

MAGNUSON BUILDING #2

PARTIAL ROOF AND SEISMIC REPAIRS

CRF-R11, CRF-R1

PW 2013-052

SEATTLE PARKS & RECREATION
SEATTLE, WASHINGTON

WC 246601, WC 246602

PROJECT TEAM

OWNER
SEATTLE PARKS AND RECREATION - PLANNING AND DEVELOPMENT
GARY GIBBONS - CAPITAL PROJECTS COORDINATOR
TEL 206-386-1511
800 MAYNARD AVE S, 3RD FLR
SEATTLE, WA 98134

ARCHITECT
WAGNER ARCHITECTS
ROBERT WAGNER
206-448-2528
1916 PIKE PLACE #221
SEATTLE, WA 98101

STRUCTURAL ENGINEER
DCI ENGINEERS
DICK HEMMEN
206-332-1900
818 STEWART STREET SUITE 1000
SEATTLE, WA 98101

MECHANICAL ENGINEER
TRES WEST ENGINEERS
WING LEE
253-472-3300
2702 S. 42nd ST.
TACOMA, WA 98403

ELECTRICAL ENGINEER
TRES WEST ENGINEERS
LARRY ELLIOTT
253-472-3300
2702 S. 42nd ST.
TACOMA, WA 98403

PROJECT DESCRIPTION

EMERGENCY STRUCTURAL REPAIRS TO THE ROOF, NEW ROOFING, REPAIR TO DAMAGED WALLS AND CEILINGS BELOW, LIMITED VOLUNTARY SEISMIC UPGRADES.

PROJECT INFORMATION

BUILDING ADDRESS: 7727 63RD AVE NE, SEATTLE, WA 98115

CONTRACT NUMBER: 1895

ORDINANCES: 124058

DPD PROJECT NUMBER: 6367012

KING COUNTY PARCEL #: 022504-9062

CODE INFORMATION

APPLICABLE CODES
BUILDING CODE: 2009 SEATTLE BUILDING CODE (2009 IBC PLUS SEATTLE AMENDMENTS)
FIRE CODE: 2009 SEATTLE FIRE CODE
ENERGY CODE: 2009 SEATTLE ENERGY CODE (2009 WSEC PLUS SEATTLE AMENDMENTS)
MECHANICAL CODE: 2009 SEATTLE MECHANICAL CODE

ZONING INFO
ZONING: SINGLE FAMILY 7200, LOWRISE 3
EXISTING USE: OFFICE
LOT SIZE: 4,187,150 SF
PARCEL SIZE: 189,202 SF

BUILDING CODE INFO
OCCUPANCY CLASSIFICATION: ORIGINAL OCCUPANCY WAS AIRCRAFT STORAGE AND REPAIR, CURRENT OCCUPANCY IS BUSINESS GROUP B
CONSTRUCTION TYPE: ORIGINAL UNKNOWN, BUILT IN 1929
NON-SPRINKLERED

EXISTING AREA AT MAIN FLOOR: 105,500 SF
AREA OF WORK: 157,650 SF

ENERGY CODE REVIEW

THIS PARTIAL ROOF AND SEISMIC REPAIR WILL INSULATE THE PORTION OF THE ROOF THAT IS BEING REPLACED WITH RIGID INSULATION WITH AN R VALUE OF 38. NO OTHER CHANGES ARE BEING MADE TO THE EXTERIOR ENVELOPE OF THE BUILDING.

LEGAL DESCRIPTION

Those portions of Sections 1, 2 and 11, Twp 25 N, Rng 4 E, W.M., described as follows:
Commencing at the northwest corner of said Section 2, thence S 89°43'27" E along the north line of said Section a distance of 528.79 feet to the east margin of Sand Point Way NE (formerly referred to as the James Kiefer County Rd. No. 1283), and the True Point of Beginning;
Thence continuing S 89°43'27" E a distance of 380.22 feet to the intersection with the Inner Harbor Line;
Thence S 50°40'00" E along the Inner Harbor Line a distance of 1072.14 feet to Angle Point 19;
Thence East along the Inner Harbor Line a distance of 176.32 feet to an intersection with the west line of a parcel of land under the jurisdiction of the United States Dept of Commerce (NOAA);
Thence S 0°01'34" E a distance of 1713.91 feet to a concrete monument with metal disk stamped "U.S. Navy #10" set by the U.S. Navy for an angle point in the NOAA boundary;
Thence continuing along said NOAA boundary S 89°57'32" E a distance of 690.63 feet to a concrete monument;
Thence continuing along said NOAA boundary S 89°57'32" E a distance of 751.12 feet to a concrete monument stamped 10-4, set for an angle point in the boundary between NOAA and Seattle Park Department;
Thence along the following courses as set forth in Exhibit "A" of the 1975 Quit Claim Deed of property from the United States Dept of Interior to the City of Seattle for

Thence N 89°57'50" E a distance of 1451.31 feet to a concrete monument stamped 10-3;
Thence N 20°12'50" E a distance of 798.15 to a concrete monument stamped 10-2;
Thence continuing North 20°12'50" East 37.0 feet to a point on the Inner Harbor Line of Lake Washington as established by the State of Washington, Harbor Line Commission;
Thence S 59°00'00" E along the Inner Harbor Line a distance of 210.07 feet to Angle Point 21;
Thence S 34°45'00" E along the Inner Harbor Line a distance of 800.00 feet to Angle Point 22;
Thence S 10°00'00" E along the Inner Harbor Line a distance of 865.75 feet to Angle Point 23;
Thence S 25°30'00" W along the Inner Harbor Line a distance of 3213.63 feet to a point on the Inner Harbor Line lying N 25°30'00" E and 456.77 feet distant from Inner Harbor Line Angle Point 24;
Thence leaving said Inner Harbor Line N 71°20'44" W a distance of 887.96 feet;
Thence S 29°35'43" W a distance of 255.12 feet;
Thence N 89°57'05" W a distance of 757.48 feet to the east margin of 65th Avenue NE;
Thence N 0°43'15" W along said east margin of 65th Avenue NE, a distance of 514.69 feet to an intersection with the line between Seattle Park Dept and USGS Western Fisheries Research Center and the top of Exhibit A from the 1975 Quit Claim Deed;
Thence S 89°39'31" E along said line between Seattle Park Dept and USGS a distance of 506.04 feet;
Thence N 0°07'11" W a distance of 147.06 feet;
Thence N 62°02'23" E a distance of 205.91 feet;
Thence N 88°28'00" E a distance of 448.62 feet;
Thence leaving said 1975 Exhibit "A" along the following courses;
Thence N 0°06'52" W a distance of 73.59 feet;
Thence S 88°39'59" W a distance of 1139.61 feet;
Thence S 0°38'51" E a distance of 21.33 feet to an intersection of the east margin of 65th Avenue NE and the Section Line common to Sections 2 and 11;
Thence S 89°50'20" W along said section line common to Sections 2 and 11 a distance of 25.00 feet to a concrete monument marking the common 1/4 corner of Sections 2 and 11;
Thence N 89°35'06" W along said section line a distance of 177.46;
Thence S 0°48'49" E a distance of 239.39 feet to the southeast corner of Block 2 Evergreen Add (v12,p66)

Thence N 89°35'06" W along said north margin of NE 64th St a distance of 542.06 feet to the southeast corner of a parcel of land identified as Parcel 7;
Thence N 17°27'05" W along the common boundary of said Parcel 7 and Parcel 6_F, a distance of 230.45 feet to the intersection with a line 20 feet south of and parallel to the section line common to Sections 2 and 11;
Thence N 89°35'06" W along said line 20 feet south of and parallel to the section line common to Sections 2 and 11, a distance of 304.26' to a corner common to Parcel 7 and Parcel 6_G;
Thence S 42°03'59" W along a line common to Parcel 7 and Parcel 6_G, a distance of 293.54 feet to an intersection with the easterly margin of 60th Avenue NE;
Thence N 0°48'49" W along the east margin of 60th Avenue NE a distance of 122.36 feet to the intersection with the east margin of Sand Point Way NE per CO 52478 and the beginning of a non tangent curve whose radial center bears N 71°31'49" W having a radius of 356.64 feet;
Thence north and east along said east margin of Sand Point Way NE on a curve whose central angle is 19°05'41" and is concave to the west, an arc distance of 118.86 feet to an intersection with the section line

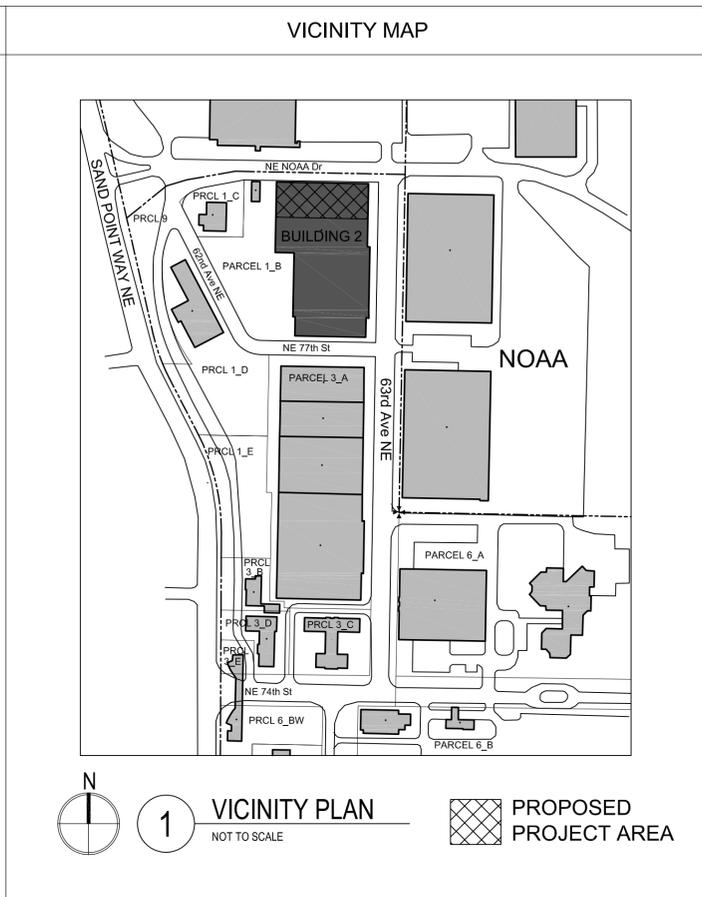
Thence N 89°35'06" W along said common section line a distance of 10.00 feet, to an intersection with the east margin of Sand Point Way NE to the north;
Thence N 0°48'49" W along said east margin of Sand Point Way NE a distance of 2791.65 feet to a point of curvature of the east margin of Sand Point Way NE, the radial center of said curve bearing S 89°11'11"

Thence north and west along said east margin of Sand Point Way NE on a curve whose central angle is 27°42'40" and is concave to the west an arc distance of 296.11 feet;
Thence N 28°31'28" W along said east margin a distance of 171.16 feet to a point of curvature of the east margin of Sand Point Way NE, the radial center of said curve bearing N 61°28'32" E having a radius of

Thence northerly along said east margin of Sand Point Way NE on a curve whose central angle is 14°34'23" and is concave to the east an arc distance of 135.80 feet;
Thence N 13°57'00" W along said east margin a distance of 999.36 feet to a point of curvature of the east margin of Sand Point Way NE, the radial center of said curve bearing S 76°02'55" W having a radius of

Thence northerly along said east margin of Sand Point Way NE on a curve whose central angle is 16°31'03" and is concave to the west an arc distance of 673.49 feet;
Thence N 30°28'08" W along said east margin of Sand Point Way NE a distance of 360.75 feet to an intersection with the north line of said Section 2 and the TPOB; Except all those portions deeded and accepted for public rights-of-way, as provided by Ordinance 119632.

This description is a compilation of various deeds of record. The basis of bearings for each description may not be the same as any other. The intent here is to provide a comprehensive description of a parcel of land conveyed under separate instruments.



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CHANGES MADE TO THE ORIGINAL PERMIT DRAWINGS THAT WERE SUBMITTED TO SEATTLE DPD ON JULY 7, 2013 HAVE BEEN CLOUDED. ALL UNDATED CLOUDED CHANGES WERE MADE ON AUGUST 19, 2013

GENERAL NOTE:
DRAWING SCALES NOTED ARE APPLICABLE ONLY ON 22"x34" [FULL SIZE] SHEETS.

APPROVED FOR ADVERTISING:
Nancy Locke
Purchasing & Contracting Services Division
Seattle, Washington _____ Date _____ 20_____
Signature: _____
Director, Purchasing & Contracting Services Division

REVIEWED: _____ DATE _____
PARK ENGINEER
All work done in accordance with the City of Seattle Standard Plans and Specifications in effect on the date shown above, and supplemented by Special Provisions.

WAGNER
ARCHITECTURE
PLANNING
1916 PIKE PLACE
SEATTLE WA 98101
206-448-2528
FAX 441-6184
wagnerarchitects.com

0004003 REGISTERED ARCHITECT
ROBERT E. WAGNER
STATE OF WASHINGTON



MAGNUSON BUILDING #2

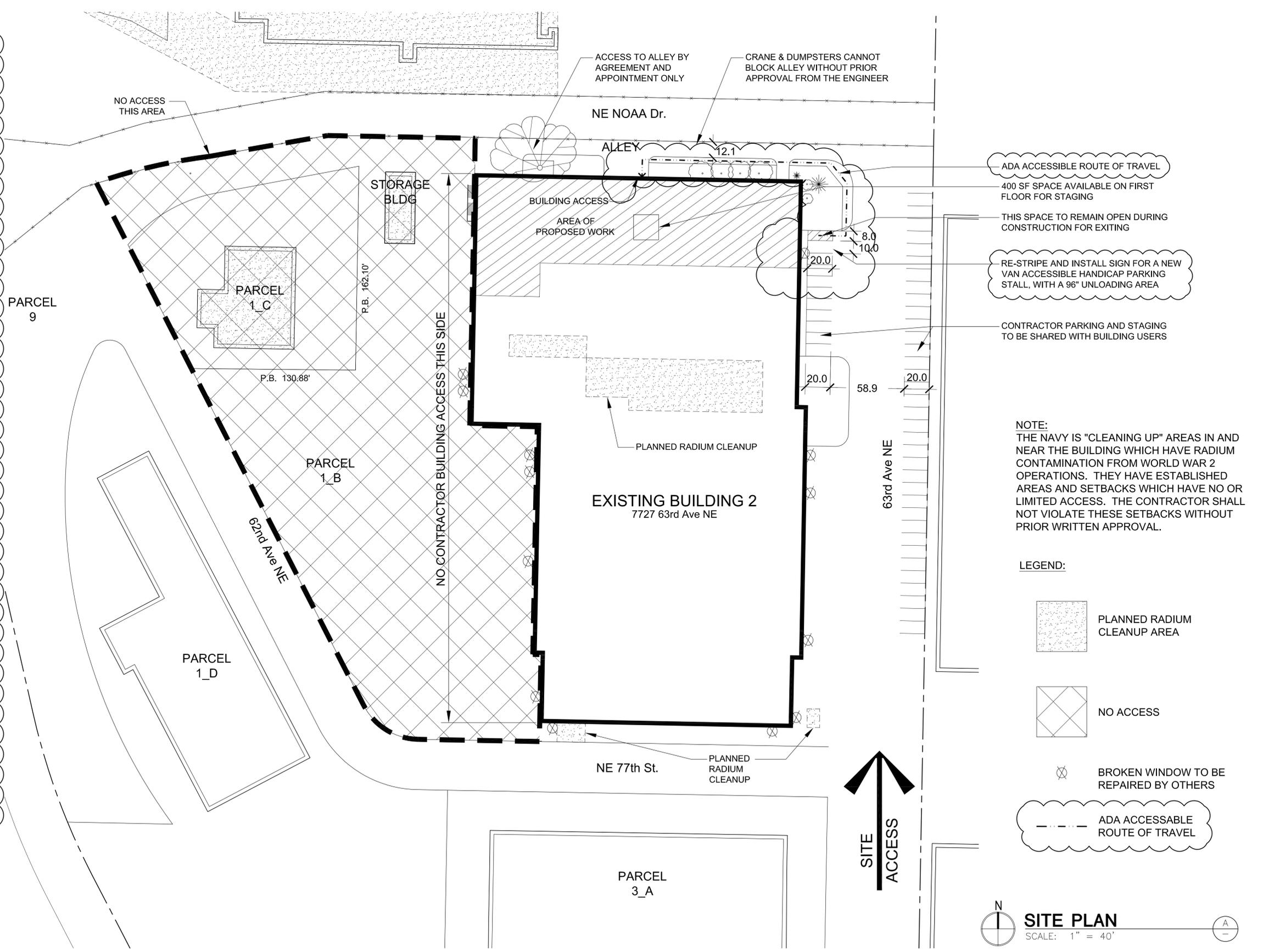
PARTIAL ROOF & SEISMIC REPAIRS

COVER SHEET

DESIGNED	RW	DATE	07/30/2013
DRAWN	MD	SHEET	1 OF 26
CHECKED	RW		
ORDINANCE NO.	124058		
CONTRACT NO.	1895		
SCALE	NTS		

LIST OF ABBREVIATIONS

AB	ANCHOR BOLT	LAV	LAVATORY
AC	AIR CONDITIONING	LIN	LINEAR
ACT	ACOUSTICAL TILE	MAX	MAXIMUM
AFF	ABOVE FINISHED FLOOR	MECH	MECHANICAL
ALT	ALTERNATE	MEZZ	MEZZANINE
APPROX	APPROXIMATE	MFR	MANUFACTURER(ED)
BLKG	BLOCKING	MIN	MINIMUM
BOT	BOTTOM	MTL	METAL
CB	CATCH BASIN	N	NORTH
CJ	CONTROL JOINT	N/A	NOT APPLICABLE
CLG	CEILING	NIC	NOT IN CONTRACT
CLR	CLEAR	NO	NUMBER
CL	CENTER LINE	NTS	NOT TO SCALE
CMU	CONC MASONRY UNIT	OC	ON CENTER
CO	CLEAN OUT	OD	OUTSIDE DIAMETER
COL	COLUMN	PL	PLATE, PROPERTY LINE
COMP	COMPOSITION	PLAM	PLASTIC LAMINATE
CONC	CONCRETE	PLWD	PLYWOOD
CONT	CONTINUOUS	PSF	POUNDS PER SQ FOOT
CPT	CARPET	PSI	POUNDS PER SQ INCH
CTR	CENTER	PT	PAINT
DET	DETAIL	PTW	PRESSURE TREATED WOOD
DF	DRINKING FTN	PVC	POLY VINYL CHLORIDE
DIA	DIAMETER	RCP	REFLECTED CEILING PLAN
DIAG	DIAGONAL	RD	ROOF DRAIN
DIM	DIMENSION	REF	REFER, REFERENCE
DN	DOWN	REINF	REINFORCE(ING)
DR	DOOR	REV	REVISE, REVISION
DS	DOWN SPOUT	RH	RIGHT HAND
E	EAST	RM	ROOM
EA	EACH	RO	ROUGH OPENING
ELECT	ELECTRICAL	S	SOUTH, SINK
ELEV	ELEVATOR	SC	SOLID CORE
ENCL	ENCLOSURE	SCH	SCHEDULE
EQ	EQUAL	SD	SMOKE DETECTOR
EXIST	EXISTING	SECT	SECTION
EXP	EXPOSED	SHG	SHEATHING
EXT	EXTERIOR	SHT	SHEET
FD	FLOOR DRAIN	SIM	SIMILAR
FF	FINISHED FLOOR	SS	STAINLESS STEEL
FIN	FINISHED	SPEC	SPECIFIED
FLR	FLOOR	STD	STANDARD
FOF	FACE OF FINISH	STL	STEEL
FOIC	FURNISHED BY OWNER, INSTALL BY CONTRACTOR	STRUCT	STRUCTURE(AL)
FT	FOOT	SQ	SQUARE
FTG	FOOTING	TEL	TELEPHONE
GA	GUAGE	TEMP	TEMPERED
GAL	GALLON	T&G	TONGUE AND GROOVE
GALV	GALVANIZED	TOC	TOP OF CURB
GWB	GYPSUM WALL BOSRD	TOF	TOP OF FOOTING
HC	HOLLOW CORE	TOS	TOP OF STEEL
HM	HOLLOW METAL	TOW	TOP OF WALL
HORIZ	HORIZONTAL	TYP	TYPICAL
HT	HEIGHT	VAT	VINYL ASBESTOS TILE
HVAC	HEATING, VENT AND AIR CONDITIONING	VCT	VINYL COMP TILE
HW	HOT WATER	VERT	VERTICAL
IN	INCH	VG	VERTICAL GRAIN
INCL	INCLUDE	VIF	VERIFY IN FIELD
INS	INSULATE, INSULATION	VSF	VINYL SHEET FLOORING
INT	INTERIOR	W	WEST, WIDE
JAN	JANITORIAL	W/	WITH
		WC	WATER CLOSET
		W/O	WITHOUT



ADA ACCESSIBLE ROUTE OF TRAVEL
400 SF SPACE AVAILABLE ON FIRST FLOOR FOR STAGING
THIS SPACE TO REMAIN OPEN DURING CONSTRUCTION FOR EXITING
RE-STRIPE AND INSTALL SIGN FOR A NEW VAN ACCESSIBLE HANDICAP PARKING STALL, WITH A 96" UNLOADING AREA

CONTRACTOR PARKING AND STAGING TO BE SHARED WITH BUILDING USERS

NOTE:
THE NAVY IS "CLEANING UP" AREAS IN AND NEAR THE BUILDING WHICH HAVE RADIUM CONTAMINATION FROM WORLD WAR 2 OPERATIONS. THEY HAVE ESTABLISHED AREAS AND SETBACKS WHICH HAVE NO OR LIMITED ACCESS. THE CONTRACTOR SHALL NOT VIOLATE THESE SETBACKS WITHOUT PRIOR WRITTEN APPROVAL.

- LEGEND:**
- PLANNED RADIUM CLEANUP AREA
 - NO ACCESS
 - BROKEN WINDOW TO BE REPAIRED BY OTHERS
 - ADA ACCESSIBLE ROUTE OF TRAVEL

SITE PLAN
SCALE: 1" = 40'

>>>>CAUTION - CALL 811<<<<
UTILITY NOTIFICATION CENTER BEFORE YOU DIG!
WWW.CALLBEFOREYODIG.ORG
NOT LESS THAN 2 OR MORE THAN 10 BUSINESS DAYS PRIOR TO COMMENCING EXCAVATION OR DEMOLITION, SECURE THE SERVICES OF A COMMERCIAL UNDERGROUND UTILITIES LOCATOR SERVICE TO IDENTIFY BELOW-GROUND IMPROVEMENTS THAT MAY NOT BE INDICATED ON THE DRAWINGS. ADDITIONALLY, TO REQUEST ON-SITE UNDERGROUND UTILITY SYSTEMS LOCATES, CALL **SPR INSPECTION REQUEST LINE @ (206) 684-7034**. REFER TO SECTIONS 02100 & 02120 OF THE SPECIFICATIONS FOR INSTRUCTIONS FOR HOW TO PROCEED.

5		
4		
3		
2		
1		
NO.	REVISION - AS BUILT	DATE

REVIEWED BY: _____ DATE _____
PARK ENGINEER

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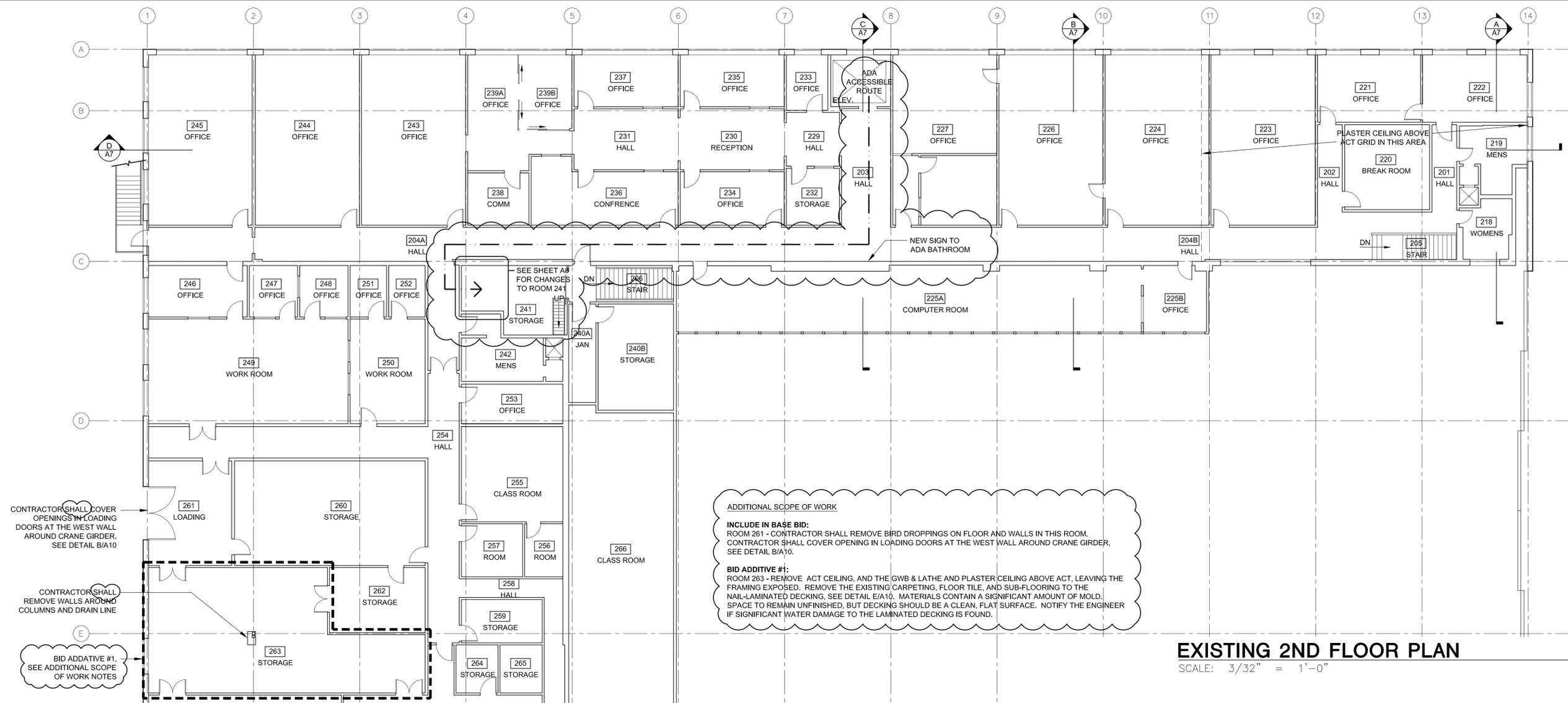


WAGNER ARCHITECTURE
ARCHITECTURE
PLANNING
1916 PIKE PLACE
SEATTLE WA 98101
206-448-2528
FAX 441-6184
wagnerarchitects.com

0004003 REGISTERED ARCHITECT
ROBERT E. WAGNER
STATE OF WASHINGTON

MAGNUSON BLDG #2
PARTIAL ROOF & SEISMIC REPAIRS
SITE PLAN

DESIGNED	RW	DATE	07/30/2013
DRAWN	RT	SHEET	2 OF 26
CHECKED	RW	ORDINANCE NO.	124058
CONTRACT NO.	1895		A1
SCALE	1" = 40'		

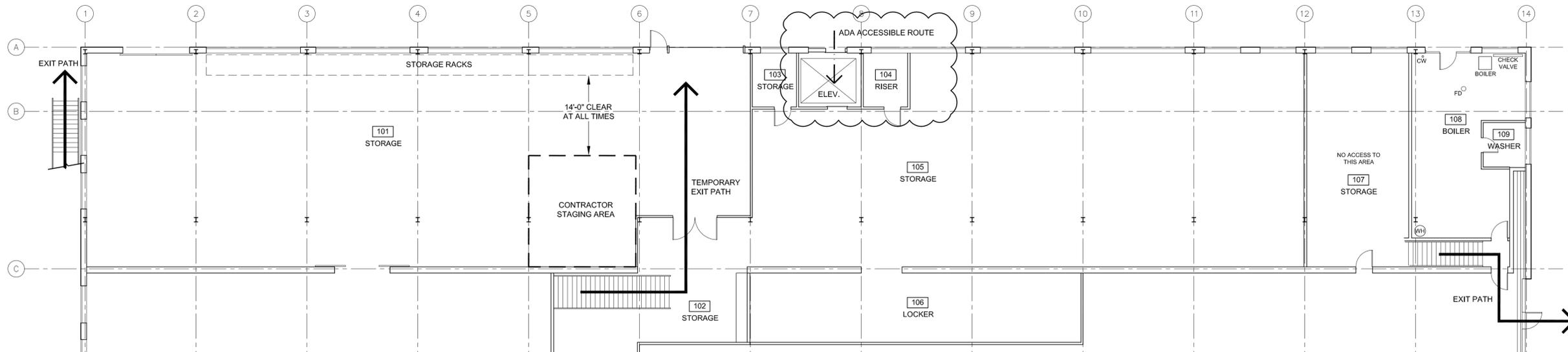
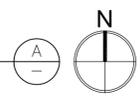


ADDITIONAL SCOPE OF WORK

INCLUDE IN BASE BID:
 ROOM 261 - CONTRACTOR SHALL REMOVE BIRD DROPPINGS ON FLOOR AND WALLS IN THIS ROOM. CONTRACTOR SHALL COVER OPENING IN LOADING DOORS AT THE WEST WALL AROUND CRANE GIRDER, SEE DETAIL B/A10.

BID ADDITIVE #1:
 ROOM 263 - REMOVE ACT CEILING, AND THE GWB & LATHE AND PLASTER CEILING ABOVE ACT, LEAVING THE FRAMING EXPOSED. REMOVE THE EXISTING CARPETING, FLOOR TILE, AND SUB-FLOORING TO THE NAIL-LAMINATED DECKING, SEE DETAIL E/A10. MATERIALS CONTAIN A SIGNIFICANT AMOUNT OF MOLD. SPACE TO REMAIN UNFINISHED, BUT DECKING SHOULD BE A CLEAN, FLAT SURFACE. NOTIFY THE ENGINEER IF SIGNIFICANT WATER DAMAGE TO THE LAMINATED DECKING IS FOUND.

EXISTING 2ND FLOOR PLAN
 SCALE: 3/32" = 1'-0"



EXISTING 1ST FLOOR PLAN (PART)
 SCALE: 3/32" = 1'-0"



>>>>CAUTION - CALL 811<<<<
UTILITY NOTIFICATION CENTER BEFORE YOU DIG!
WWW.CALLBEFOREYOUTDIG.ORG
 NOT LESS THAN 2 OR MORE THAN 10 BUSINESS DAYS PRIOR TO COMMENCING EXCAVATION OR DEMOLITION, SECURE THE SERVICES OF A COMMERCIAL UNDERGROUND UTILITIES LOCATOR SERVICE TO IDENTIFY BELOW-GROUND IMPROVEMENTS THAT MAY NOT BE INDICATED ON THE DRAWINGS. ADDITIONALLY, TO REQUEST ON-SITE UNDERGROUND UTILITY SYSTEMS LOCATES, CALL **SPR INSPECTION REQUEST LINE @ (206) 684-7034**. REFER TO SECTIONS 02100 & 02120 OF THE SPECIFICATIONS FOR INSTRUCTIONS FOR HOW TO PROCEED.

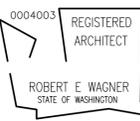
NO.	REVISION	DATE
5		
4		
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	REVISION - AS BUILT	DATE

REVIEWED BY: _____ DATE _____
 PARK ENGINEER

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WAGNER ARCHITECTURE
 ARCHITECTURE
 PLANNING
 1916 PIKE PLACE
 SEATTLE WA 98101
 206-448-2528
 FAX 441-6184
 wagnerarchitects.com

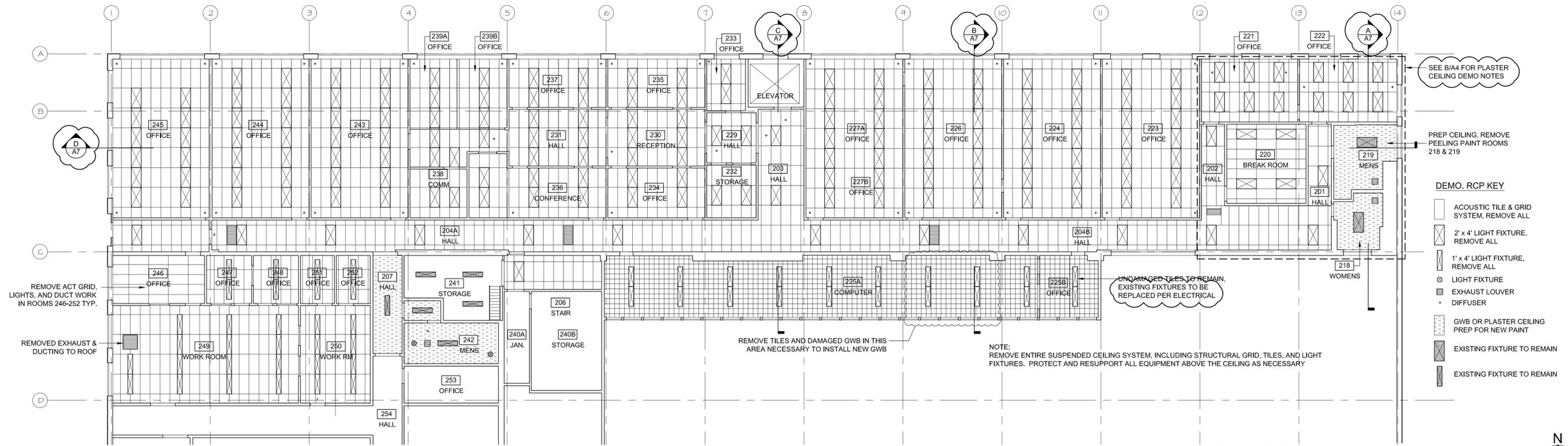


MAGNUSON BLDG #2
PARTIAL ROOF & SEISMIC REPAIRS
EXISTING PLANS

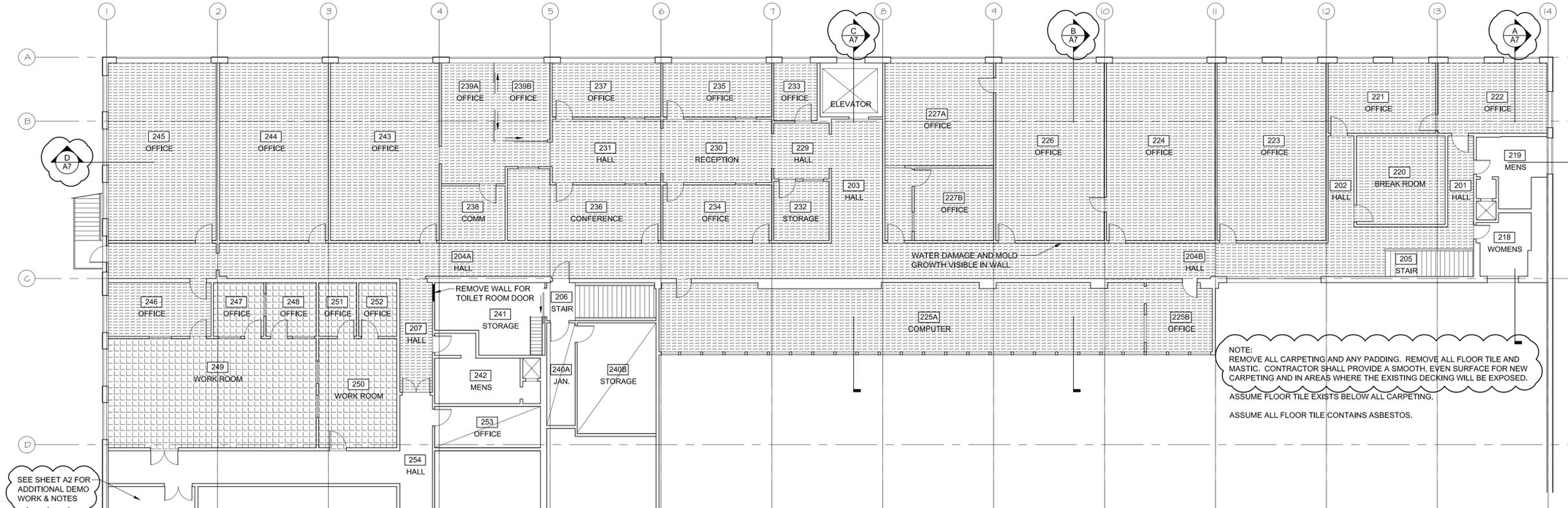
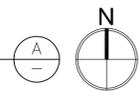
DESIGNED **RW**
 DRAWN **RT**
 CHECKED **RW**

ORDINANCE NO. **124058**
 CONTRACT NO. **1895**
 SCALE **3/32" = 1'-0"**

DATE **07/30/2013**
 SHEET **3** OF **26**
A2



DEMO RCP
SCALE: 3/32" = 1'-0"



DEMO FLOOR PLAN
SCALE: 3/32" = 1'-0"



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NO.	REVISION - AS BUILT	DATE
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4		
3		
2		
1		

REVIEWED BY: _____ DATE _____
PARK ENGINEER

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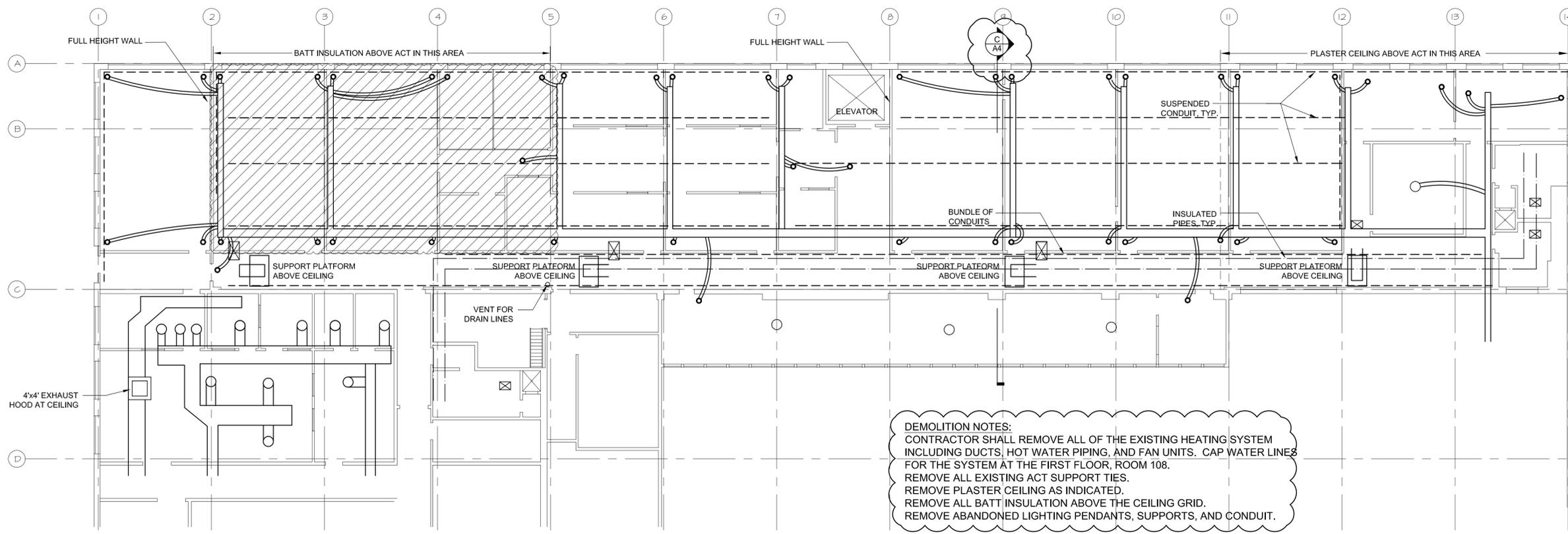


WAGNER ARCHITECTURE
ARCHITECTURE
PLANNING
1916 PIKE PLACE
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206-448-2528
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0004003 REGISTERED ARCHITECT
ROBERT E. WAGNER
STATE OF WASHINGTON

MAGNUSON BLDG #2
PARTIAL ROOF & SEISMIC REPAIRS
DEMOLITION PLANS

DESIGNED RW	DATE 07/30/2013
DRAWN RT	SHEET 4 OF 26
CHECKED RW	
ORDINANCE NO. 124058	A3
CONTRACT NO. 1895	
SCALE 3/32" = 1'-0"	



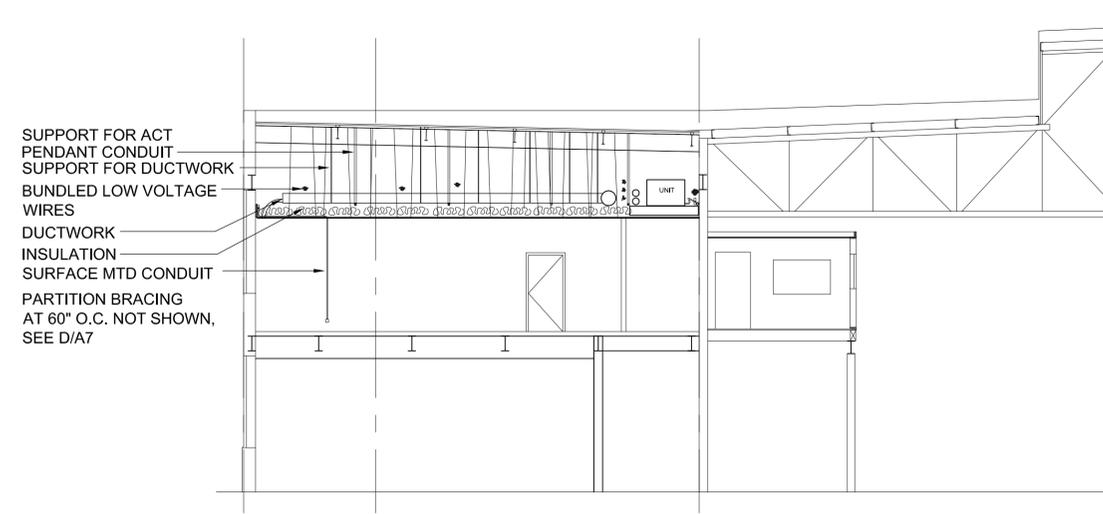
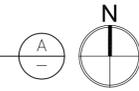
- DUCTWORK KEY, REMOVE ALL**
- SMALL SUPPLY DIFFUSER AT CEILING PLANE
 - LARGER SUPPLY DIFFUSER AT CEILING PLANE
 - ⊠ RETURN OR SUPPLY GRILLE AT CEILING PLANE
 - ⌋ INSULATED DUCTWORK OR VENTS ABOVE CEILING PLANE. SIZES VARY.
- KEY**
- - - CONDUIT MOUNTED ON WALL AND SUSPENDED APPROX. 15" ABOVE CEILING
 - INSULATED HOT WATER HEATING PIPES

- ABOVE CEILING PLANE NOTES:**
1. N-S PARTITIONS HAVE DIAGONAL WOOD BRACING RUNNING PERPENDICULAR FROM TOP OF WALL TO DECK ABOVE. IN ADDITION TO THE DIAGONAL BRACING, SOME PARTITIONS HAVE VERTICAL WOOD BRACING FROM THE TOP OF THE PARTITION TO THE DECK ABOVE.
 2. LIGHTS ARE SUSPENDED FROM DECK ABOVE.
 3. THERE ARE SEVERAL 'ABANDONED' PENDANT LIGHTS ABOVE CEILING.
 4. CEILING GRID APPEARS TO HAVE NO SEISMIC BRACING.
 5. ALL CABLING ABOVE THE CEILING IS ACTIVE.
 6. HALLWAY UNITS HAVE DRAIN LINES WHICH ROUTE BACK TO THE VENT FOR DRAIN LINES.

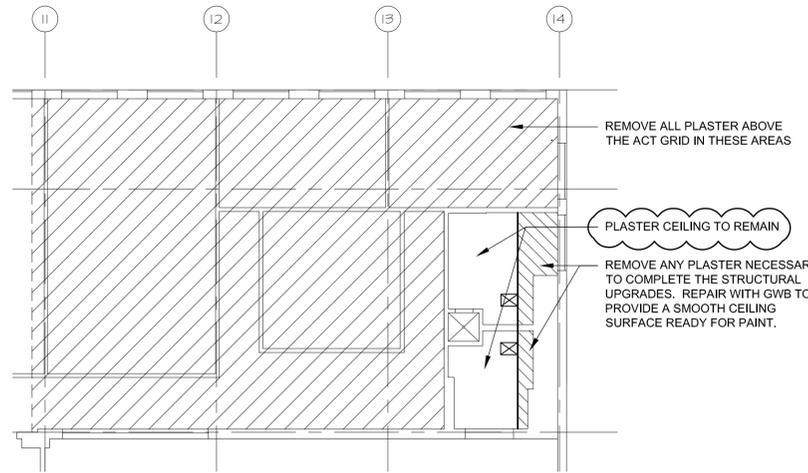
DEMOLITION NOTES:
 CONTRACTOR SHALL REMOVE ALL OF THE EXISTING HEATING SYSTEM INCLUDING DUCTS, HOT WATER PIPING, AND FAN UNITS. CAP WATER LINES FOR THE SYSTEM AT THE FIRST FLOOR, ROOM 108.
 REMOVE ALL EXISTING ACT SUPPORT TIES.
 REMOVE PLASTER CEILING AS INDICATED.
 REMOVE ALL BATT INSULATION ABOVE THE CEILING GRID.
 REMOVE ABANDONED LIGHTING PENDANTS, SUPPORTS, AND CONDUIT.

NOTE:
 NOT ALL EQUIPMENT, DUCTWORK, CONDUIT AND OTHER DEVICES ARE SHOWN IN THE PLAN AND SECTION. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS.

ABOVE CEILING PLAN WITH DEMO
 SCALE: 3/32" = 1'-0"



EXISTING CEILING SECTION LOOKING EAST
 SCALE: 1/8" = 1'-0"



PLASTER CEILING DEMO NOTES
 SCALE: 3/32" = 1'-0"

>>>>CAUTION - CALL 811<<<<
UTILITY NOTIFICATION CENTER BEFORE YOU DIG!
WWW.CALLBEFOREYOUTDIG.ORG
 NOT LESS THAN 2 OR MORE THAN 10 BUSINESS DAYS PRIOR TO COMMENCING EXCAVATION OR DEMOLITION, SECURE THE SERVICES OF A COMMERCIAL UNDERGROUND UTILITIES LOCATOR SERVICE TO IDENTIFY BELOW-GROUND IMPROVEMENTS THAT MAY NOT BE INDICATED ON THE DRAWINGS. ADDITIONALLY, TO REQUEST ON-SITE UNDERGROUND UTILITY SYSTEMS LOCATES, CALL **SPR INSPECTION REQUEST LINE @ (206) 684-7034**. REFER TO SECTIONS 02100 & 02120 OF THE SPECIFICATIONS FOR INSTRUCTIONS FOR HOW TO PROCEED.

5		
4		
3		
2		
1		
NO.	REVISION -- AS BUILT	DATE

REVIEWED BY: _____ DATE _____
 PARK ENGINEER

All work shall be done in accordance with the City of Seattle Standard Plans and Specifications in effect on the date shown above, and supplemented by the Special Provisions.

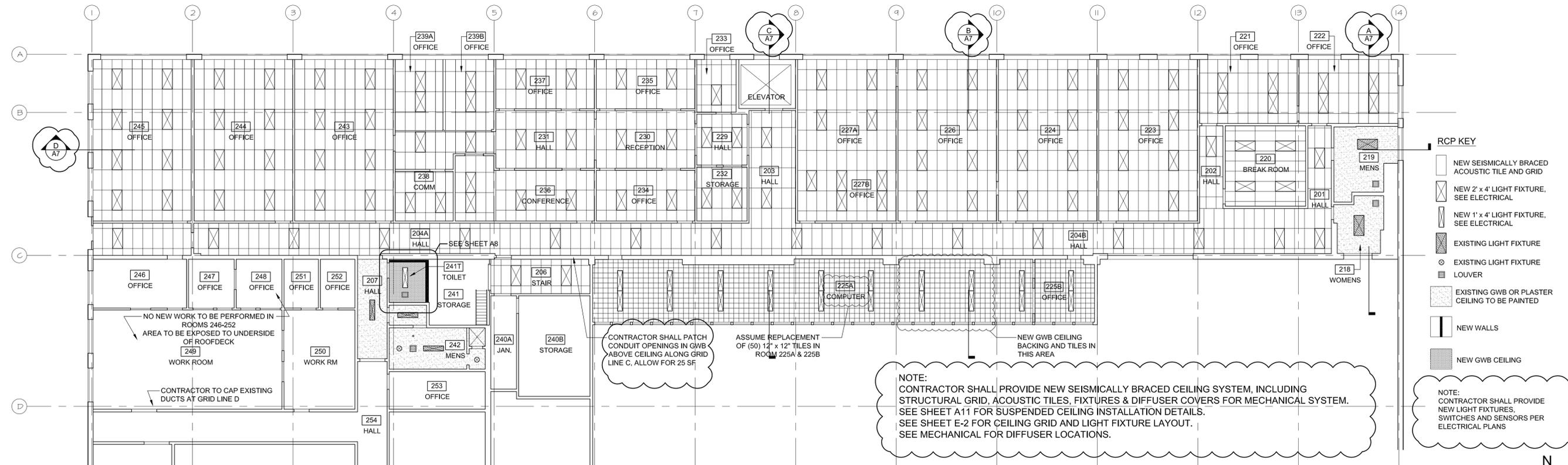


WAGNER ARCHITECTURE
 PLANNING
 1916 PIKE PLACE
 SEATTLE WA 98101
 206-448-2528
 FAX-441-6184
 wagnerarchitects.com

0004003 REGISTERED ARCHITECT
 ROBERT E. WAGNER
 STATE OF WASHINGTON

MAGNUSON BLDG #2
PARTIAL ROOF & SEISMIC REPAIRS
ABOVE CEILING PLAN AND SECTION

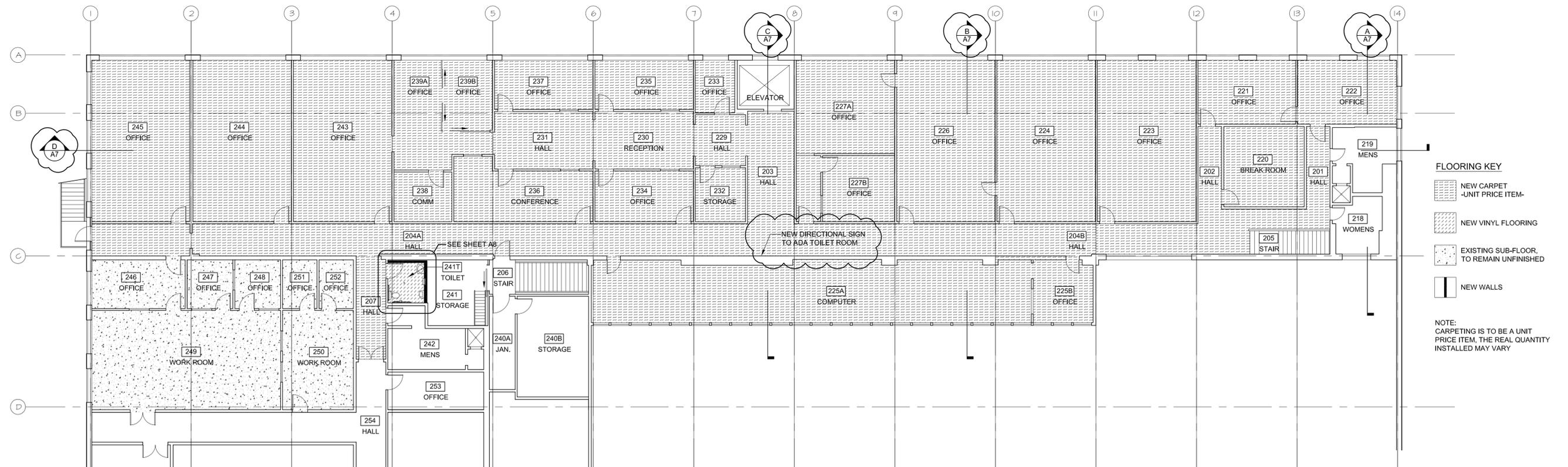
DESIGNED RW	DATE 07/30/2013
DRAWN RT	SHEET 5 OF 26
CHECKED RW	
ORDINANCE NO. 124058	A4
CONTRACT NO. 1895	
SCALE AS NOTED	



- RCP KEY**
- NEW SEISMICALLY BRACED ACOUSTIC TILE AND GRID
 - NEW 2' x 4' LIGHT FIXTURE, SEE ELECTRICAL
 - NEW 1' x 4' LIGHT FIXTURE, SEE ELECTRICAL
 - EXISTING LIGHT FIXTURE
 - EXISTING LIGHT FIXTURE
 - LOUVER
 - EXISTING GWB OR PLASTER CEILING TO BE PAINTED
 - NEW WALLS
 - NEW GWB CEILING
- NOTE: CONTRACTOR SHALL PROVIDE NEW LIGHT FIXTURES, SWITCHES AND SENSORS PER ELECTRICAL PLANS

NOTE: CONTRACTOR SHALL PROVIDE NEW SEISMICALLY BRACED CEILING SYSTEM, INCLUDING STRUCTURAL GRID, ACOUSTIC TILES, FIXTURES & DIFFUSER COVERS FOR MECHANICAL SYSTEM. SEE SHEET A11 FOR SUSPENDED CEILING INSTALLATION DETAILS. SEE SHEET E-2 FOR CEILING GRID AND LIGHT FIXTURE LAYOUT. SEE MECHANICAL FOR DIFFUSER LOCATIONS.

FINISHED REFLECTED CEILING PLAN
SCALE: 3/32" = 1'-0"



- FLOORING KEY**
- NEW CARPET UNIT PRICE ITEM
 - NEW VINYL FLOORING
 - EXISTING SUB-FLOOR, TO REMAIN UNFINISHED
 - NEW WALLS
- NOTE: CARPETING IS TO BE A UNIT PRICE ITEM, THE REAL QUANTITY INSTALLED MAY VARY

FINISHED FLOOR FINISH PLAN
SCALE: 3/32" = 1'-0"

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NO.	REVISION	DATE
5		
4		
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REVIEWED BY: _____ DATE _____
PARK ENGINEER

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ROBERT E WAGNER
STATE OF WASHINGTON

MAGNUSON BLDG #2
PARTIAL ROOF & SEISMIC REPAIRS
RCP & FLOORING PLANS

DESIGNED RW	DATE 07/30/2013
DRAWN RT	SHEET 6 OF 26
CHECKED RW	
ORDINANCE NO. 124058	A5
CONTRACT NO. 1895	
SCALE 3/32" = 1'-0"	