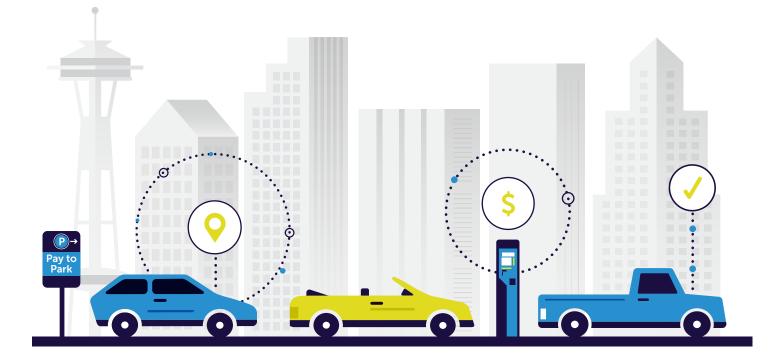
Annual Report 2017 On-Street Paid Parking Occupancy

PERFORMANCE-BASED PARKING PRICING PROGRAM

This report presents on-street occupancy data for Seattle's paid parking neighborhoods and includes rate and time changes.





October 2017

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Seattle Department of Transportation

Executive Summary

The Seattle Department of Transportation (SDOT) uses parking occupancy data to adjust on-street parking rates through our Performance-Based Parking Pricing Program, which began in 2010. This data-driven approach to rate-setting is required by City law and uses the principles of supply and demand to ensure appropriate management of our curbspace to provide reliable access and parking availability. The program aligns with City transportation, environmental and economic policy objectives. The goal of the program is that parking is well-utilized in high-demand areas, but that drivers can reliably find a space near their destination. This helps address circling or "cruising" for parking, which has associated congestion and environmental impacts. SDOT is recognized as a leader among peer cities in implementing such a data-driven program, and more cities are moving toward a similar system.

DATA AND PRICING

To provide the basis for rate changes, SDOT annually collects and reviews occupancy data in all paid parking areas in the City – there are currently 30 such areas. We use this data to make decisions about whether to adjust rates and hours of operation in line with performance metrics. In areas where parking is very full, SDOT generally raises the rate by \$0.50 an hour. In areas where parking occupancy is low, SDOT generally lowers the rate by \$0.50 an hour. Rate changes are made within a rate minimum of \$0.50 an hour and a rate maximum of \$5.00 an hour as established in the Seattle Municipal Code. This range was adjusted at the beginning of 2017 from a previous minimum of \$1.00 an hour and maximum of \$4.00 an hour.

TIME OF DAY RATES

SDOT refined our process in 2016, using the data to manage parking by time of day. This allows rates to more accurately match local parking conditions, which vary over the course of the day. In neighborhoods where paid parking hours extend to 8 PM, SDOT sets a morning, afternoon, and evening rate. In neighborhoods where paid parking hours extend to 6 PM, SDOT sets a morning and afternoon rate.

2017 CHANGES

Since the beginning of the program in 2010, SDOT has made over 140 changes to paid parking rates, hours when payment is required, and area time limits. Moving to time-of-day rates from a single daily rate increases the potential for rate changes. Combining our 30 paid areas with current paid parking hours, we have a total of 85 time-of-day rate periods. Based on data collected in the 2017 Annual Paid Parking Study, this report outlines that:

- paid parking area time-of-day rate periods will not have any rate changes
 area time-of-day rate periods will have rate decreases
- 15 area time-of-day rate periods will have rate increases
 - areas will have paid parking hours extended to either 8 PM or 10 PM

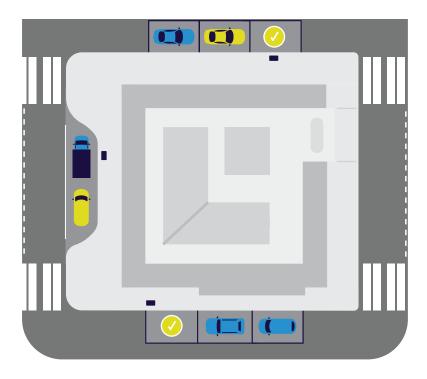
Rate changes are planned to be implemented beginning in fall 2017. SDOT plans to collect data for the 2018 Annual Paid Parking Study in spring 2018. This report provides a summary of occupancy data for 2016 and 2017 along with 2017 planned rate changes.

Program Background

SDOT's Performance-Based Parking Program uses parking occupancy data to drive our paid parking management system. Our parking performance goal, written in the City's municipal code (SMC 11.16.121), is to use data to set rates such that one to two parking spaces are open and available per city block throughout the day.

TARGET OCCUPANCY

We operationalize this objective by establishing a target occupancy range of 70% to 85%. To determine parking conditions, SDOT collects occupancy data annually in all paid parking areas through the large-scale study documented in this report. The collected data are used to determine potential changes to rates, time limits, and paid parking hours by comparing results to our target range of 70% to 85%. This report provides a summary of occupancy data from 2016 and 2017.



PAID PARKING BY THE NUMBERS

SDOT manages about 12,000 paid on-street spaces in 20 business districts. Because some business districts are large or have multiple activity centers, we have designated 30 parking areas with different hourly rates, maximum time limits, and hours of operation. From 2010 through 2016, SDOT has made over 140 changes to the on-street paid parking area rates and hours of operation, based on data collected annually. Analysis from previous years is available at: www.seattle.gov/transportation/parking/reports.htm

Data Collection & Analysis

In 2017, SDOT collected parking data primarily in April and May. South Lake Union North is planned for October data collection. Data were collected on typical weekdays (Tuesday, Wednesday, or Thursday) to represent average parking conditions. Collection dates were chosen to avoid overlap with significant area events. Hourly occupancy observations were made in most areas from 8 AM to 10 PM. Neighborhood pages provide results by hour. An extra summer count was completed in the Ballard Locks to match seasonal rates to visitation patterns.

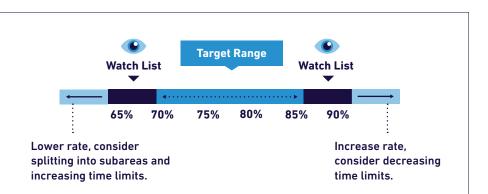
Occupancy is defined as the percent of legal on-street parking spaces in which a vehicle is parked at a given time. SDOT does not formally designate or delineate individual spaces, but we maintain a space inventory that would exist if spaces were legally marked. These legal spaces are based on standard parking dimensions and reflect parking restrictions near intersections, driveways, and fire hydrants. Occupancy can be over 100% as vehicles sometimes park close together or partially in illegal areas.

Recognizing that demand varies over the course of the day, SDOT evaluates parking occupancy by time-of-day groupings.

SDOT uses an average of the "middle hours" of each time-of-day rate period for consideration of rate adjustments. These are:



Time Period	Hours of occupancy evaluation	Hours when rate is in effect
	9 AM and 10 AM Occupancy	8 AM - 11 AM
٢	Three highest hours from 11 AM through 4 PM	11 AM - 5 PM/6 PM
(** *	6 PM and 7 PM Occupancy	5 PM - 8 PM



OCCUPANCY CALCULATION

Occupancy is calculated as the total vehicles divided by the total supply during identified hours. For the afternoon, the three highest hours are not necessarily consecutive. The target occupancy range is 70% to 85%. Areas that are within 5% above or below this range are placed on the "watch list." These are compared with results from the past year's watch list or next year's data collection. If an area is on the "watch list" for the first time, a rate adjustment is typically deferred one year. If an area remains above or below the target range for more than two years, the rate will be changed. Areas above 90% occupancy or below 65% occupancy are identified for rate changes within the same year. SDOT adjusts rates in \$0.50 increments between a minimum rate of \$0.50 an hour and a maximum rate of \$5.00 an hour.

In areas where paid parking ends at 6 PM, SDOT uses the 7 PM occupancy to consider whether paid parking hours should be extended to 8 PM. If paid hours are extended to 8 PM, the initial evening rate will match the updated afternoon rate.

Open Data



SDOT is committed to making our parking data accessible to the public. Full information on our parking system is available on data.seattle.gov, including the Annual Paid Parking Study results, parking transactions, and paid space inventory.

ANNUAL PAID PARKING STUDY DATA

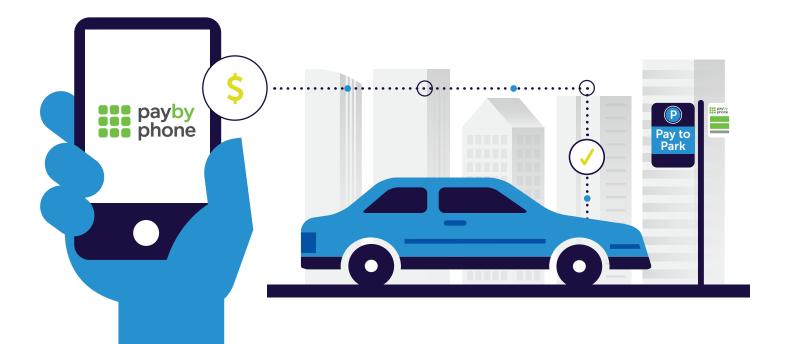
The data results contained in this report provide a neighborhood-level summary of parking occupancy. Data are collected and organized at the blockface level, which is defined as the side of a street between two intersecting streets. In the 2017 Annual Paid Parking Study, we surveyed and recorded hourly occupancy on over 1,700 blockfaces. Data also include the number of car2go and ReachNow car share vehicles observed (which under annual permit are allowed to park in paid areas without payment), along with the number of vehicles displaying disabled placards or license plates. Full results, including previous years, are available on data.seattle.gov under "Annual Parking Study Data." In addition, SDOT will post maps with blockface level detail available in fall 2017 at www.seattle.gov/parking.

PAID PARKING TRANSACTION DATA

SDOT processes approximately 11 million paid parking transactions each year and makes these transaction data records available via an Application Programming Interface (API.) The transactions include both pay station (credit, coin) and mobile (i.e., PayByPhone) parking payment. No personally identifiable information is contained in this dataset. We also provide an inventory of paid spaces in service back to 2012. These data sets can be accessed here: www.seattle.gov/transportation/parking/appinfo.htm.

In contrast to Annual Paid Parking Study data, calculations using the transactions and paid spaces do not represent actual parking occupancy. Many vehicles parking on-street do not pay for parking and therefore do not make a transaction for their parking session. These vehicles may or may not be parking legally, including vehicles exempt from payment by state or local laws (e.g., those with disabled parking placards or license plates), free-floating car share vehicles whose companies pay SDOT directly, and individuals who may not pay for some portion of their parking time. Consequently, without additional traffic and parking data, the transactions in and of themselves do not accurately represent current parking conditions on the street.

SDOT is interested in working with vendors and others to build a mobile application with Seattle parking information. Accurate parking information can help people make smarter decisions to find parking faster and spend less time circling. We also have real-time parking garage data available from our e-Park system.



Pay by Phone Parking

SDOT offers payment by phone in all areas with paid parking as a convenient, easy, and secure payment option. As of January 2017, there is no additional fee for use. Removing the extra customer fee is part of our effort to encourage more use of mobile parking payment. The service provides text message reminders when your parking time is about to expire and the ability to extend your parking time from your phone. Among other benefits of PayByPhone, motorcycle and scooter owners don't need to figure out where to stick a pay station receipt.

Parkers can use the PayByPhone app with their iPhone, Android, Blackberry, or Microsoft phones, as well as Apple Watch.

As of May 2017, nearly 200,000 transactions in Seattle were made by phone per month, or 20% of all on-street paid parking transactions. This number has been steadily growing since introduction of PayByPhone in Seattle in mid-2013.

HOW TO USE PAYBYPHONE

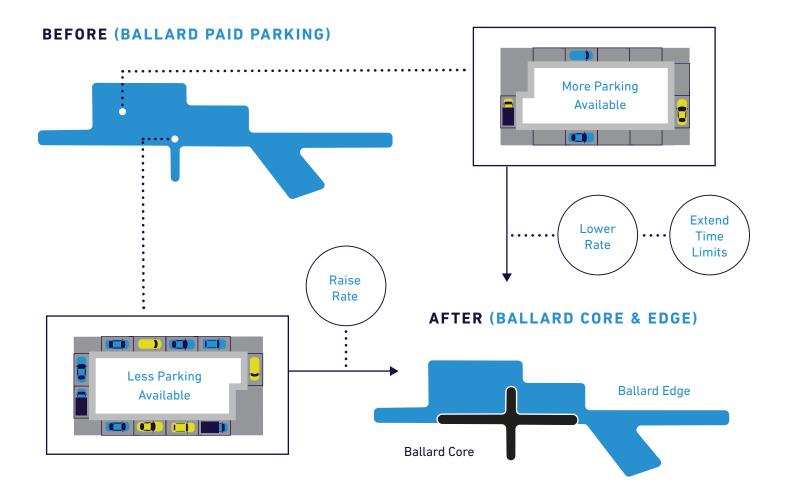
To get started, download the "PayByPhone" app on your smartphone and register. You will be required to provide a credit card number and your license plate number(s). Enter your license plate number carefully, as Seattle Police Parking Enforcement uses license plate numbers to verify payment. When parking on a block, enter the location code found on the green and white PayByPhone sign.

Program Highlights, 2010 to Current

From 2010 through 2016, SDOT has made over 140 changes to rates, time limits, and paid parking hours based on Annual Paid Parking Study results. Prior to 2016, SDOT generally set one rate over the entire day of paid parking hours. Because demand can vary greatly over the course of the day, SDOT in 2015 began managing parking by time of day, consistent with our Municipal Code policies for rate setting.

CASE STUDY: BALLARD

To illustrate the annual rate change process, we will describe changes made in the Ballard neighborhood as an example. The Ballard paid parking neighborhood, which now includes a Ballard Core area and a Ballard Edge area, was a single parking area in 2011 with an all-day rate of \$1.50 an hour. Based on the 2012 Annual Paid Parking Study, data showed that the area near NW Market Street in the heart of the neighborhood business district had higher occupancy than surrounding streets. In 2012, consistent with the data and program policy objectives, SDOT created a Ballard Edge area with an extended 4-hour time limit and a Ballard Core area of highest demand blocks in which we raised the rate to \$2.00 an hour.





Based on 2014 data, the Ballard Core was within the target 70% – 85% occupancy range for most of the day, though occupancy remained high into the evening. At the same time, occupancy remained lower in the Ballard Edge. Based on the data, SDOT then lowered the rate in the Ballard Edge to \$1.00 an hour and extended paid hours in the Ballard Core until 8 PM. Also in 2014, SDOT began work in Ballard through the Community Access and Parking Program. While paid parking areas provided reliable parking and access for most of the day, adjacent unpaid commercial areas were near 100% full for most of the day. This collaborative work with the neighborhood business district resulted in an expansion of both unpaid time limit areas and paid parking areas. New paid areas went from being 95% or more full during the afternoon before the change (meaning customers regularly struggled to find available parking near their destinations) to around 80% full (meaning parking was still well utilized, but customer access improved).

Planned rate changes in Ballard in 2016 were delayed due to schedule changes in parking pay station replacement, though data collected in 2017 indicate rate changes are still needed. As outlined on the Ballard neighborhood pages, 2017 changes will lower rates throughout Ballard in the morning (to \$1.50 an hour in the Core and \$0.50 an hour in the Edge.) Based on occupancy data, rates will increase in the Ballard Core to \$2.50 an hour in the evening hours of highest demand while the Ballard Edge paid hours will be extended to from 6 PM to 8 PM and remain at \$1.00 an hour.

Because we make annual, data-driven changes, the evolution in parking management in Ballard has kept up with changes in the neighborhood that have driven associated changes in demand and parking occupancy. Close-in parking spaces fronting increasingly dense retail and restaurants on Ballard Avenue NW and NW Market Street have a higher rate and 2-hour time limit, while parking a block or two away means a lower rate and allows for longer parking. These data-driven changes help to better balance parking demand over the larger neighborhood and match local conditions.

Disabled Permit and Free-Floating Car share Vehicles in Paid Parking Areas

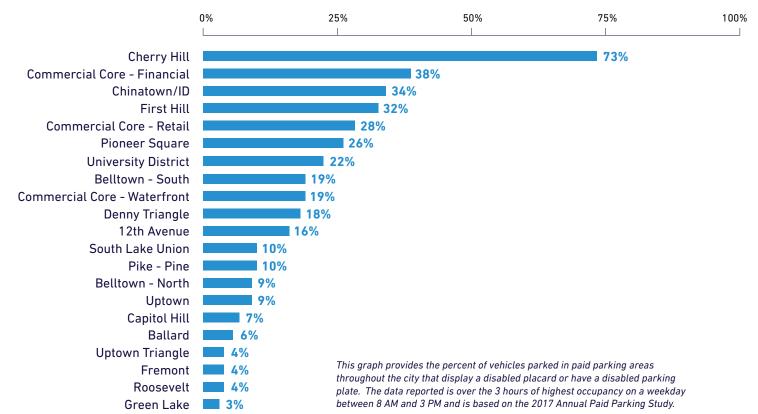
As part of this Study, SDOT documents the presence of vehicles with state-issued disabled parking placards and license plates and free-floating car share vehicles (car2go and ReachNow.) Both groups of vehicles are not required to pay at the time of parking and may stay longer than posted time limits. SDOT records the presence of these vehicles to better understand business district parking management.

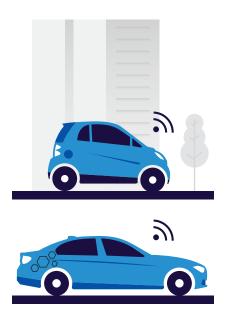
DISABLED PERMIT VEHICLES

Vehicles displaying valid disabled placards or license plates are not required to pay for parking on public streets under Washington State law, and can park longer than standard posted time limits. Based on Annual Paid Parking Studies, data show a varied, and in some areas significant, amount of use of disabled placards and license plates. In the Cherry Hill area (near Swedish Hospital on 18th Avenue), almost 75% of vehicles parked had a disabled placard or license plate. In the downtown and First Hill areas, typically 1 in 3 vehicles displayed a disabled placard or license plate.

There are over 1,500 designated disabled parking spaces in Seattle, with most in residential areas to provide access for people with limited mobility to park close to their homes. In commercial areas, SDOT is evaluating our existing inventory of designated disabled spaces and working to add more.

Percent of Vehicles During Weekday 3-Hour Peak (8 AM - 3 PM) with Disabled Plates/Placards





FREE-FLOATING CAR SHARE VEHICLES

SDOT issues annual permits for free-floating car share (FFCS) vehicles. These are currently issued to ReachNow and car2go. These vehicles can generally park in any legal parking space in Seattle. FFCS operators are charged an annual permit fee per vehicle commensurate with the cost of administering, monitoring, evaluating and policing the permit program and for the use of paid parking and restricted parking zone permit areas. At the time of this report, SDOT has issued over 1,200 permits for FFCS vehicles. Based on data from the 2017 Annual Paid Parking Study, the presence of FFCS vehicles in paid areas is generally low. It also varies widely over the course of a day. The areas with the highest number of FFCS vehicles were Belltown South, South Lake Union South, and U-District. Each area had around 40-50 vehicles parked between 10 AM and 11 AM. These vehicles represented about 8% to 12% of all vehicles parked in those areas. In each of the three areas the number of FFCS vehicles decreased over the course of the day and represented only 1% to 4% of the total area vehicles by 5 PM to 6 PM.

2016 Changes Not Made

Since 2015, SDOT has been in the process of replacing or retrofitting all parking pay stations citywide. New pay stations provide updated communications and parking management capabilities, including the ability to set different rates by time of day. Due to delays in the pay station replacement project, several changes identified in the 2016 Annual Paid Parking Study were not completed last year. Here is a list of those deferred changes along with the changes planned based on 2017 results. In many cases, the changes are the same. In the case where results indicate a different change in 2017 as compared to 2016, SDOT will use the more current 2017 data.

Neighborhood	2016 Planned Change, Not Implemented	2017 Planned Change		
Ballard Core	Decrease AM, Increase PM	Decrease AM, Increase PM		
Ballard Edge	Decrease AM, Extend hours to 8 PM	Decrease AM, Extend hours to 8 PM		
Ballard Locks Summer	Decrease AM	Decrease AM, Extend hours to 8 PM		
Fremont	Decrease AM	Decrease AM		
Green Lake	Decrease AM, Increase Mid, Increase PM	Increase PM		
U District Core	Decrease AM	Decrease AM		
Uptown Core	Decrease AM, Increase PM	Decrease AM		
Uptown Edge	Decrease AM, Increase PM	Decrease AM		
Uptown Triangle	Decrease AM, Decrease Mid	Decrease AM, Decrease Mid		



Paid Parking Area Changes

The Performance-Based Parking Pricing Program uses parking data to make regular adjustments to the paid parking system to provide more reliable access for visitors and customers in Seattle's business districts. As Seattle continues to grow, SDOT will continue to apply these principles to allow us to effectively manage parking demand and neighborhood access over time to keep up with changing conditions.

To that end, as part of the Annual Paid Parking Study, we collect parking data in a few areas each year on streets adjacent to those with paid parking so that we have a better understanding of parking in the broader business district. We typically collect both parking occupancy and turnover data (i.e., length of stay).

We then review these data results as well as other local data to see if there is a need to add paid parking on nearby streets. If parking availability can be improved by converting spaces to paid parking, SDOT will conduct outreach on a planned expansion to the paid parking area.

In 2016, SDOT studied parking conditions along unpaid portions of Dexter Avenue North and Eastlake Avenue East adjacent to the existing South Lake Union North paid area. We found that parking in these locations was 100% full starting at 9 AM until after 1 PM, limiting reliable access to customers and visitors. Following outreach, SDOT expanded the South Lake Union North area to include these new paid parking streets.

In 2017, in this Annual Paid Parking Study, SDOT studied occupancy along streets adjacent to the following paid areas: Fremont, Roosevelt, Uptown, and Westlake Avenue North along Lake Union. We are reviewing data in these areas for potential paid parking expansions in early 2018. SDOT has not made final decisions about installation, and any changes will include public notification to area businesses and residents.

COMMUNITY ACCESS AND PARKING PROGRAM

Separate from the Annual Paid Parking Study, SDOT's Community Access and Parking Program works to improve access and parking management in Seattle's neighborhood business districts and nearby residential areas. For neighborhoods under study, the program generally involves a year devoted to data collection and collaborative outreach with neighborhood business and resident representatives. This leads to development of a neighborhood parking management plan, released first as a proposal for comment and further input before being finalized for implementation. Neighborhood parking plans can include conversion of parking to paid parking, new areas of unpaid time limits, load zone changes, and changes to restricted parking zones. In recent years, the Community Access and Parking Program has developed plans and made parking management changes in Ballard, Capitol Hill, Green Lake, Pike-Pine, Pioneer Square, and 23rd & Union. The program is currently active in Columbia City, 15th Avenue East in Capitol Hill, and the West Seattle Junction.



Late Night Parking Hours and 2017 Actions In most paid parking areas, payment requirements currently end at 8 PM. The end of paid hours currently remains 6 PM in South Lake Union, Uptown Triangle, Denny Triangle North, Ballard Locks, parts of University District, parts of Ballard, and Pioneer Square.

To determine if paid hours should be extended from 6 PM to 8 PM, SDOT evaluates the 7 PM occupancy percentage. Based on the 2017 Annual Paid Parking Study, SDOT will extend paid parking hours until 8 PM in Ballard Edge and for the summer period only at the Ballard Locks (starting in 2018).

CAPITOL HILL

In late 2017, SDOT will extend paid parking hours in the Capitol Hill North, Capitol Hill South, and Pike-Pine area to 10 PM. Data collected in Capitol Hill for several years show parking is very challenging late into the night, which limits access for customers and contributes to traffic congestion from people circling for parking. As part of the Adopted 2017 Budget, the Mayor and City Council directed SDOT to implement late night parking hours in these areas consistent with the data and our policies.

OTHER NEIGHBORHOODS

SDOT plans to review all areas that have evening paid parking hours to determine whether and when it might be appropriate to extend hours in other paid areas later into the night. We will look at occupancy in the 8 PM and 9 PM hours to see if they are above the target range, to determine whether changes should be made. In initial review of the 2017 study results, other paid parking areas with high parking occupancy well past 8 PM are 12th Avenue, Ballard Core, Chinatown/ID Core, First Hill, and Green Lake. As part of the 2018 Annual Paid Parking Study, SDOT will again collect hourly occupancy into the late night in these areas to see if changes to parking hours are warranted.

Data Tables

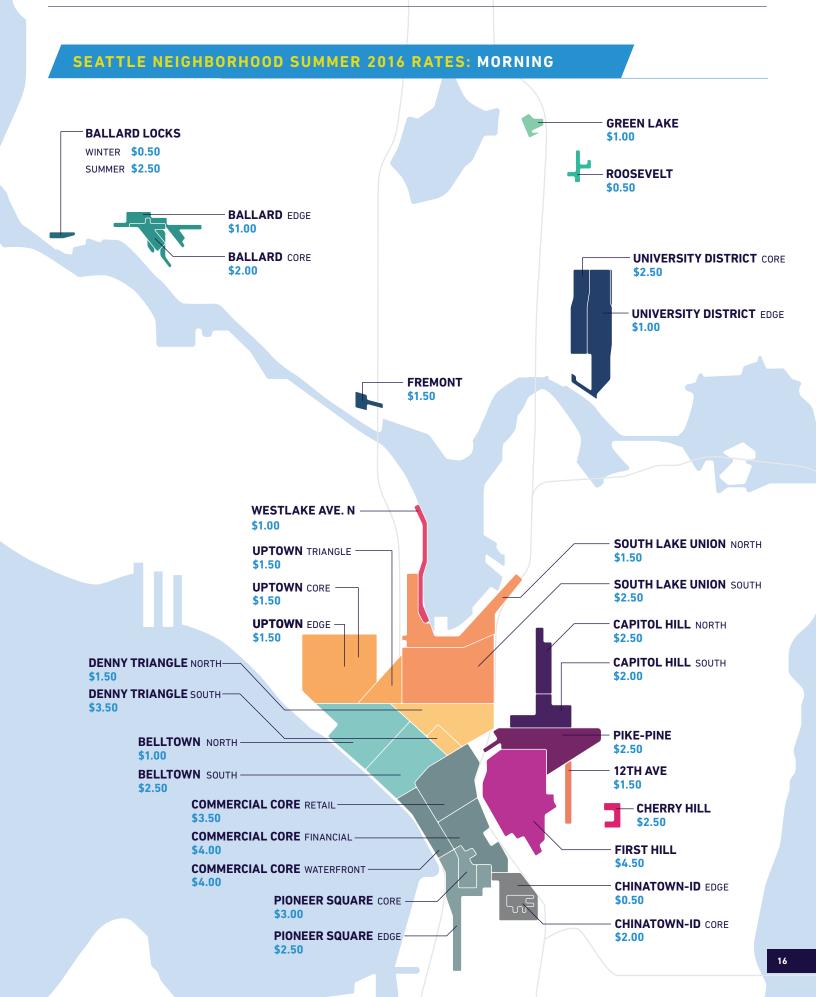
These tables summarize occupancy and rate changes for all paid parking areas. They are followed by individual neighborhood subarea pages which provide further details for each paid area.

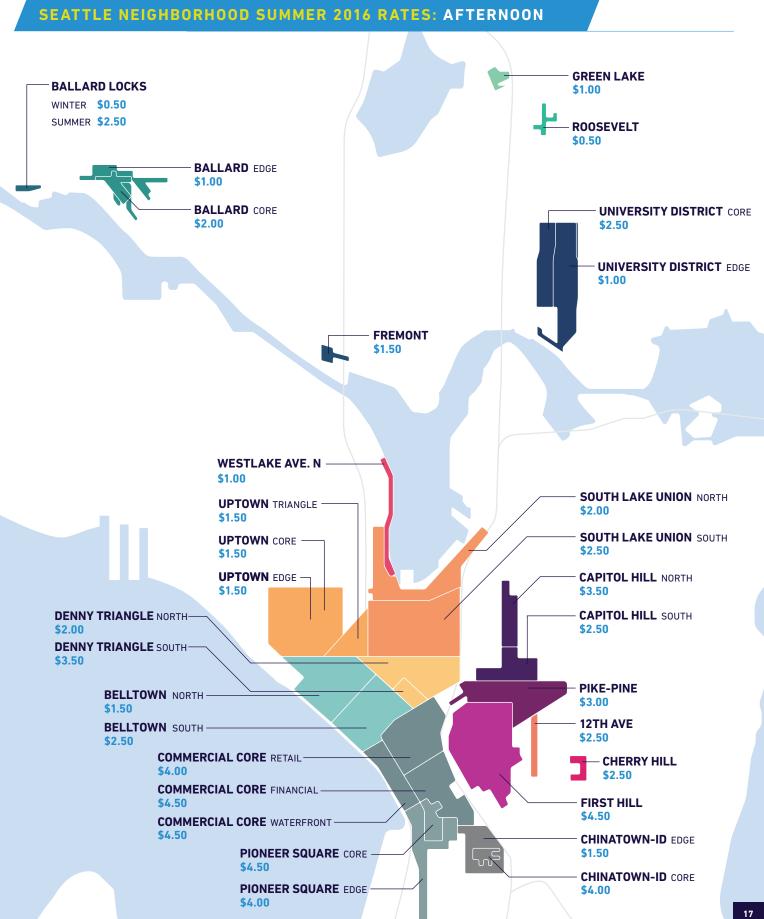
TABLE A: CURRENT PARKING RATES, HOURS, LIMITS, AND SPACES

Area	Subarea	8 AM-11 AM	11 AM-5 PM or 6 PM	5 PM-8 PM	Hours	Time Limit (during paid hours)	Paid Spaces (as of April 2017)
12 th Ave		\$1.50	\$2.50	\$2.50	8 AM-8 PM	2 hrs/3 hrs after 5 PM	74
Ballard	Core	\$2.00	\$2.00	\$2.00	8 AM-8 PM	2 hrs/3 hrs after 5 PM	206
Ballaru	Edge	\$1.00	\$1.00	-	8 AM-6 PM	4 hours	348
Ballard Locks	Winter	\$0.50	\$0.50	-	8 AM-6 PM	4 hours	80
Dallal u LUCKS	Summer	\$2.50	\$2.50	-	8 AM-6 PM	4 hours	80
Belltown	North	\$1.00	\$1.50	\$1.50	8 AM-8 PM	4 hours	1,198
Belliown	South	\$2.50	\$2.50	\$2.50	8 AM-8 PM	2 hrs/3 hrs after 5 PM	742
Conital Hill	North	\$2.50	\$3.50	\$4.50	8 AM-8 PM	2 hrs/3 hrs after 5PM	112
Capitol Hill	South	\$2.00	\$2.50	\$3.50	8 AM-8 PM	2 or 4 hrs/3 hrs after 5 PM	254
Cherry Hill		\$2.50	\$2.50	\$1.50	8 AM-8 PM	2 hrs/3 hrs after 5 PM	53
Chinatown-ID	Core	\$2.00	\$4.00	\$2.50	8 AM-8 PM	2 hours	155
CHIHAtown-ID	Edge	\$0.50	\$1.50	\$1.50	8 AM-8 PM	2 hours	271
	Financial	\$4.00	\$4.50	\$3.50	8 AM-8 PM	2 hrs/3 hrs after 5 PM	271
Commercial Core	Retail	\$3.50	\$4.00	\$3.50	8 AM-8 PM	2 hrs/3 hrs after 5 PM	378
	Waterfront	\$4.00	\$4.50	\$4.00	8 AM-8 PM	2 hrs/3 hrs after 5 PM	443
Denny	North	\$1.50	\$2.00	-	8 AM-6 PM	4 hours	467
Triangle	South	\$3.50	\$3.50	\$3.00	8 AM-8 PM	2 hrs/3 hrs after 5 PM	124
First Hill		\$4.50	\$4.50	\$4.50	8 AM-8 PM	2 hrs/3 hrs after 5 PM	1,073
Fremont		\$1.50	\$1.50	\$1.50	8 AM-8 PM	2 hrs/3 hrs after 5 PM	79
Green Lake		\$1.00	\$1.00	\$1.00	8 AM-8 PM	2 hrs/3 hrs after 5 PM	106
Pike-Pine		\$2.50	\$3.00	\$3.50	8 AM-8 PM	2 hrs/3 or 4 hrs after 5 PM	740
Pioneer	Core	\$3.00	\$4.50	-	8 AM-6 PM	2 hours	216
Square	Edge	\$2.50	\$4.00	-	8 AM-6 PM	2 hours	344

Area	Subarea	8 AM-11 AM	11 AM-5 PM or 6 PM	5 PM-8 PM	Hours	Time Limit (during paid hours)	Paid Spaces (as of April 2017)
Roosevelt		\$0.50	\$0.50	\$0.50	8 AM-8 PM	4 hours	81
South	North	\$1.50	\$2.00	-	8 AM-6 PM	2 or 10 hours	547
Lake Union	South	\$2.50	\$2.50	-	8 AM-6 PM	2 or 10 hours	1,175
University	Core	\$2.50	\$2.50	\$2.50	8 AM-8 PM	2 hrs/3 hrs after 5 PM	553
District	Edge	\$1.00	\$1.00	-	8 AM-6 PM	4 hours	232
linterre	Core	\$1.50	\$1.50	\$1.50	8 AM-8 PM	2 hrs/3 hrs after 5 PM	134
Uptown	Edge	\$1.50	\$1.50	\$1.50	8 AM-8 PM	4 hours	490
Uptown Triangle		\$1.50	\$1.50	-	8 AM-6 PM	4 or 10 hours	250
Westlake Ave N		\$1.00	\$1.00	-	9 AM-4 PM	2, 4, or 72 hours	708

TABLE A CONT.: CURRENT PARKING RATES, HOURS, LIMITS, AND SPACES





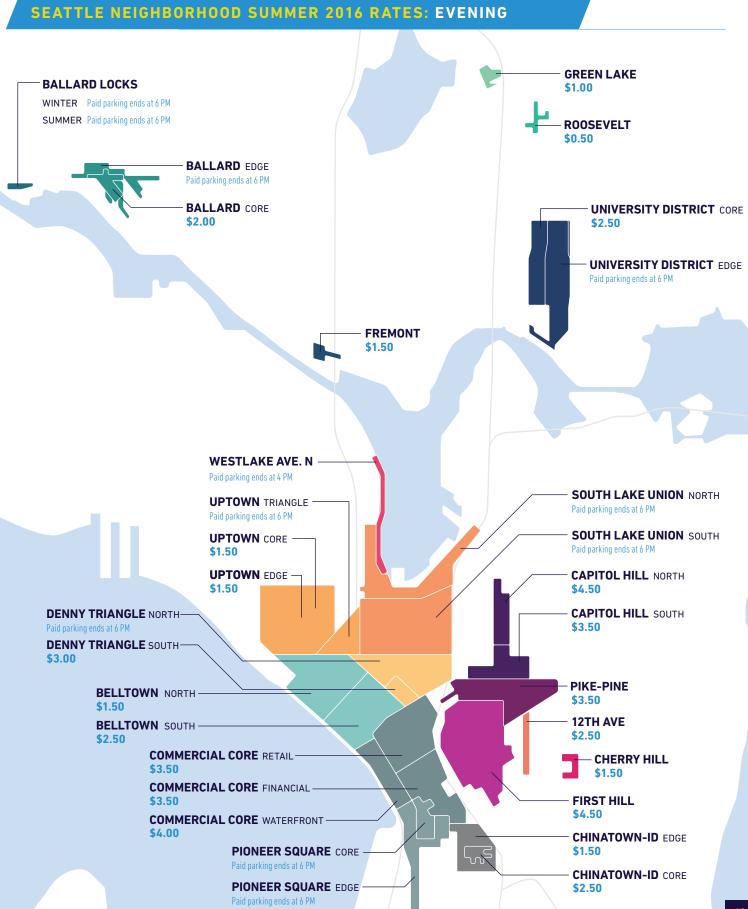


TABLE B: 2016 AND 2017 OCCUPANCY SUMMARY BY AREA

		2	2016 OCCUPANC	Υ	2017 OCCUPANCY			
Area	Subarea	9 AM-10 AM	11 AM-4 PM	6 PM-7 PM	9 AM-10 AM	11 AM-4 PM	6 PM-7 PM	
12 th Ave		63%	91%	104%	56%	86%	97%	
5	Core	42%	75%	102%	44%	78%	87%	
Ballard	Edge	69%	77%	88%	63%	83%	89%	
Delland Lasks	Winter	4%	36%	21%	4%	19%	10%	
Ballard Locks	Summer	15%	83%	61%	16%	81%	71%	
Dellhaum	North	57%	74%	69%	72%	87%	79%	
Belltown	South	77%	89%	86%	80%	91%	85%	
0	North	42%	76%	90%	36%	71%	92%	
Capitol Hill	South	62%	72%	96%	64%	70%	84%	
Cherry Hill		97%	98%	55%	100%	98%	49%	
	Core	63%	96%	91%	61%	96%	92%	
Chinatown-ID	Edge	60%	88%	72%	73%	93%	72%	
	Financial	84%	94%	56%	83%	90%	53%	
Commercial Core	Retail	63%	77%	62%	71%	88%	71%	
	Waterfront	84%	94%	73%	56%	89%	77%	
Denny	North	88%	94%	78%	83%	88%	69%	
Triangle	South	96%	99%	86%	75%	94%	80%	
First Hill		93%	95%	89%	90%	93%	84%	
Fremont		45%	82%	85%	43%	76%	64%	
Green Lake		58%	102%	105%	73%	80%	103%	
Pike-Pine		47%	73%	92%	60%	78%	98%	
Pioneer	Core	86%	101%	84%	73%	98%	82%	
Square	Edge	84%	103%	80%	75%	92%	81%	

		2	016 OCCUPANC	Υ	2017 OCCUPANCY			
Area	Subarea	9 AM-10 AM	11 AM-4 PM	6 PM-7 PM	9 AM-10 AM	11 AM-4 PM	6 PM-7 PM	
Roosevelt		20%	54%	61%	58%	91%	76%	
South	North	65%	81%	50%	76%	83%	44%	
Lake Union	South	85%	91%	77%	89%	93%	75%	
University	Core	62%	77%	84%	58%	75%	67%	
District	Edge	75%	77%	52%	78%	79%	71%	
Untruce	Core	36%	72%	102%	39%	65%	78%	
Uptown	Edge	52%	75%	96%	55%	66%	71%	
Uptown Triangle		35%	64%	59%	41%	65%	72%	
Westlake Ave N		69%	79%	50%	79%	90%	55%	

TABLE B CONT.: 2016 AND 2017 OCCUPANCY SUMMARY BY AREA

TABLE C: TABLE SUMMARY OF RATE AND HOUR CHANGES

			RATE CHANGE		
Area	Subarea	Morning	Afternoon	Evening	Evening Hours Change
12 th Ave		Decrease	High Watch	Increase	-
Ballard	Core	Decrease	-	Increase	-
Ballaru	Edge	Decrease	-	-	Extend to 8 PM
Ballard Locks	Summer	Decrease	-	-	Extend to 8 PM
Belltown	North	-	High Watch	-	-
Dellowii	South	-	Increase	-	-
Conitol I lill	North	Decrease	-	Decrease	Extend to 10 PM
Capitol Hill	South	Decrease	-	Decrease	Extend to 10 PM
Cherry Hill		Increase	Increase	Decrease	-
Chinatown-ID	Core	Decrease	Increase	Increase	-
Chinatown-iD	Edge	-	Increase	-	-
	Financial	-	High Watch	Decrease	-
Commercial Core	Retail	-	High Watch	-	-
	Waterfront	Decrease	High Watch	-	-
Denny	North	-	High Watch	-	-
Triangle	South	-	Increase	-	-
First Hill		High Watch	Increase	-	-
Fremont		Decrease	-	-	-
Green Lake		-	-	Increase	-
Pike-Pine		Decrease	-	Decrease	Extend to 10 PM
Pioneer	Core	-	Increase	-	-
Square	Edge	-	Increase	-	-

TABLE C CONT.: TABLE SUMMARY OF RATE AND HOUR CHANGES

			RATE CHANGE		
Area	Subarea	Morning	Afternoon	Evening	Evening Hours Change
Roosevelt		-	Increase	-	-
South Lake Union	South	High Watch	Increase	-	-
University District	Core	Decrease	-	Low Watch	-
Uptown	Core	Decrease	Low Watch	-	-
Optown	Edge	Decrease	Low Watch	-	-
Uptown Triangle		Decrease	Decrease	-	-
Westlake Ave N		-	High Watch	-	-

TABLE D: 2017 NEW RATES AND HOURS

Area	Subarea	8 AM-11 AM	11 AM-5 PM or 6 PM	5 PM-8 PM or 10 PM	Hours	Time Limit (during paid hours)
12 th Ave		\$1.00	\$2.50	\$3.00	8 AM-8 PM	2 hrs/3 hrs after 5 PM
Ballard	Core	\$1.50	\$2.00	\$2.50	8 AM-8 PM	2 hrs/3 hrs after 5 PM
Dallaru	Edge	\$0.50	\$1.00	\$1.00	8 AM-8 PM	4 hours
Ballard Locks	Winter	\$0.50	\$0.50	-	8 AM-6 PM	4 hours
Dallal u LUCKS	Summer	\$2.00	\$2.50	\$2.50	8 AM-8 PM	4 hours
Dellheure	North	\$1.00	\$1.50	\$1.50	8 AM-8 PM	4 hours
Belltown	South	\$2.50	\$3.00	\$2.50	8 AM-8 PM	2 hrs/3 hrs after 5 PM
Conital Hill	North	\$2.00	\$3.50	\$4.00	8 AM-10 PM	2 hrs/No time limit after 5 PM
Capitol Hill	South	\$1.50	\$2.50	\$3.00	8 AM-10 PM	2 or 4 hrs/No time limit after 5 PM
Cherry Hill		\$3.00	\$3.00	\$1.00	8 AM-8 PM	2 hrs/3 hrs after 5PM
Chinataura ID	Core	\$1.50	\$4.50	\$3.00	8 AM-8 PM	2 hours
Chinatown-ID	Edge	\$0.50	\$2.00	\$1.50	8 AM-8 PM	2 hours
	Financial	\$4.00	\$4.50	\$3.00	8 AM-8 PM	2 hrs/3 hrs after 5 PM
Commercial Core	Retail	\$3.50	\$4.00	\$3.50	8 AM-8 PM	2 hrs/3 hrs after 5 PM
	Waterfront	\$3.50	\$4.50	\$4.00	8 AM-8 PM	2 or 4 hrs/3 hrs after 5 PM
Denny	North	\$1.50	\$2.00	-	8 AM-6 PM	4 hours
Triangle	South	\$3.50	\$4.00	\$3.00	8 AM-8 PM	2 or 4 hrs/3 hrs after 5 PM
First Hill		\$4.50	\$5.00	\$4.50	8 AM-8 PM	2 hrs/3 hrs after 5 PM
Fremont		\$1.00	\$1.50	\$1.50	8 AM-8 PM	2 hrs/3 hrs after 5 PM
Green Lake		\$1.00	\$1.00	\$1.50	8 AM-8 PM	2 hrs/3 hrs after 5 PM
Pike-Pine		\$2.00	\$3.00	\$3.00	8 AM-10 PM	2 or 4 hrs/No time limit after 5 PM
Pioneer	Core	\$3.00	\$5.00	-	8 AM-6 PM	2 hours
Square	Edge	\$2.50	\$4.50	-	8 AM-6 PM	2 hours

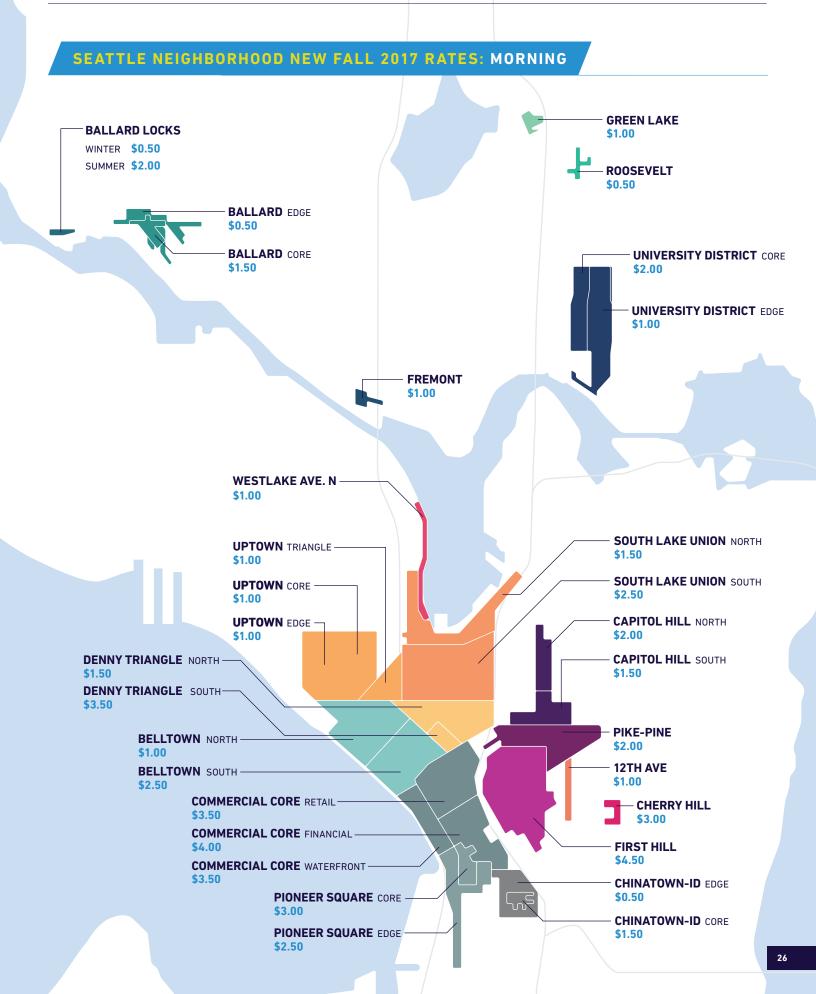
Area	Subarea	8 AM-11 AM	11 AM-5 PM or 6 PM	5 PM-8 PM	Hours	Time Limit (during paid hours)
Roosevelt		\$0.50	\$1.00	\$0.50	8 AM-8 PM	4 hours
South	North	\$1.50	\$2.00	-	8 AM-6 PM	2 or 10 hours
Lake Union	South	\$2.50	\$3.00	-	8 AM-6 PM	2 or 10 hours
University	Core	\$2.00	\$2.50	\$2.50	8 AM-8 PM	2 hrs/3 hrs after 5PM
District	Edge	\$1.00	\$1.00	-	8 AM-6 PM	4 hours
	Core	\$1.00	\$1.50	\$1.50	8 AM-8 PM	2 hrs/3 hrs after 5PM
Uptown	Edge	\$1.00	\$1.50	\$1.50	8 AM-8 PM	4 hours
Uptown Triangle		\$1.00	\$1.00	-	8 AM-6 PM	4 or 10 hours
Westlake Ave N**		\$1.00	\$1.00	-	9 AM-4 PM	2, 4, or 72 hours

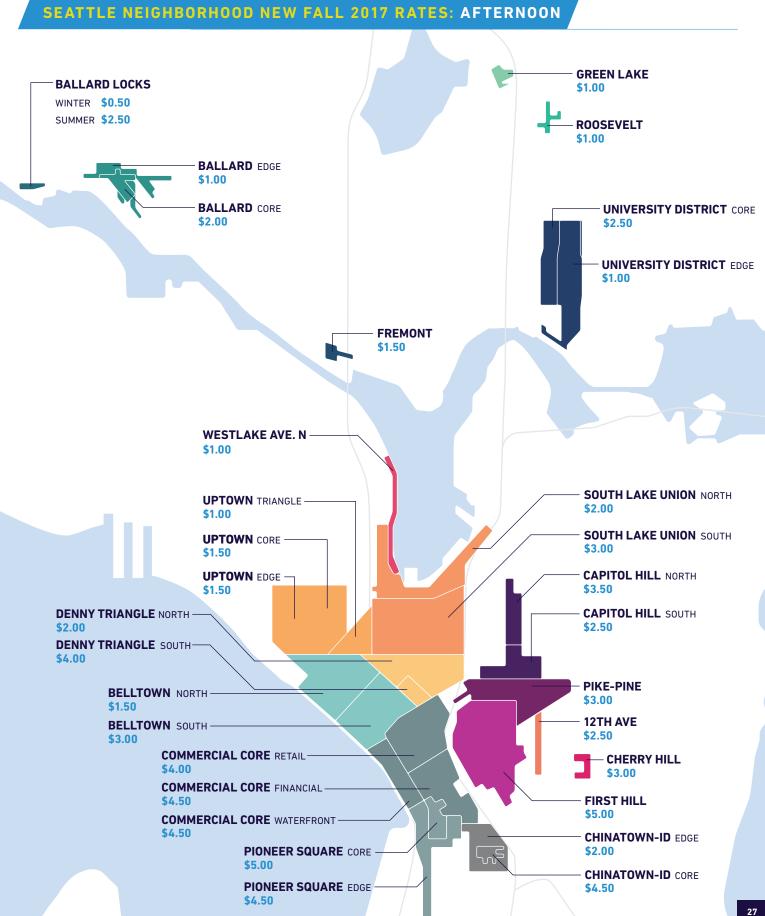
TABLE D CONT.: 2017 NEW RATES AND HOURS

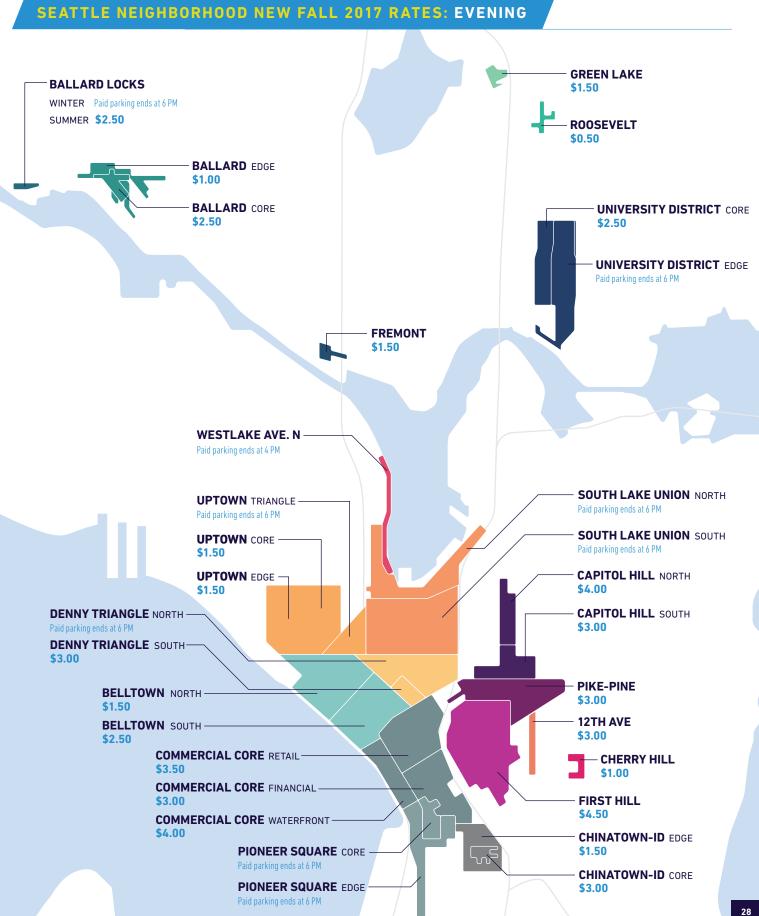
 $\ensuremath{^{**}}$ Westlake Avenue N paid parking is only in effect Monday-Friday.

TABLE E: 2017 WATCH LIST SUMMARY

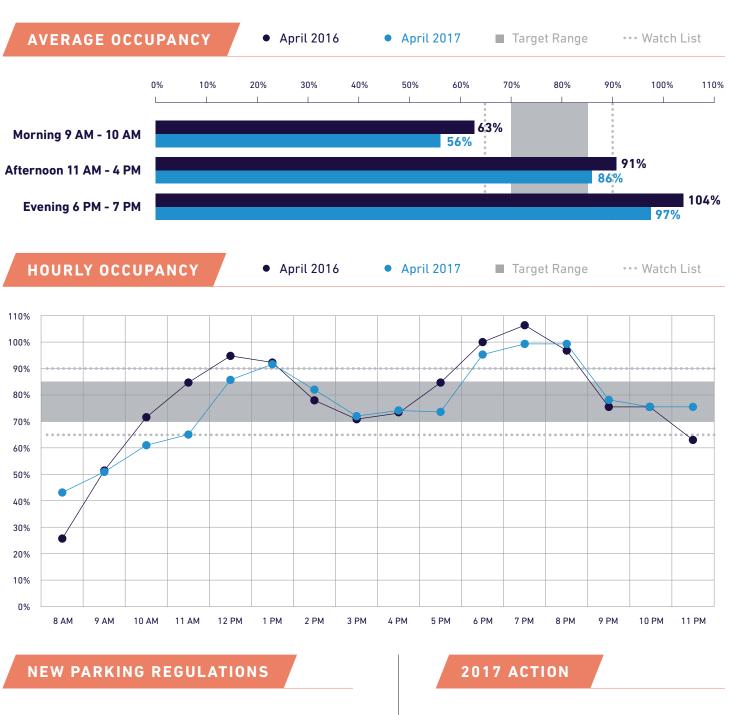
			2016			2017	
Area	Subarea	Morning	Afternoon	Evening	Morning	Afternoon	Evening
12 th Ave		-	-	-	-	High Watch	-
Belltown	North	-	-	-	-	High Watch	-
Belltown	South	-	High Watch	High Watch	-	-	-
Chinatown-ID	Edge	-	High Watch	-	-	-	-
	Financial	-	-	-	-	High Watch	-
Commercial Core	Retail	-	-	-	-	High Watch	-
	Waterfront	-	-	-	-	High Watch	-
Denny	North	High Watch	-	Low Watch	-	High Watch	-
Triangle	South	-	-	High Watch	-	-	-
First Hill		-	-	-	High Watch	-	-
Pioneer Square	Core	High Watch	-	-	-	-	-
South Lake Union	South	-	-	-	High Watch	-	-
University District	Core	-	-	-	-	-	Low Watch
	Core	-	-	-	-	Low Watch	-
Uptown	Edge	-	-	-	-	Low Watch	-
Westlake Ave N.		Low Watch	-	-	-	High Watch	-







12th Avenue





Rate Per Hour

8 AM - 11 AM \$1.00 11 AM - 5 PM \$2.50 5 PM - 8 PM \$3.00





Time Limit 2 hrs

3 hrs after 5 PM







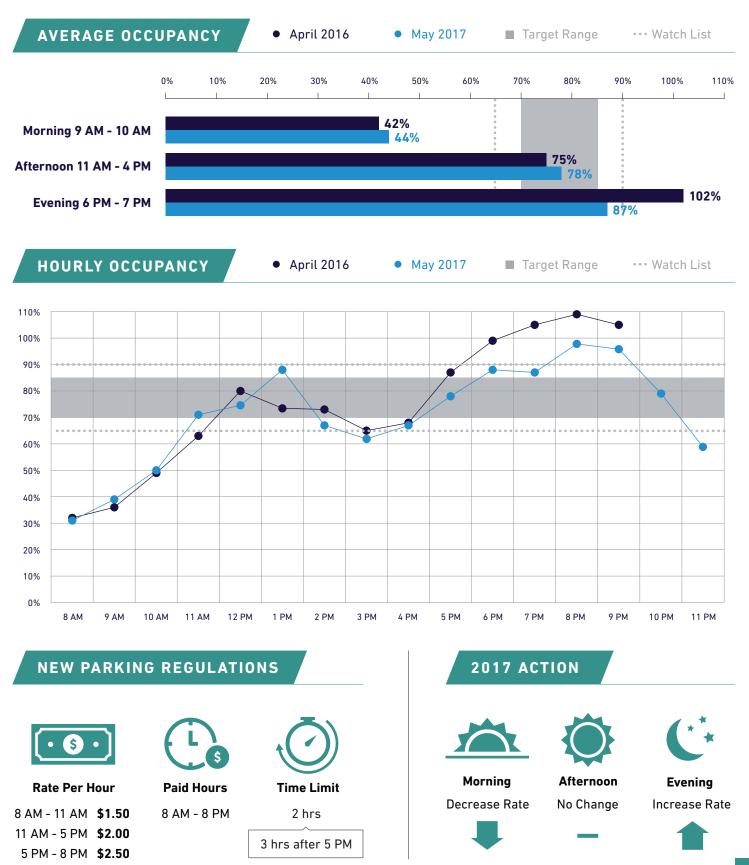
Afternoon



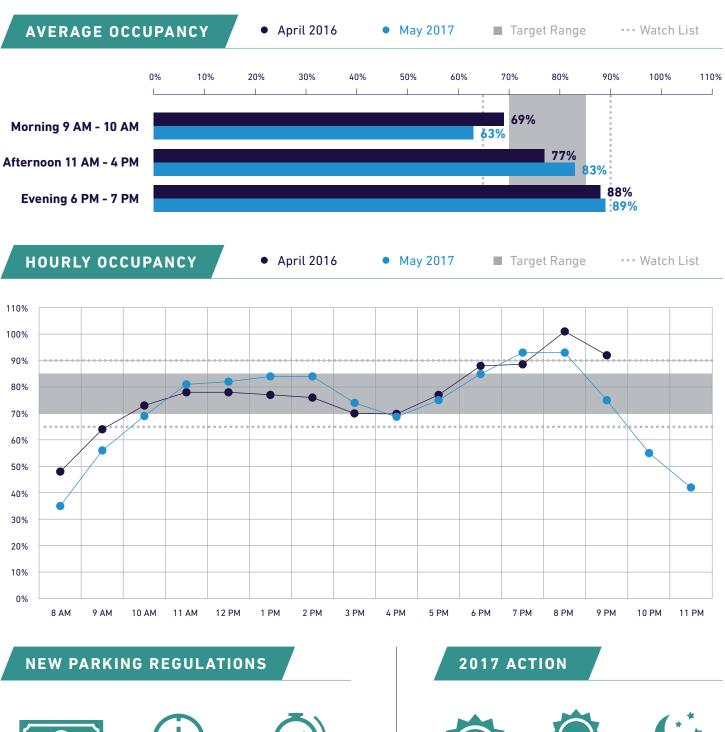


Increase Rate

Ballard Core



Ballard Edge



Rate Per Hour

Ŝ

8 AM - 11 AM **\$0.50** 11 AM - 5 PM **\$1.00** 5 PM - 8 PM **\$1.00** **Paid Hours** 8 AM - 8 PM

Time Limit



Morning

Decrease Rate



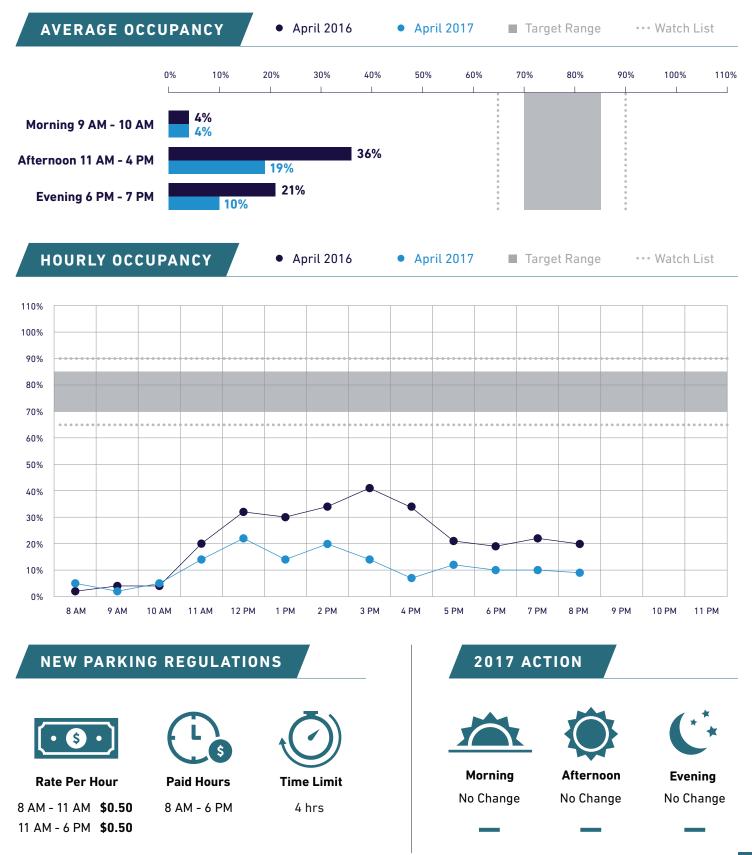
Afternoon

No Change

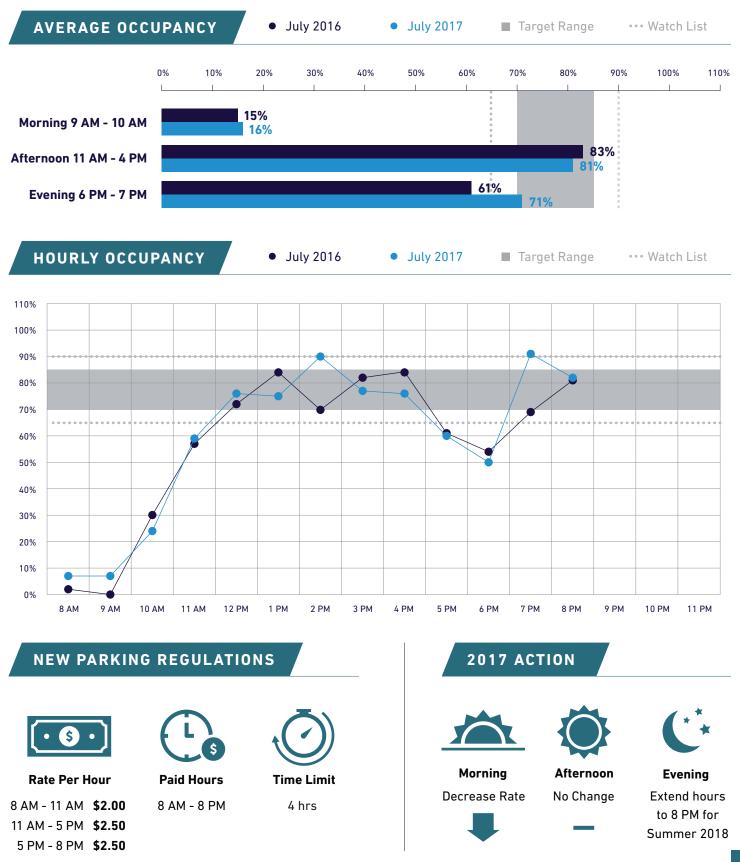


Evening Extend Paid Parking to 8 PM

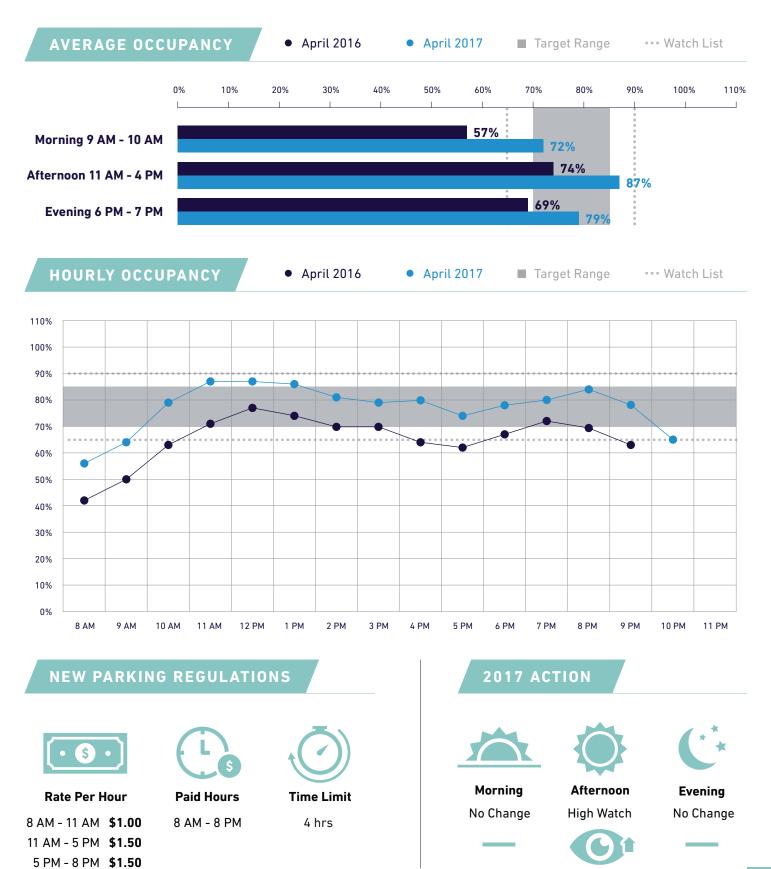
Ballard Locks Winter (rates in effect October-April)



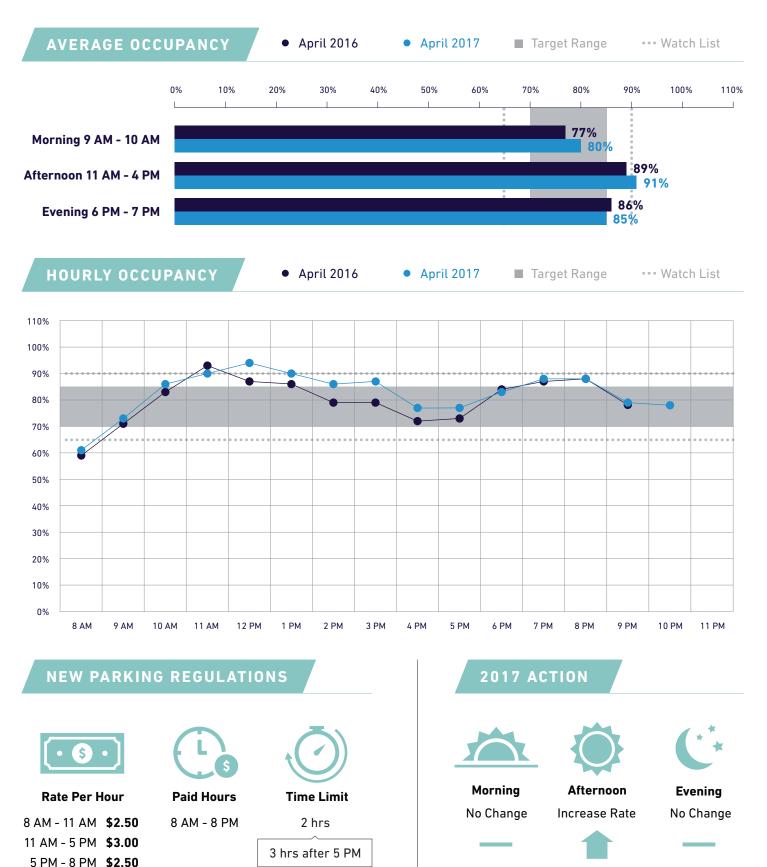
Ballard Locks Summer (rates in effect May-September)



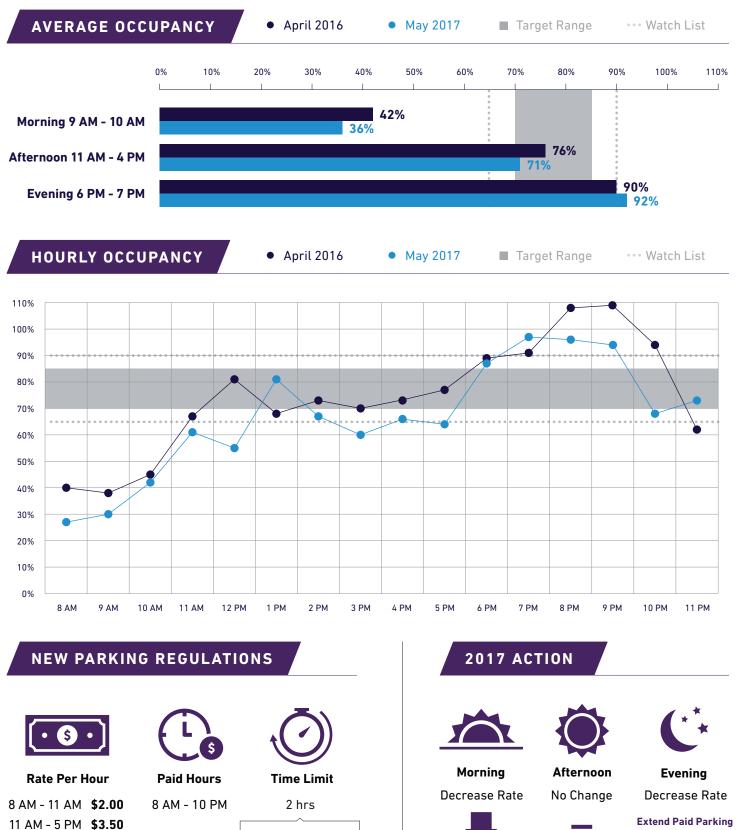
Belltown North



Belltown South



Capitol Hill North



No limit after 5 PM

5 PM - 10 PM \$4.00

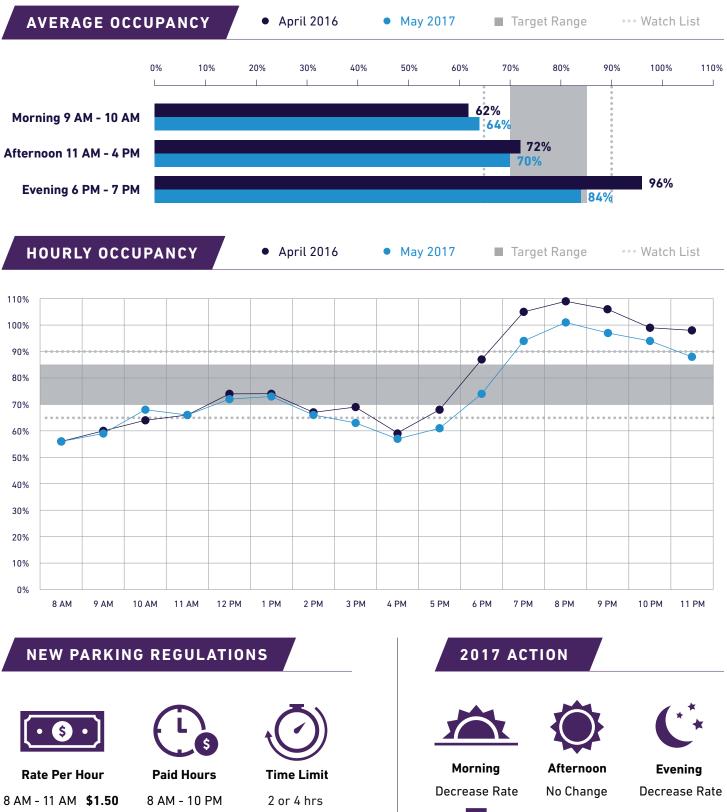
hours to 10 PM

36

Capitol Hill South

11 AM - 5 PM \$2.50

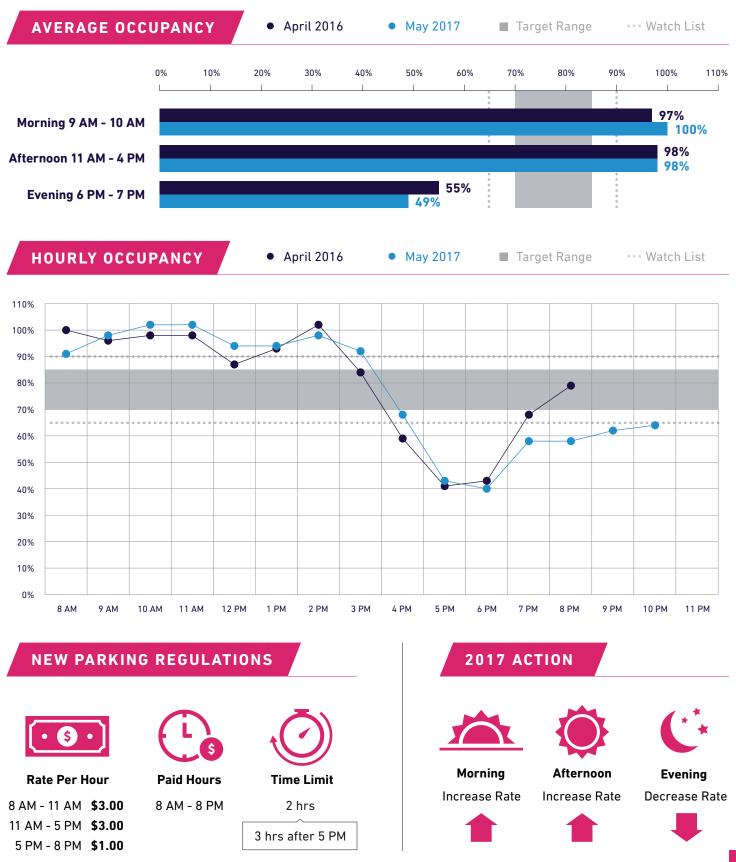
5 PM - 10 PM \$3.00



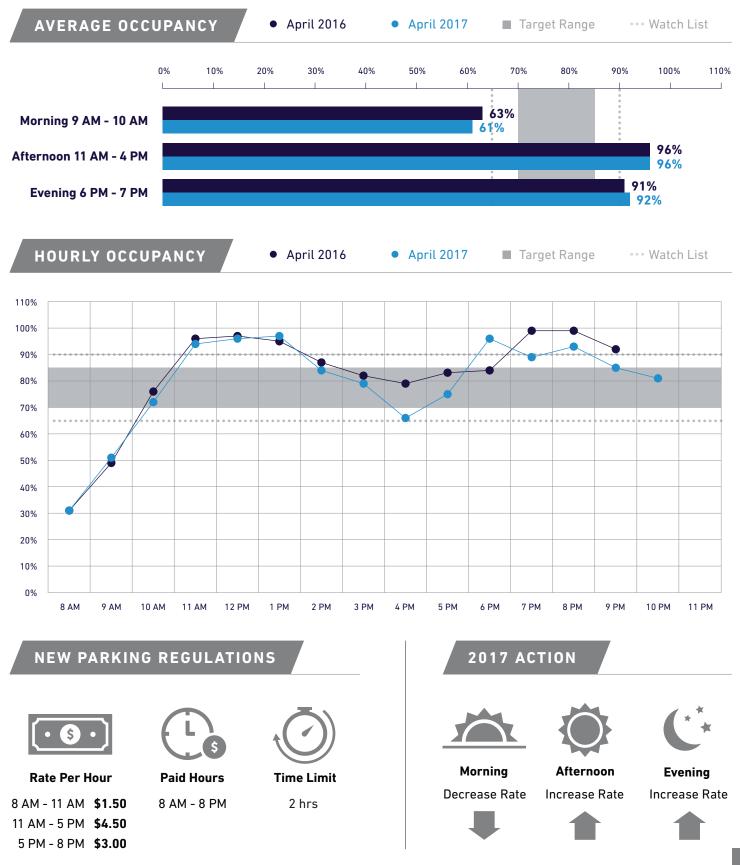
No limit after 5 PM

hours to 10 PM

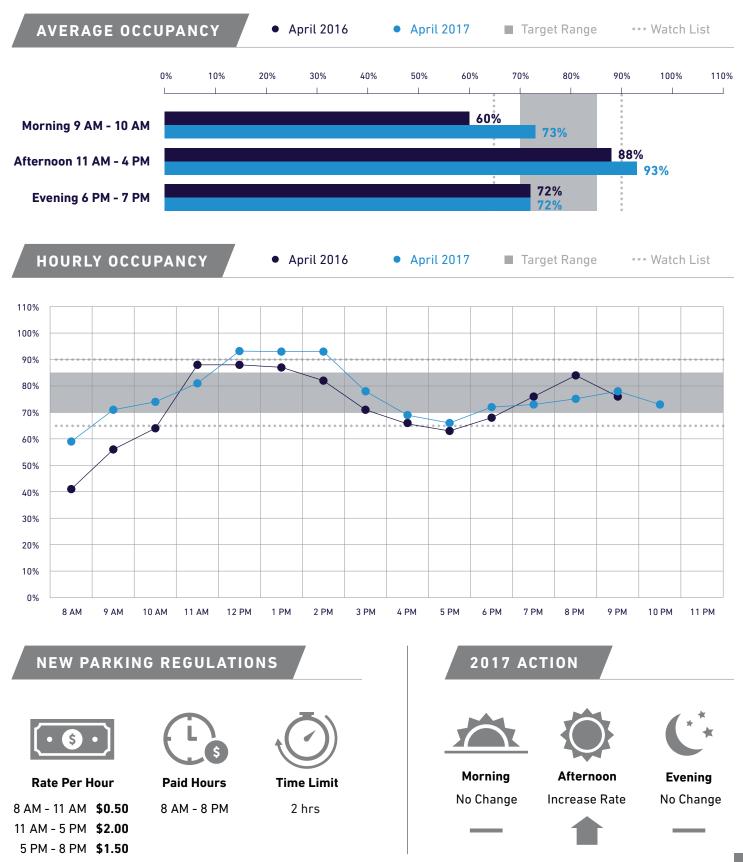
Cherry Hill



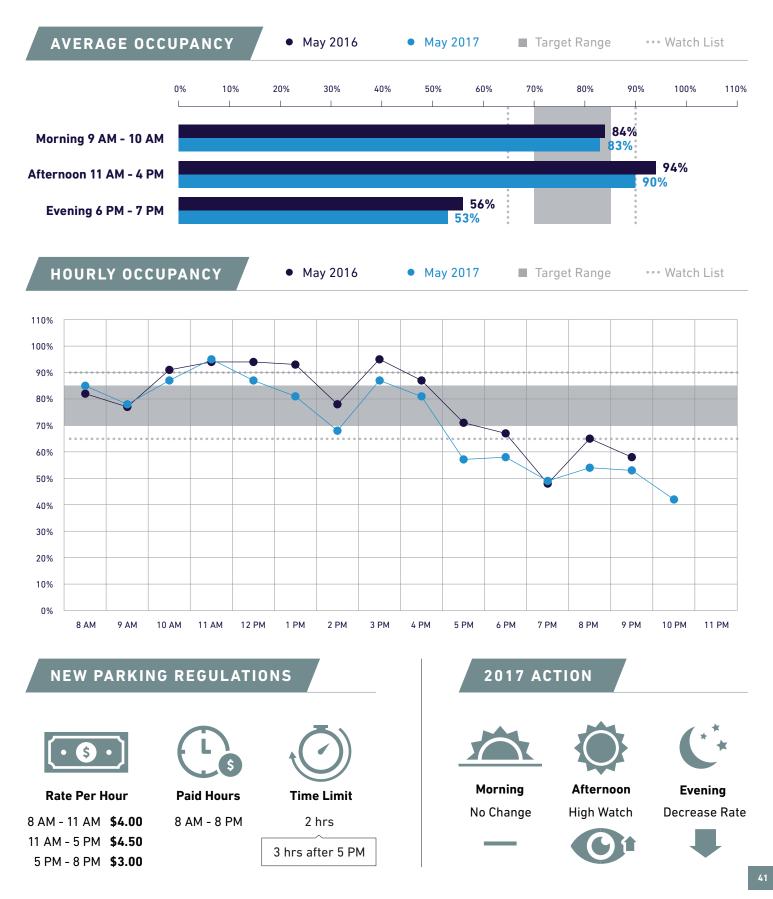
Chinatown/ID Core



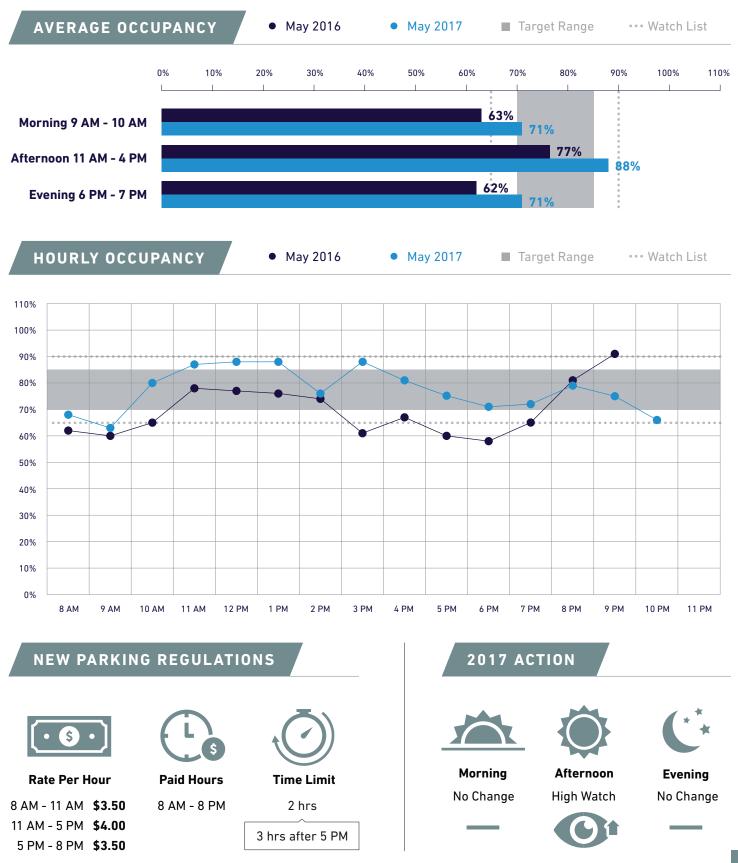
Chinatown/ID Edge



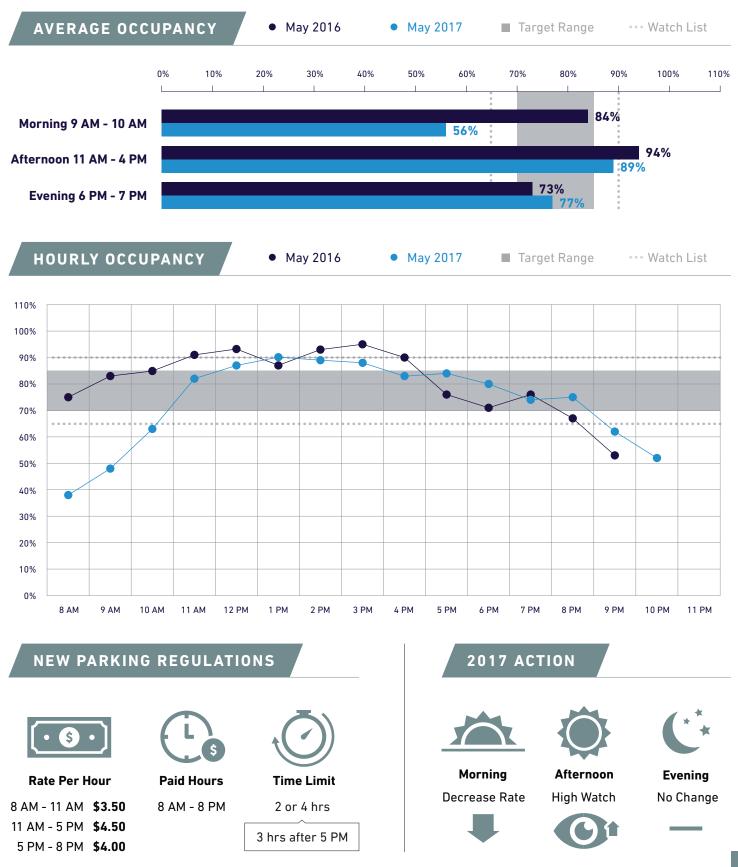
Commercial Core Financial



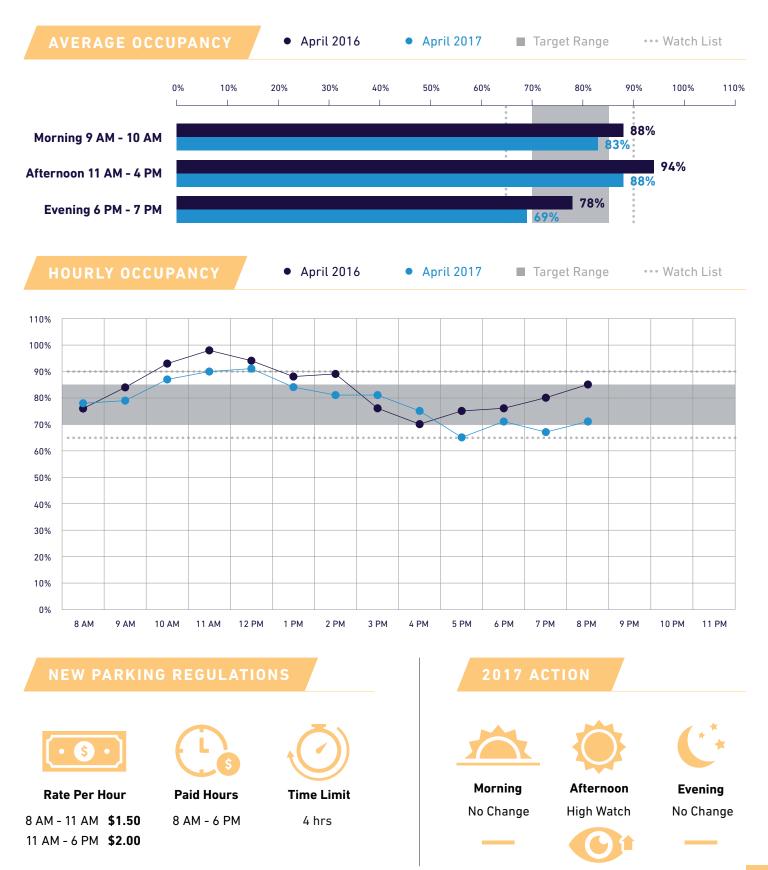
Commercial Core Retail



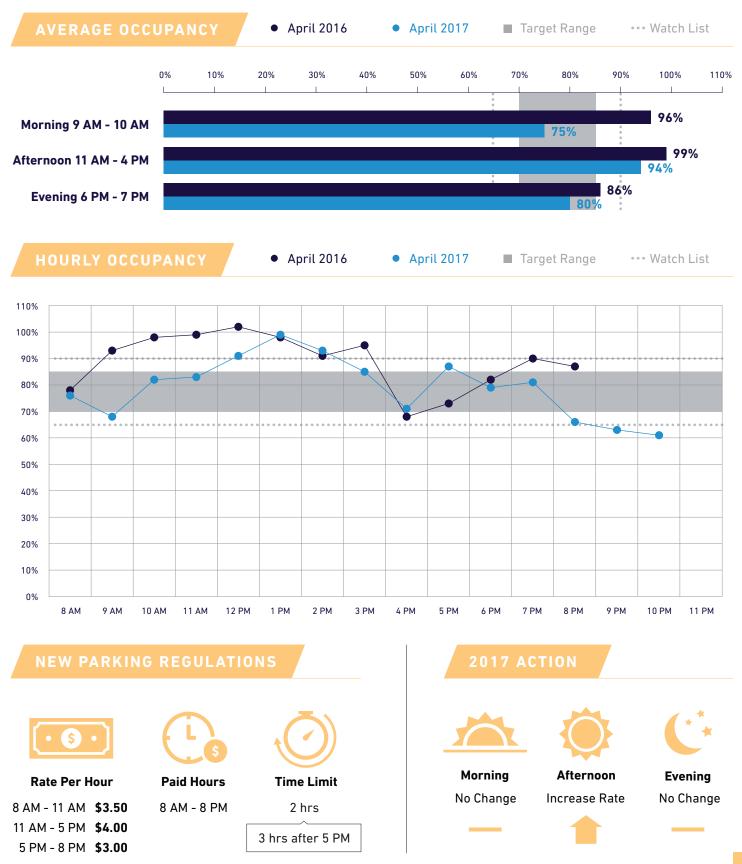
Commercial Core Waterfront



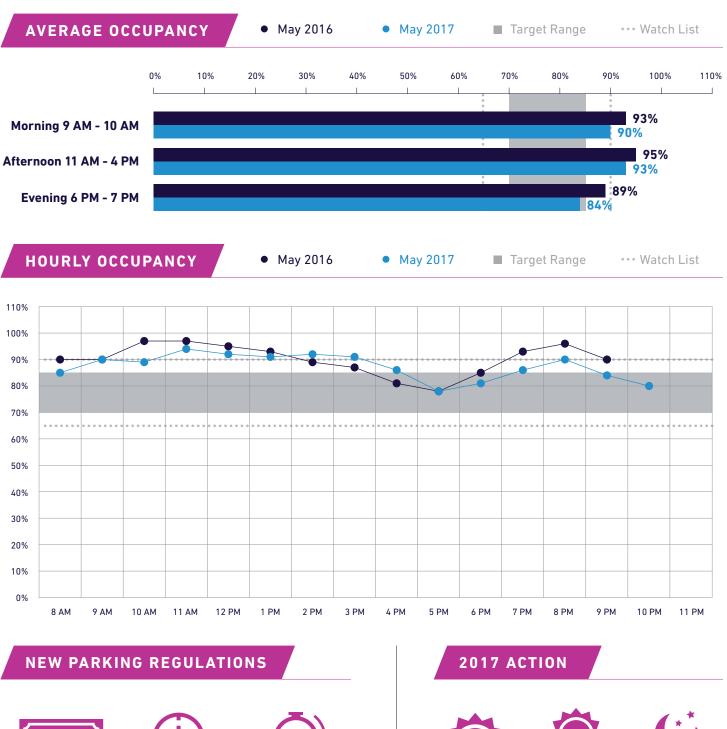
Denny Triangle North



Denny Triangle South



First Hill



Rate Per Hour

8 AM - 11 AM \$4.50 11 AM - 5 PM \$5.00 5 PM - 8 PM \$4.50



3 hrs after 5 PM

2 hrs



Morning

High Watch



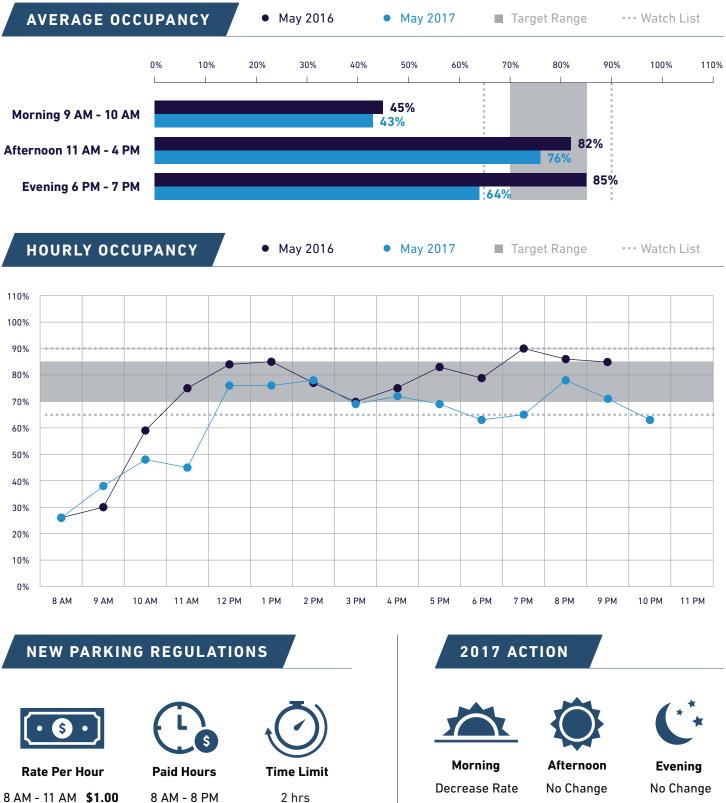


Evening

Afternoon **Increase Rate**

No Change

Fremont

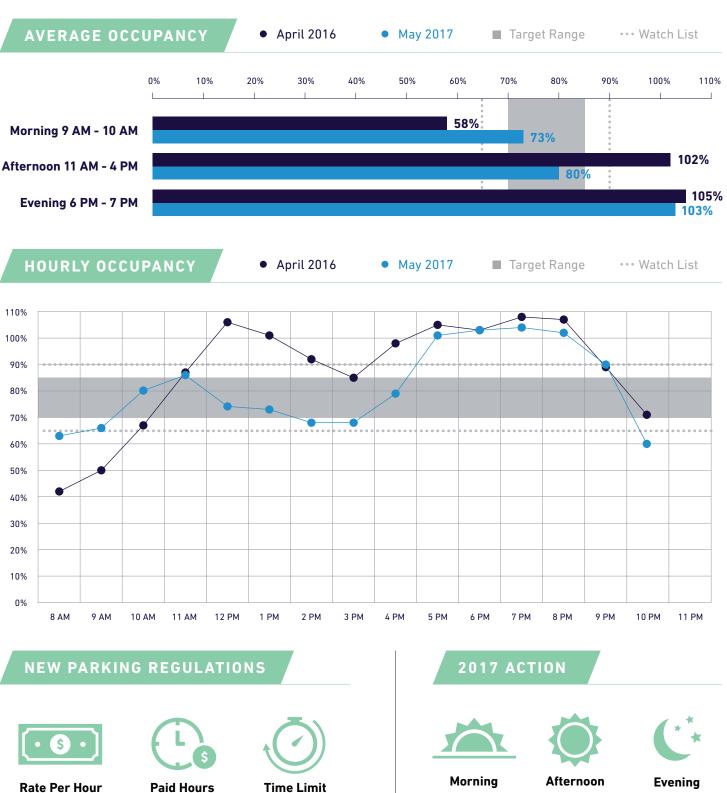


11 AM - 5 PM \$1.50 5 PM - 8 PM \$1.50

2 hrs 3 hrs after 5 PM

47

Green Lake



8 AM - 11 AM **\$1.00** 11 AM - 5 PM **\$1.00** 5 PM - 8 PM **\$1.50**



3 hrs after 5 PM

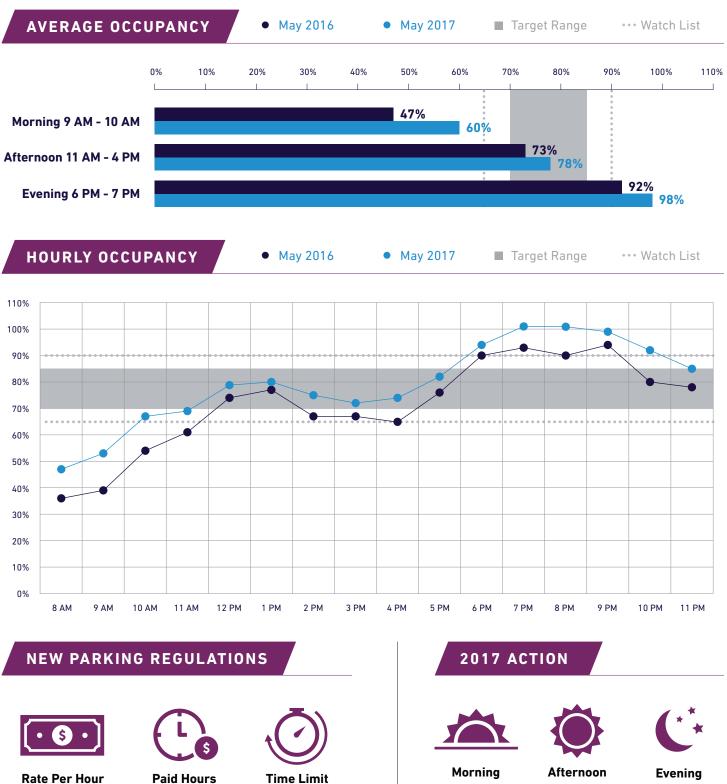
2 hrs

No Change

Increase Rate

No Change

Pike-Pine



8 AM - 11 AM \$2.00 11 AM - 5 PM \$3.00 5 PM - 10 PM \$3.00

Paid Hours 8 AM - 10 PM **Time Limit** 2 or 4 hrs

No limit after 5 PM

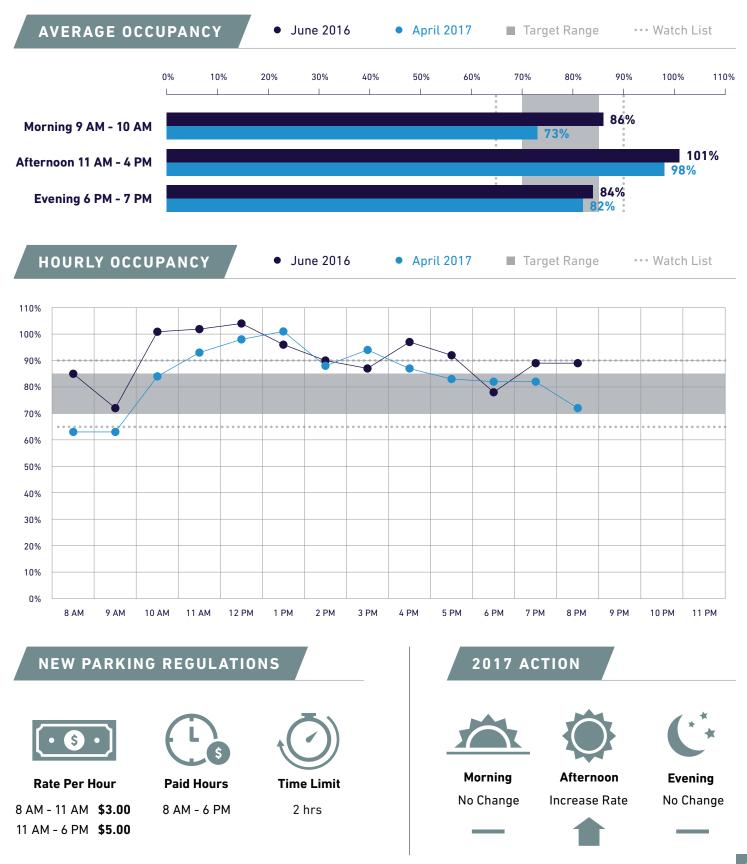
Decrease Rate

No Change

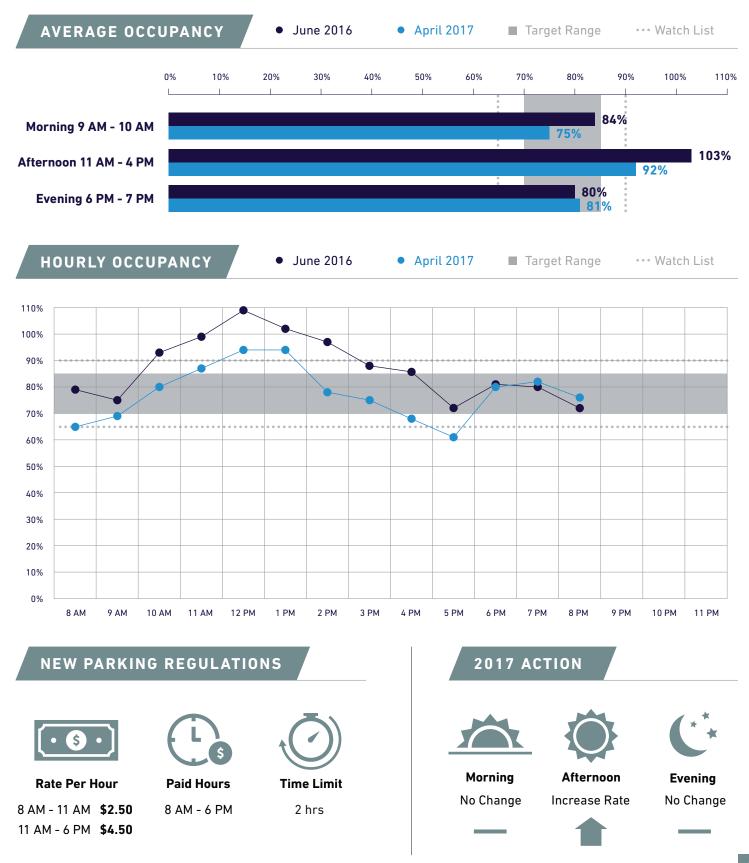
Decrease Rate

Extend Paid Parking hours to 10 PM

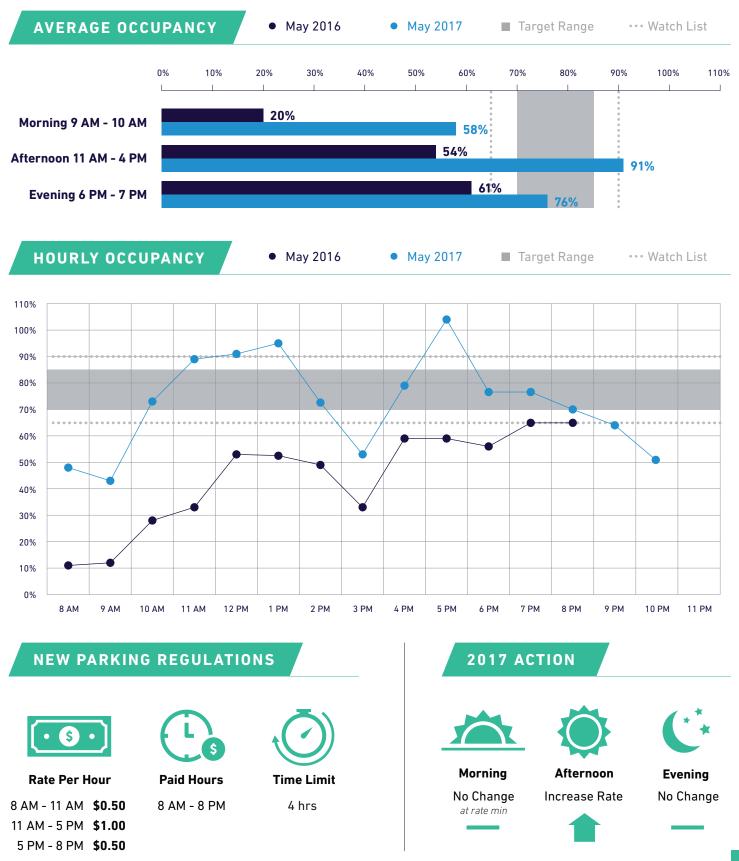
Pioneer Square Core



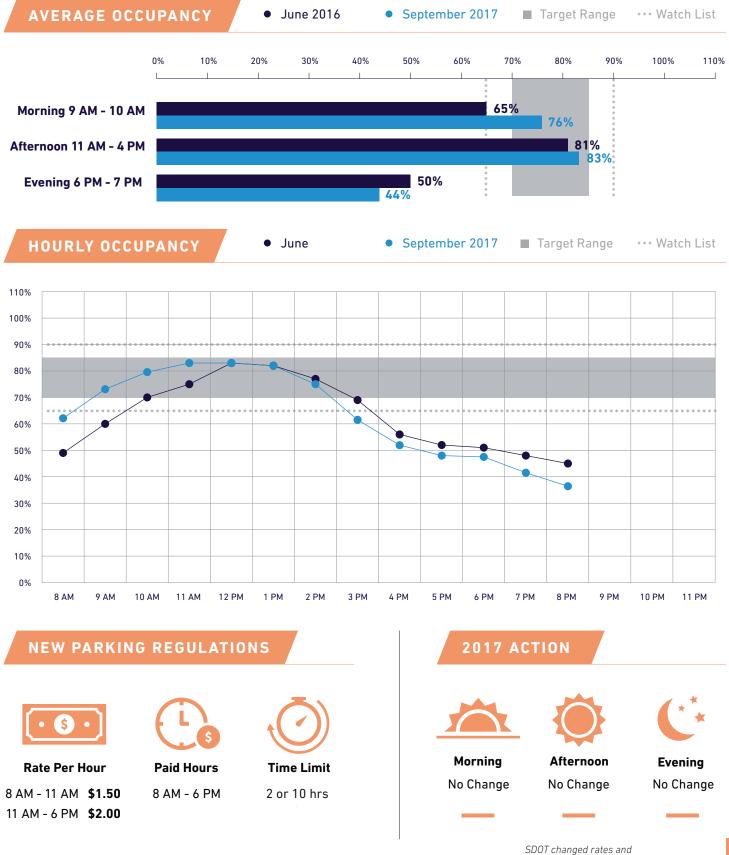
Pioneer Square Edge



Roosevelt

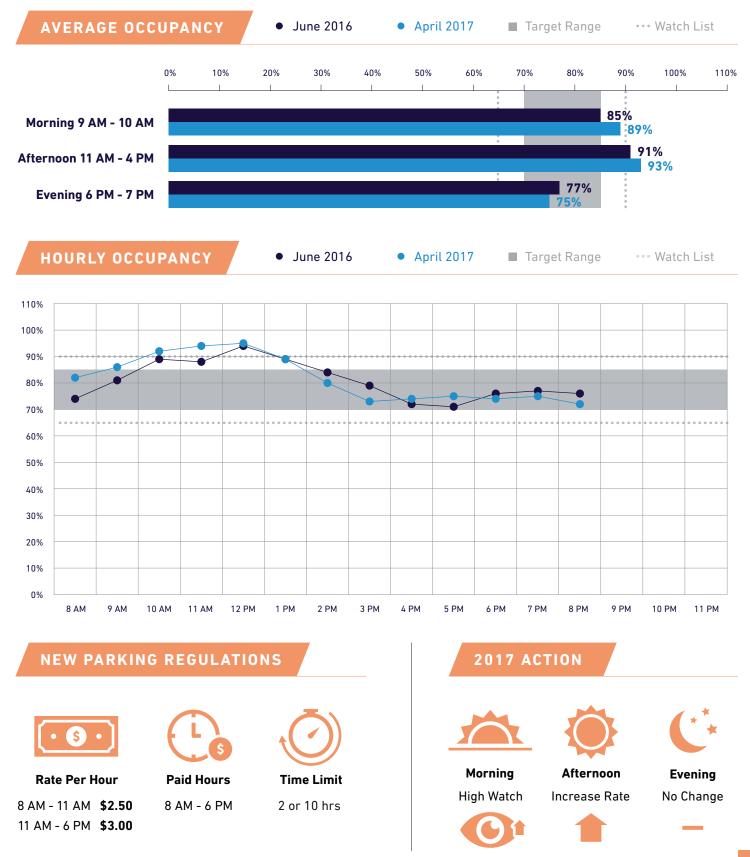


South Lake Union North

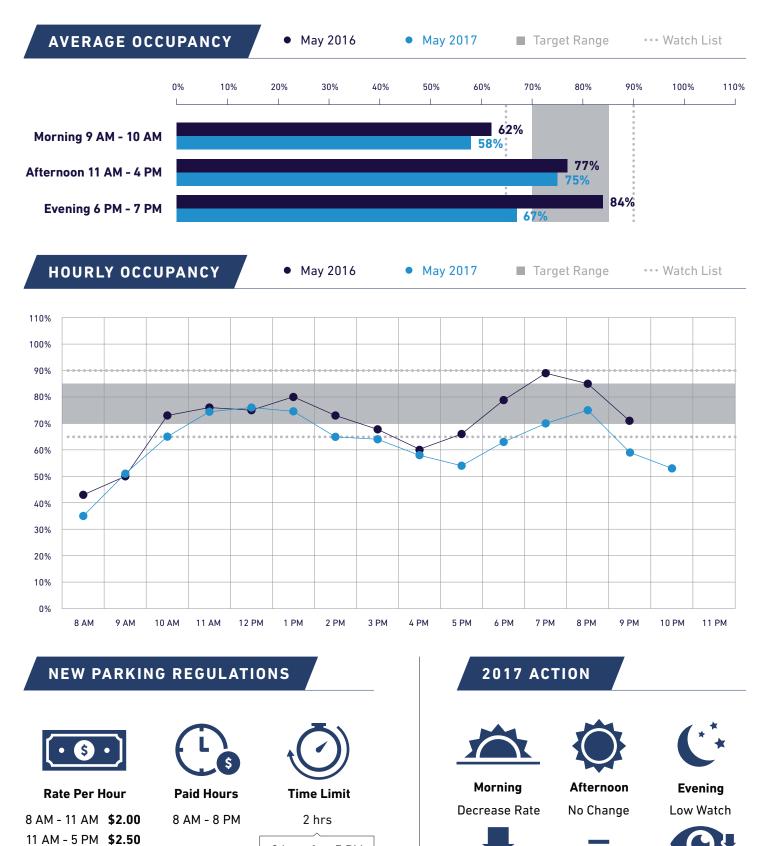


expanded area in 2017

South Lake Union South



University District Core

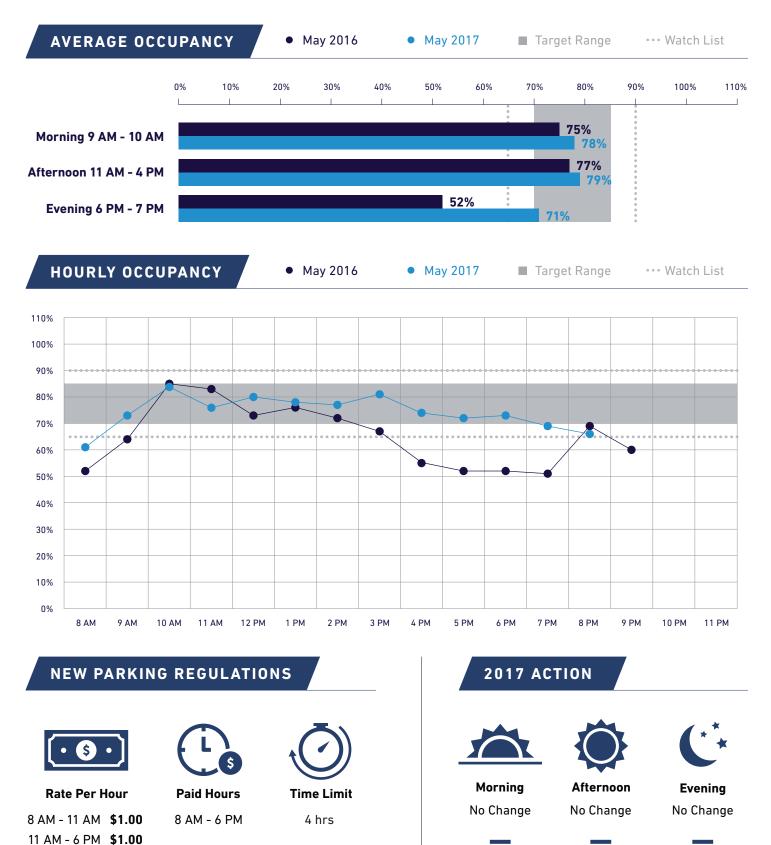


3 hrs after 5 PM

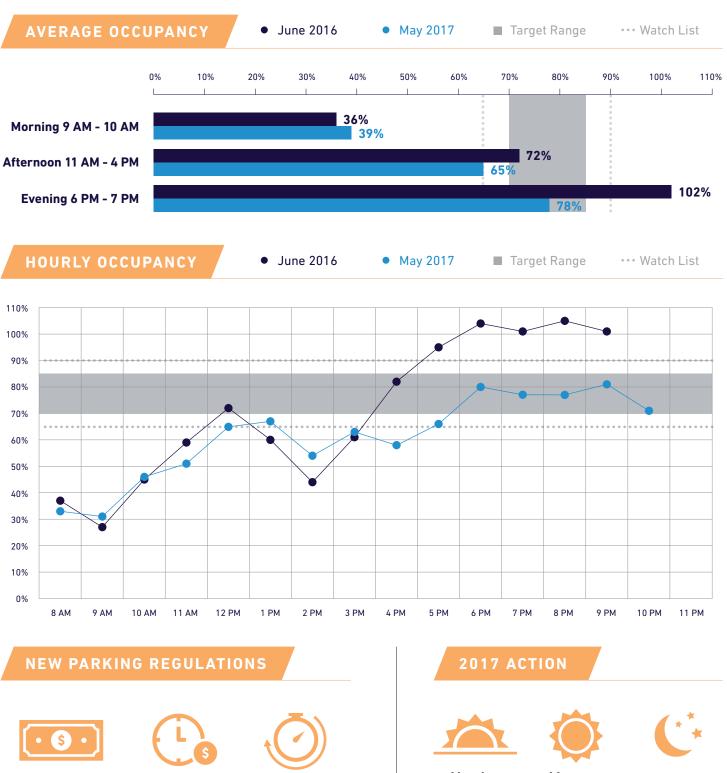
5 PM - 8 PM \$2.50

55

University District Edge



Uptown Core



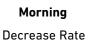
Rate Per Hour

8 AM - 11 AM \$1.00 11 AM - 5 PM \$1.50 5 PM - 8 PM \$1.50

Paid Hours 8 AM - 8 PM

2 hrs 3 hrs after 5 PM

Time Limit

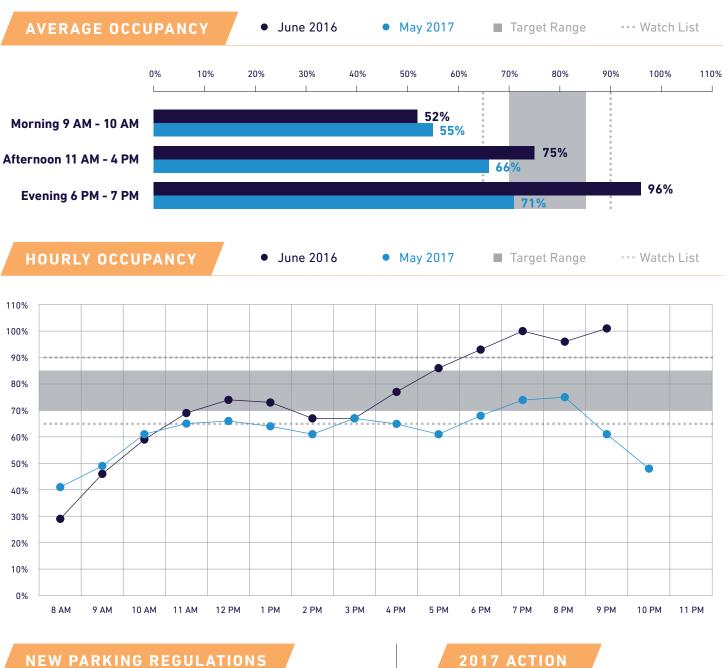


Afternoon Low Watch



Evening No Change

Uptown Edge







Rate Per Hour

8 AM - 11 AM \$1.00 11 AM - 5 PM \$1.50 5 PM - 8 PM \$1.50

Paid Hours 8 AM - 8 PM **Time Limit** 4 hrs

2017 ACTION



Morning

Decrease Rate



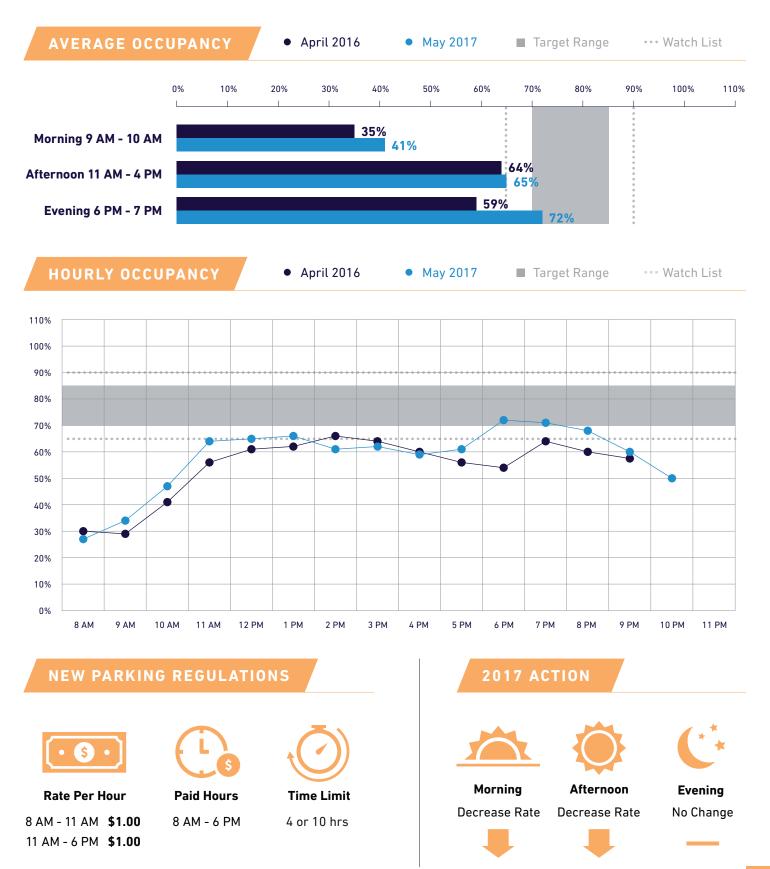
Afternoon

Evening No Change

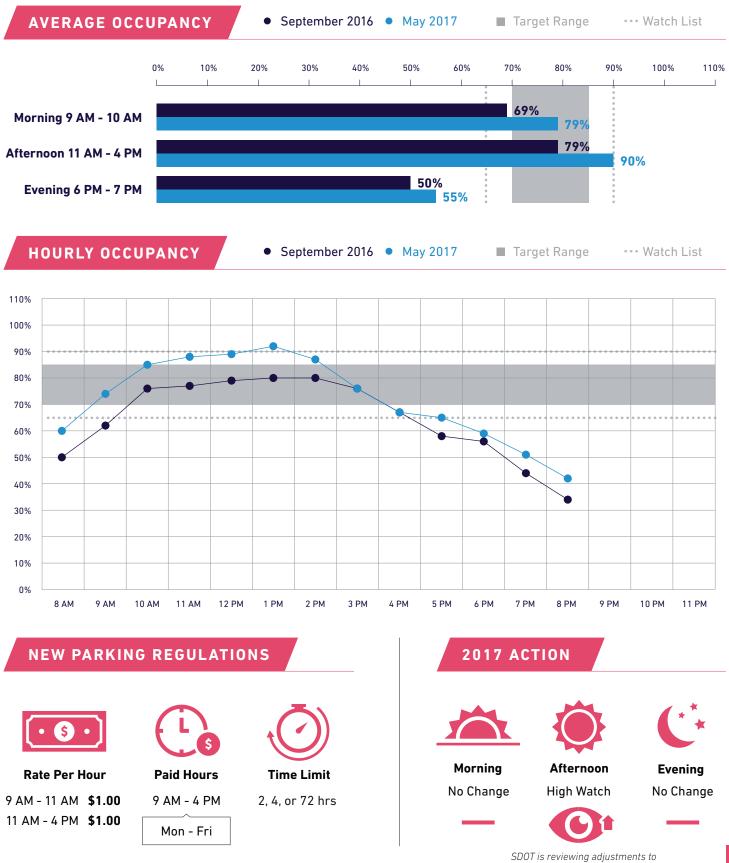




Uptown Triangle



Westlake Avenue N



area time limits and creation of a subarea

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Seattle Department of Transportation 700 5th Avenue, Suite 3800 PO Box 34996 Seattle, WA 98124-4996 (206) 684-ROAD (7623) www.seattle.gov/parking



October 2017