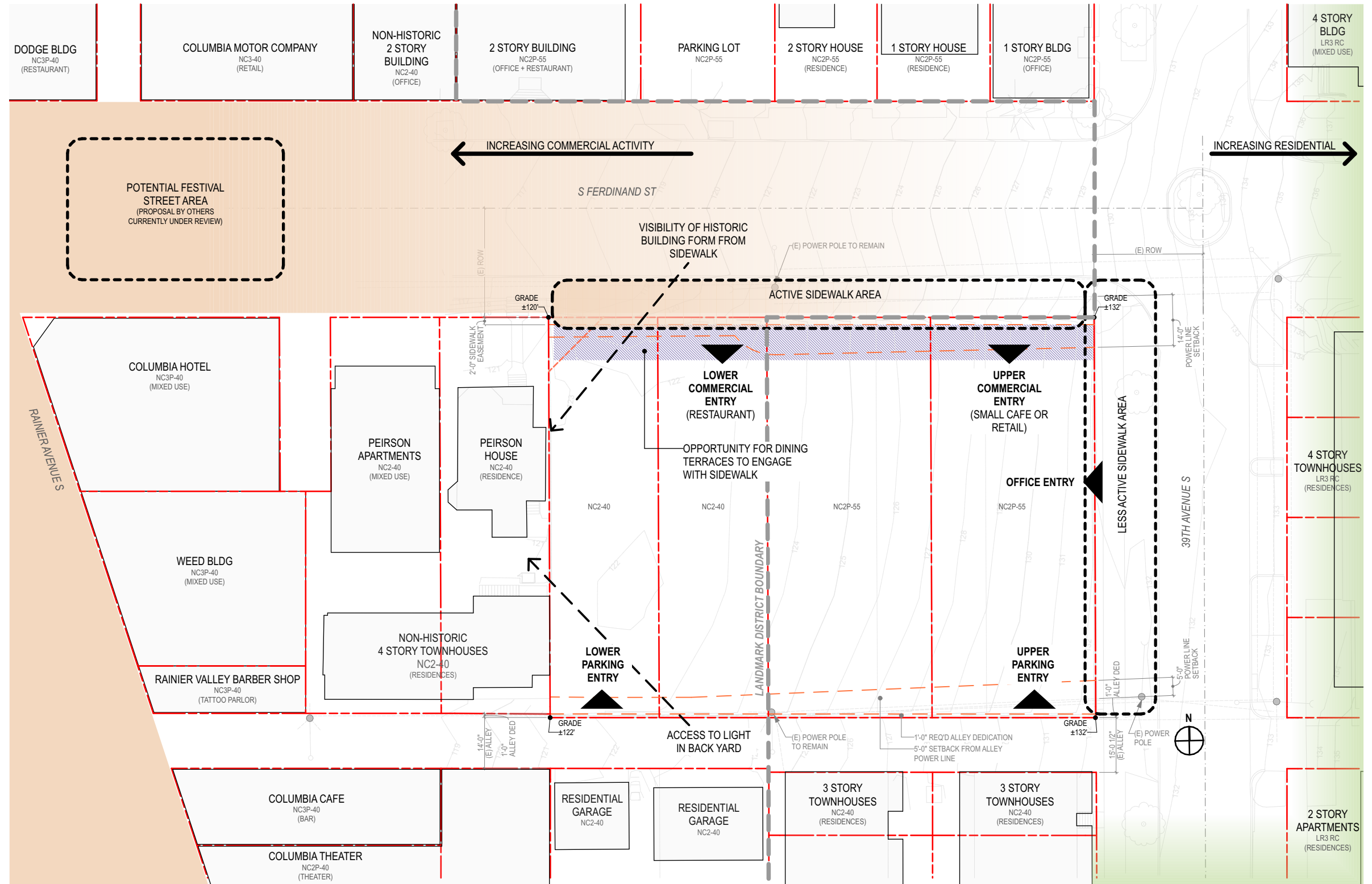
The site organization responds to the adjacent uses and character surrounding the site. Strong commercial activity extends from Rainier Ave S to S 39th St, with dwindling intensity in the eastward direction. Although the Peirson House next door to the site is in residential use, it is embedded in a mixed use environment, with commercial uses directly to the west and across Ferdinand Street to the north. To reinforce the strength of pedestrian oriented commerce, the project proposal includes a Ferdinand-facing restaurant space at lower, western end of the site, and a smaller cafe or retail space at the eastern end, which is approximately 12-ft higher in elevation. The setback required for the overhead power lines is an opportunity to activate the sidewalk with dining terraces.

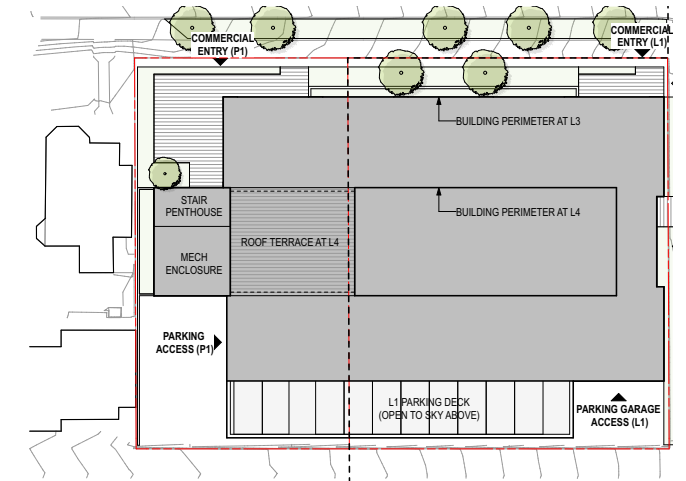
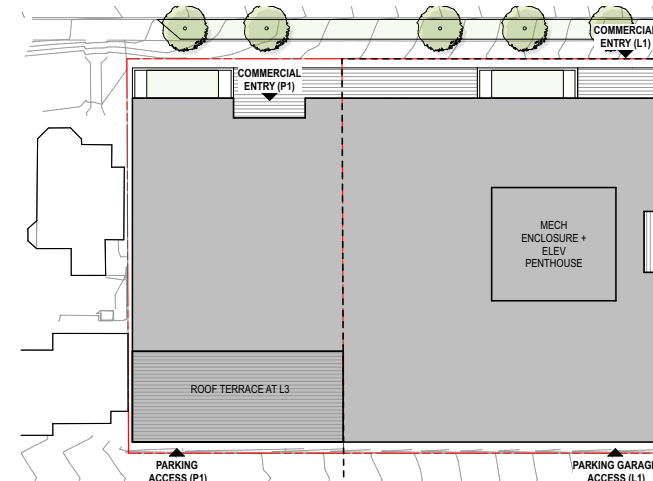
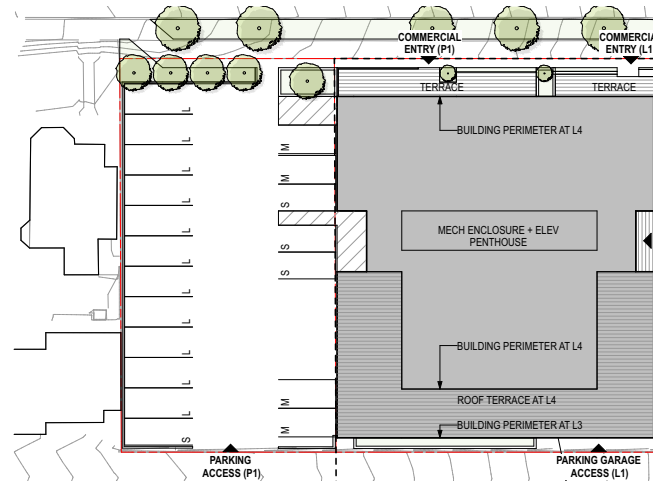
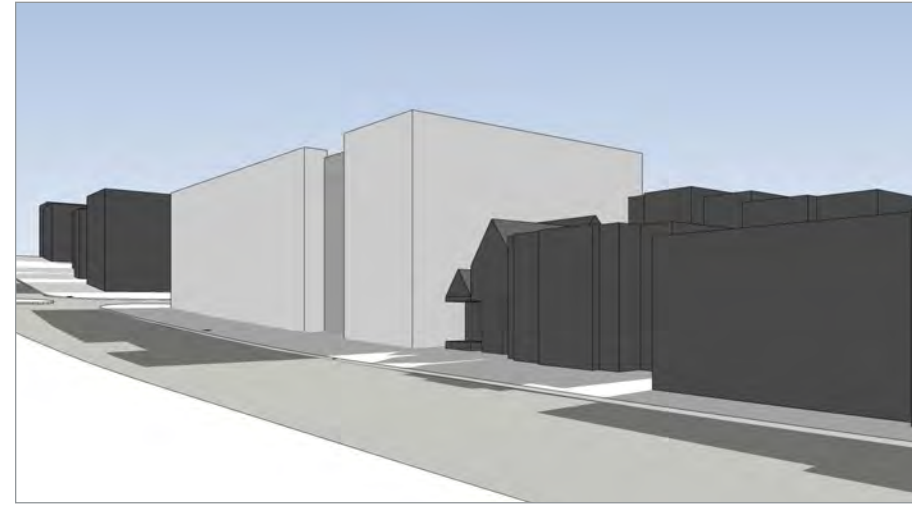
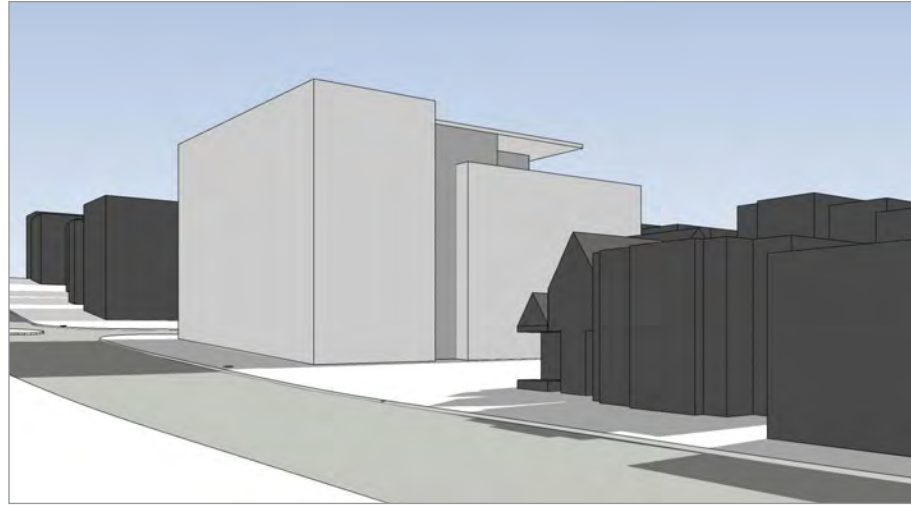
Across 39th St and to the south, the neighborhood has a more quiet residential character. Directly across 39th from the site, there is no sidewalk-activating use, only the basement level parking garages of a townhouse development. Across the alley to the south, the properties directly opposite the site are all in residential use.

The main office entry is proposed on 39th, as its lower intensity offers a better transition to the residential character, and would do little to contribute activate Ferdinand. Visitors to the Walsh office (subcontractors and tradespeople) are likely to arrive by pick-up truck and enter the building via the alley-accessed parking.

MASSING ALTERNATIVES

The massing alternatives on the following page were studied for their pros and cons. The preferred alternative was further developed in elevation and materials for presentation to the Columbia City Review Committee.





CONCEPT 1

Massing is broken by a gasket that forms the office entry and is continuous to a 4th floor pavilion that is set back from the primary building plane on the south, east and west sides.

- | | |
|---------------|---|
| Advantages | <ul style="list-style-type: none"> The lower mass is adjacent to the alley and residential uses The taller 4-story mass on the corner creates a focal point, appropriate for a corner site |
| Disadvantages | <ul style="list-style-type: none"> Limited site area requires large fourth floor area to fit required program. Sudden jump in height across parking lot from Peirson house makes building seem out of scale. Grade change from street to alley is too steep for an accessible route through the entire parking lot. Requires relocation of power lines that clip the SE corner of the site. |

CONCEPT 2

Massing is broken into two masses by a gasket that forms the main commercial entry on Ferdinand. A roof terrace is carved from the SW corner of the upper floor.

- | | |
|---------------|---|
| Advantages | <ul style="list-style-type: none"> The width of the western mass is of similar width to the Peirson house width. The entire structure is limited to 3 stories |
| Disadvantages | <ul style="list-style-type: none"> To fit the required program area within only three stories, the building must extent to the maximum allowed envelope, directly abutting the historic house and blocking its west windows and walling in its back yard. The building mass blocks easterly light to the adjacent townhouse balconies to the west. Requires relocation of power lines that clip the SE corner of the site. |

CONCEPT 3 (PREFERRED)

Massing is broken by a central gasket that forms the office entry, extends upward to form a 4th floor pavilion, open terrace and stair/mechanical penthouse volume that sets back from the north and south edges by a full structural bay (24-ft).

- | | |
|---------------|---|
| Advantages | <ul style="list-style-type: none"> Primary 3-story mass sets back from the adjacent house by over 30 ft, offering light to the residence and view of the historic building form. Penthouse and mechanical enclosure provide screening of office roof terrace views into private residential back yard. May not require relocation of power lines at alley. Shallow office floor plate can be almost entirely daylight, reducing energy use. |
| Disadvantages | <ul style="list-style-type: none"> Requires stair penthouse and mechanical enclosure to be located at west end of site. Setting volume significantly back from the street edge mitigates the scale impact. |

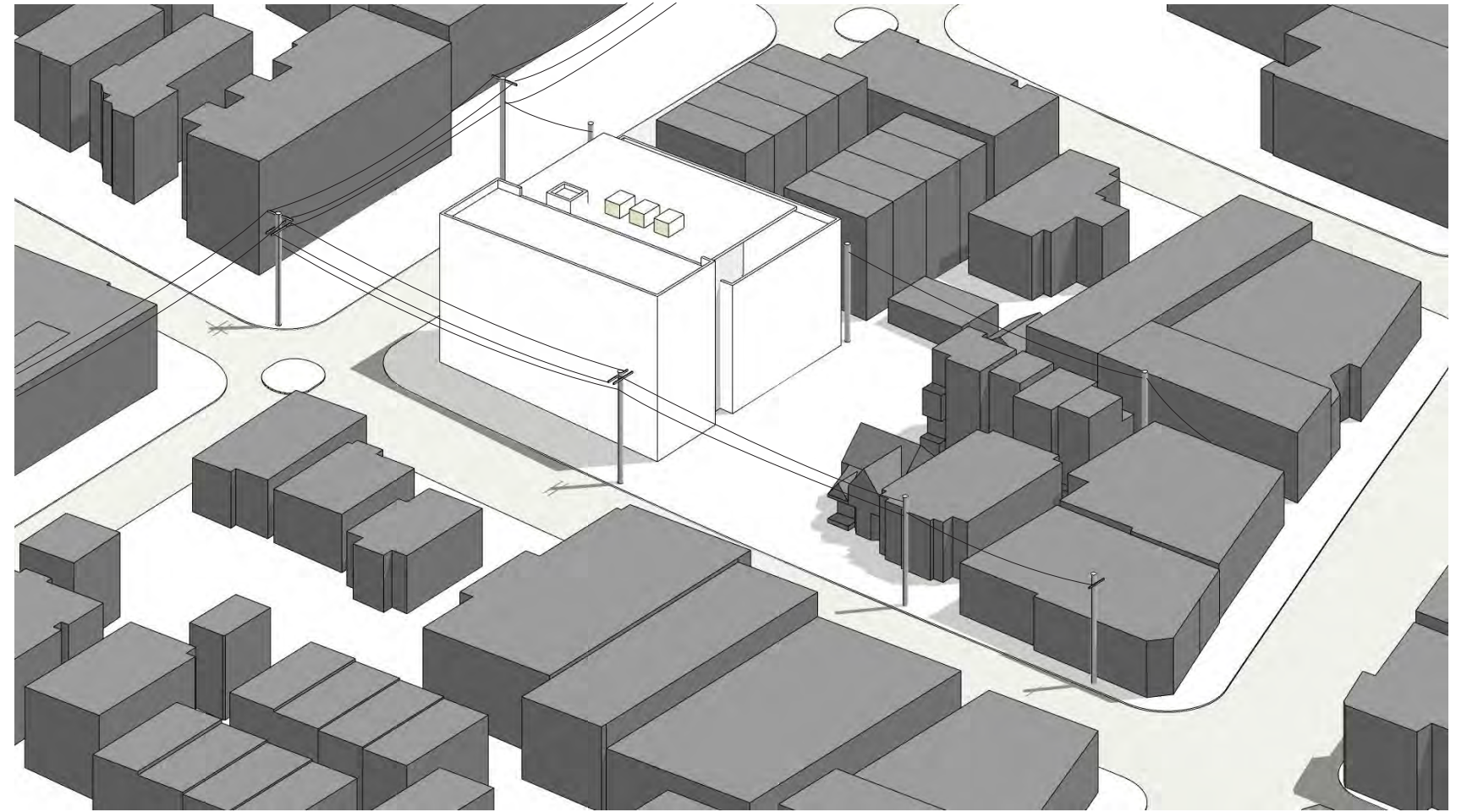
4.0 DESIGN STUDIES

MASSING CONCEPT 1

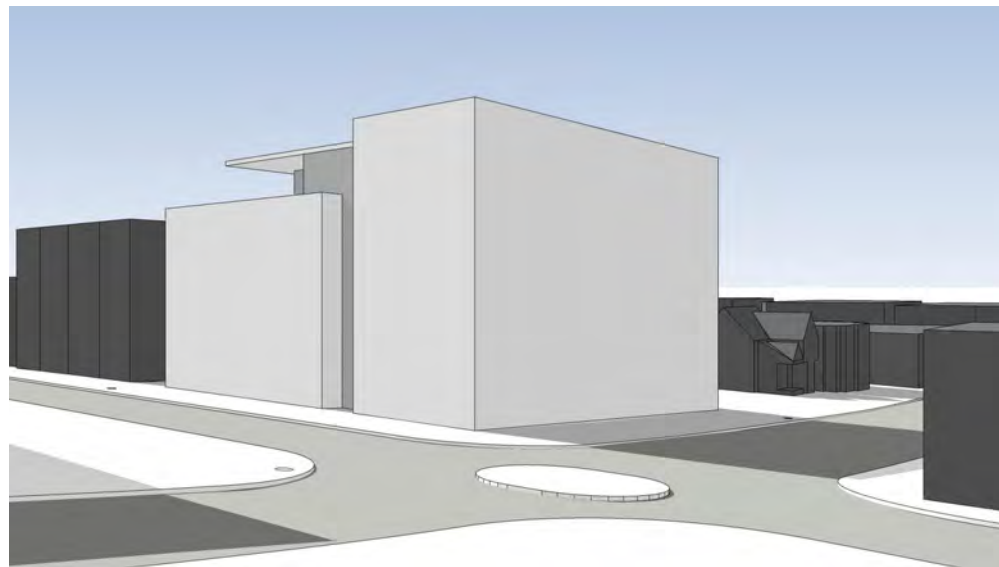
Concept 1 divides the mass into three elements: a four-story narrow mass, a three-story wider mass, and a recessed vertical gasket that divides these two masses along the east and west facades and extends up to the south-facing portion of level four. This recessed portion expresses the primary entry for the office use along 39th St, and expresses vertical circulation along the west of the building. At the top floor it sets back from the building to provide a roof deck with access to sunlight and views.

The masses on either side of this gasket element are proposed to be materially distinct from this gasket, perhaps using masonry as their primary material. This material would serve to connect the project to the historic neighborhood nearby, and would help to convey the civic ideals of the commercial client.

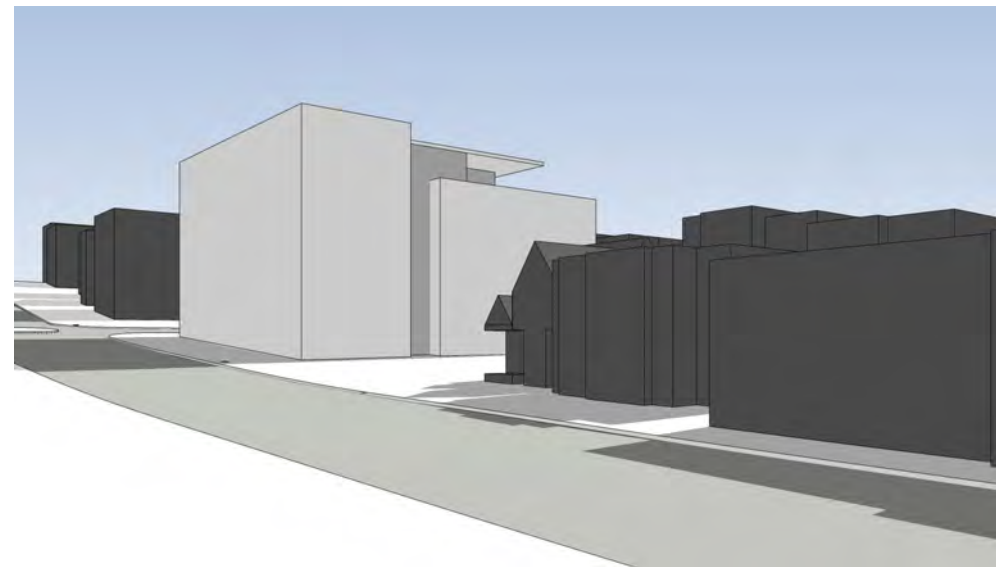
The narrower width of the taller mass in comparison with the shorter mass helps to balance the form and keeps any one element to dominate.



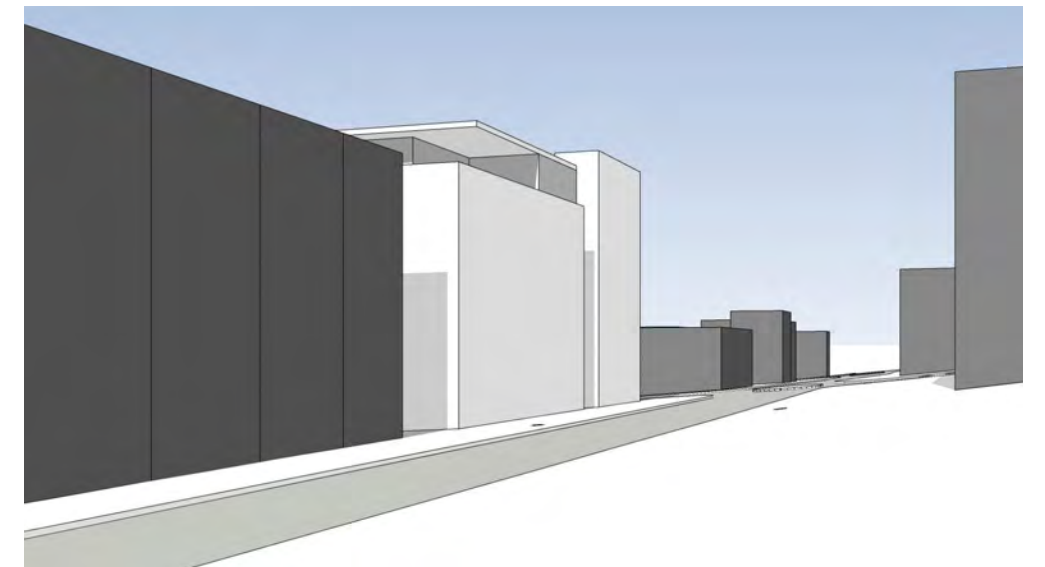
Aerial view, looking southeast



View from S Ferdinand Street, looking southwest

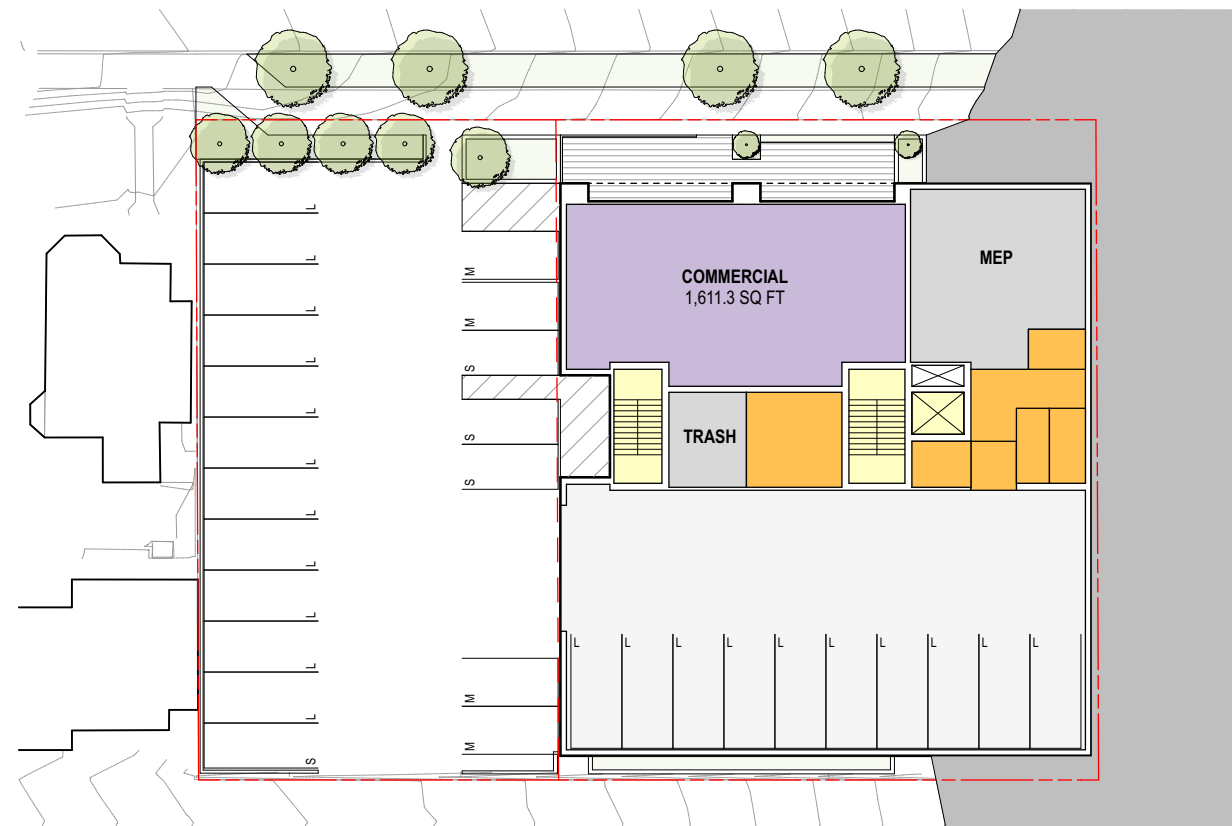


Looking southeast

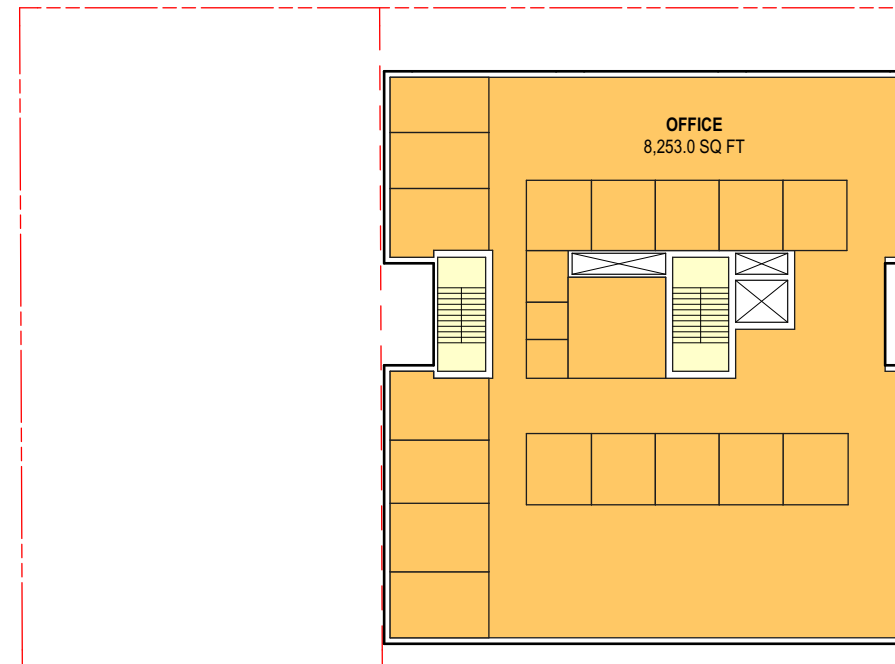


Looking northwest

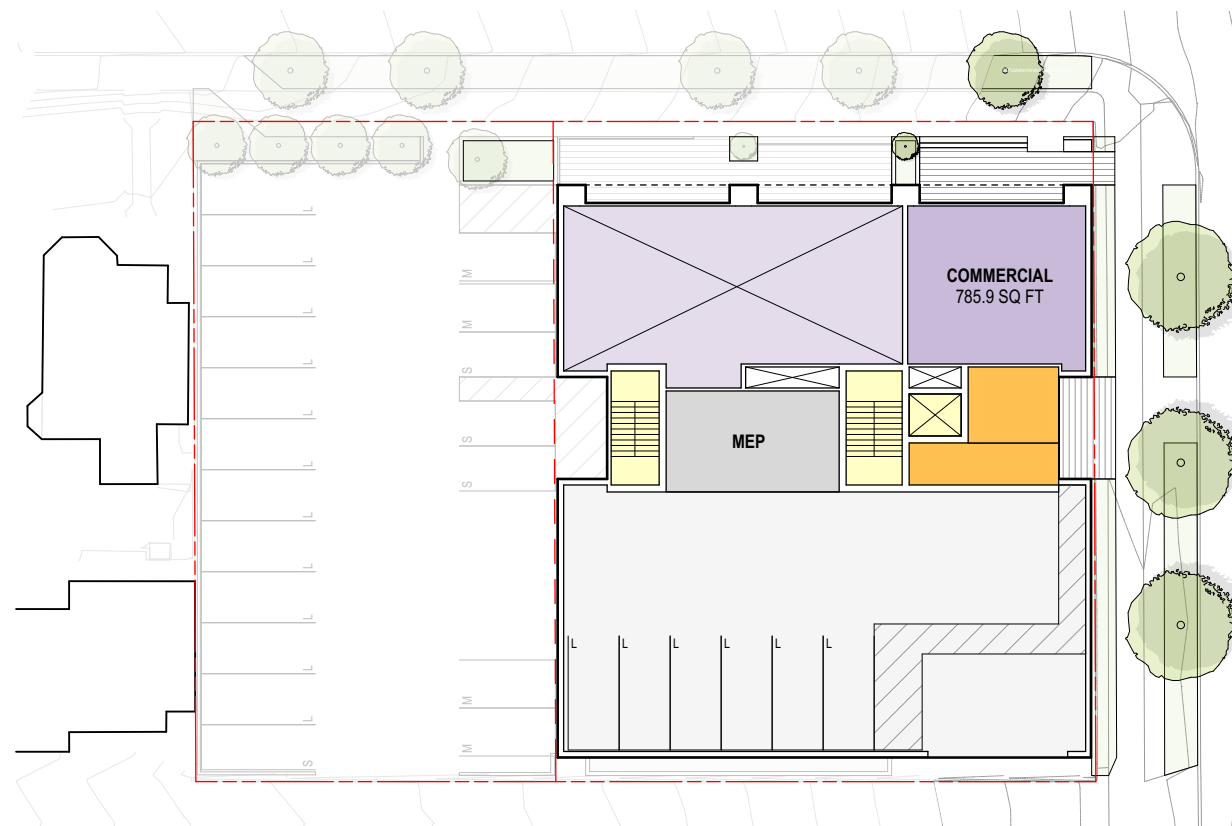
CONCEPT 1 PLANS



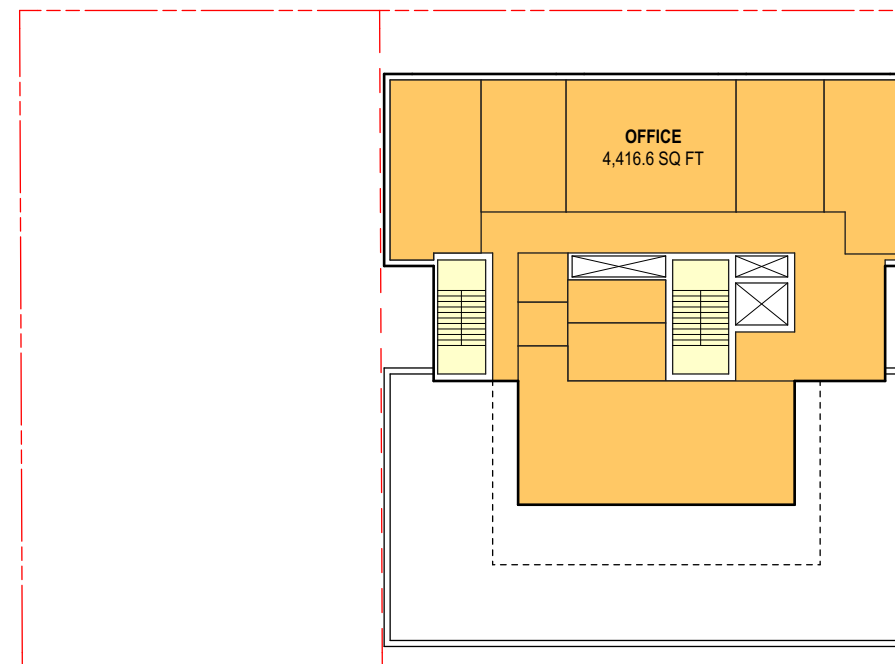
LEVEL P1 PLAN - S FERDINAND ST



LEVELS 2 + 3



LEVEL 1 PLAN - 39TH AVENUE S



LEVEL 4 PLAN

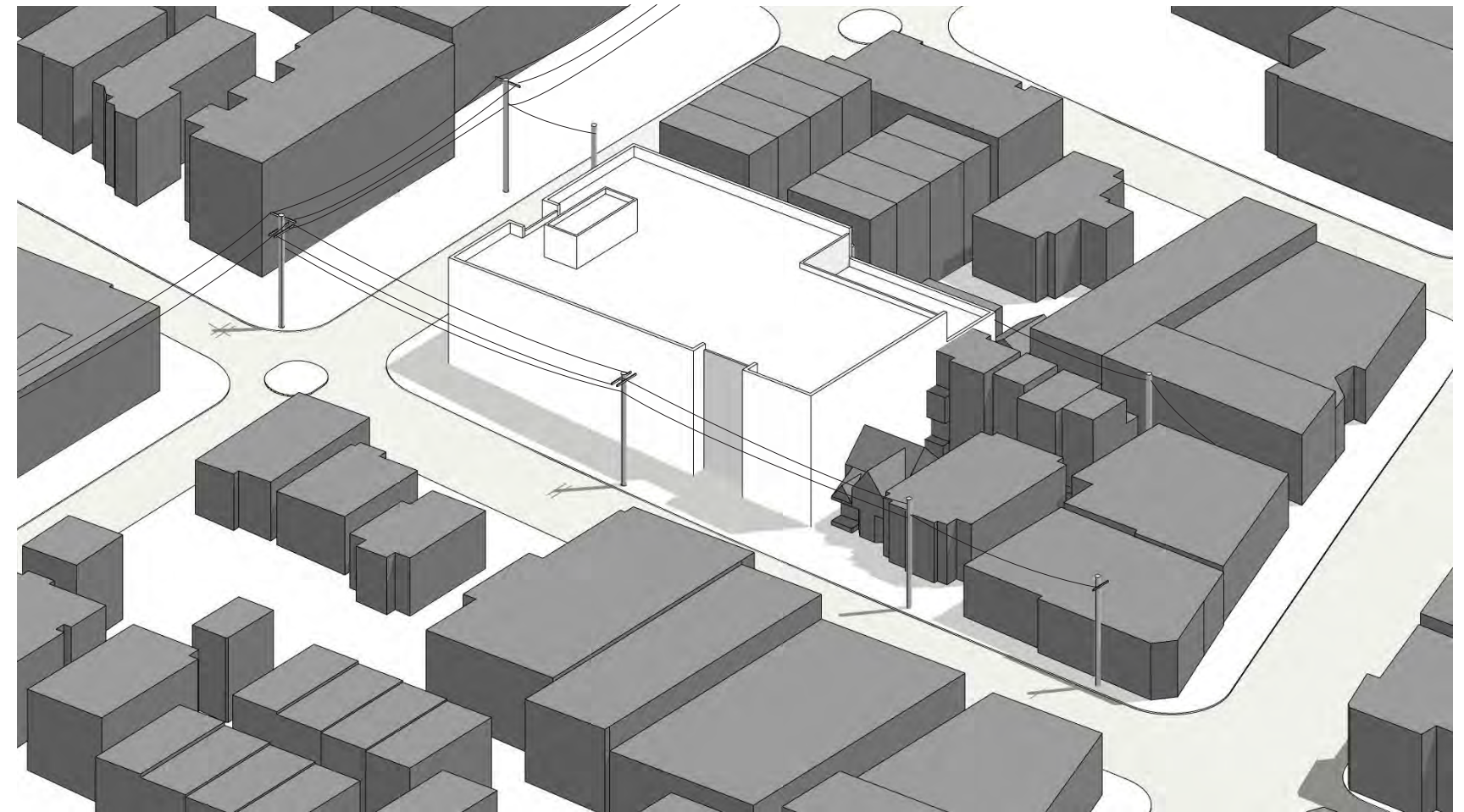
4.0 DESIGN STUDIES

MASSING CONCEPT 2

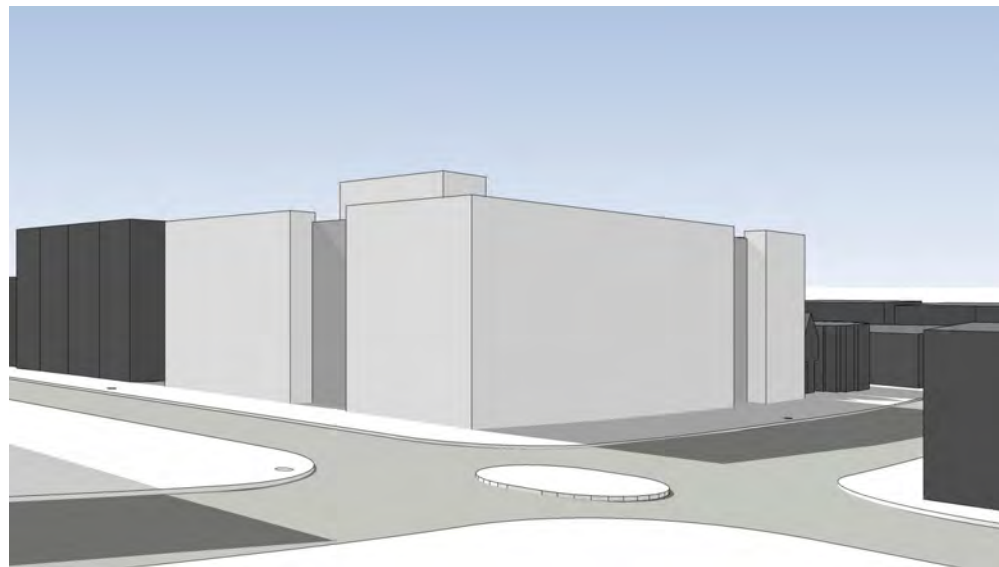
Concept 2 maximizes the building footprint, utilizing the entire buildable site area to fit the required program area into 3 stories. Levels P1 through L2 share a typical floor plate. At Level 3 the building mass sets back from the southwest property line to provide a roof deck with views to the south. This setback occurs at the division between NC2P-55 and NC2-40 zones to maintain appropriate FAR values in each zone.

A glazed gasket breaks down the continuous facade on Ferdinand Street to provide a streetscape modulation reminiscent of the existing lot line widths. The masses on either side of this gasket element are proposed to be materially distinct from this gasket, perhaps using masonry as their primary material. This material would serve to connect the project to the historic neighborhood nearby, and would help to convey the civic ideals of the commercial client.

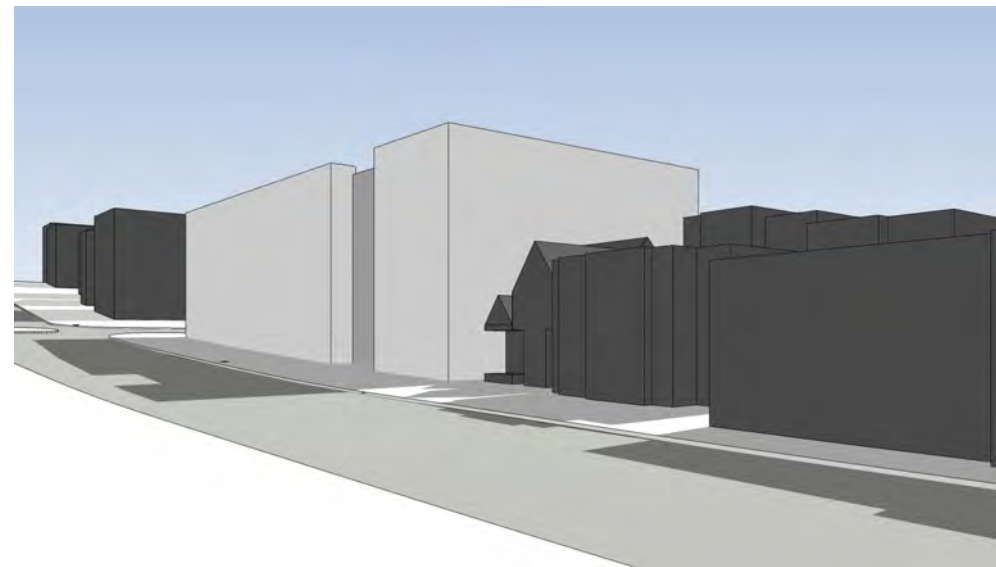
A similar gasket condition occurs on the east facade, breaking down the facade length for the adjacent street.



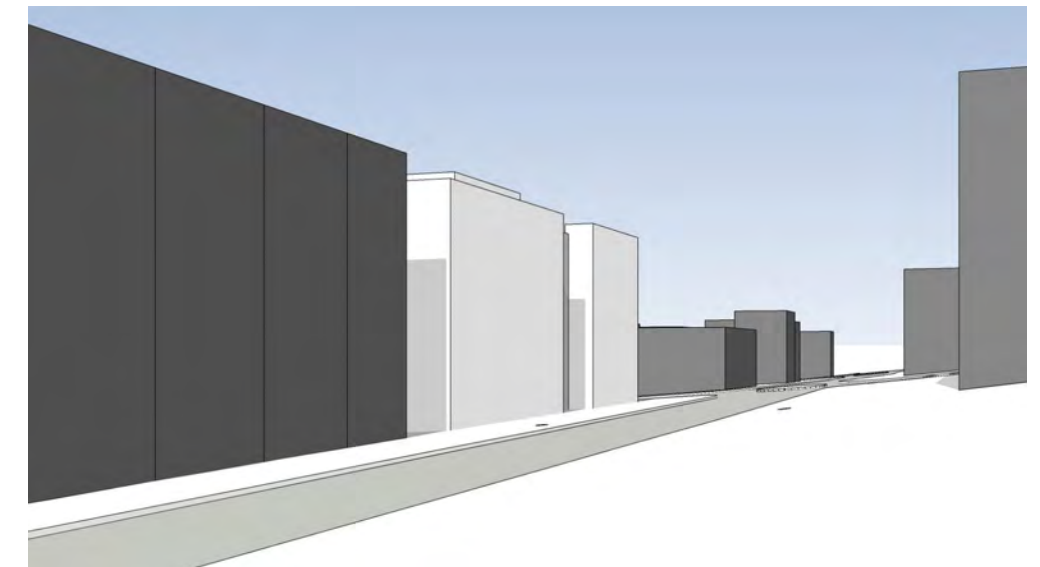
Aerial view, looking southeast



View from S Ferdinand Street, looking southwest

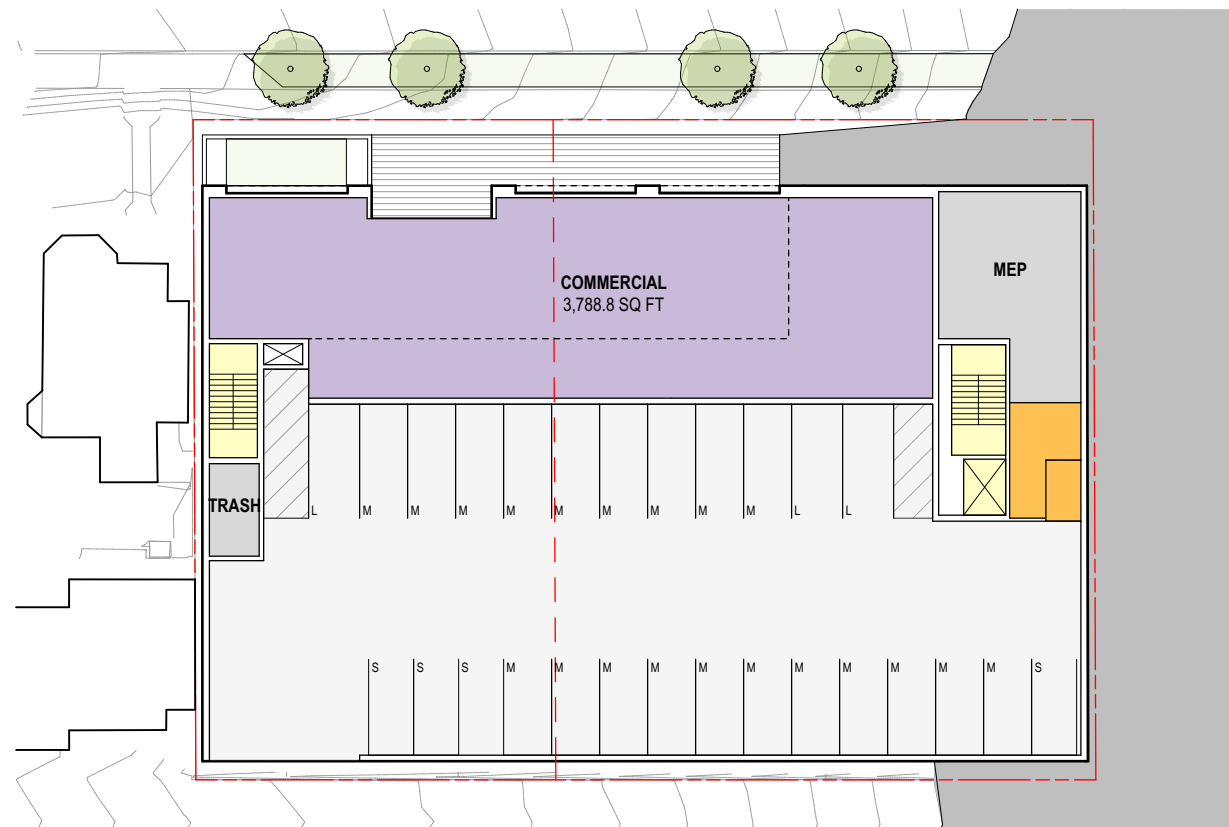


Looking southeast

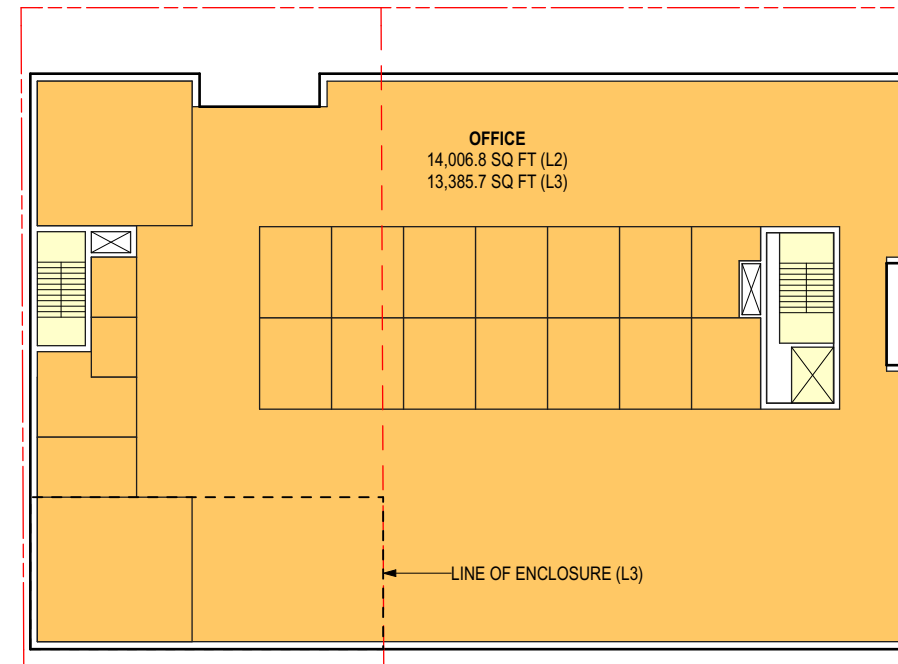


Looking northwest

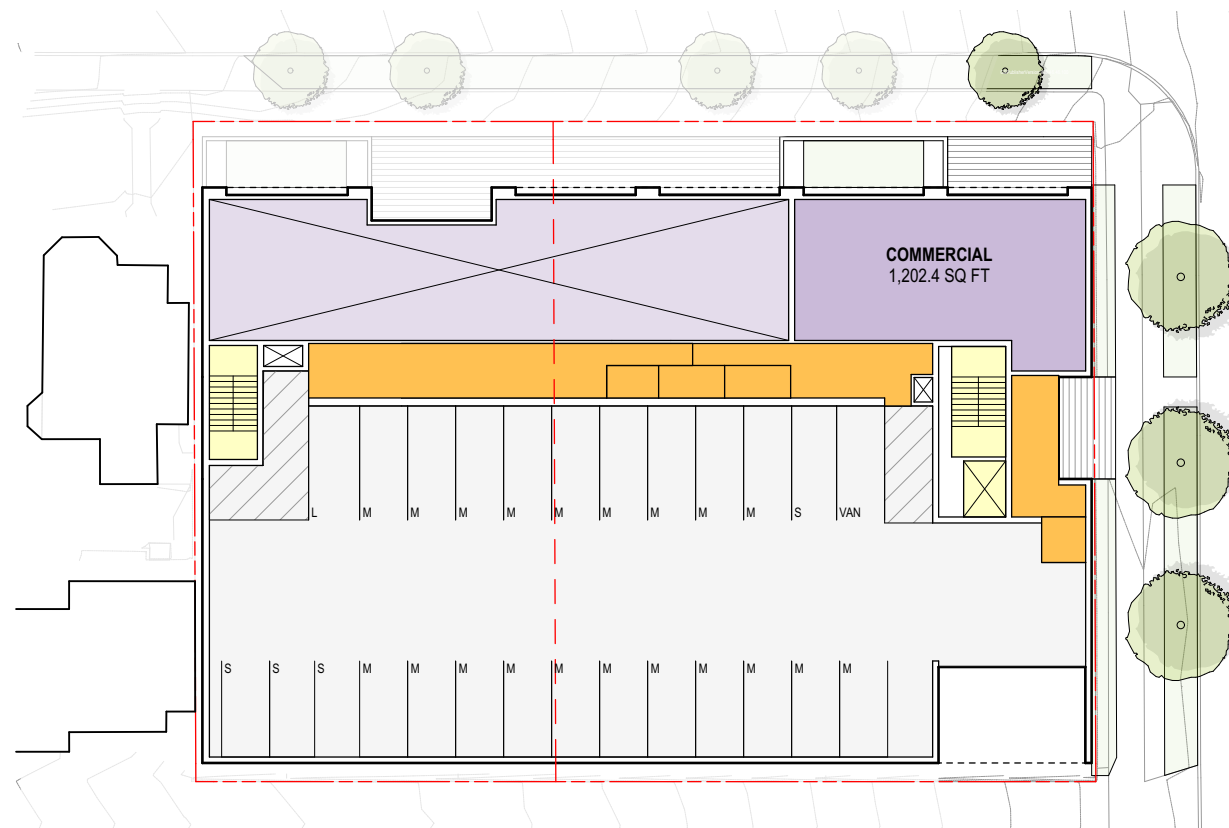
CONCEPT 2 PLANS



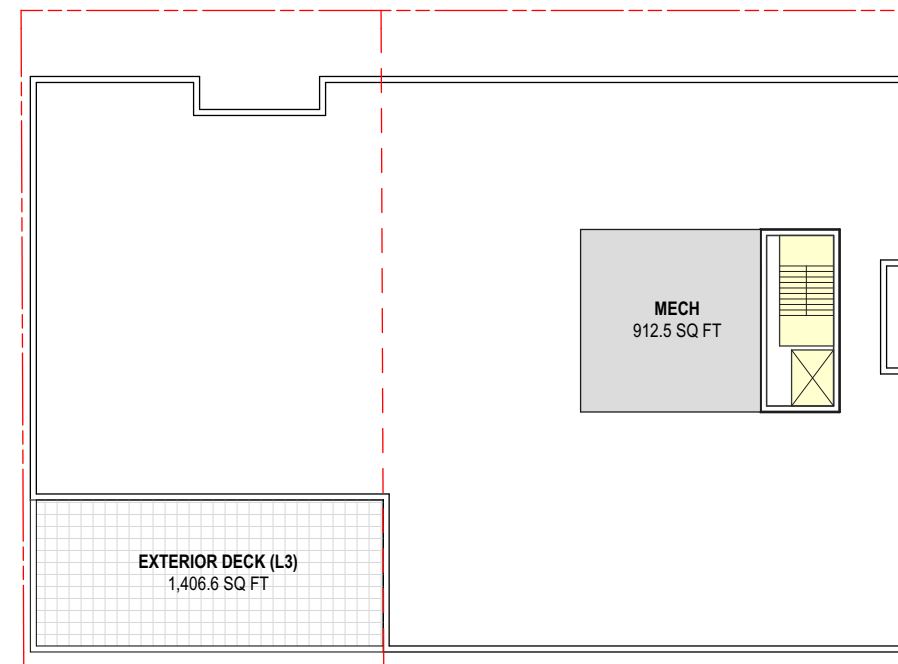
LEVEL P1 PLAN - S FERDINAND ST



LEVELS 2 + 3



LEVEL 1 PLAN - 39TH AVENUE S



LEVEL 4 PLAN

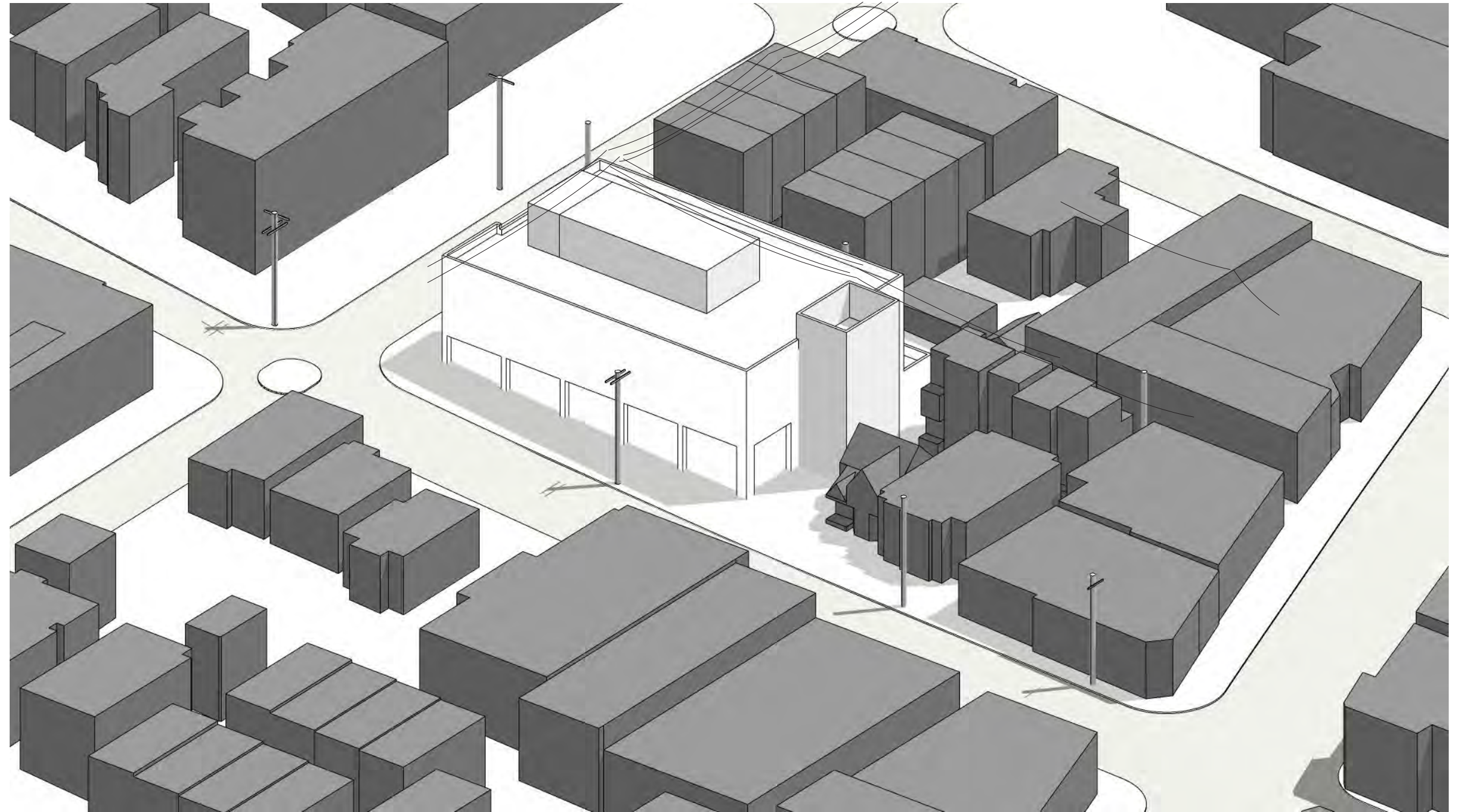
4.0 DESIGN STUDIES

MASSING CONCEPT 3 – PROPOSED

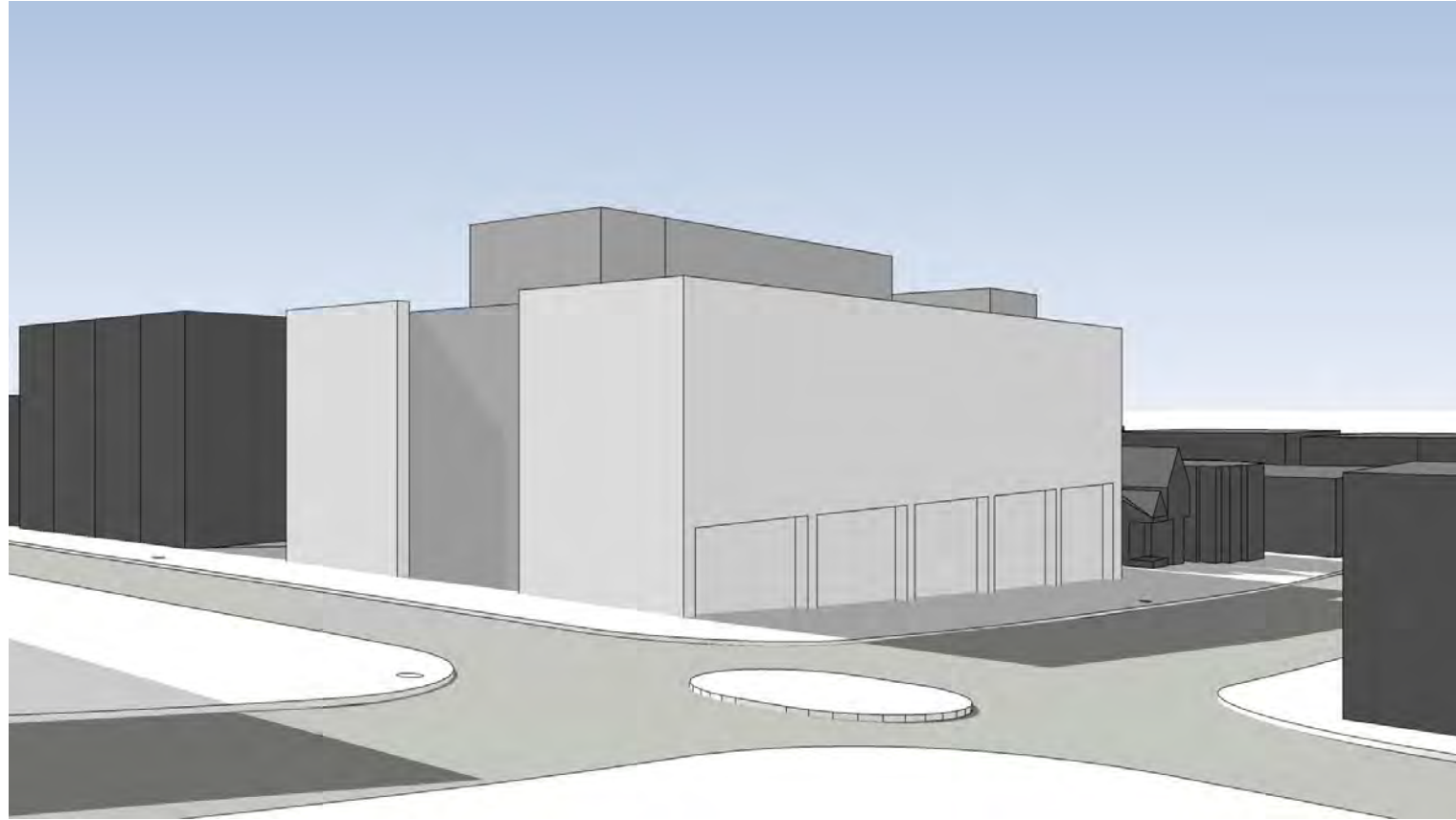
Massing concept three provides two distinct facades within a unified structure. To the east, a central gasket forms the office entry. Here again, the masses on either side of this gasket element are proposed to be materially distinct, using masonry as their primary material. This material rounds the corner onto Ferdinand Street, where inset glazing follows the rhythm of structural bays to provide the commercial space at a scale that emulates the neighboring historic district.

As the structure approaches the adjacent historic Pierson home, the building footprint steps back an additional 25-feet to provide additional outdoor space for neighborhood commercial use. This setback also serves to reduce shadows and apparent scale.

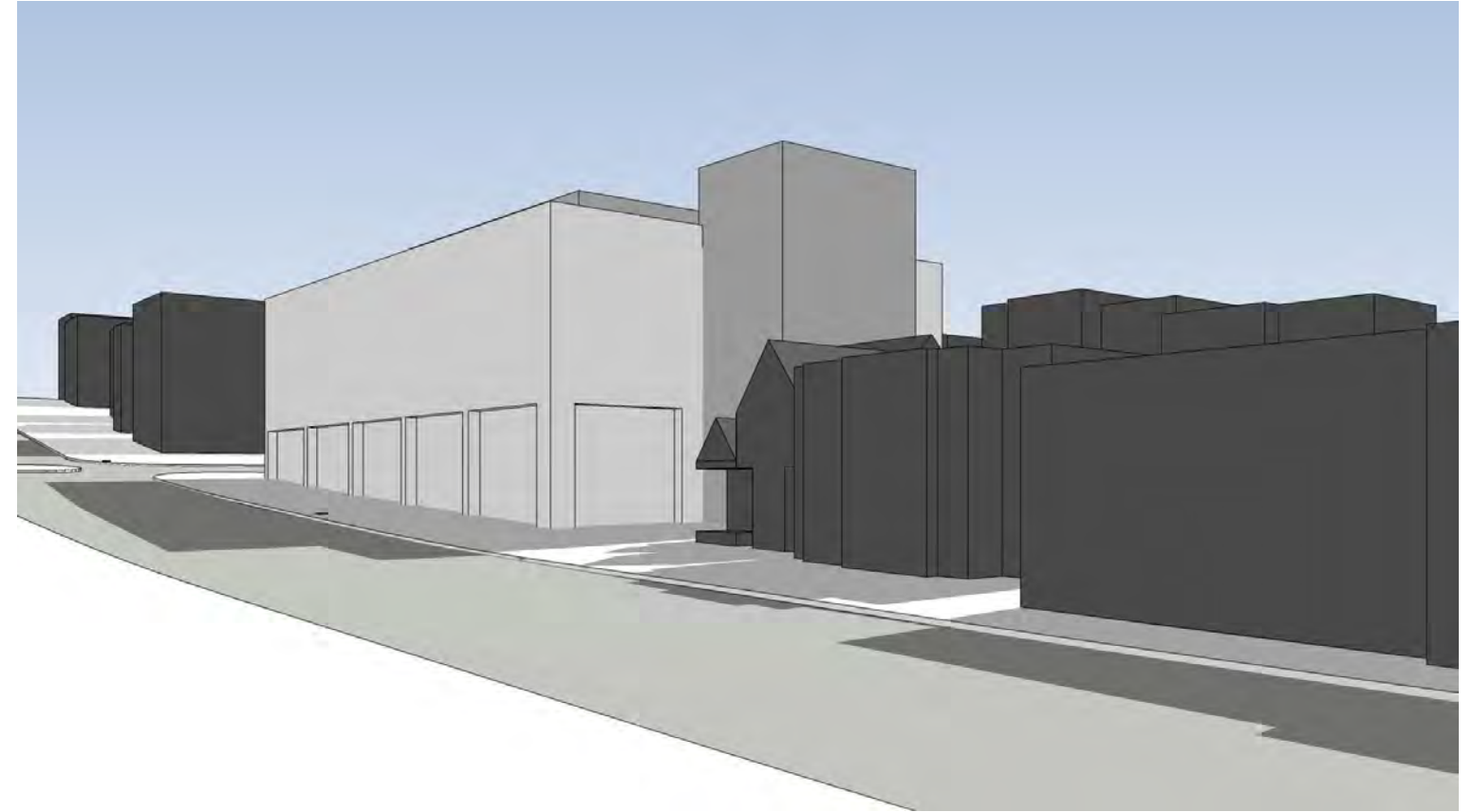
A fourth floor pavilion provides additional office and outdoor space set back in every direction from the site boundaries, minimizing building scale as viewed from the street.



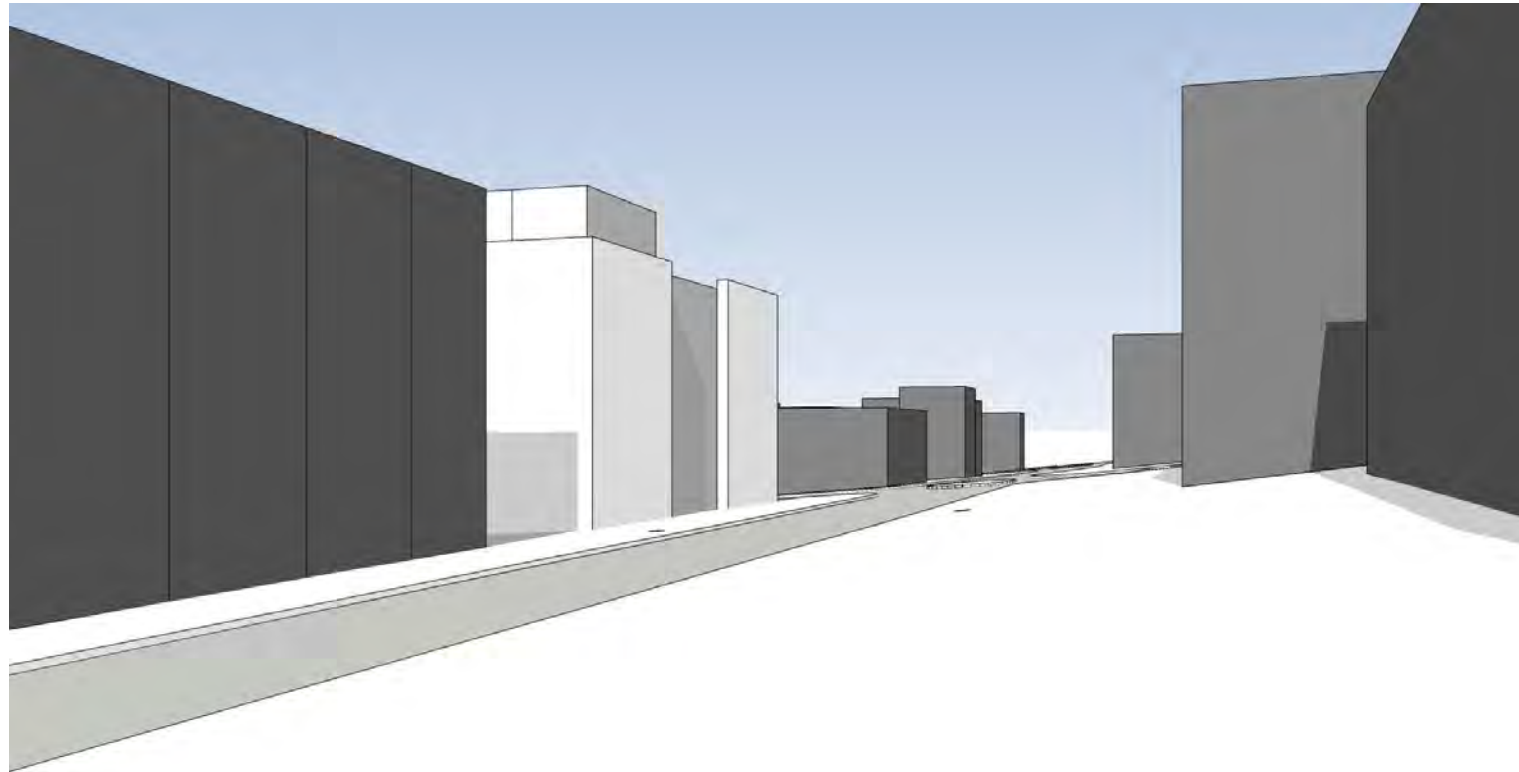
Aerial view, looking southeast



View from S Ferdinand Street, looking SW

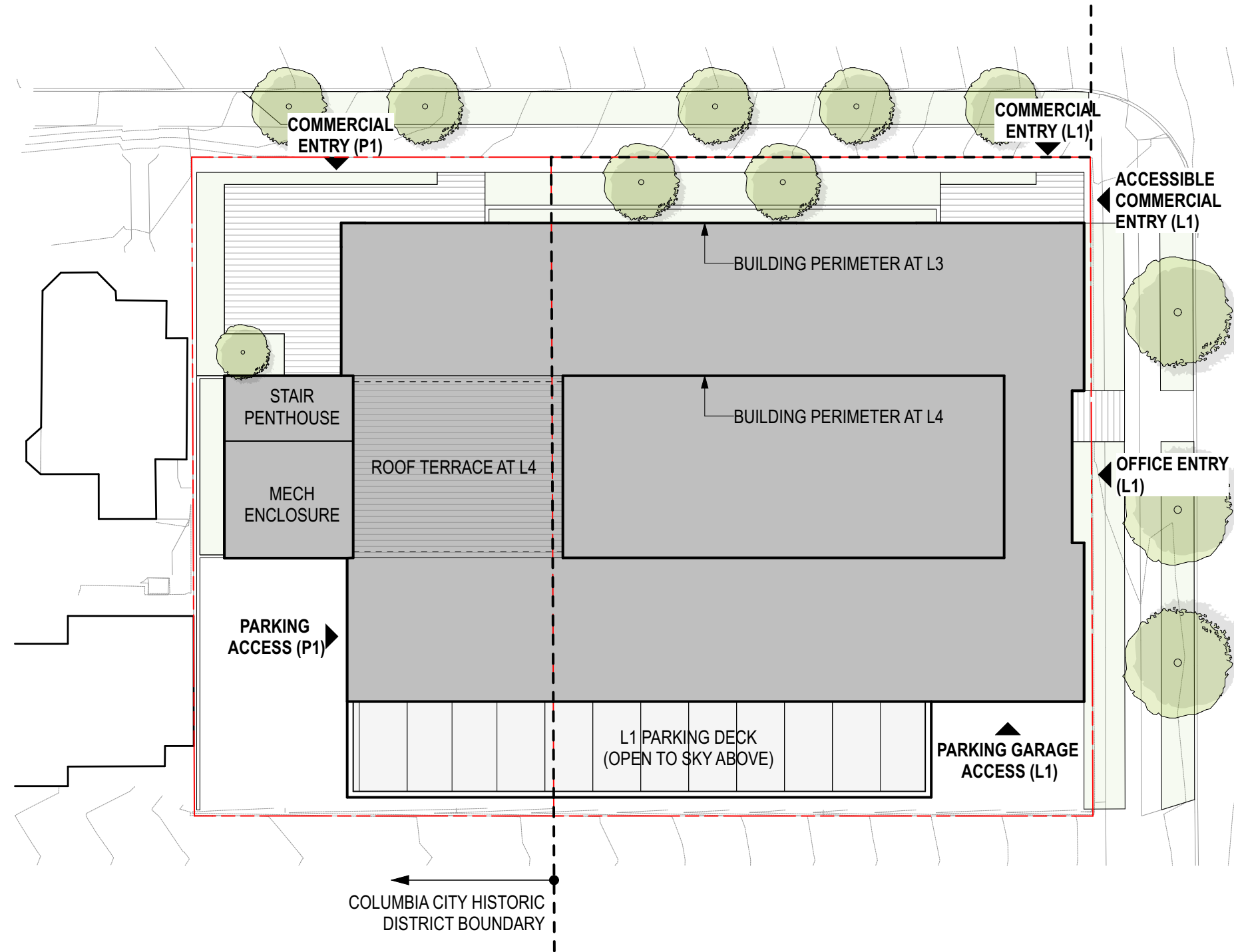


View from S Ferdinand St, looking SE



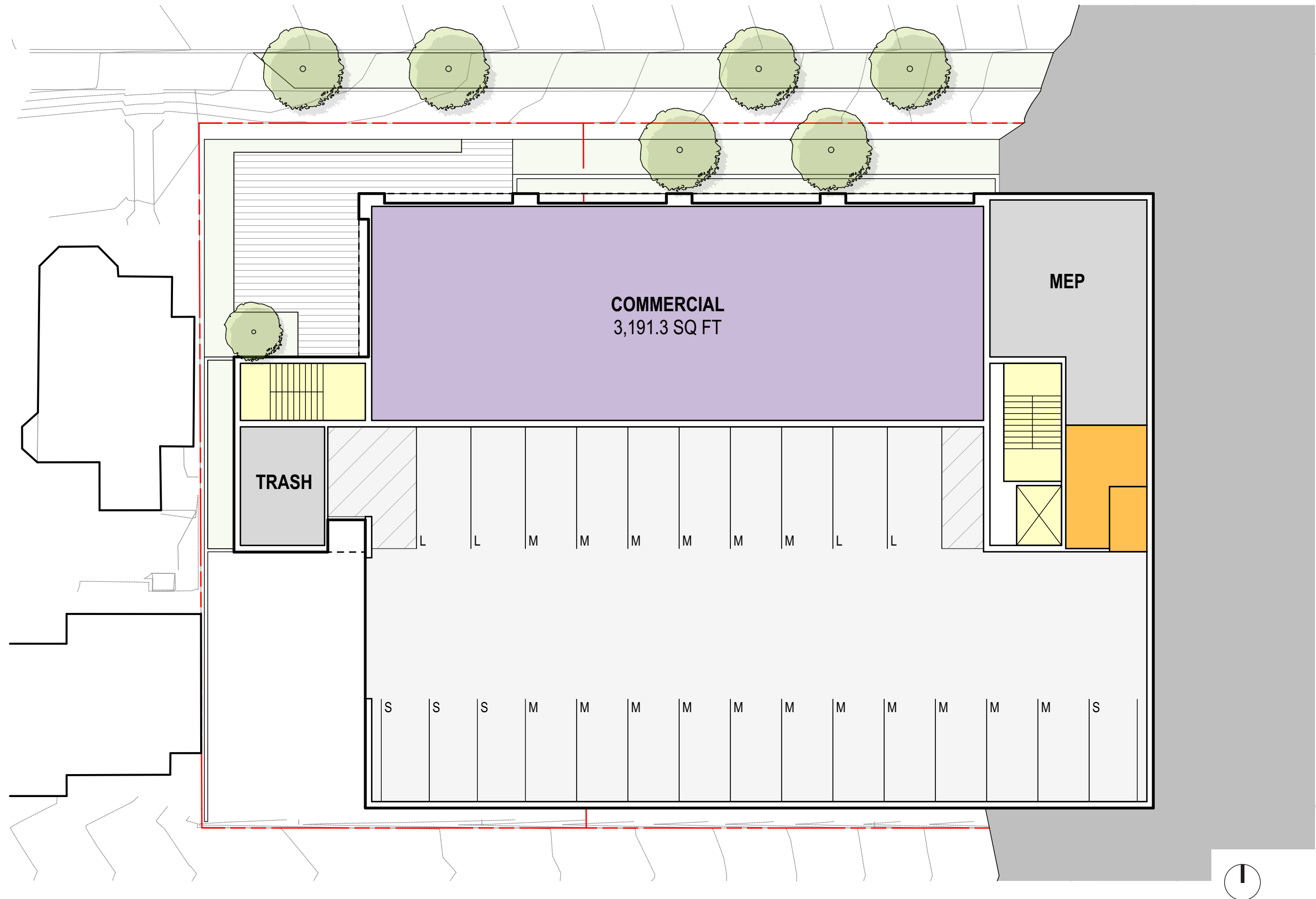
View from 39th St S, looking NW

5.0 DESIGN PROPOSAL



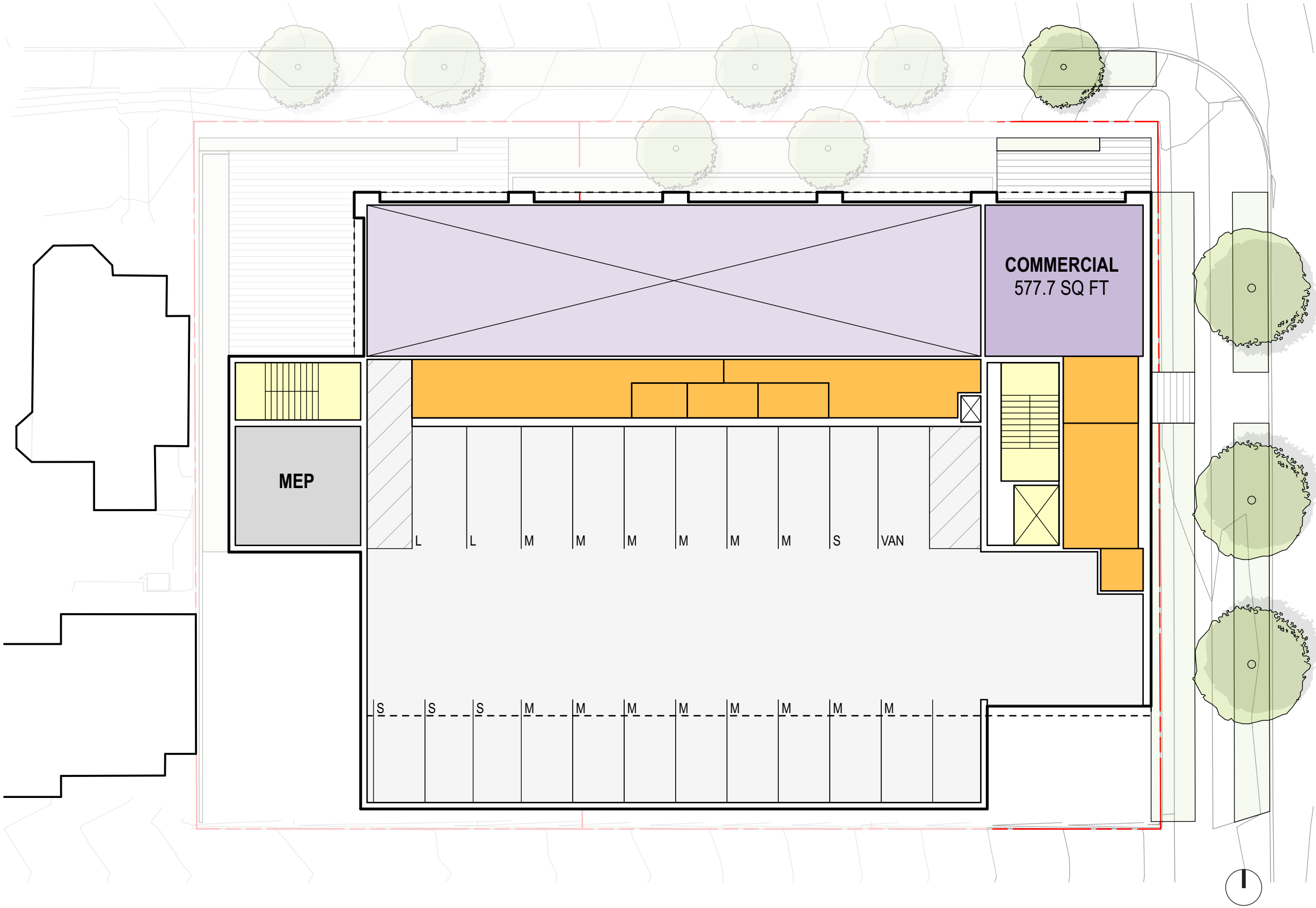
SITE PLAN



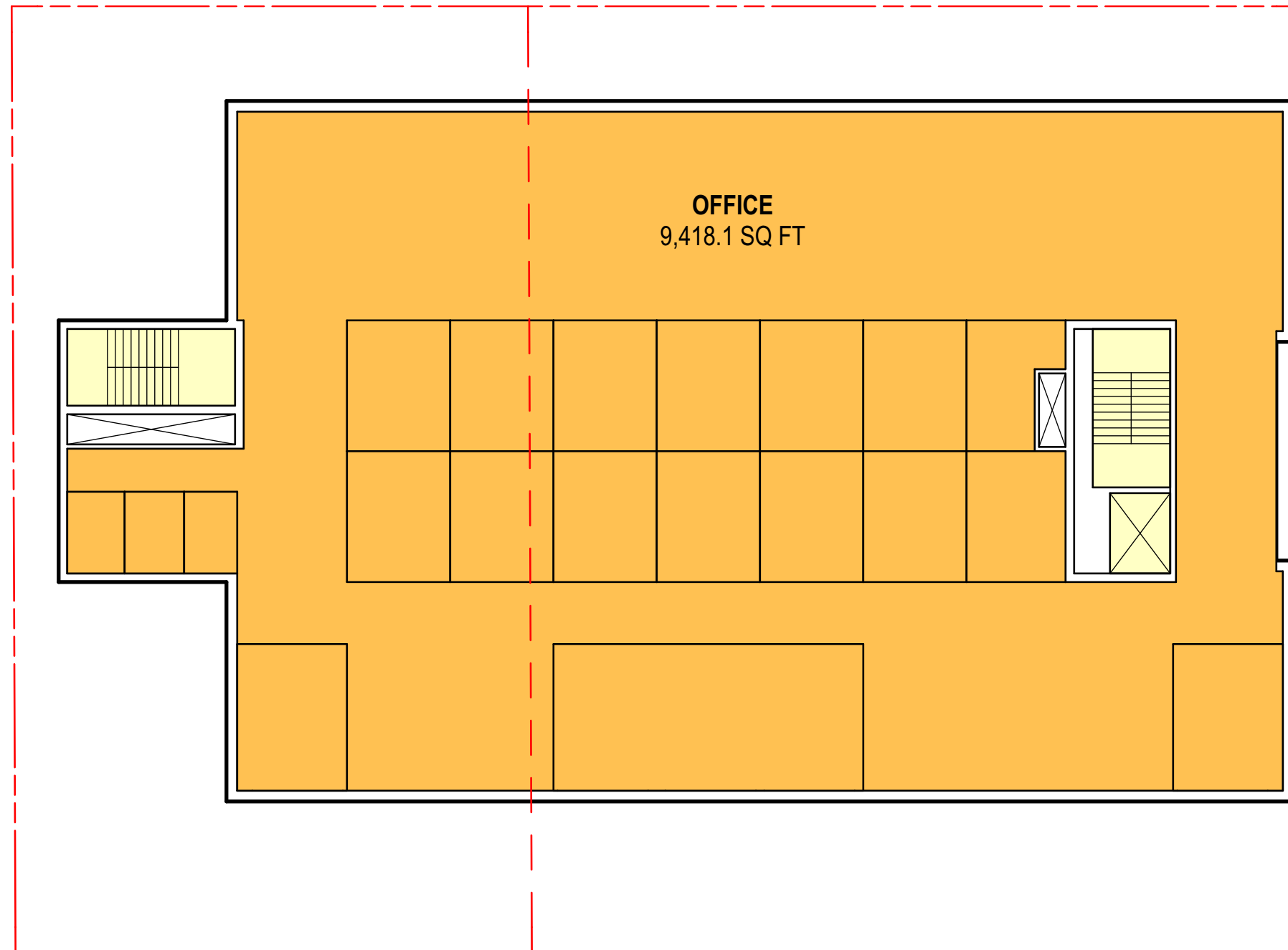


LEVEL P1

5.0 DESIGN PROPOSAL



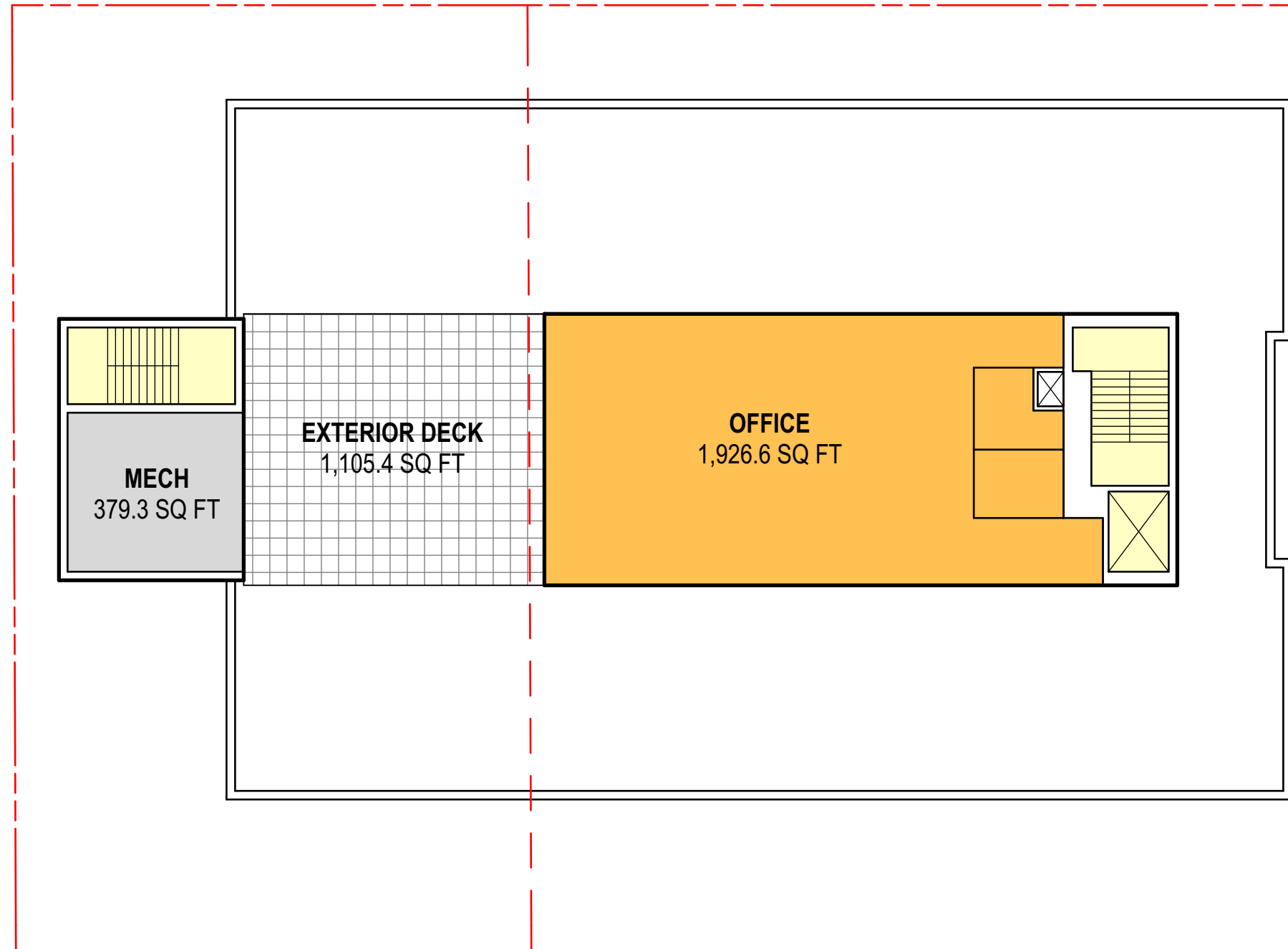
LEVEL 1



LEVELS 2 & 3 (TYPICAL)

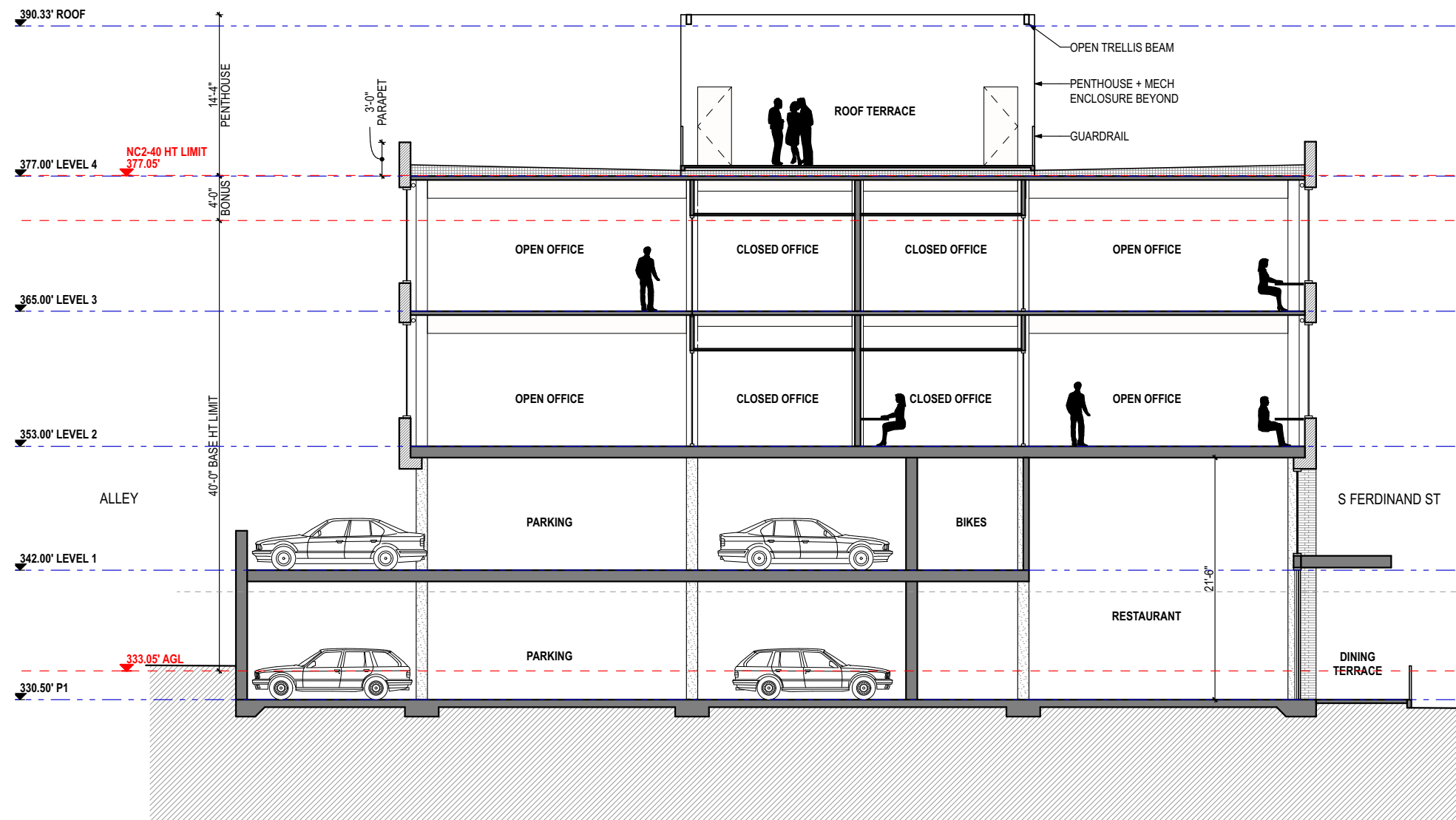


5.0 DESIGN PROPOSAL



LEVEL 4 - PAVILION



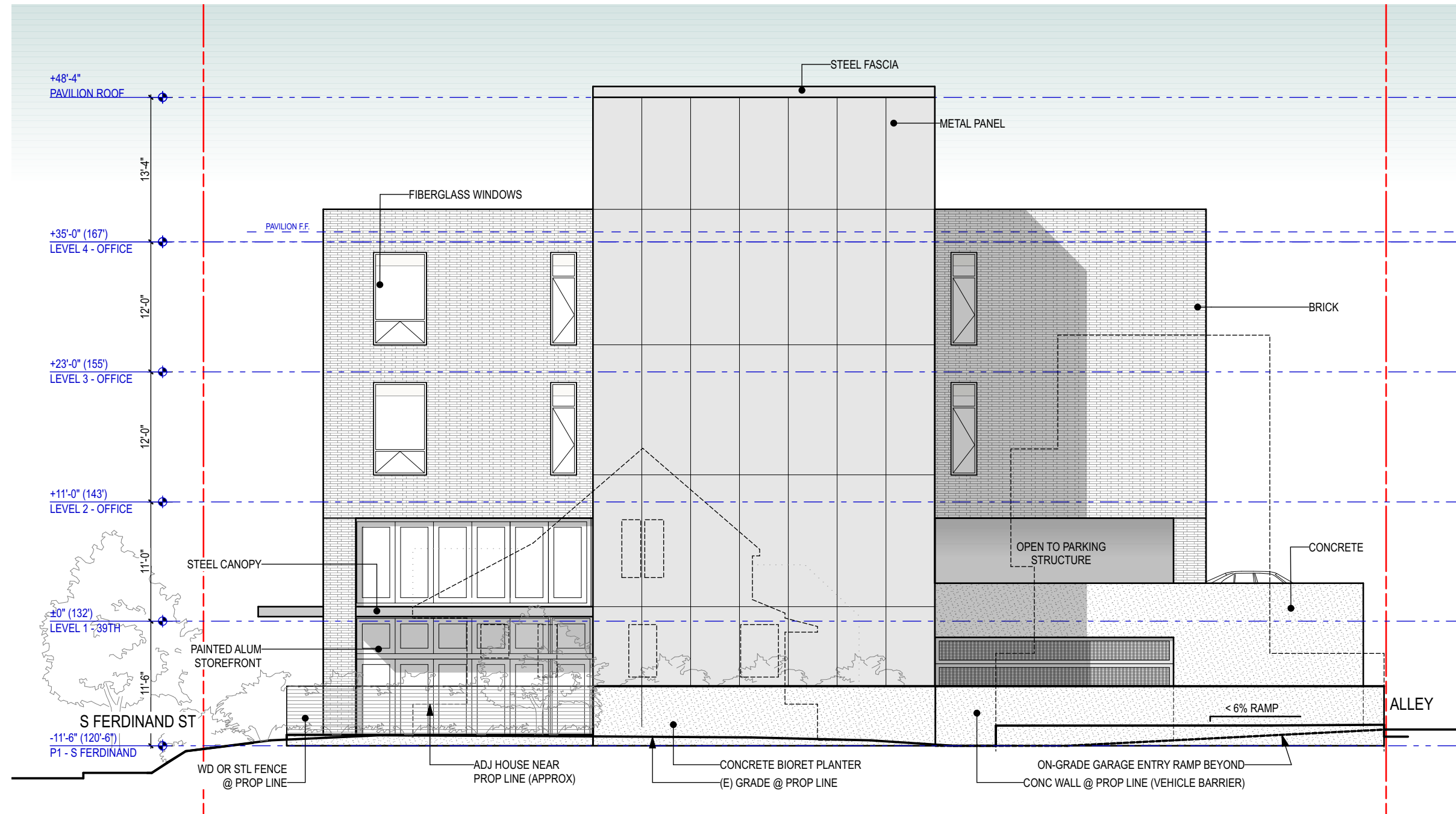


BUILDING SECTION

5.0 DESIGN PROPOSAL

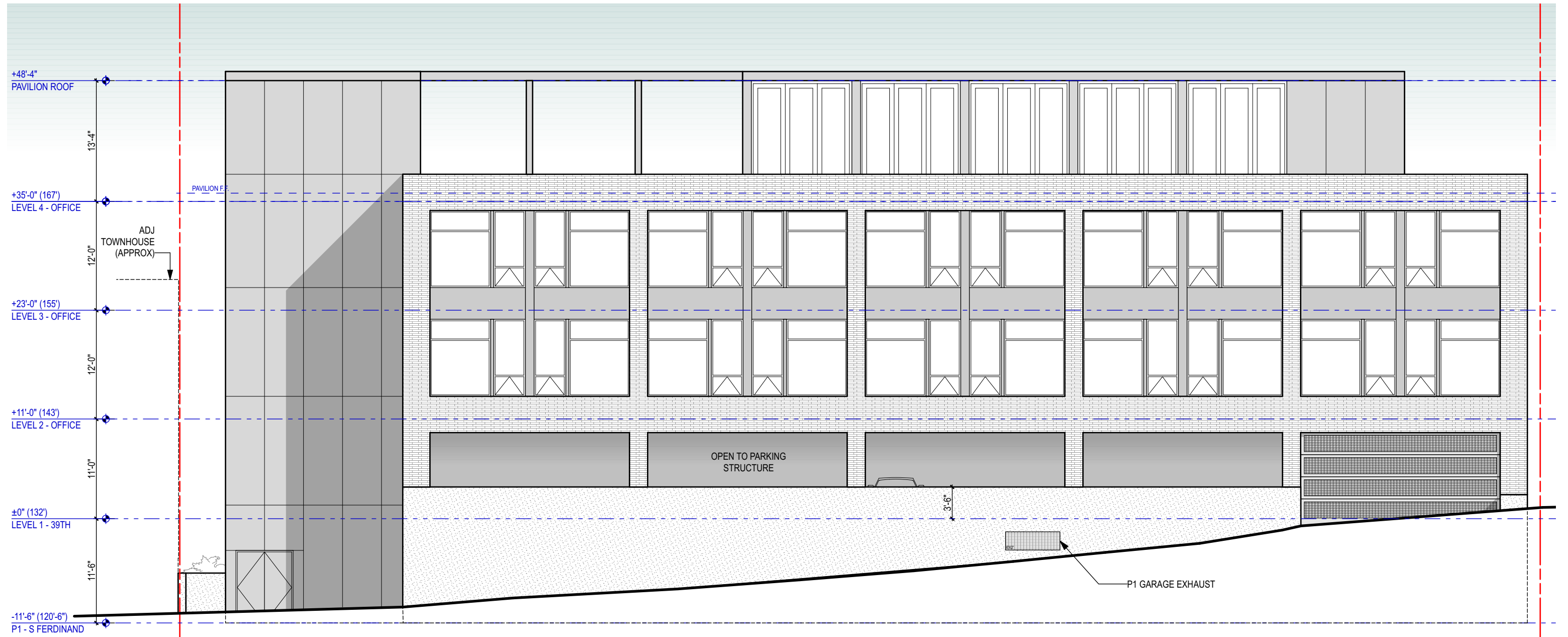


NORTH ELEVATION - PRELIMINARY

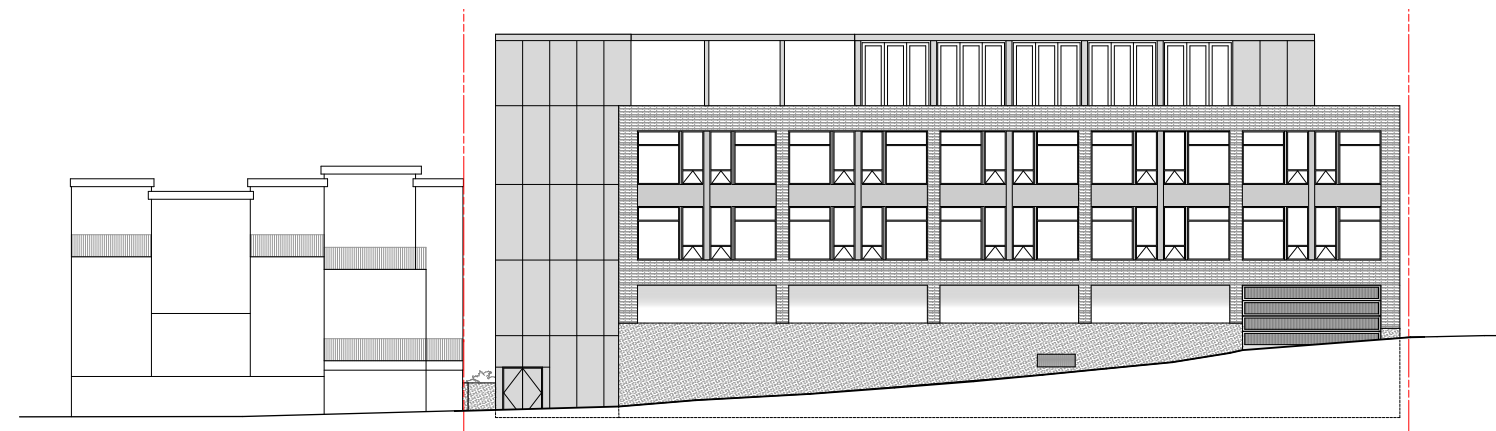


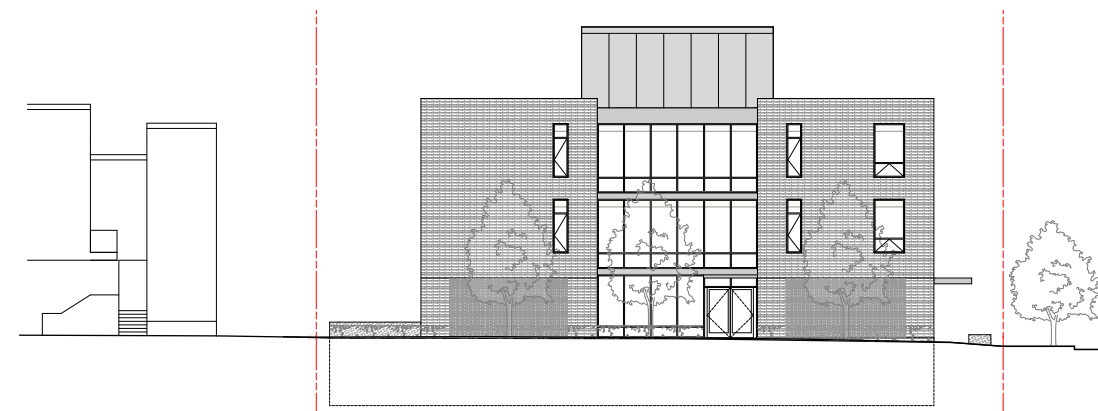
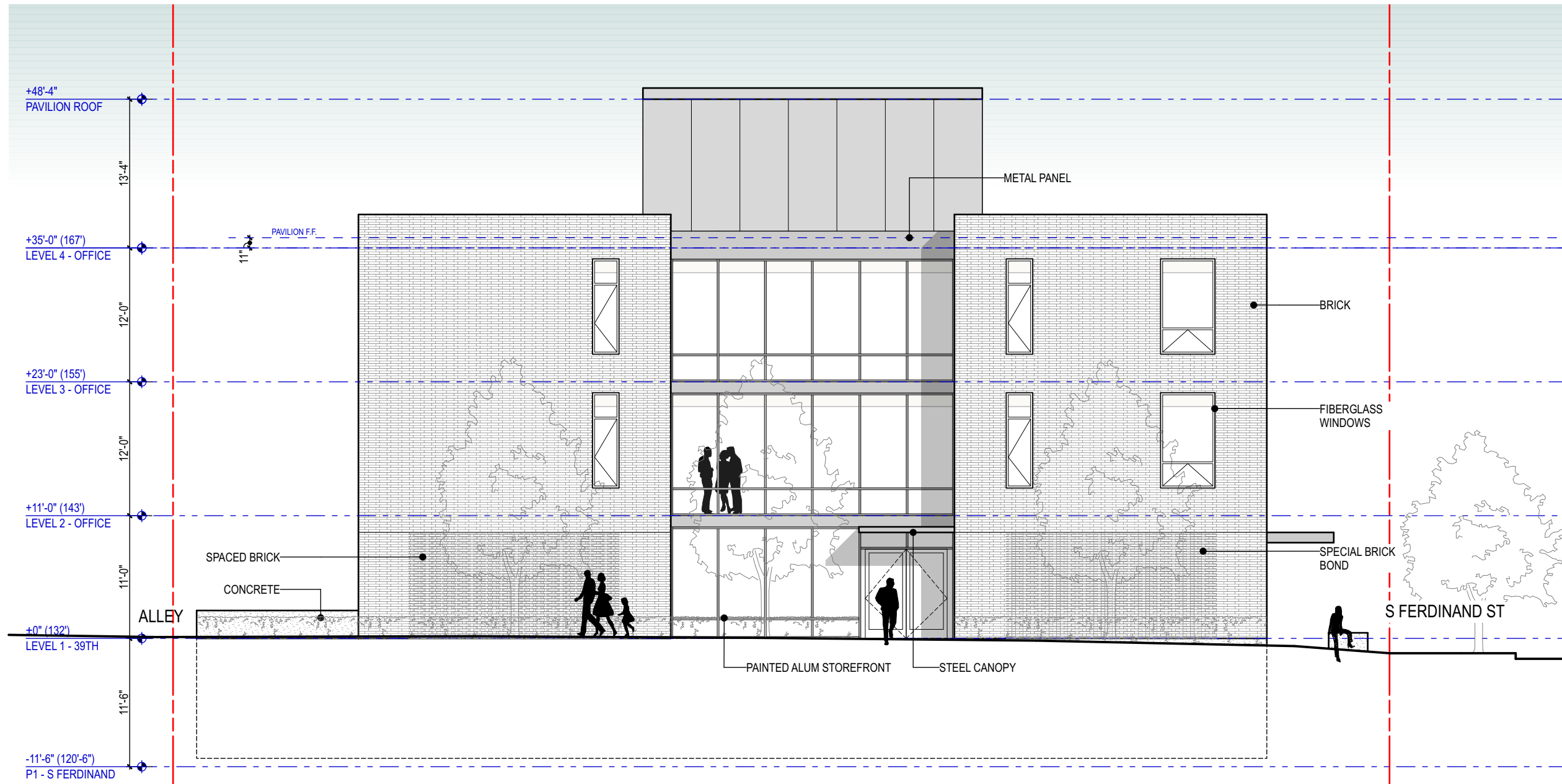
WEST ELEVATION - PRELIMINARY

5.0 DESIGN PROPOSAL



SOUTH ELEVATION - PRELIMINARY





EAST ELEVATION - PRELIMINARY

5.0 DESIGN PROPOSAL

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REPRESENTATIVE PROJECTS

Weinstein A+U is recognized as one of the Northwest's leading design firms and has continually demonstrated design excellence on a broad array of projects for State, City, Federal, private, and not-for-profit clients. We are passionate about our city and the shaping of its urban neighborhoods through the integration of architecture and urban design is central to our practice.

While each project presents very specific challenges, a number of recurring themes inform much of our work and form the basis of our approach to design:

- All of our buildings are situational and are inseparable from their sites. They sit comfortably amongst their established neighbors, drawing from established precedents while looking to the future
- We avoid arbitrary façade embellishment. Instead we utilize the organization of the floor plan to establish the pattern and rhythm of facades that is furthered informed by site organization and orientation. Plans correlate to elevations and variation occurs within an established system
- Careful consideration is made of a project's primary orientation and configuration to provide cost effective sustainable design strategies
- The scale and proportion of new buildings must address, but need not directly reflect, those of adjacent structures. Plan, section, and elevation strategies should be integrated to provide a comprehensible "read" of the building's composition and organization



1. **Union Stables Retrofit and Addition**,
2200 Western Ave, Seattle
2. **Seattle Public Library Montlake Branch**,
2401 24th Ave E, Seattle
3. **Seattle Fire Station 6**,
405 Martin Luther King Jr Way S, Seattle
4. **Ainsworth & Dunn**, 2815 Elliott Ave, Seattle
5. **Kenmore City Hall**,
18120 68th Ave NE, Kenmore
6. **Salmonberry Lofts**, 224 S Washington St, Seattle
7. **Jewish Family Service Campus**,
1601 16th Ave, Seattle
8. **1111 E. Olive Apartments**, Seattle



